



CITY OF SACRAMENTO
CALIFORNIA

PLANNING AND BUILDING
DEPARTMENT

1231 I STREET
ROOM 200
SACRAMENTO, CA
95814-2998

**PLANNING DIRECTORS PLAN REVIEW
FOR SILVANO OASIS**

FILE: P04-039

PREVIOUS FILE NUMBER(S): None

PROJECT NAME: Silvano Oasis

ASSESSOR=S PARCEL NUMBER(S): 251-0191-025

APPLICANT=S NAME/ADDRESS: Ernest Austin
2152 Vollan Way
Sacramento, Ca 95822
(916)804-4467

RECOMMENDATION/ SUMMARY: Staff recommends the Planning Director approve the project, subject to conditions. This recommendation is based upon the project's consistency with the General Plan, North Sacramento Community Plan, City Code, the Multi-Family Residential Design Principles, and Smart Growth Principles, as adopted by the City Council (Resolution 2001-805). This Planning Director's Plan Review (PDPR) approval is for a four-unit multi-family complex on one parcel, with 6 surface parking spaces, located at 812 Silvano Street. In addition to the PDPR, the following permits and approvals are required prior to construction of the residential development: 1) Building Permit; 2) Driveway Permit; 3) Off-site improvement plans.

PROJECT INFORMATION:

Lot Dimensions-	100 feet x 175 feet	Zoning -	R-2A
Lot Size -	16,192square feet	Unit Size -	1286 sf
Net Acres -	0.37 acres	Net Density -	11 du/na

PROJECT DETAILS

Summary of Project:

Site Design: The project consists of two buildings being developed on the site each consisting of two units. Six surface parking spaces are provided on-site. The entries of the units face north and south, with the front entry of one of the units facing the street. The surface parking spaces are diagonal and necessitate backing out onto Silvano Street. However, given that the property is located on a dead end of a low traffic street, this configuration will not result in negative impacts to traffic/circulation. The applicant has provided ample landscaping and open space, with a large landscaped area facing Silvano Street, a playground between the two buildings which includes playground equipment, and an outdoor area to the rear of the site, which includes tables and benches.

Floor Plans: Each building proposed is two stories high. Each building contains two 1286 sf units containing four bedrooms and two baths. Each unit is two story, with the ground floors totaling 727 sf, and the second floors totaling 559 sf. Each unit provides one bedroom on the ground floor, and 3 bedrooms on the second floor, with one bathroom on each floor.

Height, Setbacks: The buildings are two stories in height. The buildings are 17 feet in height to the plate line, well within the height limit of 35' for residential projects.

As shown below, side setbacks are nine feet and 47 feet, the rear setback is 15 feet, and the front setback is 25 feet, which is in compliance with the City Code.

<u>Setbacks</u>	<u>Required</u>	<u>Proposed</u>
Front	25'	25'
Side (West)	47'	5'
Side(East)	8'	5'
Rear	15'	15'

The City of Sacramento Multi-Family Residential Design Guidelines encourage minimizing the impact and dominance of parking on the streetscape. The proposed project complies with the requirement since the parking is located on the side of the property, behind ample landscaping, and the front of one of the units has a prominent entrance at the street.

Parking: City Code requires 1.5 parking spaces for every multi-family residential unit and one visitor parking space per 15 required parking spaces. For the proposed project, 6 parking spaces are required, and 6 spaces are proposed. The project does not propose visitor parking spaces, because visitor parking spaces are not required for apartments with less than eight units. Apartments also require 1 bicycle parking space for every 20 required spaces. For the project, one bicycle parking space is required. The applicant does not propose bicycle parking spaces, but the project will be conditioned to provide this space.

Elevations and Materials:

Variations in architectural elements are provided. These include the use of different distinctive treatments on porch columns and entry structures; the use of shingled siding as well lap siding, hipped roofs and window shutters.

Exterior materials proposed by the applicant include hardplank siding, shingle siding, vinyl windows with wood trim, and wood columns

Roofing will be hipped with 30-year dimensional composition shingles.

Enhanced side and rear elevations are required whenever either of those elevations face a public street, school, park, canal, or other public space. The north and south elevations of the project, facing the street and a canal respectively, contain enhanced elements such as covered porch entries. Enhanced elevations shall include, at a minimum, Apop-outs@ around windows and doors finished with a texture that is different from the texture of the house. The proposed project provides wood trim around windows and doors. The City's Multi-Family Design Principles recommend enhanced side and rear elevations, window treatments, roof lines, and materials should match the front facade in appearance and quality. The project contains front and side elevation elements to comply with this requirement.

Landscaping: The parking area requires compliance with the City's Parking Lot Shading Ordinance of 50 percent shading within 15 years. The proposed project complies with this requirement. Along the frontage, on the project site, the applicant will plant a minimum of four large street trees adjacent to Silvano Street.

COMMENTS:

Public notice was mailed to adjacent property owners by planning staff on October 20, 2004. No comments have been received in response to the public notice.

Staff finds that the proposed site and elevations comply with all applicable General Plan, Community Plan, Multi-Family Streamlining Ordinance, Multi-Family Residential Design Principles, and Zoning Ordinance requirements.

ACTION:

The Planning Director approves the requested Planning Director=s Plan Review based on the following findings and subject to the following conditions:

Findings:

1. The proposed residential development is consistent with the objectives of the General Plan, the North Sacramento Community Plan, and Multi-Family Residential Design Principles in that:
 - o the project is consistent with the General Plan land use designation of Medium Density Residential (4-15 du/na);
 - o the project is consistent with the North Sacramento Community Plan land use designation of Residential (11-21 du/na);
 - o the project is consistent with the Zoning designation of R-2A (maximum density of 17 du/na);
 - o the project is consistent with policies related to land use, including the provision of higher residential densities, mixture of housing types, and development flexibility;
 - o the project is consistent with the Multi-Family Residential Design Principles in that the buildings provide living-space street presence, entries facing the street, and adequate streetscape and interior landscaping.
2. The proposed residential development is consistent with the City Code and the Multi-Family Residential Design Principles in that the building design complies with requirements related to setbacks, height, and lot coverage and meet the purposes and criteria stated in the City Zoning Ordinance, to assure that new development is healthy and of long lasting benefit to the North Sacramento community and the City; and
3. The proposed residential development will not be detrimental to the public health, safety or welfare in that the multi family residential development is being developed so that living area faces the street, adequate parking is being provided, and the project size (4 units) is appropriate and compatible with the surrounding apartment uses. The project will be in harmony with the general purposes and intent of the Zoning Ordinance in that the project complies with the Zoning Ordinance

and the approved elevations are well-designed; and that the proposed uses will not create a negative impact on any nearby sensitive uses.

Conditions:

1. The design of the proposed house plans shall conform substantially to the plans as shown. Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.
2. Prior to issuance of building permit, the Owner/ Operator shall include a program for routine maintenance of the property, subject to review and approval of the Planning Director. Such a program shall include, but not necessarily be limited to, the following:
 - (a) 24-hour access to Maintenance and Management staff. Maintenance and management staff shall be either on-site or available by telephone pager at all times.
 - (b) Conduct periodic inspections, not less than monthly, of the exterior of all buildings, trash enclosures, and recreation facilities.
 - (c) Repaint all painted areas at least once every 8 years.
 - (d) Maintenance of landscaping and irrigation in a healthy and serviceable condition. A contractual agreement between the owner/ operator and landscapers shall be established to conduct on-site regular landscape maintenance at least once a week.
 - (e) Regular inspection of common areas and scheduled re-paintings, re-plantings, and other similar activities that typically require attention at periodic intervals, but not necessarily continuously.
3. Owner/ Operator shall indicate and maintain all locations of parking stalls for handicapped/ disabled access and strictly enforce rules related thereto.
4. The applicant shall obtain all necessary building permits prior to commencement of construction.
5. The Planning Director=s Plan Review shall expire two years from date of issue, on March 16, 2006, unless building construction has already begun.
6. The applicant shall provide one bicycle parking space on site.

Public Works

7. Construct standard improvements as noted in these conditions pursuant to section 16.48.110 of the city code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City standards.
8. Repair or replace/reconstruct any existing deteriorated curb, gutter and sidewalk per City standards to the satisfaction of the Department of Public Works.
9. All driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works.
10. The site shall conform to A.D.A. requirements in all respects.

11. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

12. Prior to issuance of building permit, the applicant shall submit off-site improvement plans to Public Works, to be reviewed and approved by the Department of Public Works.

Utilities

13. Only one domestic water service will be allowed per parcel. Any new domestic water services shall be metered.

14. All water connections shall comply with the City of Sacramento's Cross Connection Control Policy.

15. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.

16. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.

Parks

17. The applicant must provide proof of compliance with City Code 16.64 prior to issuance of building permit.

18. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project to an existing parks maintenance district prior to the issuance of any building permit. The applicant shall pay all city fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood park maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the cost will be spread based upon the hearing report, which specifies the tax rate and method of apportionment.

Advisory Notes:

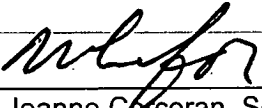
Utilities

1. The proposed project is located in the Flood zone designated as an X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) dated July 6, 1998. Within the X zone, there are no requirements to elevate or flood proof.

2. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the fire suppression systems.

APPROVED ON: 12/16/04

PREPARED BY: 
Mark Kraft, Associate Planner

APPROVED BY: 
Jeanne Corcoran, Senior Planner

Attachments:

- Exhibit 1: Site Plan
- Exhibit 2: Elevations, Building A
- Exhibit 3: Floor Plan, Building A
- Exhibit 4: Elevations, Building B
- Exhibit 5: Floor Plan, Building B

File: Original
cc: Applicant



PLANNING AND BUILDING
DEPARTMENT

CITY OF SACRAMENTO
CALIFORNIA

1231 I STREET
ROOM 300
SACRAMENTO, CA
95814-2998

TED KOZAK
ASSOCIATE PLANNER
916-808-1944

PLANNING
916-264-5381
916-264-5328 (FAX)

March 16, 2004

Karlin Lynch
P.O. Box 674
Penryn, CA 95663

SUBJECT: PLANNING DIRECTOR=S PLAN REVIEW FOR ASTORIA APARTMENTS (P03-104)

Dear Mr. Lynch:

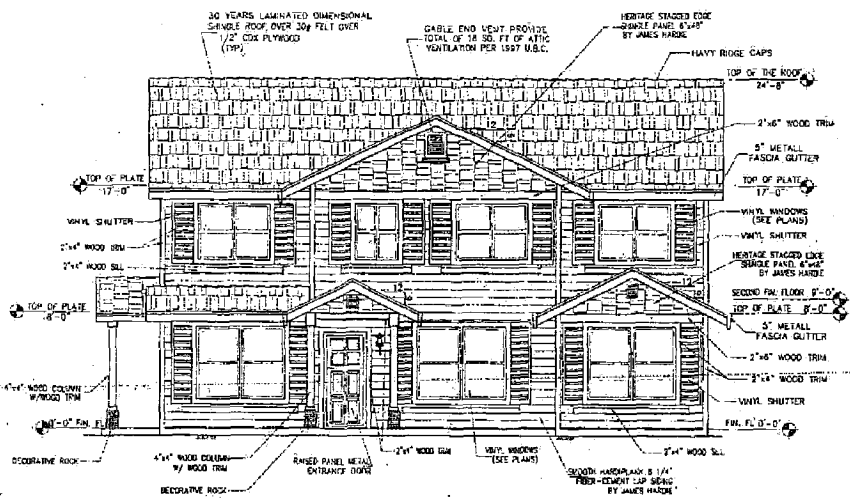
As we have discussed, the above noted project has been approved by the Planning Director on March 16, 2004. The PDPR staff report is attached for your information. Kindly review the Conditions of Approval.

Please call if I may be of any further assistance.

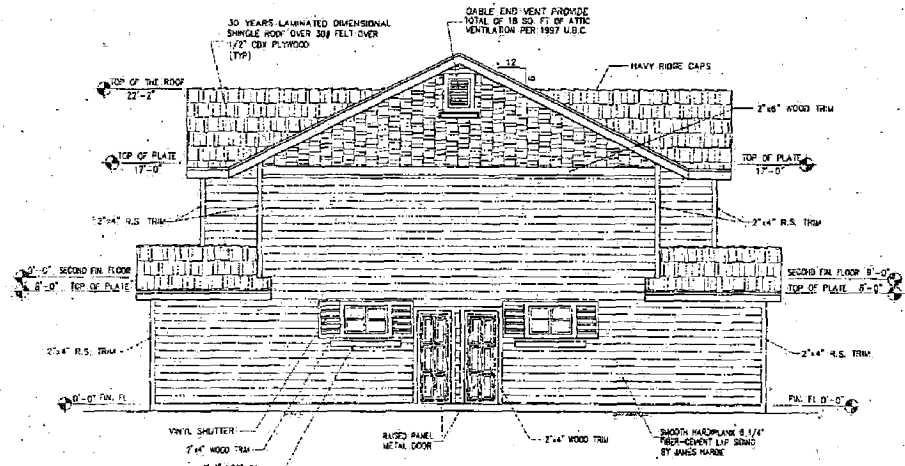
Sincerely,

Ted Kozak
Associate Planner
(916) 808-1944
(916) 264-5328 (FAX)
email: tkozak@cityofsacramento.org

cc: Jeanne Corcoran, Senior Planner

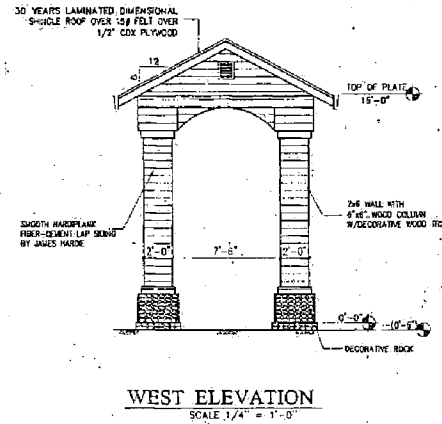
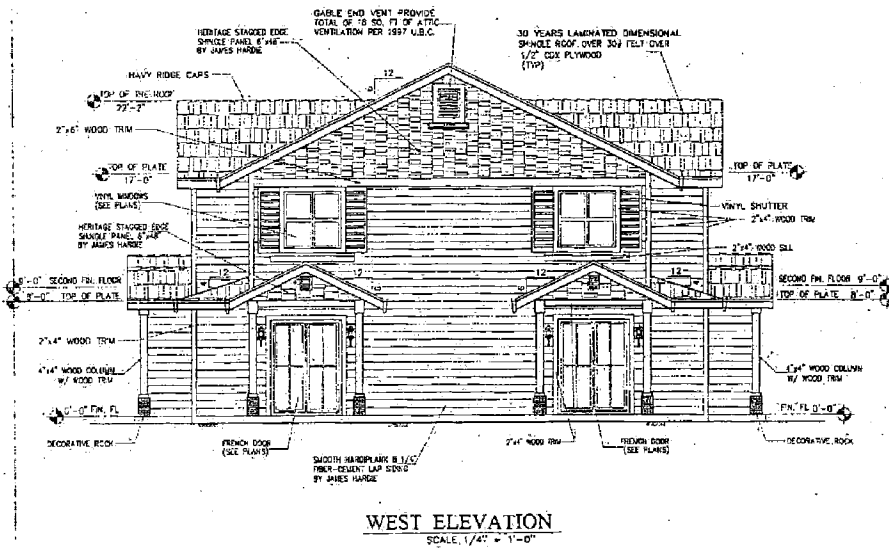
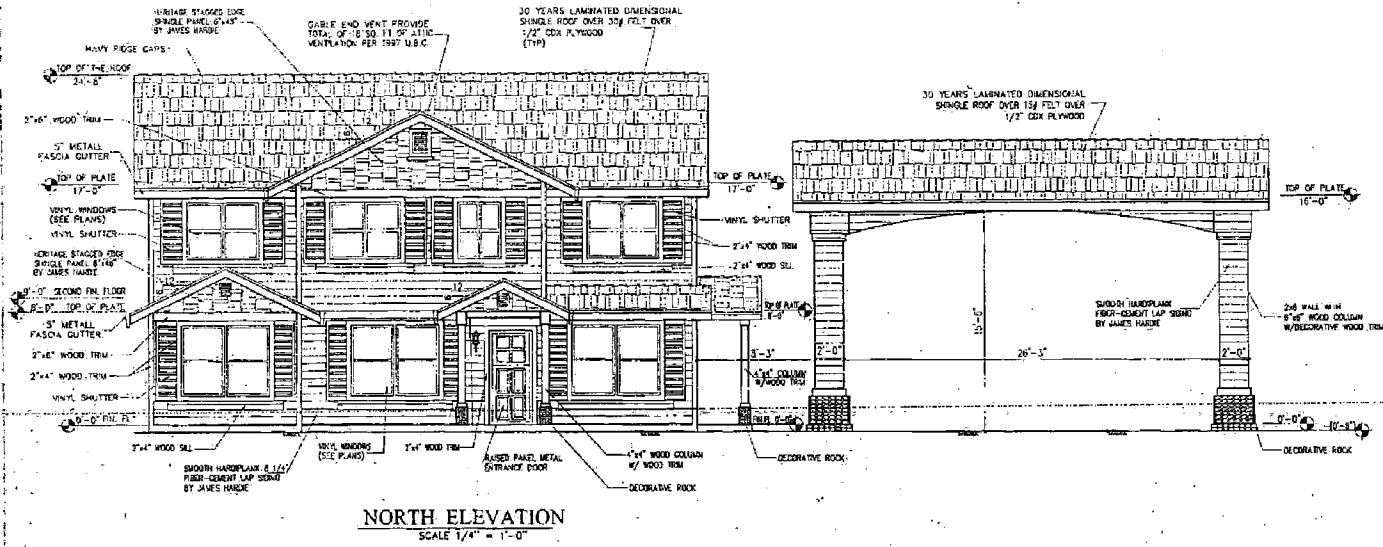


SOUTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"

P04-039
02/24/2004



P04-039

02/24/2004

GENERAL NOTES

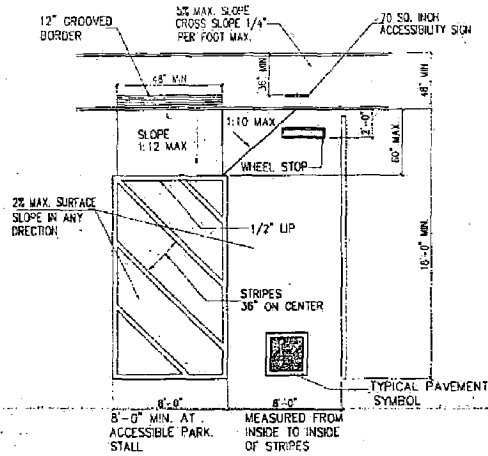
ALL PARKING STALLS SHALL BE STRIPED. PARKING STALLS ADJACENT TO SIDEWALKS, LANDSCAPED AREAS OR LIGHT FIXTURES, AND ALL HANDICAPPED STALLS SHALL BE 7' x 6' RAISED CURB OR CONCRETE.

STANDARD SIZE: 8 FEET x 18 FEET. COMPACT: 8 FEET x 16 FEET. HANDICAPPED ACCESSIBLE: 14 FEET x 18 FEET (A 9' WIDE PARKING AREA PLUS A 5' WIDE LOADING AREA) AND A MINIMUM OF ONE (1) PARKING SPACE SHALL BE HANDICAPPED VAN ACCESSIBLE: 17 FEET x 18 FEET (9' WIDE PARKING AREA PLUS AN 8' WIDE LOADING AREA).

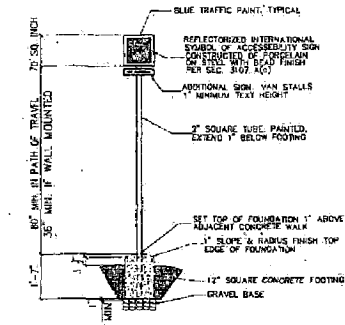
HANDICAPPED PARKING STALLS SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE PRIMARY ENTRANCE TO THE BUILDING. THE TOTAL NUMBER OF ACCESSIBLE PARKING SPACES SHALL BE ESTABLISHED BY TABLE 31A OF THE CALIF. ACCESSIBILITY REGULATIONS (TITLE 24).

HANDICAPPED SPACES AND CROSSWALKS SHALL BE SIGNED, MARKED AND MAINTAINED AS REQUIRED BY TITLE 24 AMENDMENTS OF THE UNIFORM BUILDING CODE.

HANDICAPPED ACCESSIBLE PARKING AND EXTERIOR ROUTE OF TRAVEL SHALL COMPLY WITH THE 1997 CALIF. ACCESSIBILITY REGULATIONS (TITLE 24), SECTIONS 3102A AND 3103A(c).



H.C. PARKING STALL



70 SQ. INCH ACCESSIBILITY SIGN

ALL LETTERING STAINED.

UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES MUST DISPLAY IDENTIFYING PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT: OR BY TELEPHONING:

(BLANK SPACES ARE TO BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN)



MIN. 17'-22" HANDICAP SIGN PER S.B.C. T-24 SECTION 3107 A(c) POST AT ENTRY TO SITE AT MAIN DRIVEWAY

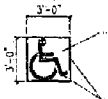
6" BT ABOVE TOP OF PARKING

POST IN CONSPICUOUS PLACE AT ENTRANCE TO OFF STREET PARKING FACILITIES.



NOTES

ALL CONSTRUCTION SHALL COMPLY WITH CALIFORNIA HANDICAP REGULATIONS AND ADA REGULATIONS. MOST CURRENT AND MOST RESTRICTIVE SHALL APPLY.



BLUE TRAFFIC PAINT
WHITE TRAFFIC PAINT

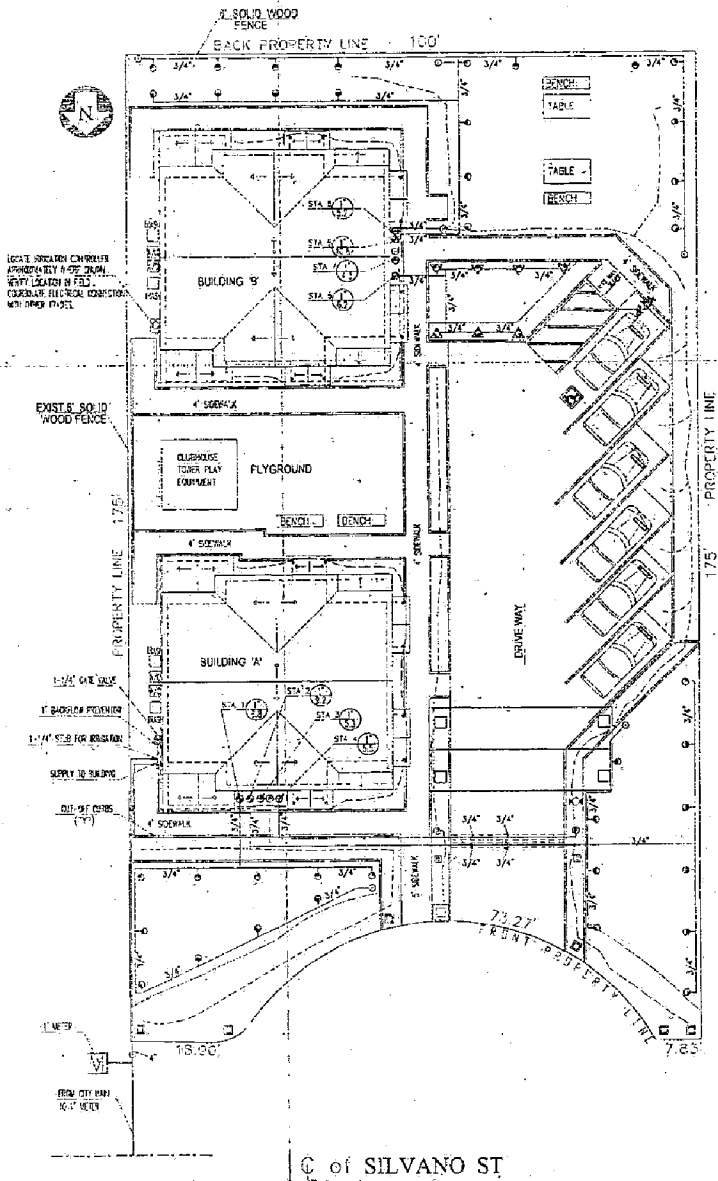
NOTES

1. ALIGN EDGE OF SYMBOL WITH BACK OF PAINTED PARKING STALL LINES.
2. WHITE FIGURE ON BLUE BACKGROUND 724-3107A(c)

INTERNATIONAL SYMBOL

P04-039

02/24/2004

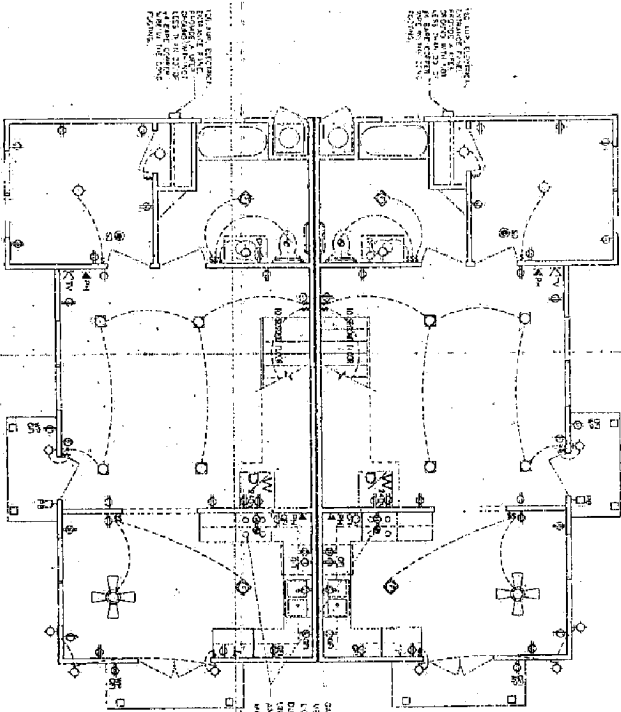


IRRIGATION LEGEND

SYMBOL	DESCRIPTION	MAKE	MODEL	PIPE	P.R.
▽▽▽▽	MAKE	1800-B X	6" POP-UP SPRAY SHROU	AREAS	1.63
○●○●	MAKE	1800-B X	6" POP-UP SPRAY SHROU	AREAS	1.83
M	P.O.C. AT "VETER"				
⊕	RAINBIRD	PCA SERIES	REMOTE CONTROL VALVE	NOTE: FOR FLOWS LESS THAN 10 GPM FLW FLOW CONTROL STEM DOWN TWO FULL TURNS FROM FULLY OPEN POSITION	
⊕	RAINBIRD	DV SERIES	REMOTE CONTROL VALVE WITH RAINBIRD BALL VALVE AND 200 MESH P. LINE W/TE FILTER IN JUNCTION VALVE BOX (SEE DETAIL)		
⊕	RAINBIRD	T03 IRR	1-1/4" GATE VALVE 10" VALVE BOX		
⊕	RAINBIRD	PS-130X	PRESET PRESSURE REGULATOR IN 8" VALVE BOX		
⊕	RAINBIRD	TOTAL CONTROL TC-12 EX-B	EXTERIOR WALL MOUNTED CONTROLLER		
⊕	RAINBIRD	ST501-1	REDUCED PRESSURE BACKFLOW DEVICE		
---	SCH 40 P.V.C. MAINLINE (1-1/4" SIZE)				
---	CLASS 200 P.V.C. LATERAL LINE (SIZE NOTED)				
---	4" SCH 40 P.V.C. SLEEVE				
---	1/2" POLYPROP. DRIP TUBING				
⊕	VALVE SIZE GPM				
<p>DRIP SYSTEM</p> <p>CONNECT 1/2" POLY DRIP TUBING TO P.V.C. LATERAL WITH PRE SET PRESSURE REGULATOR ALL 1/2" POLY DRIP TUBING SHALL BE 4" - 6" BELOW GROUND. 1/4" TUBING TO EMITTERS SHALL NOT BE LESS THAN 10" FROM 1/2" POLY DRIP TUBING. INSTALL 2" OF 1/4" DISTRIBUTION TUBING ON BARBED OUTLET OF EMITTER AND INSTALL RAINBIRD DRIP-015 W/PS-130 G.P. AT END SECURE 1/4" DISTRIBUTION TUBING WITH 1/4" TUBING STAKE AS REQUIRED. SEE DETAILS FOR MORE INFORMATION.</p> <p>EMITTER SCHEDULE</p> <p>EMITTERS: RAINBIRD "MD SERIES" AND "PC SERIES"</p> <p>1 GALLON SHRUBS AND ROUND COVERERS - INSTALL TWO MD-20 (4 GPM TOTAL)</p> <p>4 GALLON SHRUBS - INSTALL TWO PC-03 (10 GPM TOTAL)</p> <p>15 GALLON TREES - INSTALL TWO PC-10 (20 GPM TOTAL)</p> <p>NOTE: EMITTERS SHALL BE PLACED WITHIN 6" OF STEM FOR SHRUBS/ROUND COVER.</p> <p>EXISTING STATIC WATER PRESSURE AT P.O.C. IS ESTIMATED AT 35-42 PSI. THIS SYSTEM HAS BEEN DESIGNED FOR 20-30PSI. IF PRESSURE IS BELOW STATED VALUE, CONTACT LICENSED CONTRACTOR IMMEDIATELY. MAXIMUM FLOW RATE IS 10.0 GPM.</p>					

IRRIGATION NOTES

1. Irrigation plans are diagrammatic, no lines are installed in the hard surface unless installed as crossover or within conduit.
2. Irrigation system shall be installed in conformance with all applicable local codes and ordinances by a license landscape contractor. The landscape contractor shall obtain all necessary permits and pay all required Fees.
3. The landscape contractor prior to work shall check all grades in the field; any grade difference should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the landscape contractor shall assume full responsibility for revisions.
4. The contractor shall verify all existing underground utilities prior to beginning of work. Underground service alert (USA) 1-800-824-2444.
5. The contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the owner, such repairs shall be completed within a reasonable amount of time.
6. Final location of automatic controller and backflow preventer shall be approved by the owner or authorized representative.
7. Electrical power for the automatic controller shall be provided and located by the owners. The final hook-up from the power source to the controller shall be the responsibility of the contractor. Electrical work shall conform to local codes and ordinances.
8. The contractor shall coordinate his work with the general contractor for location and installation of pipe sleeves through walls and under hard surface areas. Irrigation main lines under hard surface areas shall be in pipe conduits. Irrigation pipes laid prior to paving shall be in bedded in sand or fine soft fine of rock material, compaction 90 %.
9. Irrigation lines shall be flushed and pressure tested. Irrigation heads shall be adjusted for over spray on to walks, roadways and buildings. This shall include selecting the best arc to fit the site. Throttle the flow control at each valve to obtain the optimum operation pressure for each system.
10. The contractor shall warrant that the system will be free from defects of workmanship and materials for a period of one year. All repairs necessary shall be made at no cost to the owner.
11. The contractor shall provide the owner with "as-built" septa. The "as built" plan shall be clear and readable, includes all of the revision during construction. Provide the landscape architect with one set of blue line of the "as built".



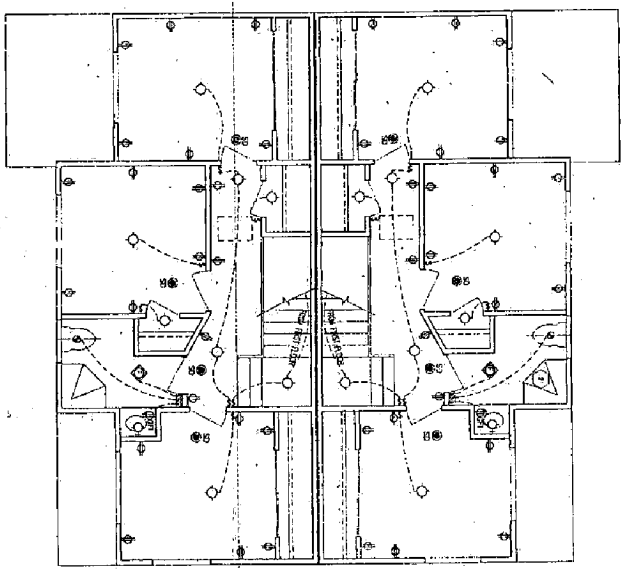
FIRST FLOOR ELECTRICAL PLAN
SCALE 1/8" = 1'-0"

- NOTES**
1. ALL SOURCE DEVICES SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP FOR 1807 U.L.C. SPEC. 100.0.1.1.
 2. CONDUIT WITH THE 1997 NATIONAL ELECTRICAL CODE SECTION 300.4.4 SHALL BE USED FOR ALL CONDUIT RUNS.
 3. CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE 1997 NATIONAL ELECTRICAL CODE SECTION 300.4.4.
 4. CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE 1997 NATIONAL ELECTRICAL CODE SECTION 300.4.4.
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 10. CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE 1997 NATIONAL ELECTRICAL CODE SECTION 300.4.4.

SEE ELECTRICAL CODE FOR ALL OTHER REQUIREMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH THE 1997 NATIONAL ELECTRICAL CODE AND THE 1997 INTERNATIONAL MECHANICAL AND PLUMBING REGULATIONS.

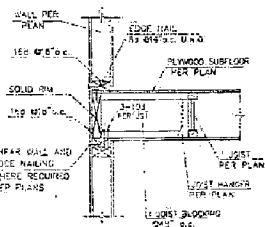
LEGEND

SYMBOL	SYMBOL DEFINITION
⊠	TELEPHONE JACK (NIBED FOR 3 LINES)
⊡	TELEPHONE JACK (CONNECTED TO CABLE)
⊢	SWITCH (WALL MOUNTED)
⊣	120V (NOMINAL) BREAKER RECEPTACLE OUTLET WALL MOUNTED
⊤	APPLIANCE RECEPTACLE OUTLET
⊥	DISHWASHER
⊦	OVEN/RANGE
⊧	FRIDGE/REF. CABINET
⊨	240V (NOMINAL) SHED RECEPTACLE OUTLET WALL MOUNTED
⊩	PROJECT WIND SPEED DETECTOR WITH BATTERY BACKUP (ROUND MOUNTED)
⊪	LIGHT FIXTURE (CEILING MOUNTED)
⊫	LIGHT FIXTURE (WALL MOUNTED)
⊬	UPPER MOUNTED (RECESSED IN CEILING)
⊭	RECESSED
⊮	1. WHITE TRIM 2. INSULATION BATED GATE (SMALL ONLY) 3. TRIM ADJUSTMENT LAMP
⊯	FLUORESCENT LIGHT FIXTURE (CEILING MOUNTED)
⊰	EXHAUST FAN TO OUTSIDE AIR (RECESSED IN CEILING FIVE AIR CHANGES PER HOUR-MINIMUM)
⊱	GROUND-FEEL (SHOCK)-RESISTANT INDICATOR
⊲	WATER PROOF RECEPTACLE OR LIGHT FIXTURE
⊳	WALL SWITCH (WALL MOUNTED)
⊴	SECOND GROUND FAN WITH LIGHT OR FAN BLOWER AND MANUFACTURER'S SPECIFICATIONS

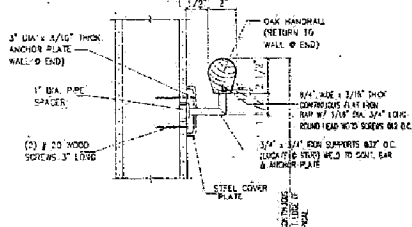


SECOND FLOOR ELECTRICAL PLAN
SCALE 1/8" = 1'-0"

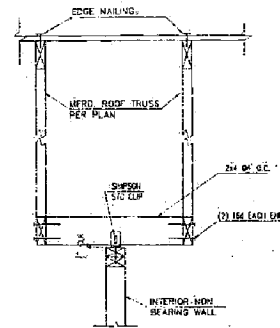
P04-039
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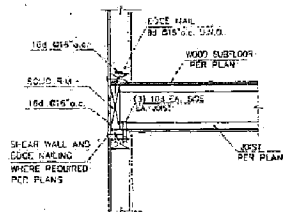
EXTERIOR SHEAR TRANSFER WITH SECOND FLOOR JOISTS PARALLEL TO SHEAR WALL



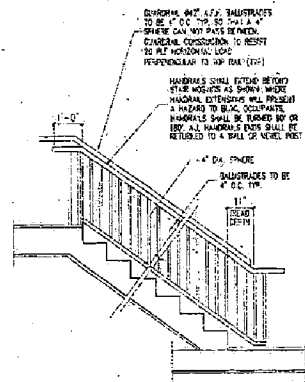
HANDRAIL DETAIL



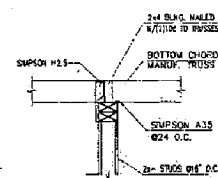
TRUSS @ INT. NON-B'G DETAIL



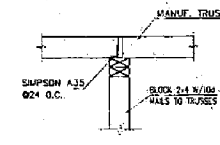
EXTERIOR SHEAR TRANSFER WITH SECOND FLOOR JOISTS PERPENDICULAR TO SHEAR WALL



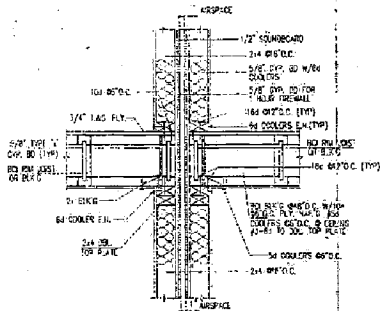
STAIRS DETAIL



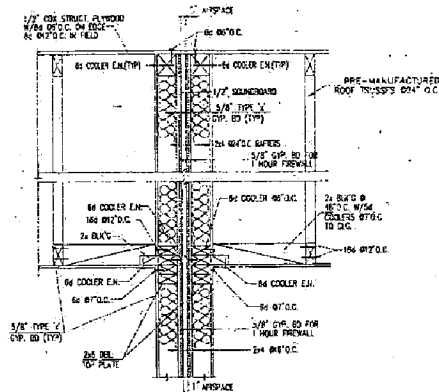
DETAIL 3 TRUSS @ INTERIOR WALL



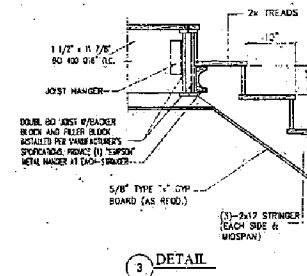
DETAIL 4 TRUSS @ INTERIOR WALL



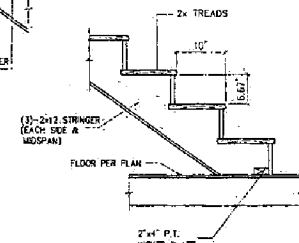
FIREWALL DETAIL



FIREWALL DETAIL A



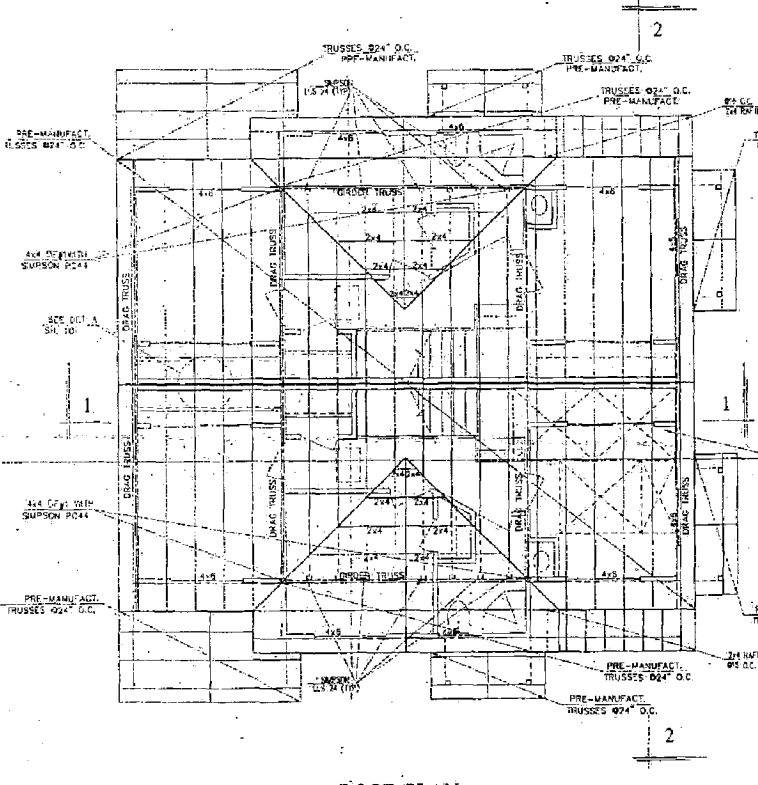
DETAIL 3



DETAIL 2

NOTES

1. COMPLY WITH 1997-IBC, SECTION 1008 AND TABLE No. 10-A-1/2 FOR ALL STAIRWAY CONSTRUCTION.
2. PROVIDE HANDRAILS PER USE, SECTION 1008.5, AND TABLE No. 10-B, ITEM #9.
3. PROVIDE 5/8" TYPE "X" DRYWALL (ONE-HOUR FIRE-RESISTIVE CONSTRUCTION) AT ALL USEABLE ENCLOSED SPACE UNDER STAIRS PER IBC, SECTION 1008.12.
4. MAINTAIN A MINIMUM 8'-0" HEAD CLEARANCE THROUGHOUT PER IBC, SECTION 1008.12.

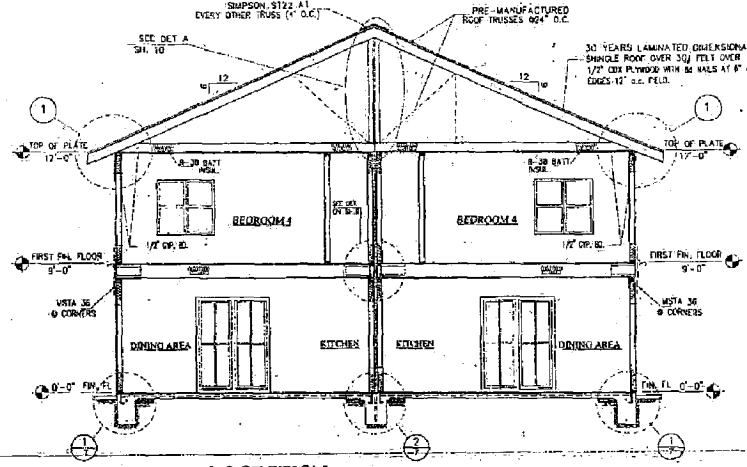


ROOF PLAN
SCALE 1/4" = 1'-0"

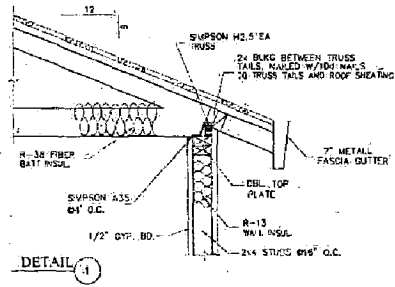
NOTES

1. ALL FRAMING MEMBERS TO BE D.F. #2 OR BETTER.
2. BRACE ROOF FRAMING TO BEARING WALLS ONLY.
3. PROVIDE ATTIC VENTILATION 1/500 OF ATTIC AREA PER U.B.C.
4. PROVIDE 2" x 3" MINIMUM ATTIC SOLITILE TO ATIC WITH 30' MINIMUM CLEAR HEADROOM PER U.S.C.
5. USE PRE-INSULATED @ ALL OVERHANGS, AND IF PLYWOOD IS USED AT OVERHANGS OR JOISTS USE GOR INSULATION GRADE PER U.B.C.
6. TOP HATCHER PILES TO BE 2x6 @ ALL OVERHANGS WHEN NECESSARY.
7. PROVIDE 1" O.G. GUTTERS OVER HATCHER OVER ON FASCIAS.
8. ROOF PITCH = 6/12 (SEE ELEVATIONS SHEET 3 & 4)
9. EAVE OVERHANG = 2'-0" MIN; GABLE OVERHANG = 1'-0"
10. ALL HEADERS SHALL BE #2 DIMENSIONAL S.P. L.A.R.C.H. 2"x6"
11. ORAD TRUSSES TO BE CONNECTED TO SHEAR WALL BY SIMPSON A35 AT 48" O.C.

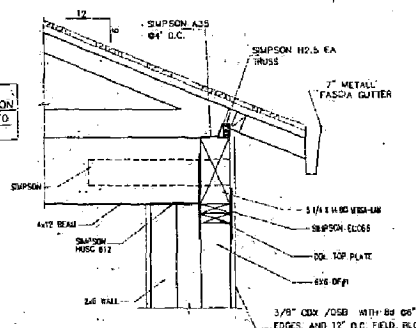
1/2" CDX / OSB NAILED TO FRAMING.
 W/ 1/2" O.G. GUTTERS 12" x 12" x 1/2" FIELD.
 STAGGER ALL END JOINTS AND RUN SHEATHING PERPENDICULAR TO DIRECTION OF FRAMING.



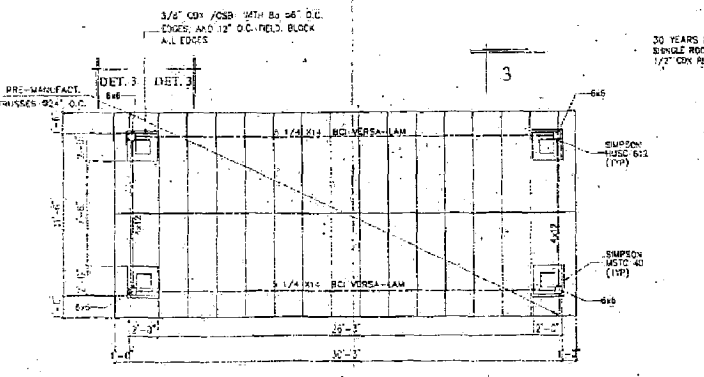
2-2 SECTION SCALE 1/4" = 1'-0"



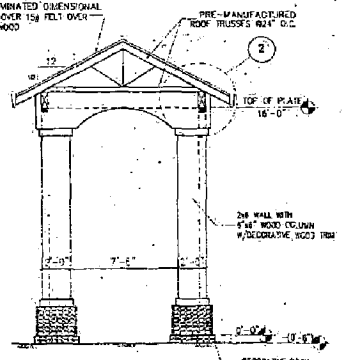
DETAIL 1



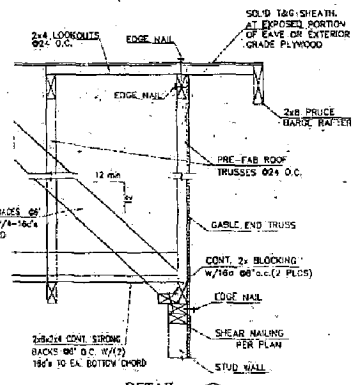
DETAIL 2



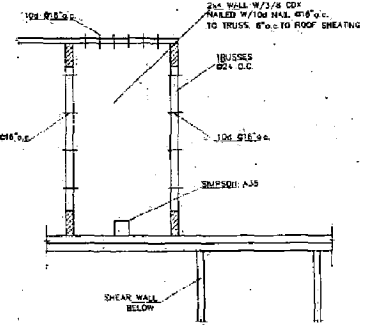
DET. 3



3-3 SECTION SCALE 1/4" = 1'-0"

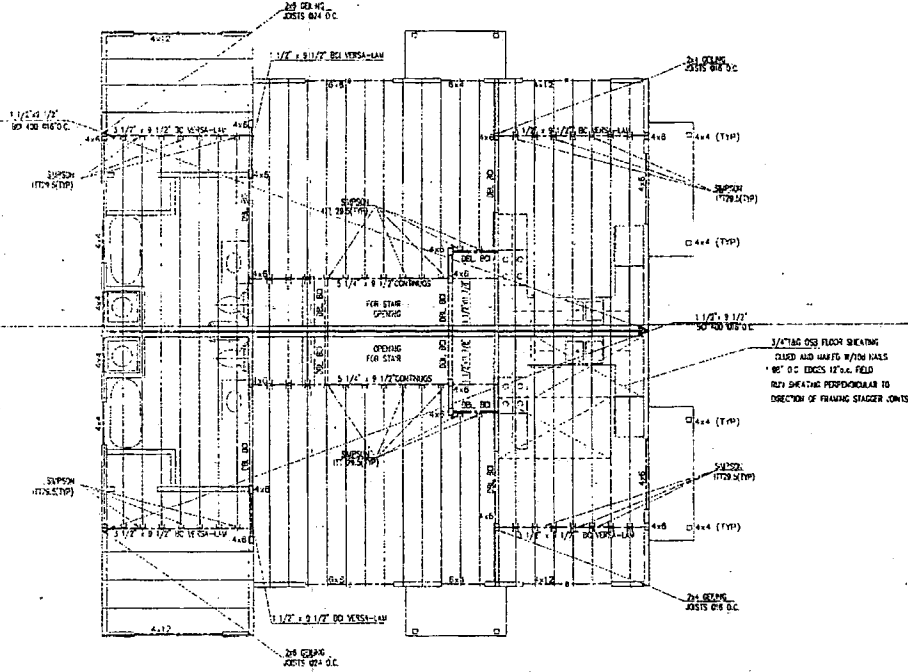


DETAIL TRUSS @ RAKE



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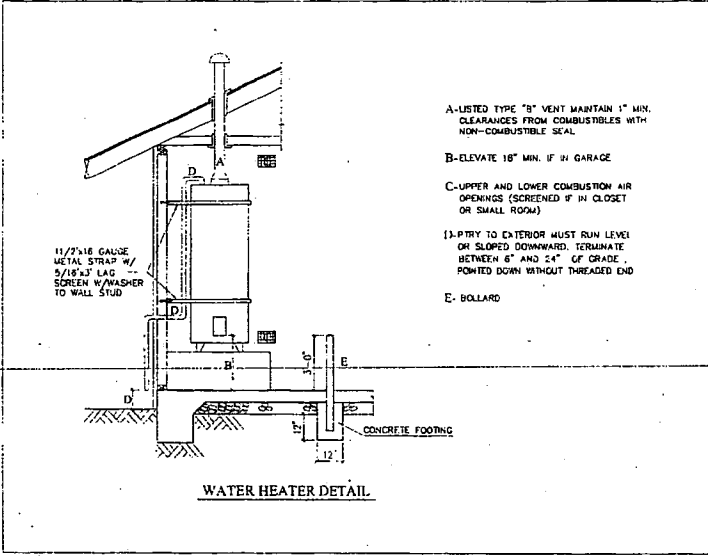
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SECOND FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"

NOTES

- 1. ALL FRAMING MEMBERS TO BE D.F. #2 OR BETTER.
- 2. ALL HEADERS SHALL BE #2 DOUGLAS FIR LARCH, S.W.C.



WATER HEATER DETAIL

A-LISTED TYPE "B" VENT MAINTAIN 1" MIN. CLEARANCES FROM COMBUSTIBLES WITH NON-COMBUSTIBLE SEAL

B-ELEVATE 18" MIN. IF IN GARAGE

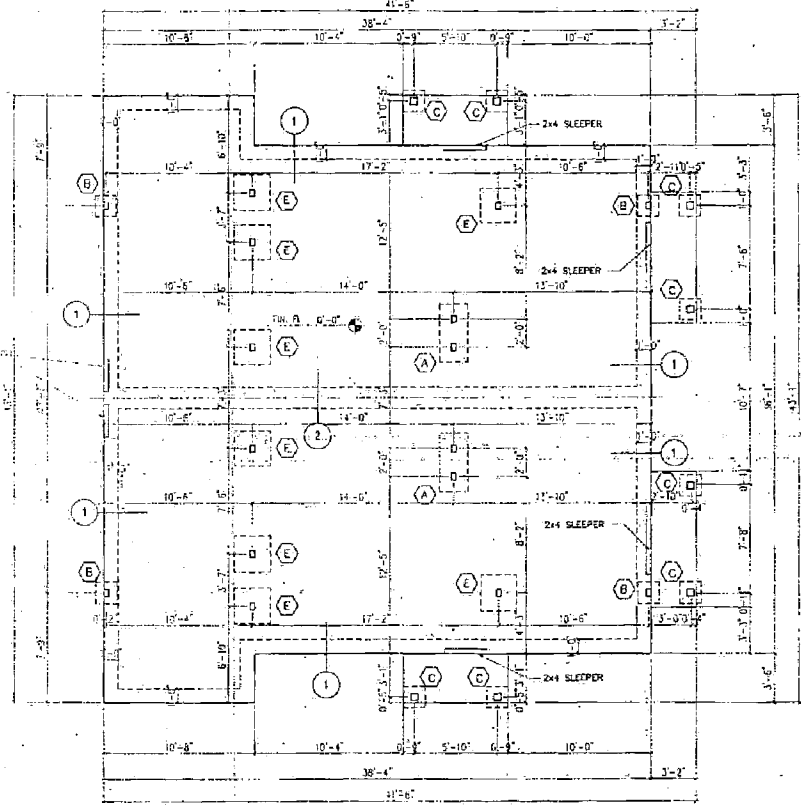
C-UPPER AND LOWER COMBUSTION AIR OPENINGS (SCREENED IF IN CLOSET OR SMALL ROOM)

D-PLY TO EXTERIOR MUST RUN LEVEL OR SLOPED DOWNWARD. TERMINATE BETWEEN 6" AND 24" OF GRADE POINTED DOWN WITHOUT THREADED END

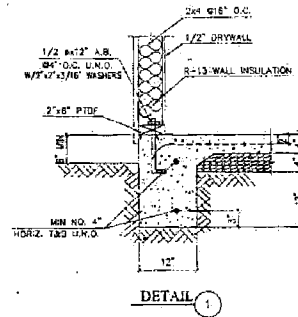
E-BOLLARD

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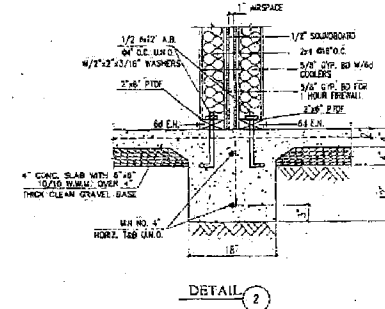
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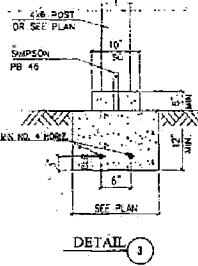
FOUNDATION PLAN scale 1/4" = 1'-0"



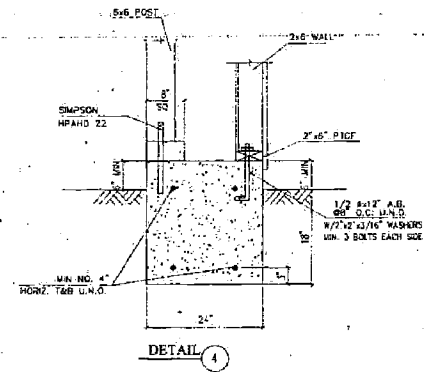
DETAIL 1



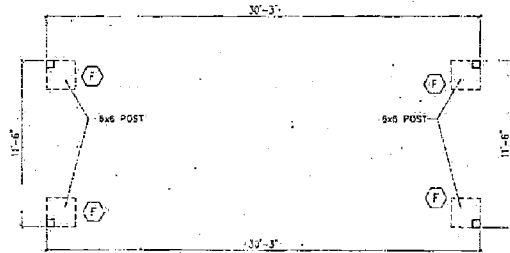
DETAIL 2



DETAIL 3



DETAIL 4



ENTRANCE FOUNDATION PLAN scale 1/4" = 1'-0"

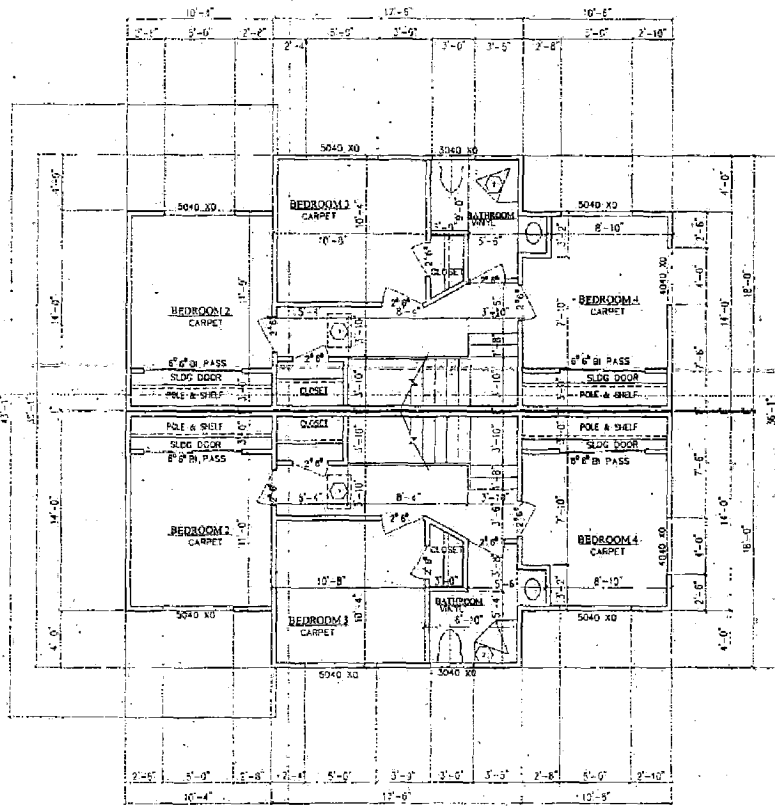
NOTES

1. GARAGE SLAB SHALL BE 4" THICK TYPE 3 CONCRETE WITH #4 @ 18" O.C. MINIMUM OVER 4" THICK CLEAN GRAVEL BASE. ALL CONCRETE SHALL TEST MIN. 2800 P.S.I. AT 28 DAYS.
2. CONTROL JOINTS SHALL BE PLACED AT A MAXIMUM DISTANCE OF 125 FT. O.C. BOTH WAYS AND SHALL BE FORMED WITH "ZIP STRIPS" OR SAW CUTS.
3. SLOPE ALL LANDINGS SUBJECT TO WEATHER AT 1/8" FT. AWAY FROM CURBING.
4. ALL FOUNDATIONS FOR SIG-BEARING WALLS SHALL BE MINIMUM 12" WIDE AND 12" INTO NATURAL GRADE. PER 1987 USC TABLE 10-1-5.
5. ALL HOLD-DOWN ANCHORS AND EMBEDDED ANCHORS MUST BE SECURED IN PLACE (IN FORMS) PRIOR TO FOOTING INSPECTION.
6. ALL FOUNDATION ANCHOR BOLTS SHALL BE NOT LESS THAN 1/2" DIAMETER STEEL EMBEDDED AT LEAST 7" INTO CONCRETE AND SPACED AT NOT MORE THAN 12" O.C. (SUBSECTION 1506.6). UNLESS NOTED OTHERWISE ON THE PLANS.
7. PROVIDE A UPPER DRINKING WITH NOT LESS THAN 20 FEET OF #8 BARE COPPER WIRE IN THE CONCRETE FOOTING.
8. PROVIDE DRAINAGE AND DUMP PROOFING PER U.S.C.
9. PROVIDE A 2" DIAMETER SEWER LINE FROM THE HOUSE TO THE STREET WITH A 2-WAY CLEARANCE AT THE HOUSE.
10. UNLESS NOTED OTHERWISE ON THE PLANS, NO SPECIAL INSPECTION IS REQUIRED FOR FOUNDATION CONCRETE WHEN THE STRUCTURAL DESIGN IS BASED ON AN f'_c GREATER THAN 2500 P.S.I. - PER 1987 SUBSECTION 1701.1.
11. ALL SILL, PLATES, SLEEPERS AND POSTS WHICH REST ON CONCRETE, MUST BE FOUNDATION GRADE REDWOOD OR TREATED.

- A 24" x 48" FTG. MIN 18" INTO NATURAL GRADE W/ #4 REBAR AT 8" O.C. BOTH WAYS 3" CLEAR FROM BOTTOM OF PAD W/S SIMPSON PC 46 SEE DET 1
- B 18" SQ. FTG. MIN 18" INTO NATURAL GRADE W/ #4 REBAR AT 8" O.C. BOTH WAYS 3" CLEAR FROM BOTTOM OF PAD W/S SIMPSON PC 46 SEE DET 3
- C 18" SQ. FTG. MIN 12" INTO NATURAL GRADE W/ #4 REBAR AT 8" O.C. BOTH WAYS 3" CLEAR FROM BOTTOM OF PAD W/S SIMPSON PC 46 SEE DET 3
- D 36" x 36" FTG. MIN 18" INTO NATURAL GRADE W/ #4 REBAR AT 8" O.C. BOTH WAYS 3" CLEAR FROM BOTTOM OF PAD W/S SIMPSON PC 46 SEE DET 3
- E 24" SQ. FTG. MIN 18" INTO NATURAL GRADE W/ #4 REBAR AT 8" O.C. BOTH WAYS 3" CLEAR FROM BOTTOM OF PAD W/S SIMPSON PC 46 SEE DET 3
- F 24" SQ. FTG. MIN 18" INTO NATURAL GRADE W/ #4 REBAR AT 8" O.C. BOTH WAYS 3" CLEAR FROM BOTTOM OF PAD W/S SIMPSON PC 46 SEE DET 3

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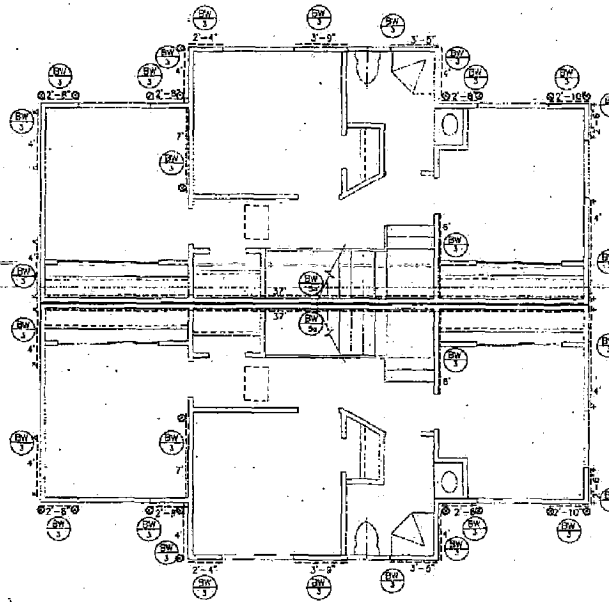
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SECOND FLOOR PLAN SCALE 1/4" = 1'-0"

ADDITIONAL FLOOR PLAN NOTES

- ① 2" x 30" ATIC ACCESS. PROVIDE MINIMUM 30" HEAD CLEARANCE AT ENTRY ABOVE THE ACCESS OPENING. 4" W x 24" WIDE SOLID PLATFORM ACCESS TO FURNACE, A SERVICE RECEPTACLE, A PERMANENT LIGHT WHICH IS SWITCHED AT ATIC ACCESS.
- ② SHOWER WITH 72" HIGH WARDROBE. DIVISION BOARD PER UBC CODE 2502



LATERAL BRACING PLAN SCALE 1/4" = 1'-0"

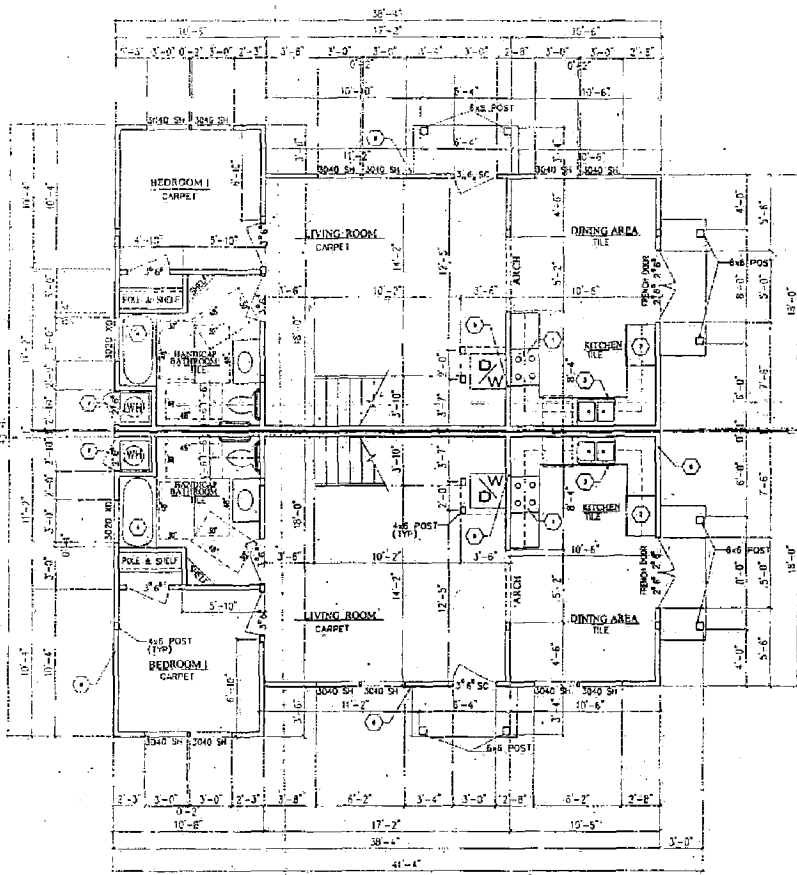
SHEAR WALL SCHEDULE

- ① 3/8" CDX OR OSB SHEATHING FASTEN TO THE FRAME WITH 16# GALVANIZED NAILS AT 6" O.C. EDGES, AND 12" O.C. FIELD

LEGEND

- X SIMPSON CS 16 STRAP
- ⊗ SIMPSON WST 37

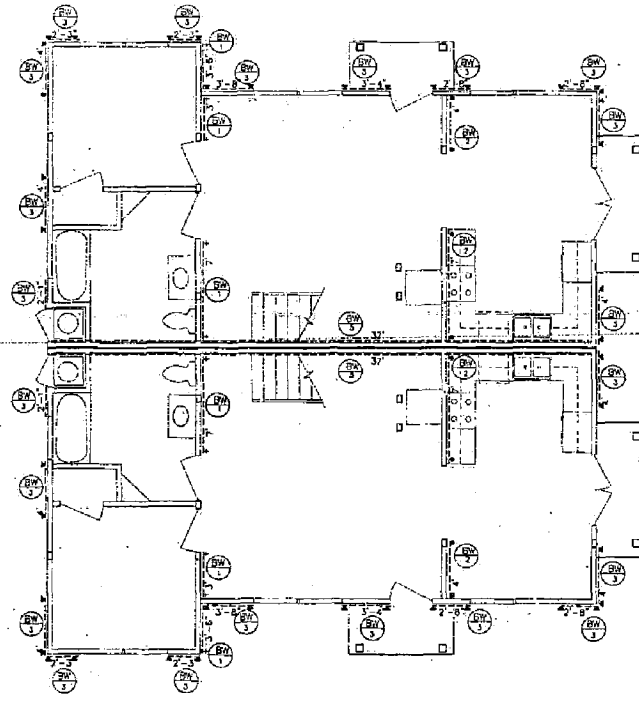
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FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL WINDOWS SHALL BE ORAL GLAZED INSULATING TYPE MIN U-V VALUE SHALL BE 0.60
- PROVIDE R-13 INSULATION AT ALL EXTERIOR WALLS.
- PROVIDE R-38 INSULATION AT CEILINGS OF ALL LIVING AREAS, U.V.C.
- COMPLY WITH U.B.C. SECTION 708 FOR ALL FIRE BLOCKS AND DRAFT STOP REQUIREMENTS. - EXCEPTION: FIRE BLOCK ALL WALLS OVER 10 FEET IN HEIGHT AT WALL MIDHEIGHT. BLOCKING SHALL NOT EXCEED 10 FT. INTERVALS.
- WHERE FIRE-RESISTIVE CONSTRUCTION REQUIRES PENETRATION, COMPLY WITH U.B.C. SECTIONS 703.6, 705.7, 710.2, AND 710.3.
- INSTALL BACKDRAFT DAMPERS PER TITLE 24.
- PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT A/R.C. ACCESS.
- PROVIDE R-4 INSULATION AT WATER HEATER ON FIRST FIVE FEET OF PIPING.
- PROVIDE METAL SECTIONAL OVERHEAD GARAGE DOORS AND PRE-WIRE FOR ELECT. GARAGE DOOR OPENER. USE STEEL ELECTRODES IN FIRE RATED CLOS.
- REFERENCED PUBLICATIONS FOR THIS PROJECT ARE: 1997 U.B.C., 1997 U.M.C., 1997 U.P.C., AND 1995 N.E.C., AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.
- TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL.
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES.
- 4" MIN. DIAMETER MOISTURE EXHAUST DUCTS FOR DOMESTIC CLOTHES DRYERS SHALL BE: MADE OF METAL, HAVE SMOOTH INTERIOR SURFACES, TERMINATE ON THE OUTSIDE OF THE BUILDING, AND BE EQUIPPED WITH A BACK-DRAFT DAMPER. (U.M.C. SEC. 504). THE EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 34', INCLUDING TWO 90° ELBOWS.
- PROVIDE NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS.
- WATER CLOSURES SHALL HAVE NOT MORE THAN 1.5 GALLONS/MINUTE FLOW RATE.
- SHOWER HEADS SHALL HAVE NOT MORE THAN 2.5 GALLONS/MINUTE FLOW RATE.
- LAVATORY OR KITCHEN FAUCETS NOT TO EXCEED 2.2 GAL./MIN. FLOW RATE.
- PROVIDE AIR GAP AT DISH WASHER.
- WATER PRESSURE TEST REQUIRED AT FRAME, NOT TO EXCEED 20 P.S.I.
- #10 TRACER WIRE REQUIRED ON WATER SERVICE.
- PROVIDE INSPECTOR WITH MFG. INSTALLATION INSTRUCTIONS AT FRAMING INSPECTION.
- PROVIDE INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION.



LATERAL BRACING PLAN SCALE: 1/4" = 1'-0"

ADDITIONAL FLOOR PLAN NOTES

- GAS RANGE/OVEN UNIT WITH A METAL HOOD, EXHAUST FAN, LIGHT, AND 7" DIA. VENTILATION DUCT TO OUTSIDE. A/R INSTALL, UNIT AND VENT PER UNIFORM MECHANICAL CODE AND PER MANUFACTURER'S SPECIFICATIONS.
- REFRIGERATOR SPACE. PROVIDE A PLUMBING STUB-OUT WITH SHUT-OFF VALVE FOR ICEMAKER.
- DOUBLE SINK WITH GARBAGE DISPOSAL. INSTALL PER U.P.C. AND MANUFACTURER'S SPECIFICATIONS.
- 60" x 30" TUB AND SHOWER WITH 72" HIGH NONABSORBENT WAINSCOT AND CURTAIN ROD. PROVIDE WATER-RESISTANT DRYSPIN BOARD PER UBC SEC. 807.
- PROVIDE CLOTHES DRYER MOISTURE EXHAUST DUCT TO OUTSIDE AIR. INSTALL PER UNIFORM MECH. CODE.
- BEARING AND EXTERIOR WALL FRAMING SHALL BE MIN. 2" x 4" STUDS SPACED AT NOT MORE THAN 16" O.C. - DISEL TOP UNO. PLATES SHALL BE #2-OF-1. ALL WALL FRAMING SHALL CONFORM TO U.B.C. SECTION 2320.11, U.N.C.
- GAS WATER HEATER WITH RELIEF VALVE AND EXHAUST DRAIN TO EXTERIOR ALL ATOP AN 18" HIGH PLYWOOD PLATFORM. PROVIDE SEISMIC STRAPS ON THE WATER HEATER AT POINTS WITHIN THE UPPER AND LOWER ONE THIRD OF ITS VERTICAL DIMENSION. THE LOWER STRAP SHALL BE LOCATED TO MAINTAIN A MINIMUM DISTANCE ABOVE THE CONTROLS.

LEGEND

- ▲ SIMPSON HP4HD 22 NAILED TO MIN. 4x4 POST.
- ⊕ SIMPSON HD 2A WITH UN. 4x4 POST W/SS18 20'
- SIMPSON HD 5A WITH UN. 4x4 POST W/SS18 24'

SHEAR WALL SCHEDULE

- 3/8" CDX OR OSB SHEATHING FASTEN TO THE FRAME WITH 8d GALVANIZED NAILS AT 4" O.C. EDGES, AND 12" O.C. FIELD.
- 3/8" CDX OR OSB SHEATHING W/8d NAILS AT 3" O.C. EDGES 12" O.C. FIELD. MEMBERS RECEIVING EDGE NAILING INCLUDING SILL PLATE SHALL BE MIN 3-X NOMINAL SIZE.
- 3/8" CDX OR OSB SHEATHING FASTEN TO THE FRAME WITH 8d GALVANIZED NAILS AT 8" O.C. EDGES, AND 12" O.C. FIELD.
- 1/2" OSB WALL BOARD, ONE FACE OF WALL FASTEN TO THE FRAME WITH 5d WALL BOARD NAILS AT 7" O.C. NOTE: WITH 5/8" GYP. WALLBOARD, USE 6d WALLBOARD NAILS AT 7" O.C.
- 1/2" OSB WALLBOARD, TWO FACES OF WALL FASTEN TO THE FRAME WITH 5d WALL BOARD NAILS AT 7" O.C. NOTE: WITH 5/8" GYP. WALLBOARD, USE 6d WALLBOARD NAILS AT 7" O.C. BLOCK ALL EDGES.
- SIMPSON HP4HD 22 TO CONG TO 4 X 4 STUDS. INSTALL PER MANUFACTURER SPECIFICATION. 3/8" CDX OR OSB SHEATHING. FASTEN TO THE FRAME WITH 8d GALVANIZED NAILS AT 6" O.C. EDGES, AND 12" O.C. FIELD.
- SIMPSON HD 2A TO CONG TO 4 X 4 STUDS WITH SS18 20'
- SIMPSON HD 5A TO CONG TO 4 X 6 STUDS WITH SS18 34'
- SIMPSON HD 6A TO CONG TO 4 X 6 STUDS WITH SS18 34'

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