



**CITY OF SACRAMENTO
CALIFORNIA**

PLANNING AND BUILDING
DEPARTMENT
(916) 264-5381

1231 I STREET
ROOM 300
SACRAMENTO, CA 95814-2998

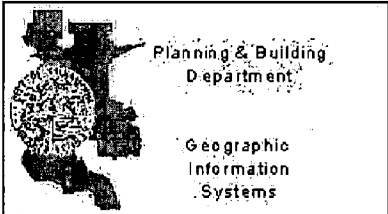
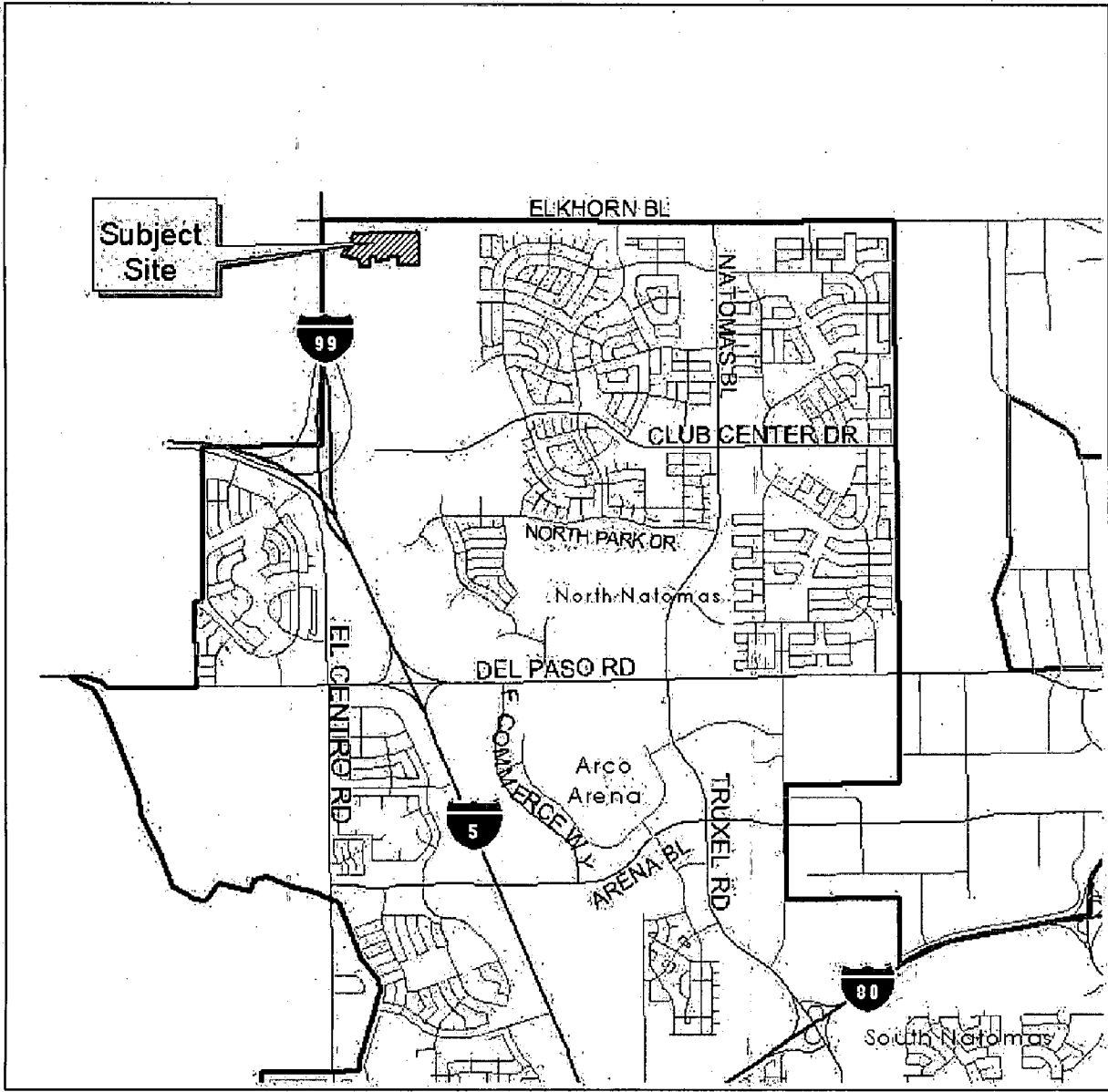
ACTION OF THE PLANNING DIRECTOR

On May 20, 2004, the Planning Director approved with conditions a special permit for four house plans on 128 lots and a model home complex for the project known as Sterling Hills at Natomas Creek in the Natomas Creek PUD (P04-037). Findings of Fact and conditions of approval for the project are listed on pages 5 through 8.

Request: **A. Planning Director's Special Permit** for four house plans on 128 lots at Sterling Hills at Natomas Creek
 B. Model Home Complex for four model homes, sales office and parking lot

Location: Southwest of Elkhorn Boulevard and East Commerce Way
 Sterling Hills at Natomas Creek in the Natomas Creek PUD
 APN: 201-0300-026, -029
 North Natomas Community Plan
 Rio Linda Union School District, Grant Joint Union High School District
 Council District 1

APPLICANT:	Cori Van Dyck, (916) 965-2200 x242 D.R. Horton 4401 Hazel Avenue, Suite 225, Fair Oaks, CA 95628
OWNER:	D.R. Horton 4401 Hazel Avenue, Suite 225, Fair Oaks, CA 95628
PLANS BY <i>(optional)</i> :	Bloodgood Sharp Buster (BSB) Architects 1117 Windfield Way, Suite 110, El Dorado Hills, CA 95762
APPLICATION FILED:	February 20, 2004
APPLICATION COMPLETED:	May 6, 2004
STAFF CONTACT:	David Hung, (916) 808-5530



Planning & Building
Department

Geographic
Information
Systems

April 12, 2004

Vicinity Map
P04-037
Sterling Hills
at Natomas Creek



PROJECT INFORMATION:

General Plan Designation: Low Density Residential (4-15 du/na)
Community Plan Designation: Low Density Residential (3-10 du/na)
Existing Land Use of Site: Vacant
Existing Zoning of Site: Standard Single-Family (R-1) Planned Unit Development (PUD)
Subdivision & Village: Sterling Hills at Natomas Creek (Lots 3001-3098, 3104-3109, 1082-1100, 1127-1131) in Natomas Creek PUD
Property Area: 28± gross acres
Square Footage of Buildings: 2,166 to 3,306 square feet

House Plan	Square Footage	Elevations
Plan 1	2,166	Spanish, Italian, French
Plan 2	2,292	Spanish, Italian, French
Plan 3	2,907	Spanish, Italian, French
Plan 4	3,306	Spanish, Italian, French

Height of Building: One story (Plans 1 & 2), two stories (Plans 3 & 4)
Exterior Building Materials: Stucco, stucco trim
Roof Materials: Concrete tile
Previous Files: P98-041
Project Plans: See Exhibits 1 through 15

ADDITIONAL INFORMATION:

This is a Planning Director's Special Permit (PDSP) approval to develop four house plans on 128 lots along with a model home complex in Sterling Hills at Natomas Creek in the Natomas Creek Planned Unit Development. After the above approval, a building permit will be required prior to the construction of the residential development.

PROJECT EVALUATION:

House Plan	Level of Compliance	Comments
Plan 1	Non-Compliant	Split-garage without mitigation
Plan 1 (Suite Option)	Compliant	Living area in front of forward facing garage
Plan 2	Compliant	Living area in front of forward facing garage
Plan 3	Compliant	Living area in front of forward facing garage
Plan 4	Compliant	Living area in front of forward facing garage

Staff finds that generally the proposed house plans comply with all applicable General Plan, Community Plan, Zoning Ordinance requirements, Natomas Creek PUD Guidelines, and that they

generally meet the intent of the Single Family Residential Design Guidelines. The proposed model home complex shall be built as specified under the Conditions of Approval.

ENVIRONMENTAL DETERMINATION:

On September 28, 1999, the City Council adopted the Negative Declaration and Mitigation Monitoring Plan for the original project (P98-041). Potentially significant environmental issues regarding Air Quality, Animal Life, Noise, Transportation/Circulation, Human Health and Cultural Resources were discussed and mitigated in this document. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. The Adopted Negative Declaration adequately described the effects of the proposed development. The analyses and mitigation measures in the adopted Negative Declaration are reaffirmed. Section 15162 of the California Environmental Quality Act Guidelines provides that an additional Negative Declaration (or Environmental Impact Report) need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan was prepared for the mitigation measures identified in the previous Negative Declaration. The applicant shall comply with the Mitigation Monitoring Plan, when applicable to the proposed project.

NEIGHBORHOOD/AGENCY COMMENTS:

The applicant mailed a public notice to adjacent property owners on January 12, 2004. No comments have been received from the public notice.

The Natomas Community Association (NCA) has reviewed the project plans on December 10, 2003 and had the following comments: *(Staff comments are in italics.)*

1. Color schemes for at least one project (Sterling?) are varied and we preferred them to the other project schemes that seemed to be based on off-white and gray.
2. It is nice to see that most of the floor plans have front porches and living-rooms or dining-rooms at the front of the house providing a view of street activity.
3. Both side elevations on Sterling Hills plan 3 have large expanses without architectural features. This plan should not be located on corner lots unless the elevations are improved to provide interest, e.g. add double-hung or sliding windows, clerestory windows, and under-cabinet window as needed. *Project is conditioned to provide enhanced side and rear elevations whenever either of those elevations faces a public street, school, park, canal, or other public space.*
4. "Typical Production Home Landscape Plans" should identify the acceptable street trees.
5. It appears that trees numbered 13-16 are provided as garden trees. We suggest deleting the magnolia grandiflora from the list unless it is identified for use only on north- and east-facing locations and not within the P.U.E. Also delete Ulmas Parvifolia from garden list and place it on street tree list.
6. It is important to provide convenient pedestrian access to the open space along SR-99 and Elkhorn Boulevard. *Project is conditioned to provide pedestrian access on 'C' Court, 'E' Court and 'G' Court to the open space buffer on the south side of Elkhorn Boulevard.*
7. Are homes on the western edge of the subdivision facing a wall? There should be a significant landscaped space between the street and the wall, while maintaining the 100-foot wide open space between the freeway and the wall.

Kern Schumacher, the property owner of Natomas Creek PUD, has reviewed and approved the project plans for Sterling Hills as stated on a letter dated February 11, 2004 from the Law Offices of Gregory D. Thatch, attached as Exhibit 16.

CONDITIONS OF APPROVAL:

A: Planning Director's Special Permit for 128 residential units is approved subject to the following conditions:

- A1. Plans shall be consistent with elevations attached in Exhibits 3 through 6.
- A2. All of the house plans submitted and approved with this PDSP application shall be actively marketed and offered for sale within the subdivision/village(s) covered by this approval (P04-037).
- A3. Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.
- A4. Two plot plans consistent with the approved Final Map (P98-041) shall be submitted to Building Division demonstrating compliance with setbacks, and lot coverage (including the use of allowances/incentives as specified in the PUD Guidelines) for all lots included in this approval. All building elevations shall demonstrate compliance with roof pitch and enhancement requirements as specified in the Natomas Creek PUD Guidelines.

Required Setbacks (for Low Density Residential - Traditional Lots):

- Front: 12'-6" minimum to front of porch or house
20'-0" minimum to front of garage
- Side: 5'-0" minimum on each side (with the exception of zero-lot line conditions, which shall be 5'-0" and 0")
- Side Street: 12'-6" minimum
- Rear: 15'-0" minimum

Lot Coverage: The lot coverage shall not exceed 45 percent for single story homes and 40 percent for two story homes, given allowances/incentives described in the Natomas Creek PUD Guidelines (P98-041).

- A5. Enhanced side and rear elevations shall be required whenever either of those elevations faces a public street, school, park, canal, or other public space. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house, or other appropriate door and window trim features; and a four foot return of materials on the side or rear elevations, as appropriate. On enhanced side and rear elevations, window treatments, rooflines, and materials shall match front facade in appearance and quality. All enhanced elevation treatments shall be shown on the plans submitted for building permit.
- A6. All windows on enhanced side and rear elevations for all house plans on this application shall have grid pattern to match the respective front elevations.
- A7. Roofing shall be as shown on plans.

- A8. Prior to building permit issuance for lots with zero lot lines, the applicant shall enter into and record an Agreement for Conveyance of Easements with the City stating that a five (5) foot private access and maintenance easement shall be conveyed to and reserved for the lot adjacent to the zero lot line, at no cost, at the time of sale or other conveyance of either parcel.
- A9. No two house plans shall be placed on adjacent lots, unless they are of different elevations. Applicant shall provide to the Building Division a map that indicates plan and elevation on adjacent lots.
- A10. On corner lots, the driveway shall be located away from the intersections of streets.
- A11. On corner lots, fencing shall start at or near the rear corner of the house or acceptable to the Planning Director.
- A12. The applicant shall comply with the Natomas Creek TSMAC Plan for residential development.
- A13. Install an average of two 15-gallon trees along the street frontage of each unit. In addition, along side yards adjacent to public streets, install an average of one 15-gallon tree for each 30' of street frontage.
- A14. Front landscaping and irrigation system shall be provided and consistent with the Natomas Creek PUD Guidelines.
- A15. On corner lots, the builder shall provide special landscaping treatments by providing accent trees and shrubs along the side yard fence.
- A16. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.
- A17. Walls and fences shall be consistent with the PUD Guidelines and shall conform to City standards for sight line requirements at intersections and driveways.
- A18. Driveways shall comply with maximum paved area as permitted in the PUD Guidelines and Title 17 of the City Code.
- A19. Garages: Each house shall provide at least one garage space with minimum inside dimensions of 10 wide by 20 feet long, as required by Title 17 of the City Code.
- A20. Provide pedestrian access on 'C' Court, 'E' Court and 'G' Court to the open space buffer on the south side of Elkhorn Boulevard.
- A21. The applicant shall comply with the originally approved Mitigation Monitoring Plan (P98-041) on file at the Planning Division.
- A22. Prior to the issuance of the 150th building permit for the project known as Sterling Hills (P04-037), or the first certificate of occupancy or the final permit of said project, whichever comes first, the applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project to an existing

parcs maintenance district. The applicant shall pay all city fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood parks maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the costs will be spread based upon a hearing report which specifies the tax rate and method of apportionment.

A23. This approval is for 128 lots within Sterling Hills at Natomas Creek. Any increase in the number of lots or any modification to the location of the lots specified for these house plans shall be reviewed by the Planning Director and may require additional entitlements.

A24. The applicant shall obtain all necessary building permits prior to commencement of construction; and building permits shall not be issued unless the Final Map has been approved.

B. Model Home Complex is approved subject to the following conditions:

B1. The four model homes and a parking lot on Lots 1082, 1083, 1084, 1085, 1086 shall be consistent with attached Exhibits 8 through 15. A sales office will be situated in the Plan 1 model home on Lot 1083.

B2. All model homes shall comply with the requirements for Natomas Creek PUD and the conditions per the respective PDSP application (P04-037), inclusive of lot coverage, height and setback requirements; the lot coverage shall not exceed 45 percent for single story homes and 40 percent for two story homes, given allowances/incentives described in the Natomas Creek PUD Guidelines (P98-041). All permanent accessory structures, including trellises, shall meet height, setback and lot coverage requirements per the Zoning Ordinance; no portion of any accessory structure shall extend across property lines.

B3. Parking area shall be paved to the standards in Section 17.68.020(A) of the Zoning Code. No gravel lots will be allowed. A four foot landscaped planter is required if the parking area is adjacent to the public right-of-way.

B4. Trap Fence shall not be located within the public right of way such as sidewalk and roadway.

B5. Upon expiration of this permit, or upon completion of the use of the model homes for display, whichever happens first, the trap fence, trap walk, paved parking area, any signage, temporary landscaping and temporary outdoor fixtures or structures (including trellis and planters) shall be removed; the sales office shall be restored to a garage and driveways for each home shall be built.

B6. In compliance with the drought tolerant landscaping requirement for model home complexes of three or more models, a Water Conservation Landscape and Irrigation plan has been submitted and approved by the City Landscape Architect on May 13, 2004. The model home on Lot 1084 will be drought tolerant.

B7. Per City Landscape Architect, install additional water conservation sign in the rear yard of drought tolerant Lot 1084.

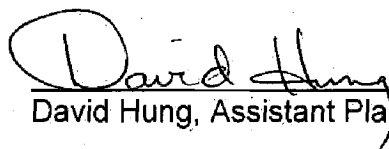
B8. All necessary building permits and sign permits shall be obtained for construction.

- B9. The model home complex/temporary sales office permit shall be valid for two years from the date of its issuance. The zoning administrator may renew the permit for up to additional one-year periods upon written application at least 30 days prior to expiration.

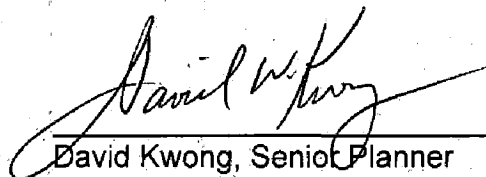
FINDINGS OF FACT:

1. The project is based upon sound principles of land use in that the site is designated single family residential and the project to be developed consists of single-family homes.
2. The proposed development will not be detrimental to the public health, safety or welfare in that the residential development is consistent with the adopted PUD Guidelines and Schematic Plans for Natomas Creek and will comply with the required setbacks, height and lot coverage.
3. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
 - a. The project complies with the land use designations;
 - b. The project complies with density and open space proximity requirements of the North Natomas Community Plan;
 - c. The project continues to fulfill the North Natomas Community plan of providing neighborhoods that are focused on an elementary school, provides for a variety of housing densities and types with commercial, civic, transit and park uses in close proximity.
 - d. The project advances transportation and air quality goals.

Prepared By:


David Hung, Assistant Planner

Approved By:


David Kwong, Senior Planner

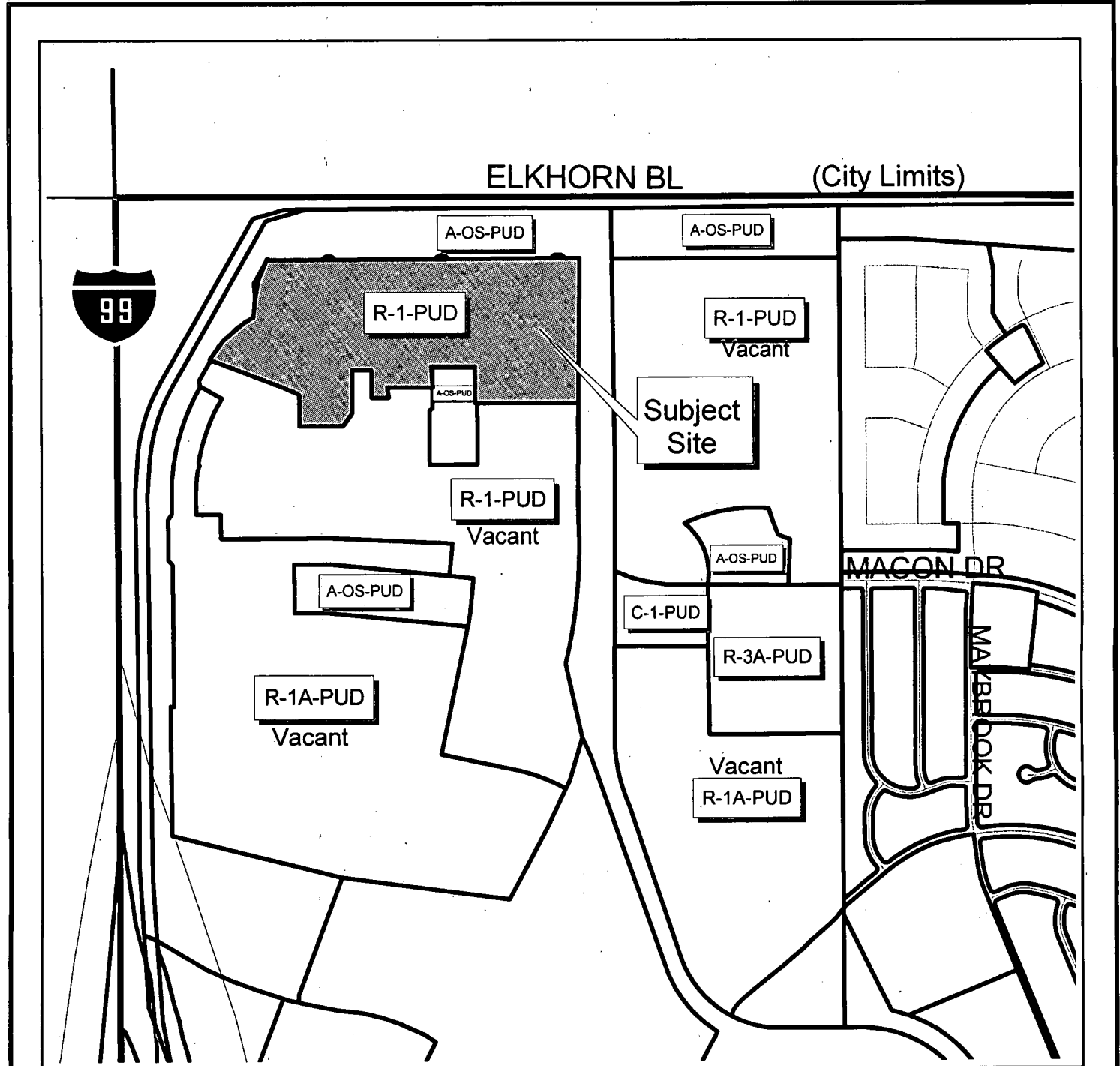
- Attachments:
- Land Use and Zoning Map
 - Exhibit 1: Site Plan – Natomas Creek Villages 1 to 3
 - Exhibit 2: Site Plan – Sterling Hills
 - Exhibit 3: Corner Lot and Interior Lot Layouts – Plans 1 to 4
 - Exhibit 4: Floor Plan & Elevations (A), (B), (C) – Plan 1
 - Exhibit 5: Floor Plan & Elevations (A), (B), (C) – Plan 2
 - Exhibit 6: Floor Plan & Elevations (A), (B), (C) – Plan 3
 - Exhibit 7: Floor Plan & Elevations (A), (B), (C) – Plan 4
 - Exhibit 8: Model Homes Staking and Paving Plan
 - Exhibit 9: Model Homes Tree Planting Plan
 - Exhibit 10: Sprinkler Irrigation Plan, Schedule and Calculations
 - Exhibit 11: Planting Details
 - Exhibit 12: Sprinkler Irrigation Details
 - Exhibit 13: Trellis and Wood Screen Details
 - Exhibit 14: Fountain and Seat Walls Details
 - Exhibit 15: Landscape and Irrigation Specification
 - Exhibit 16: Natomas Creek PUD Approval Letter
 - Exhibit 17: Letter of Agreement

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

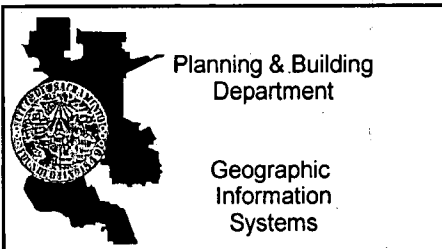
The decision of the Planning Director may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Planning Director's decision. If an appeal is not filed, the action of the Planning Director's decision is final.

cc: File
Applicant
Development Services - Building Division
PUD Binder

Land Use & Zoning Map



0 500 1000 1500 2000 2500 3000 Feet



February 25, 2004

Land Use & Zoning Map
P04-037
Sterling Hills at Natomas Creek



Exhibit 1: Site Plan -
Natomas Creek Villages 1-3

ILLUSTRATIVE MAP NATOMAS CREEK

CITY OF SACRAMENTO, CALIFORNIA
JUNE 24, 2003

ELKHORN BOULEVARD

Village 3
Low Density
Residential
24.359± Ac.
109 - 65'x100' (TYP.) Lots

Lot B
Freeway Buffer
6.004± Ac.

Village 1
Low Density
Residential
53.153± Ac.
14 - 45'x100' (TYP.) Lots
243 - 55'x100' (TYP.) Lots
24 - 65'x100' (TYP.) Lots

Village 2
Low Density
Residential
15.249± Ac.
100 - 45'x100' (TYP.) Lots

Lot F
Canal
6.174± Ac.

Lot A
Open Space
9.032± Ac.

Lot C
Park
2.33± Ac.

Lot D
Park
4.014± Ac.

Lot E
School
9.951± Ac.

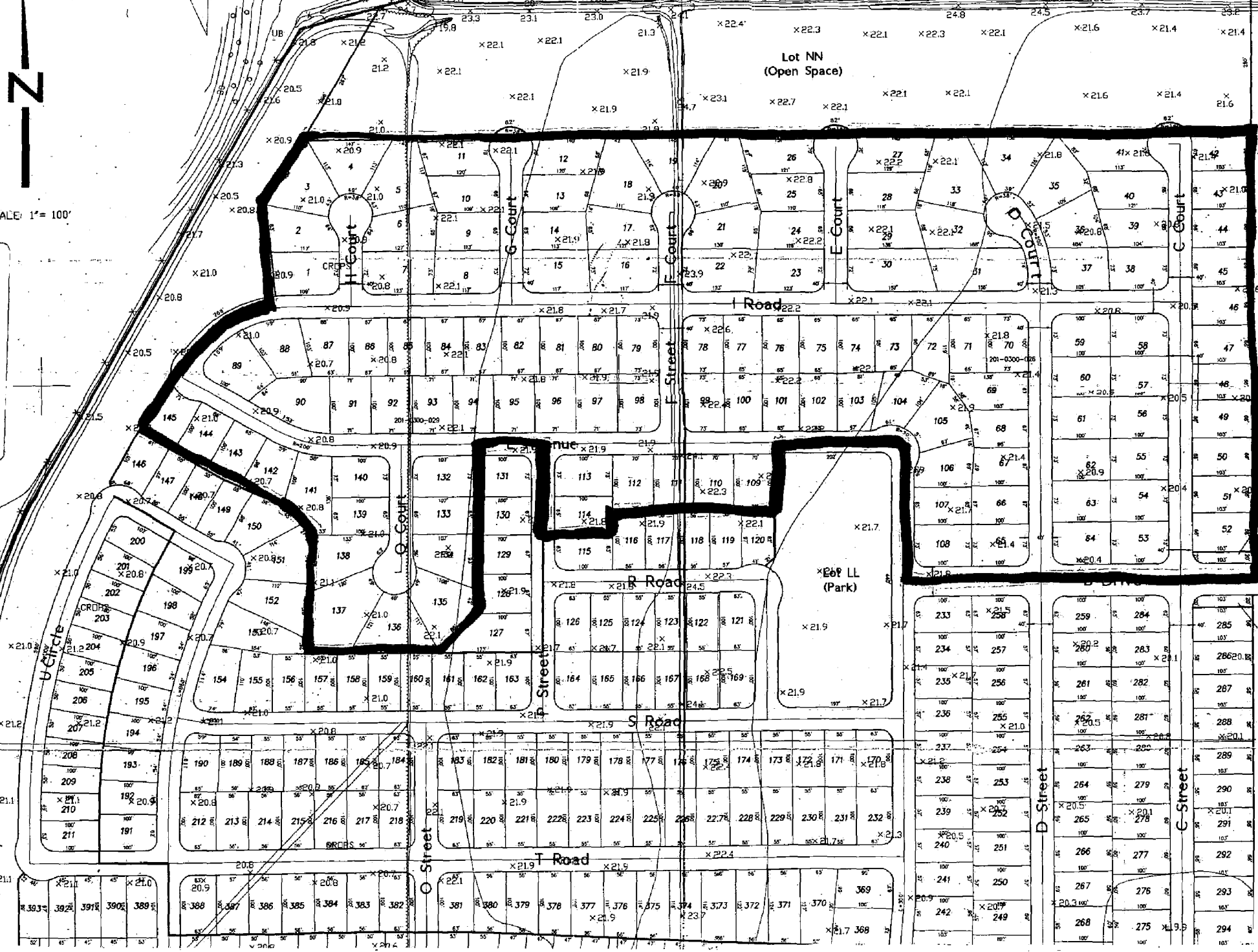
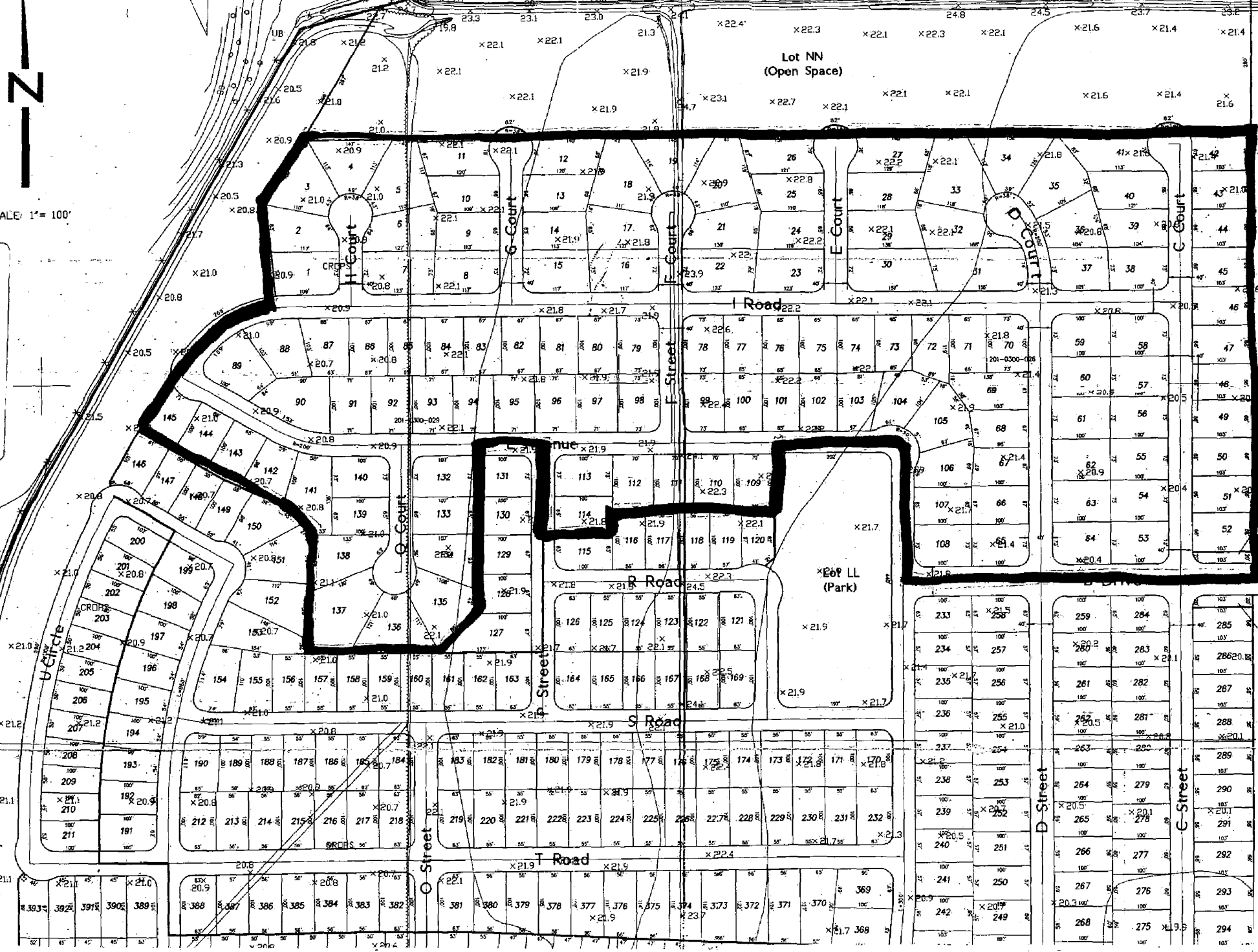
UNIT SUMMARY	
VILLAGE 1	281
VILLAGE 2	100
VILLAGE 3	109
TOTAL	490

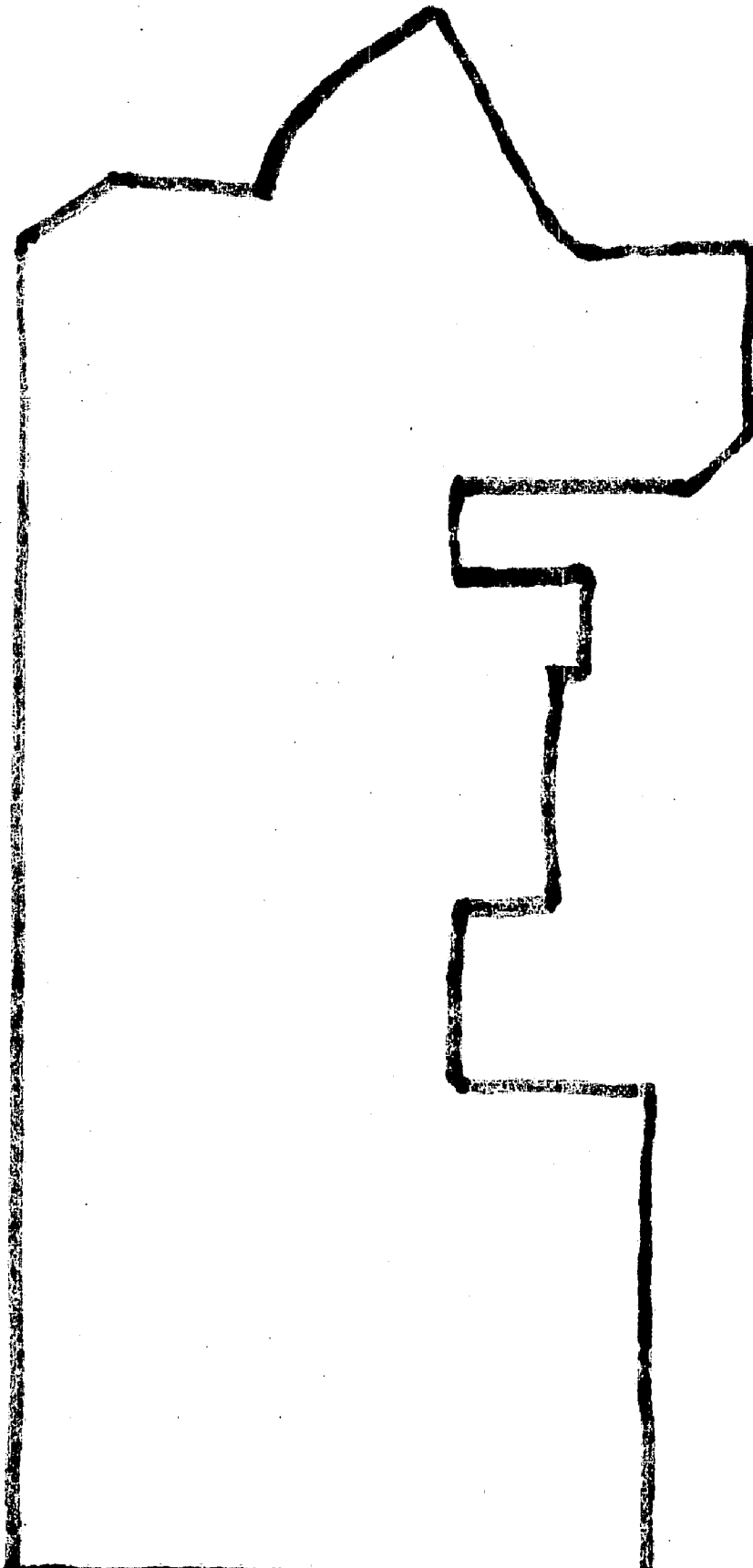
P04-037

2-20-04

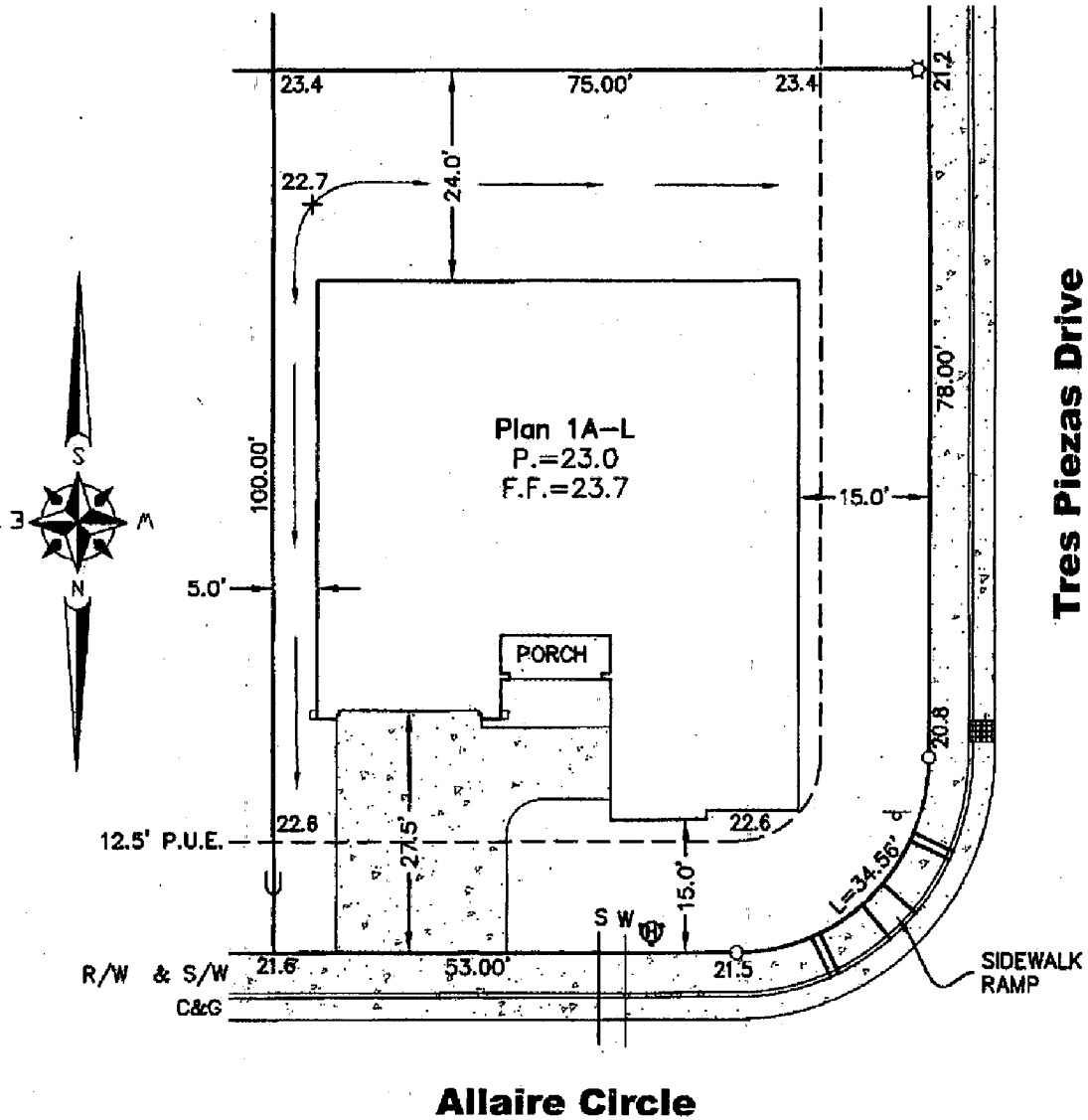
Exhibit 2: Site Plan - Sterling Hills

SCALE: 1" = 100'





THIS PLOT PLAN IS NOT FOR SALES PURPOSES. THIS PLOT PLAN IS FOR THE PURPOSE OF INDICATING COMPLIANCE WITH ZONING SET BACKS, GENERAL DRAINAGE AND APPROXIMATE UTILITY CONNECTION, ALL OTHER DATA SHOWN HEREON IS CONCEPTUAL. THIS PLOT PLAN DOES NOT REFLECT AS-BUILT CONDITION, RETAINING WALLS ARE OPTIONAL, AND MAY OR MAY NOT BE CONSTRUCTED.



LEGEND

- U - - - - UTILITY LOCATION
- ⊗ - - - - AIR CONDITIONER
- S - - - - SEWER
- W - - - - WATER
- ⊕ - - - - FIRE HYDRANT
- ⊙ - - - - STREET LIGHT
- ⊙ - - - - STREET SIGN
- ▣ - - - - DRAIN INLET
- - - - - DIMENSION POINT

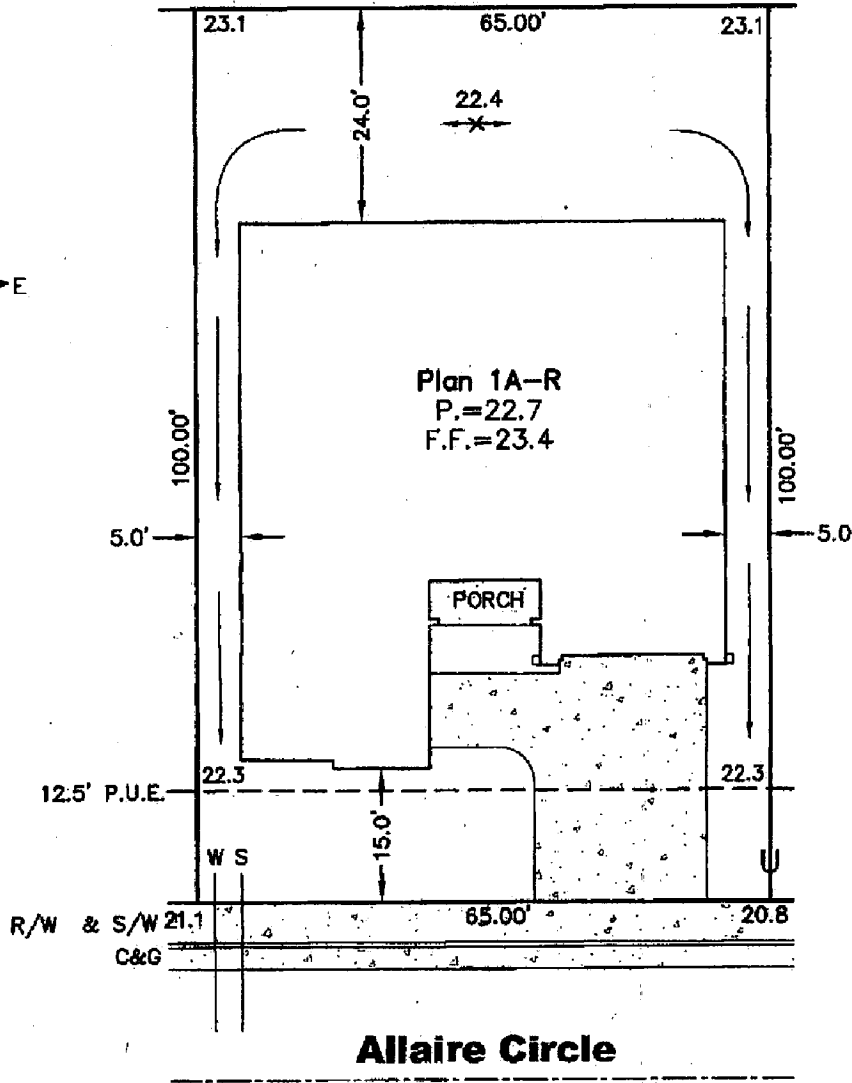
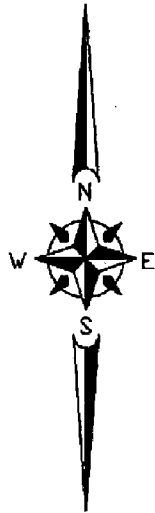
NET LOT AREA = 7,396 SQ. FEET
 FOOTPRINT AREA = 2,819 SQ. FEET
 LOT COVERAGE = 38%

SCALE: 1" = 20'

**PLOT PLAN
 LOT 94**
 Natomas Creek Village 1
 Sterling Hills - Phase 1
 City of Sacramento, State of California

**WECKER
 SURVEYS**
 1111 KENNEDY PLACE
 SUITE 4
 DAVIS, CA 95616
 530-792-7252
 FAX 530-758-2775

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NET LOT AREA = 6,500 SQ. FEET
FOOTPRINT AREA = 2,819 SQ. FEET
LOT COVERAGE = 43%

LEGEND

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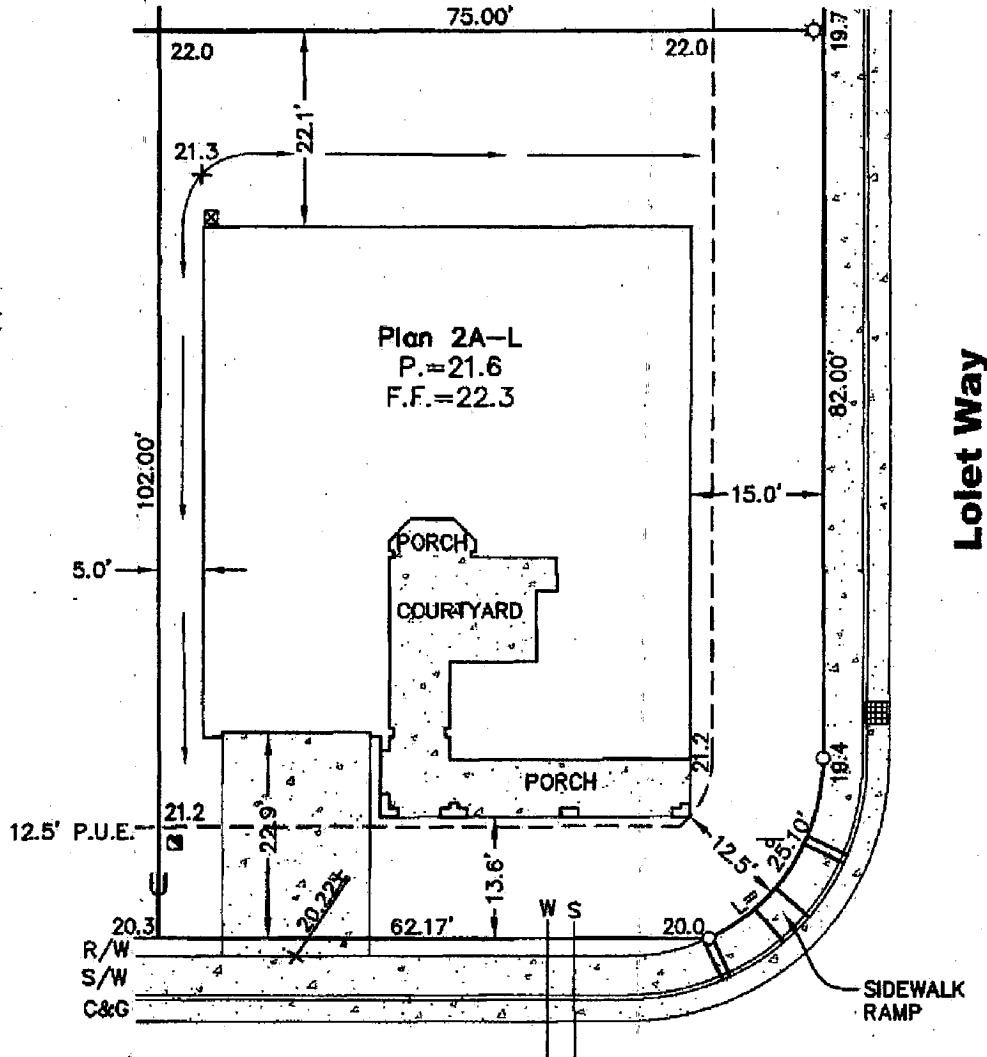
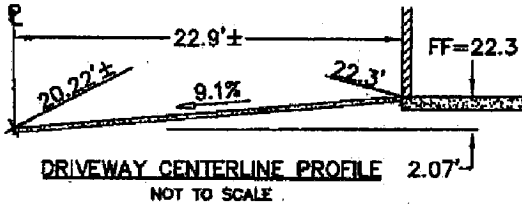
SCALE: 1" = 20'

**PLOT PLAN
LOT 90**
Natomas Creek Village 1
Sterling Hills - Phase 1
City of Sacramento, State of California

**WECKER
SURVEYS**

1111 KENNEDY PLACE
SUITE 4
DAVIS, CA 95616
530-792-7252
FAX 530-758-2775

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LEGEND

- U - - - - UTILITY LOCATION
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- W - - - - WATER
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- ⊙ - - - - STREET LIGHT
- ⊕ - - - - STREET SIGN
- ▣ - - - - DRAIN INLET
- ▣ - - - - SUREWEST VAULT

Mike Waldron Drive

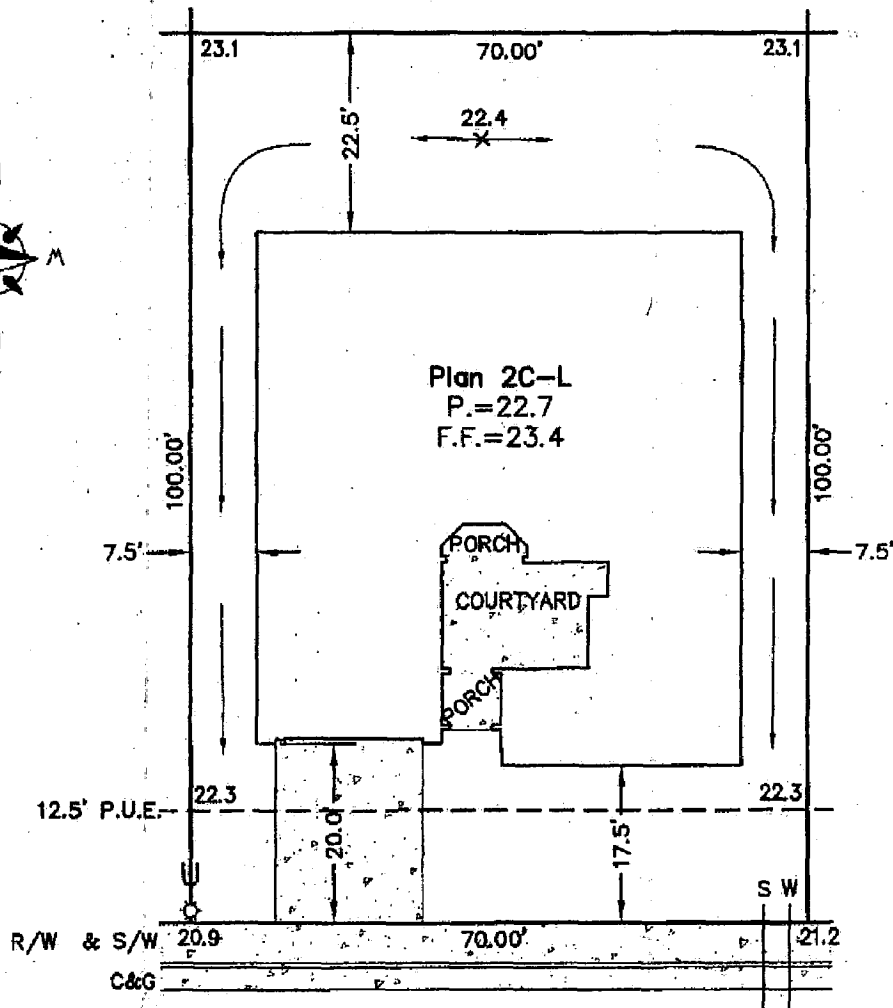
NET LOT AREA = 7,578 SQ. FEET
FOOTPRINT AREA = 2,917 SQ. FEET
LOT COVERAGE = 38%

SCALE: 1" = 20'

PLOT PLAN
LOT 1100
Sterling Hills at Natomas Creek
City of Sacramento, State of California

WECKER SURVEYS
1111 KENNEDY PLACE
SUITE 4
DAVIS, CA 95616
530-792-7252
FAX 530-758-2775

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Allaire Circle

NET LOT AREA = 7,000 SQ. FEET
FOOTPRINT AREA = 2,918 SQ. FEET
LOT COVERAGE = 42%

LEGEND

- U - - - - UTILITY LOCATION
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- W - - - - WATER
- ⊙ - - - - STREET LIGHT

SCALE: 1" = 20'

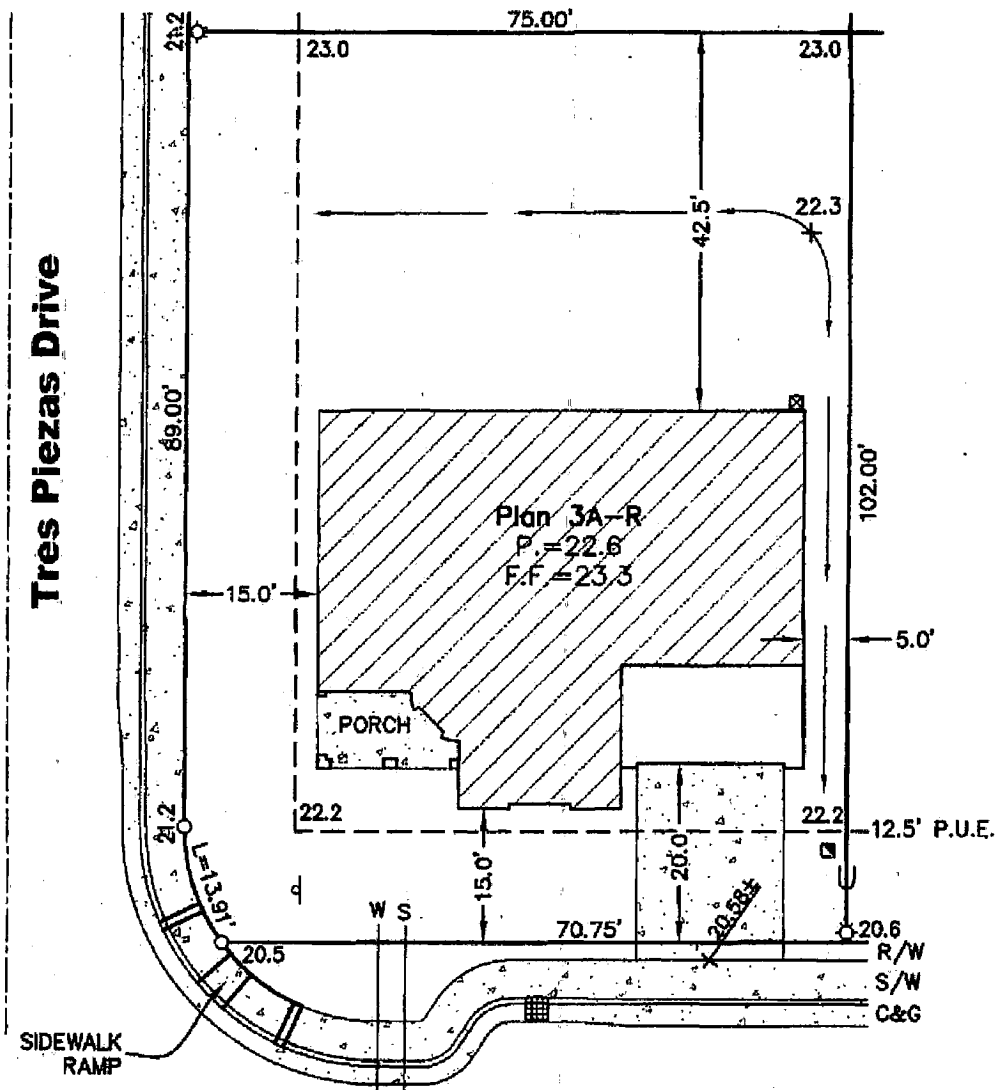
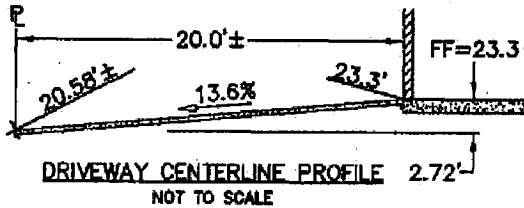
**PLOT PLAN
LOT 96**

Natomas Creek Village 1
Sterling Hills - Phase 1
City of Sacramento, State of California

**WECKER
SURVEYS**

1111 KENNEDY PLACE
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- ☆ - - - - STREET LIGHT
- ⊙ - - - - STREET SIGN
- ▨ - - - - DRAIN INLET
- - - - - SUREWEST VAULT

Mike Waldron Drive

NET LOT AREA = 7,632 SQ. FEET
FOOTPRINT AREA = 2,145 SQ. FEET
LOT COVERAGE = 28%

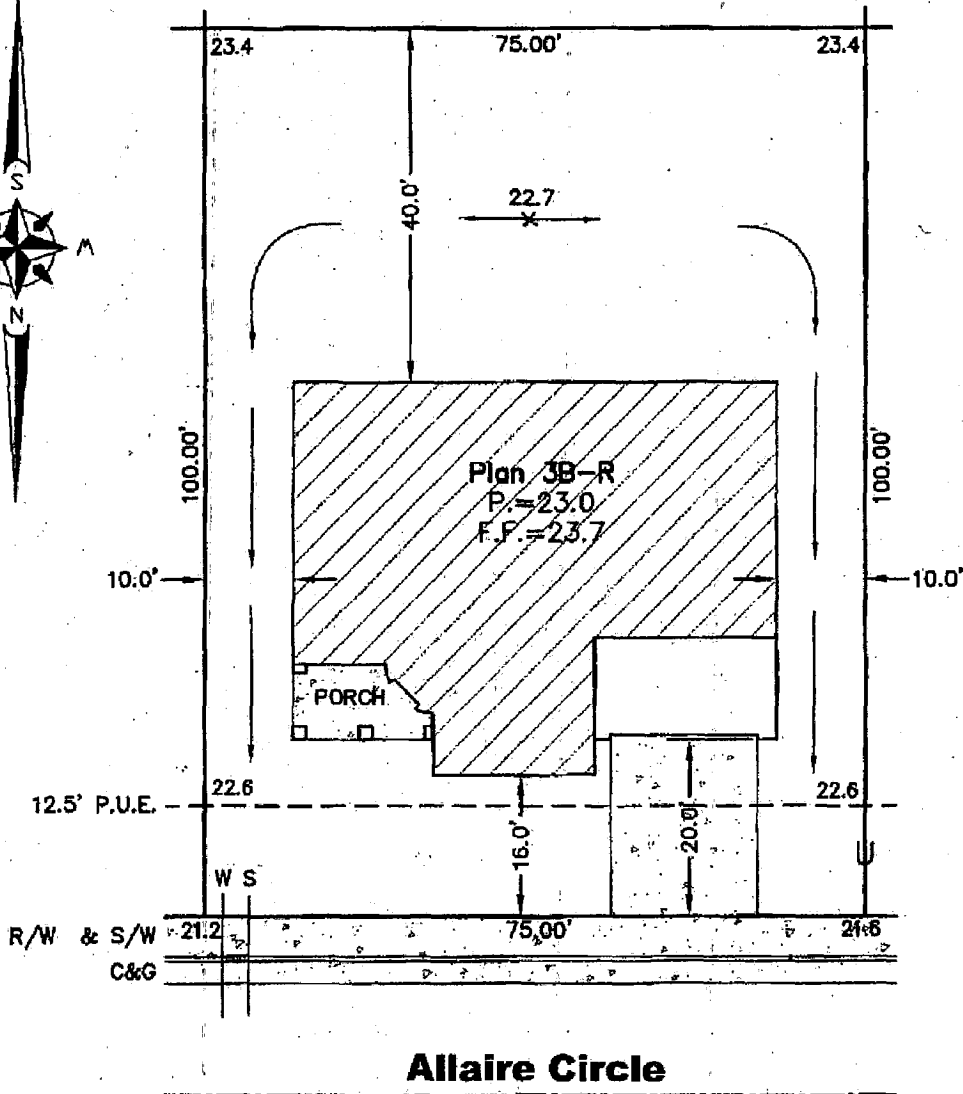
SCALE: 1" = 20'

PLOT PLAN
LOT 1131
Sterling Hills at Natomas Creek
City of Sacramento, State of California

**WECKER
SURVEYS**

1111 KENNEDY PLACE
SUITE 4
DAVIS, CA 95616
530-792-7252
FAX 530-758-2775

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NET LOT AREA = 7,500 SQ. FEET
FOOTPRINT AREA = 2,145 SQ. FEET
LOT COVERAGE = 29%

LEGEND:

- U - - - - UTILITY LOCATION
- ⊠ - - - - AIR CONDITIONER
- S - - - - SEWER
- W - - - - WATER

SCALE: 1" = 20'

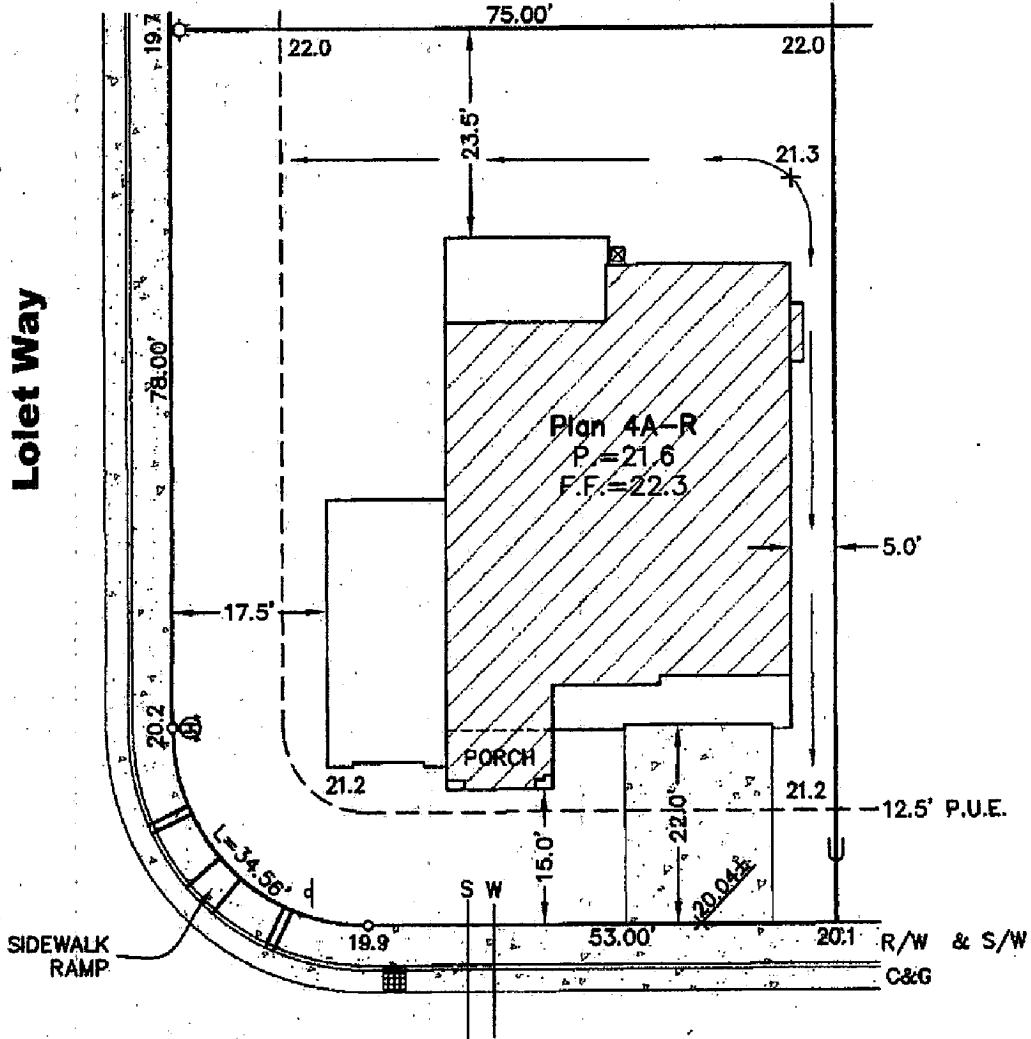
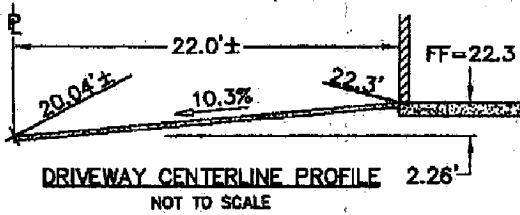
**PLOT PLAN
LOT 95**

Natomas Creek Village 1
Sterling Hills - Phase 1
City of Sacramento, State of California

**WECKER
SURVEYS**

1111 KENNEDY PLACE
SUITE 4
DAVIS, CA 95616
530-792-7252
FAX 530-758-2775

THIS PLOT PLAN IS NOT FOR SALES PURPOSES. THIS PLOT PLAN IS FOR THE PURPOSE OF INDICATING COMPLIANCE WITH ZONING SET BACKS, GENERAL DRAINAGE AND APPROXIMATE UTILITY CONNECTION, ALL OTHER DATA SHOWN HEREON IS CONCEPTUAL. THIS PLOT PLAN DOES NOT REFLECT AS-BUILT CONDITION, RETAINING WALLS ARE OPTIONAL, AND MAY OR MAY NOT BE CONSTRUCTED.



LEGEND

- U - - - - UTILITY LOCATION
- ☒ - - - - AIR CONDITIONER
- S - - - - SEWER
- W - - - - WATER
- ▣ - - - - DRAIN INLET
- ⊕ - - - - FIRE HYDRANT
- - - - - DIMENSION POINT
- P - - - - STREET SIGN
- ☆ - - - - STREET LIGHT

Allaire Circle

NET LOT AREA = 7,396 SQ. FEET
FOOTPRINT AREA = 2,472 SQ. FEET
LOT COVERAGE = 33%

SCALE: 1" = 20'

**PLOT PLAN
LOT 1099**

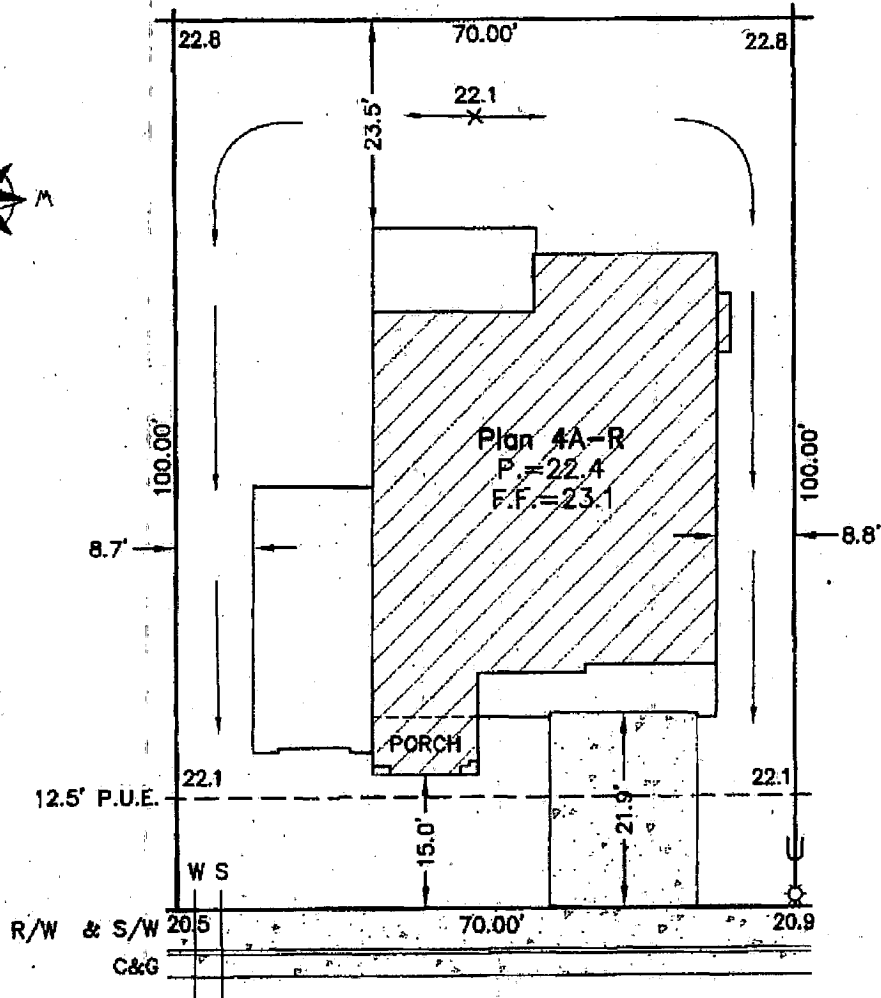
Sterling Hills at Natomas Creek

City of Sacramento, State of California

**WECKER
SURVEYS**

1111 KENNEDY PLACE
SUITE 4
DAVIS, CA 95616
530-792-7252
FAX 530-758-2775

THIS PLOT PLAN IS NOT FOR SALES PURPOSES. THIS PLOT PLAN IS FOR THE PURPOSE OF INDICATING COMPLIANCE WITH ZONING SET BACKS, GENERAL DRAINAGE AND APPROXIMATE UTILITY CONNECTION, ALL OTHER DATA SHOWN HEREON IS CONCEPTUAL. THIS PLOT PLAN DOES NOT REFLECT AS-BUILT CONDITION, RETAINING WALLS ARE OPTIONAL, AND MAY OR MAY NOT BE CONSTRUCTED.



Allaire Circle

NET LOT AREA = 7,000 SQ. FEET
 FOOTPRINT AREA = 2,472 SQ. FEET
 LOT COVERAGE = 35%

LEGEND

- U - - - - UTILITY LOCATION
- S - - - - AIR CONDITIONER
- W - - - - SEWER
- ☆ - - - - WATER
- ☆ - - - - STREET LIGHT

SCALE: 1" = 20'

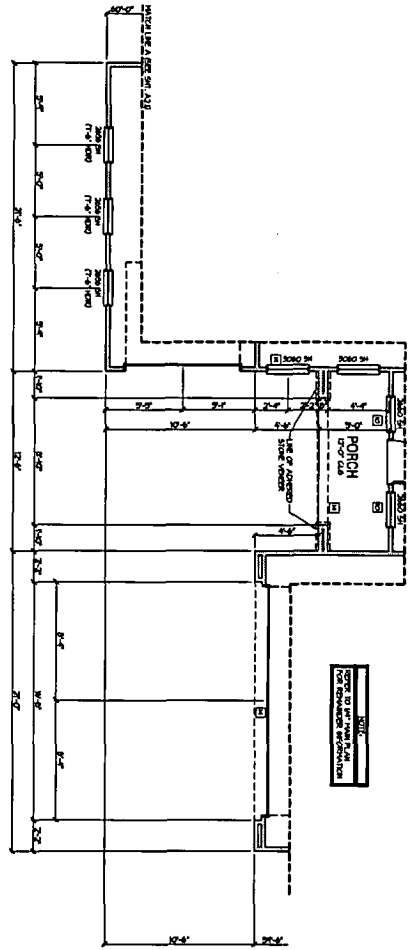
PLOT PLAN LOT 97

Natomas Creek Village 1
 Sterling Hills - Phase 1
 City of Sacramento, State of California

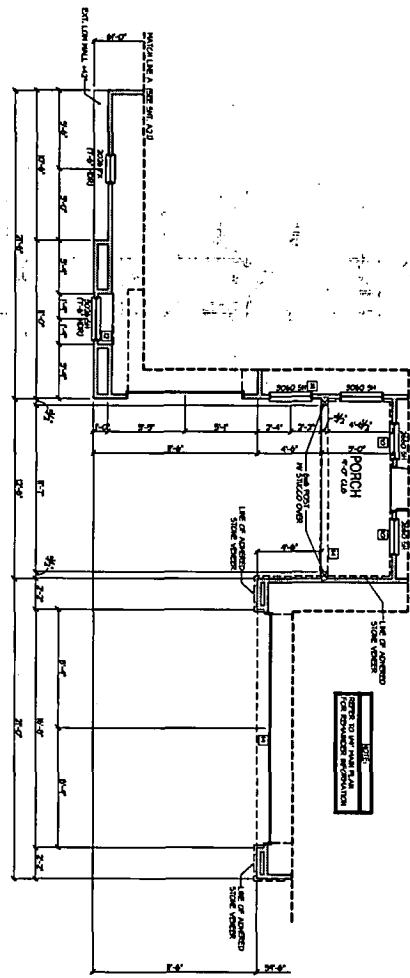
WECKER SURVEYS

1111 KENNEDY PLACE
 SUITE 4
 DAVIS, CA 95616
 530-792-7252
 FAX 530-758-2775

Exhibit 4: Main Floor Plan
(Plan 1)



Elevation B
Partial Main Floor Plan



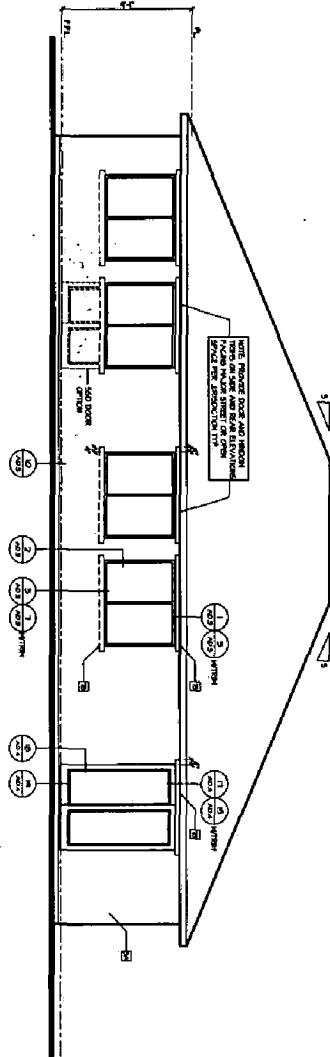
Elevation C
Partial Main Floor Plan

- MAIN FLOOR NOTES**
1. REFER TO GENERAL NOTE SHEET FOR PLAN.
 2. REFER TO SPECIFICATIONS FOR MATERIALS AND FINISHES.
 3. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 4. FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
 5. SEE FINISH SCHEDULE FOR FINISHES.
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 99. SEE FINISH SCHEDULE FOR FINISHES.
 100. SEE FINISH SCHEDULE FOR FINISHES.

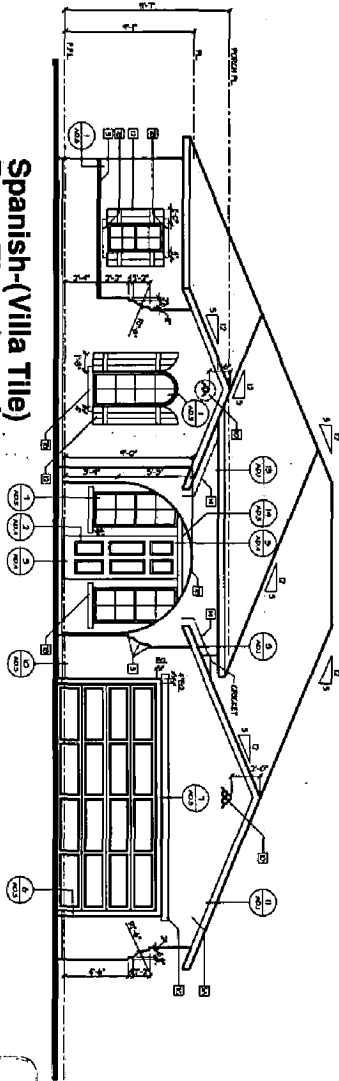
P04-037
Rec'd 3/2/04

<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>		<p>D-R HORTON America's Builder</p>		<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200</p>	
<p>117 Woodland Way, Suite 110 Fair Oaks, CA 95628 Phone 916-941-0880</p>		<p>Office Locations</p> <p>•Daly City •Folsom •Sacramento •Chico •Fresno •Dixon •Corte Madera •Jacksonville •Orlando •San Diego</p>		<p>DATE: 02/29/2004 8:40 AM</p>	

Exhibit 4: Elevation A
(Plan 1)



Rear Elevation - A



Spanish-(Villa Tile)
Front Elevation - A

EXTERIOR

ELEVATION NOTES

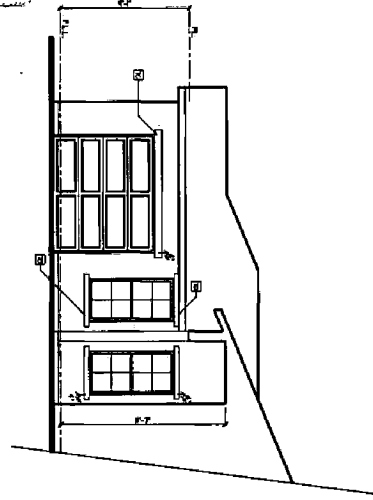
- 1. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS UNLESS OTHERWISE NOTED.
- 2. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS UNLESS OTHERWISE NOTED.
- 3. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS UNLESS OTHERWISE NOTED.
- 4. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS UNLESS OTHERWISE NOTED.
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- 17. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS UNLESS OTHERWISE NOTED.
- 18. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS UNLESS OTHERWISE NOTED.
- 19. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS UNLESS OTHERWISE NOTED.
- 20. EXTERIOR FINISHES SHALL BE AS SHOWN ON THE EXTERIOR ELEVATIONS UNLESS OTHERWISE NOTED.

P04-037
Rec'd 3/2/04

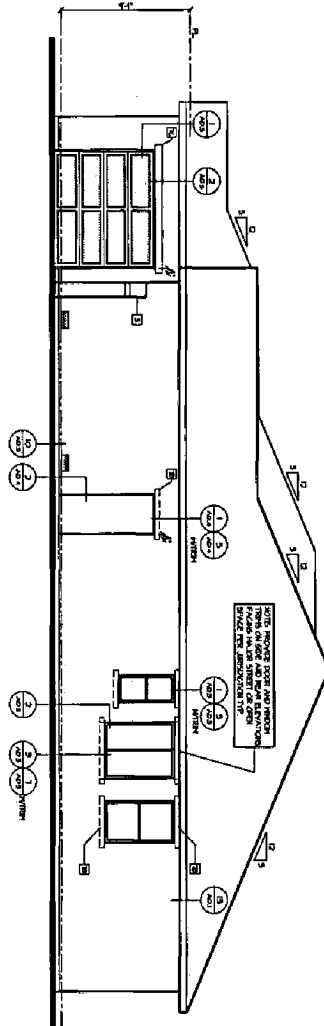
<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>		<p>D-R HORTON America's Builder</p>		<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200</p>	
<p>1177 Douglas Way, Suite 110 Sacramento, CA 95833 Phone: 916-941-0880</p>		<p>Office Locations</p> <p>•Coe •Molokai •Yuba •Sacramento •Chicago •Phoenix •Dallas •Corte Madera •Lodi •Stockton •San Francisco</p>		<p>PERMIT SET</p> <p>DATE: 02/25/2004 8:40 AM</p>	

Exhibit 4: Elevation A
(Plan 1)

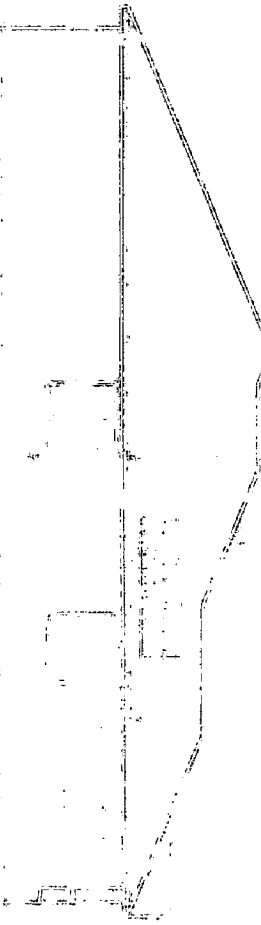
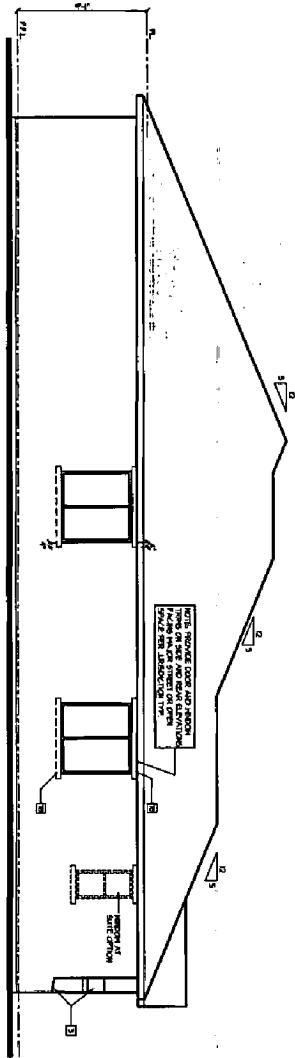
Partial Right Elevation - A
SCALE 1/8" = 1'-0"



Right Elevation - A
SCALE 1/8" = 1'-0"



Left Elevation - A
SCALE 1/8" = 1'-0"



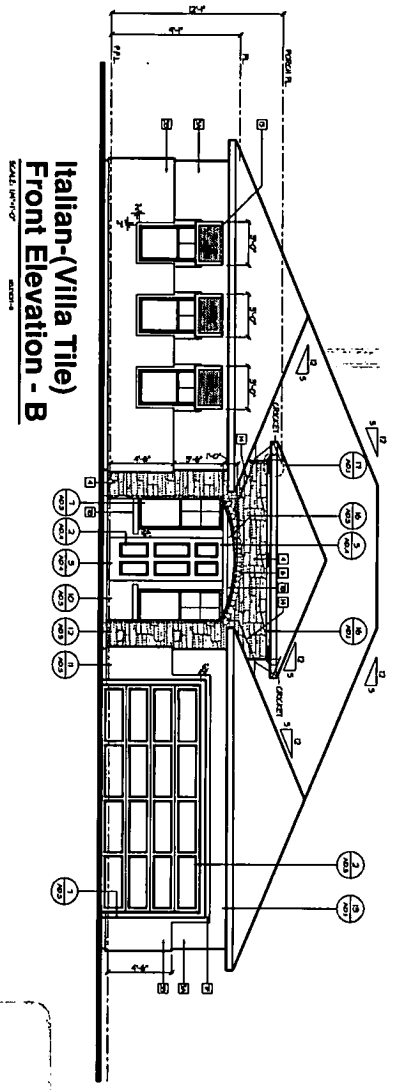
EXTERIOR ELEVATION NOTES

- 1. FINISHES TO BE SHOWN ON EXTERIOR ELEVATION.
- 2. FINISHES TO BE SHOWN ON EXTERIOR ELEVATION.
- 3. FINISHES TO BE SHOWN ON EXTERIOR ELEVATION.
- 4. FINISHES TO BE SHOWN ON EXTERIOR ELEVATION.
- 5. FINISHES TO BE SHOWN ON EXTERIOR ELEVATION.
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- 18. FINISHES TO BE SHOWN ON EXTERIOR ELEVATION.
- 19. FINISHES TO BE SHOWN ON EXTERIOR ELEVATION.
- 20. FINISHES TO BE SHOWN ON EXTERIOR ELEVATION.

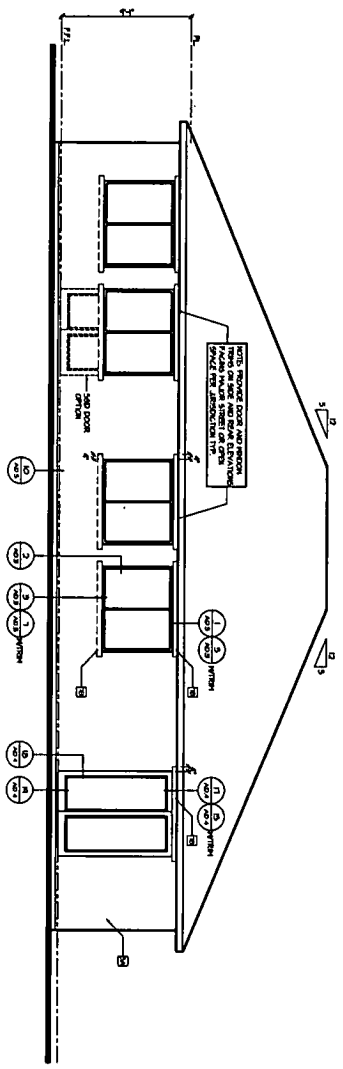
P04-037
Rec'd 3/2/04

<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>		<p>D-R HORTON America's Builder</p>		<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-985-2200</p>	
<p>1117 Woodland Way, Suite 118 El Dorado Hills, CA 95821 Phone: 916-911-2600</p>		<p>Office Locations</p>		<p>1177 Woodland Way, Suite 118 El Dorado Hills, CA 95821 Phone: 916-911-2600</p>	
<p>1-5-2004</p>		<p>PERMIT SET</p>		<p>1-5-2004</p>	

Exhibit 4: Elevation B
(Plan 1)



Italian-(Villa Tile)
Front Elevation - B
SCALE: 1/8" = 1'-0"



Rear Elevation - B
SCALE: 1/8" = 1'-0"

- EXTERIOR ELEVATION NOTES**
- A. REFER TO GENERAL NOTES SHEET FOR FINISHES, MATERIALS, AND SPECIFICATIONS.
 - B. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - C. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - D. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - E. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - F. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - G. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - H. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - I. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - J. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - K. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - L. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - M. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - N. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - O. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - P. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - Q. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - R. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.
 - S. WINDOW SIZES AND TYPES: SEE EXTERIOR ELEVATION FOR DETAILS.

P04-037
Rec'd 3/2/04

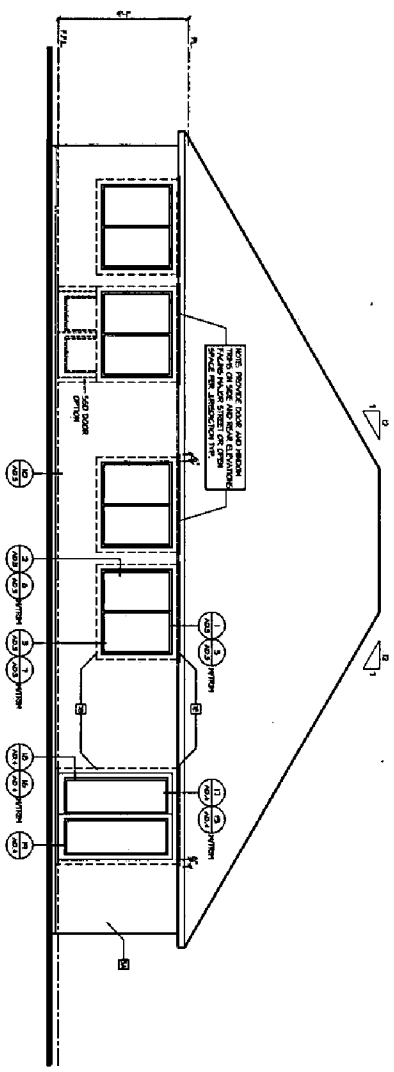
<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>	<p>D-R HORTON <i>America's Builder</i></p>	<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200</p>
<p>117 Woodland Way, Suite 110 Dunsmuir, CA 95923 Phone: 916-944-0880</p>	<p>Office Locations •Oak Station •Tempe •Sacramento •Chico •Phelan •Colusa •Colusa Mesa •Jacksonville •Orlando •Houston</p>	<p>117 Woodland Way, Suite 110 Dunsmuir, CA 95923 Phone: 916-944-0880</p>

DATE: 02/23/04
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"

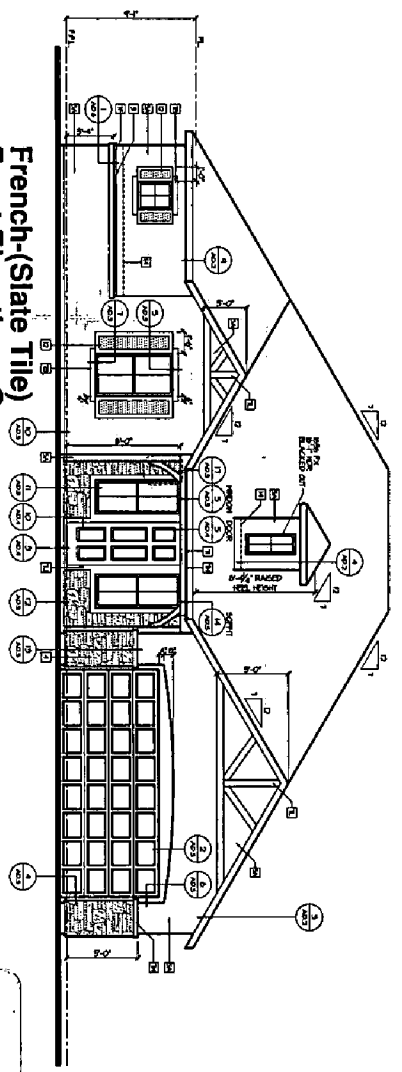
1-5-2004 PERMIT SET

Exhibit 4: Elevation C
(Plan 1)

Rear Elevation - C



French-(Slate Tile)
Front Elevation - C

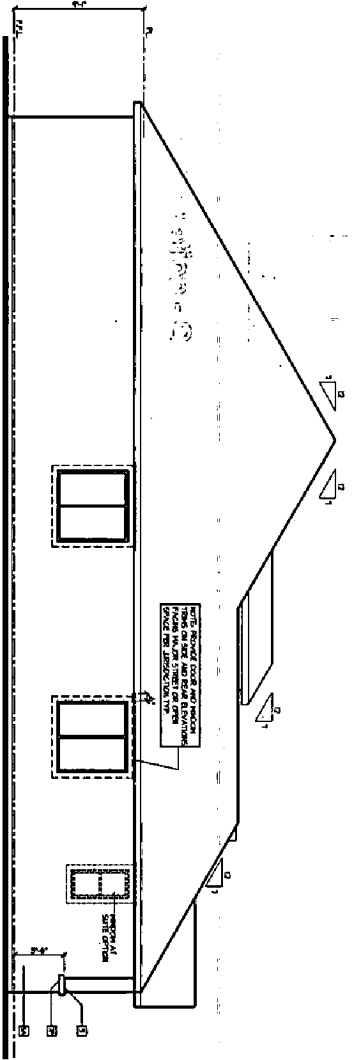
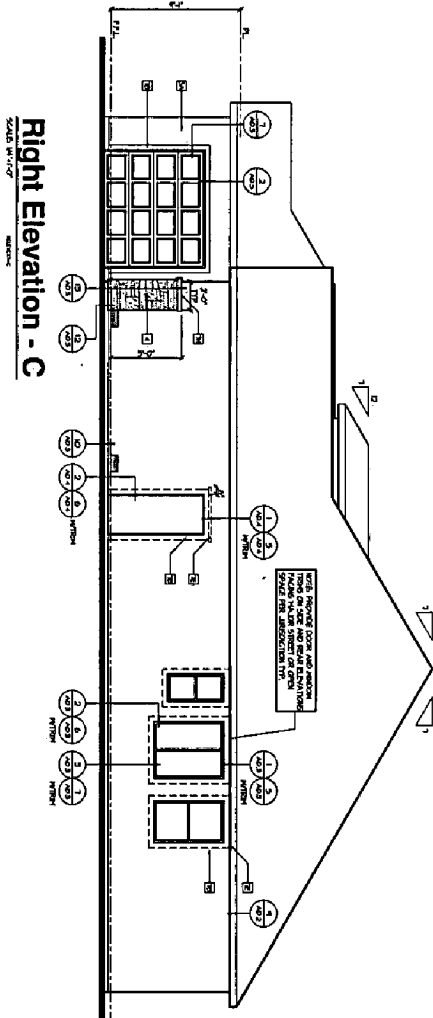
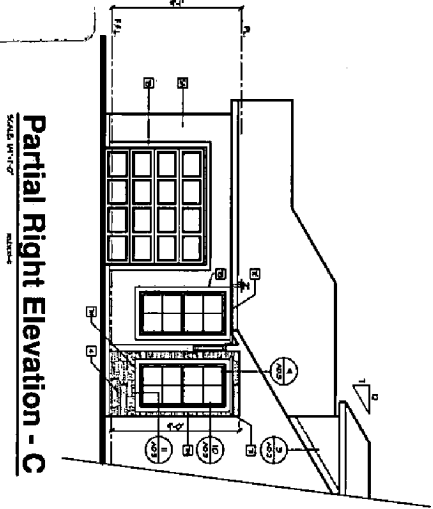


- EXTERIOR ELEVATION NOTES**
1. EXTERIOR WALLS SHALL BE CONCRETE BLOCK WITH STUCCO FINISH.
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P04-037
Rec'd 3/2/04

<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>		<p>D-RHORIEN America's Builder</p>		<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-985-2200</p>	
<p>1177 Northgate Blvd. Suite 110 Sacramento, CA 95833 Phone: 916-981-0888</p>		<p>Office Locations</p> <p>• Colton • Colton • Colton • Colton • Colton • Colton • Colton • Colton • Colton • Colton</p>		<p>1-5-2004 PERMIT SET</p>	

Exhibit 4: Elevation C
(Plan 1)



EXTERIOR
ELEVATION NOTES

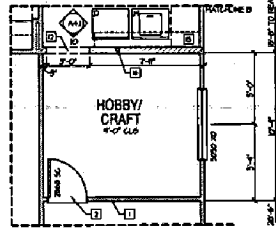
- A. ROOF TO BE SHOWN WITH SHINGLE OR SHINGLES.
- B. SIDE PORCH TO BE SHOWN WITH SHINGLE OR SHINGLES.
- C. SIDE PORCH TO BE SHOWN WITH SHINGLE OR SHINGLES.
- D. SIDE PORCH TO BE SHOWN WITH SHINGLE OR SHINGLES.
- E. SIDE PORCH TO BE SHOWN WITH SHINGLE OR SHINGLES.
- F. SIDE PORCH TO BE SHOWN WITH SHINGLE OR SHINGLES.
- G. SIDE PORCH TO BE SHOWN WITH SHINGLE OR SHINGLES.
- H. SIDE PORCH TO BE SHOWN WITH SHINGLE OR SHINGLES.

- 1. STUCCO FINISH, "J" JOINTS.
- 2. STUCCO OVER 1/2" GYP BOARD.
- 3. STUCCO OVER 1/2" GYP BOARD.
- 4. STUCCO OVER 1/2" GYP BOARD.
- 5. STUCCO OVER 1/2" GYP BOARD.
- 6. STUCCO OVER 1/2" GYP BOARD.
- 7. STUCCO OVER 1/2" GYP BOARD.
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- 100. STUCCO OVER 1/2" GYP BOARD.

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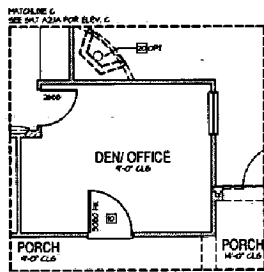
<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>		<p>D-R-HORION America's Builder</p>		<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200</p>	
<p>117 Marshall Way, Suite 118 Sacramento, CA 95833 Phone: 916-941-0882</p>		<p>Office Locations</p> <p>San Mateo • Turlock • Sacramento • Chicago • Phoenix • Dallas • Costa Mesa • San Francisco • Orlando • Boston</p>		<p>1-5-2004 PERMIT SET</p>	

Exhibit 5: Main Floor Plan
(Plan 2)



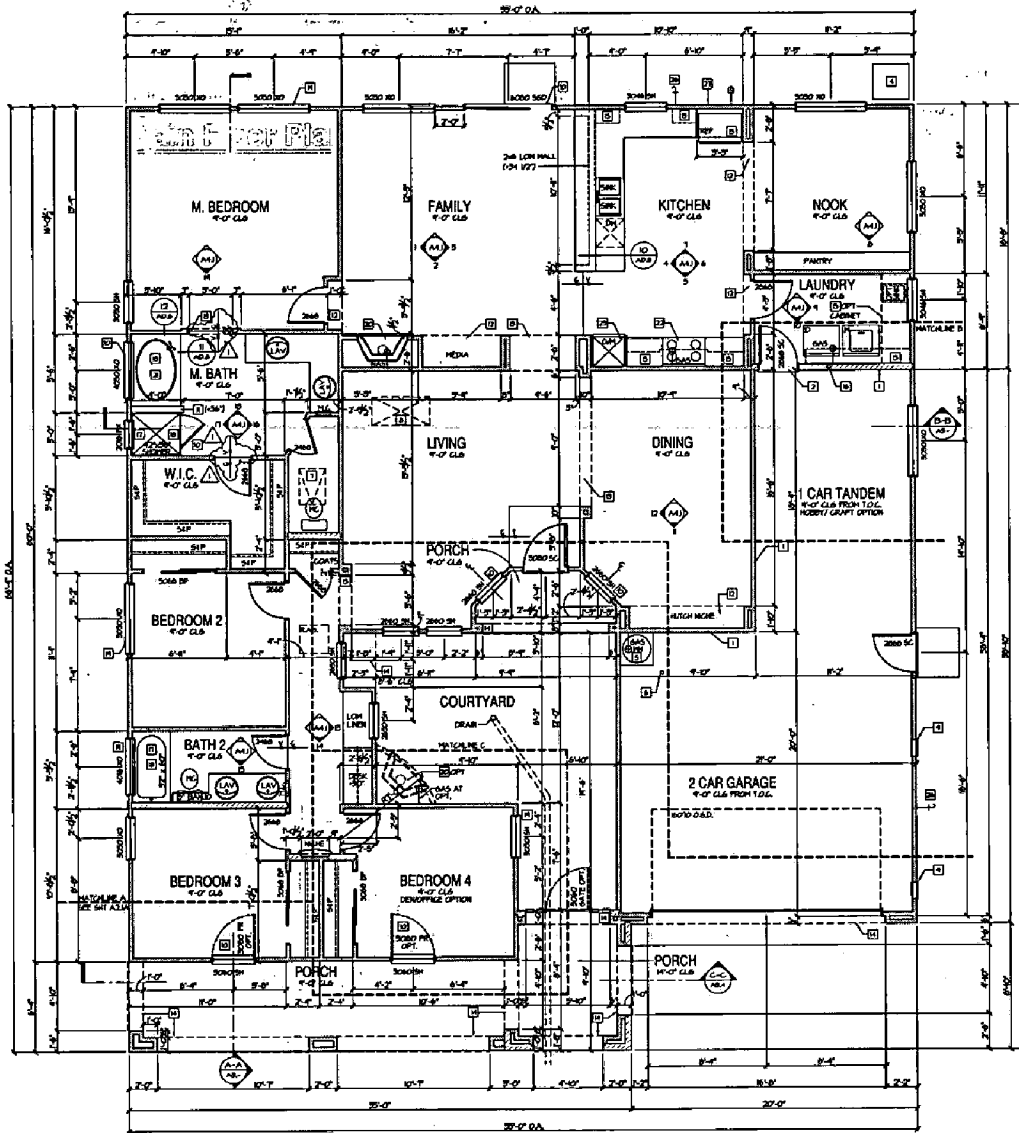
Hobby/ Craft Option
Partial Main Floor Plan

SCALE 1/4"=1'-0"



Elevation A & B
Den/ Office Option
Partial Main Floor Plan

SCALE 1/4"=1'-0"



Elevation A
Main Floor Plan

SCALE 1/4"=1'-0"

SQUARE FOOTAGES	
MAIN FLOOR	2262
UPPER FLOOR	574
PERMITTED	2836
GARAGE	2262
TOTAL	5098
LOT/SETBACK OPTION	5098
GARAGE AT OPTION	N/A
COPYING	N/A
GARAGE OPTION	N/A

P04-037
Rec'd 3/2/04

MAIN FLOOR NOTES
GENERAL:
 A. REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES.
 B. REFER TO 20 SHEETS FOR CERTIFICATE OF COMPLIANCE AND BUILDING VALUES.
 C. ALL DIMENSION WALLS TO BE 4" DIMENSION UNLESS NOTED OTHERWISE.
 D. WINDOW HEAD HEIGHTS:
 1ST FLOOR = 8'-0" S.I.D.
 2ND FLOOR = 8'-0" S.I.D.
 DOOR HEIGHTS AS NOTED ON PLANS (ALSO ADJUST WINDOW HEADER HEIGHT WITH DOOR HEADERS)

DETAILS/NOTES
 1. HOME TO GARAGE FIRE SEPARATION: GARAGE/FIRE SEPARATION AT VERTICAL SURFACE SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD PER IBC SEC. 703.4 AND TABLE 7-8 ITEM 11-0.
 GARAGE/FIRE SEPARATION AT HORIZONTAL SURFACE AT 2" O.C. SHALL BE PROTECTED WITH TWO (2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD PER IBC TABLE 7-8 ITEM 2-1.1.
 2. HOME TO GARAGE DOOR SEPARATION: PROVIDE 1-1/2" SOLID CORE DOOR OR APPROVED EQUIVALENT TO DOOR IN SELF-CLOSURE AND TRIP FITTING.
 3. BENEATH STAIRS AND LAUNDRY: 5/8" TYPE 'X' GYPSUM AT 2" O.C. OR WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREA.
 4. A/C CONDENSER ON 2" X 2" MIN. PRECAST CONCRETE PAD 3" MINIMUM ABOVE GRADE. PROVIDE 1/2" MINIMUM CLEARANCE FROM GRADE PER DETAIL. SEE DETAIL M.A.03 AND GENERAL NOTES.
 5. INSIDE WALLS GYPSUM FILLED TO STANDARD PIPE DETAIL. LOCATE PER SLAB PERIMETER LAYOUT.
 6. INSIDE WALLS GYPSUM FILLED TO STANDARD LARGED PIPE DETAIL. LOCATE PER DETAIL. SEE DETAIL M.A.03 AND GENERAL NOTES.
 7. FAN IN ATTIC ABOVE. PROVIDE UNRESTRICTED PROGRAMMABLE RANGE IN LARGE ROOM TO REMOVE THE LARGEST PIECE OF CLOTHING WITH 30" HIGH X 30" WIDE PROGRAMMABLE WITH 30" HIGH X 30" WIDE PLATFORM WITH 30" X 30" PLATFORM AT SERVICE SIDE OF THE EQUIPMENT. HANG 30" X 30" FROM ACCESS POINT TO FAN.
 8. VERIFY LOCATION OF MECHANICAL DRAWINGS. RETAIL FOR GENERAL NOTES.
 9. PROVIDE SCREENED LAMINATED GLASS EXPANSION AIR VENTS.
 10. BATTERY SAFETY GLASS PER GENERAL NOTES SECTION 0200.
 11. LOH HALL HEIGHT AS NOTED. IF DOUBLE TOP FLATE, SEE DETAIL M.A.04. (2" FINISH, 1/2" AFF. UNL.)
 12. PLAY SPORTS AT 8' X 8' UNL. PROVIDE DIMENSIONS AS NOTED.
 13. INTERIOR FLOOR FINISH DIMENSIONS TYPICAL. PLAY SPORTS AT 12' X 12' UNL. PROVIDE DETAIL AND FLOOR FINISHING AND DIMENSIONS.
 14. EXTERIOR SPORTS OR ARCH FOR EXTERIOR ELEVATION FOR DIMENSIONS.
 15. HALL WARDROBE CABINET ABOVE. 2" DEEP UPPER CABINET ABOVE ENTRANCEWAY.
 16. DRYER: VENT DUCT SHALL BE OF STEEL METAL EXTENDING TO EXTERIOR WITH BACKLAP JOINTS FOR GAS AND ONE INCH MINIMUM AT LEAST WITH 1/2" DIA. NO. 10 DUCTS CLOSED IN THIS AREA. SEE DETAIL M.A.05.
 17. SINKERS AND TENSORER CONNECTIONS: PROVIDE A SPECIFIC WIND MANAGEMENT SURFACE OVER HORIZONTAL SURFACE SYSTEM BOARD TO A HEIGHT OF 10" ABOVE GRADE. DOUBLE BUILT. DOOR 48" X 80" (18" TYPED GLASS ENCLOSURE).
 18. PROVIDE REMOVAL CONTROL VALVES OF THE PRESSURE ENFORCE OF THE IMPROPERLY PLUMB VALVE TYPE FOR THE SINKERS AND TENSORER CONNECTION.
 19. BATTERY SAFETY GLASS: ONE EACH IN EACH SLEEPING AREA. SHALL COMPLY WITH BATTERY SAFETY AND BATTERY CODES. BATTERY SAFETY SHALL HAVE A NET CLEAR OPENING AREA OF 31" SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 36" UNL. AND THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 30" UNL. BATTERY SAFETY SHALL HAVE A PROTECTED AREA OF NOT MORE THAN 4" ABOVE GRADE. THE FLOOR SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.
 20. PROVIDE REMOVAL CONTROL VALVES OF THE PRESSURE ENFORCE OF THE IMPROPERLY PLUMB VALVE TYPE FOR THE SINKERS AND TENSORER CONNECTION.
 21. 2" X 2" MIN. PRECAST CONCRETE PAD 3" MINIMUM ABOVE GRADE. PROVIDE 1/2" MINIMUM CLEARANCE FROM GRADE PER DETAIL. SEE DETAIL M.A.03 AND GENERAL NOTES.
 22. 30" ELECTRIC OVER BY INTERNAL MECHANISM OVER.
 23. LINES IN BRACKETED: FIVE (5) 1/2" DEEP DIMEN.
 24. HANGER DRUM PAN AT SECOND FLOOR ONLY. DRUM TO EXTERIOR.
 25. EXTERIOR WIND BARRIERS: PROVIDE WITH NON-REMOVABLE BACKLAP PERFORMER DETAILS.
 26. GOLF CARTS 8' X 10' UNL.
 27. SHOWER LINE INDICATES OUTLINE OF UPPER FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF MAIN FLOOR BELOW.

**4401 Hazel Ave, Ste. 225
Sacramento, CA 95828
Fair 916-867-8200**

D.R. HOHON
America's Builder

NATOMAS CREEK 65
SACRAMENTO, CA

Office Locations:
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 Houston, TX
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 Phoenix, AZ
 San Antonio, TX
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 Stockton, CA
 Vallejo, CA
 Vacaville, CA
 Yuba City, TX

1177 Highway 205, Ste. 113
 Yuba City, TX 75904
 Phone: 979-941-1000

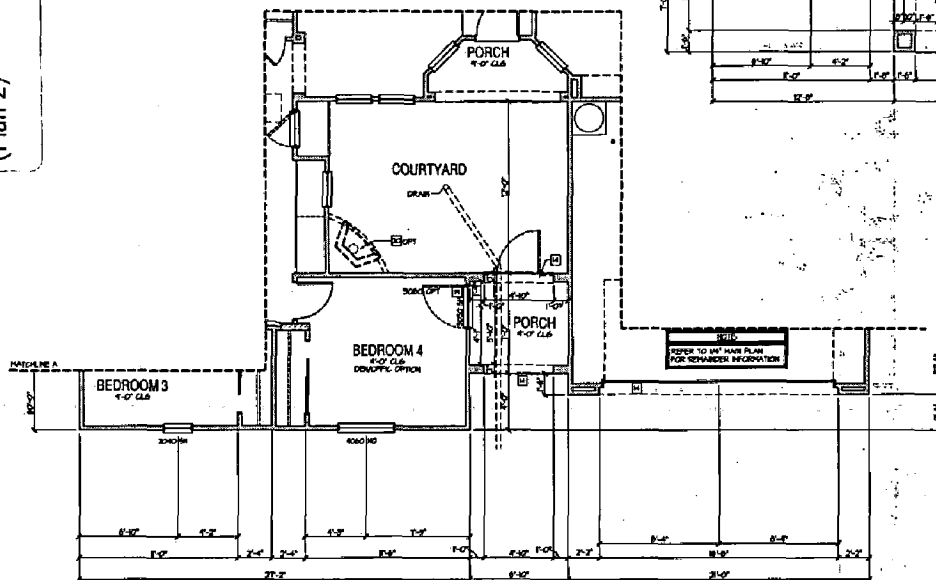
HOODPOOD STAMP DESIGNS
PERMIT SET

JOB NO. 040300
 SHEET NO. 040300-1
 SHEET TITLE
 PLAN 2
 1ST FLOOR PLAN
 OPTION

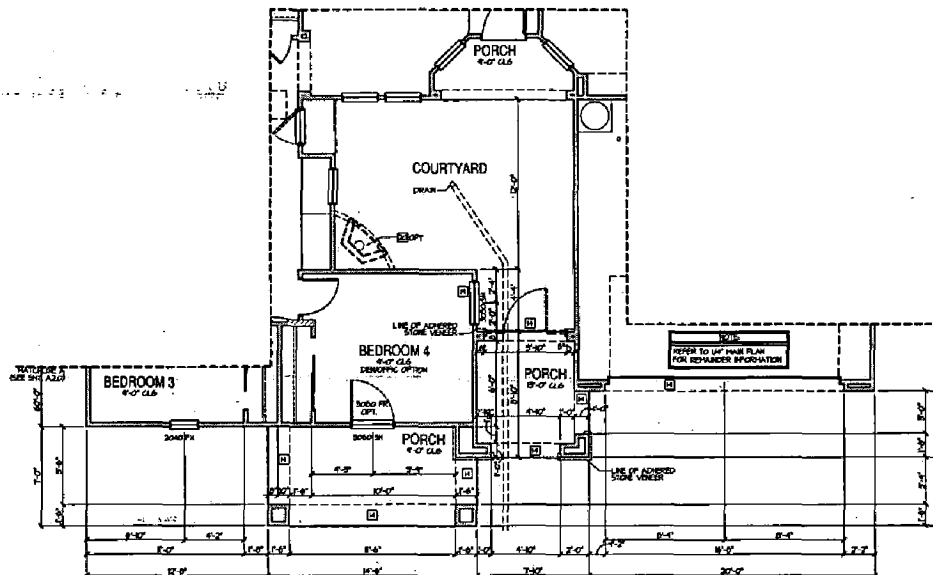
SHEET NO. A2.1

1-5-2004

Exhibit 5: Main Floor Plan
(Plan 2)



Elevation C
Partial Main Floor Plan
SCALE: 1/4" = 1'-0"



Elevation B
Partial Main Floor Plan
SCALE: 1/4" = 1'-0"

MAIN FLOOR NOTES

- A. REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES.
- B. REFER TO SPEC SHEETS FOR CERTIFICATE OF COMPLIANCE AND REGULATION VALUES.
- C. ALL DRAWING WALLS TO BE 4" GRADE. JALUSI NOTED OTHERWISE.
- D. WINDOW HEAD HEIGHTS:
 - 1ST FLOOR - 8'-0" END
 - 2ND FLOOR - 8'-0" END
 - DOOR HEIGHTS AS NOTED ON PLAN.
 - LAMB HEIGHT: WINDOW HEADS HEIGHT WITH DOOR HEADS ONLY.

- E. CLOSURE NOTES:
 - 1) HOLE TO GARAGE PIPE SEPARATION. ANYWHERE SEPARATION IS VERTICAL. SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPHUM BOARD PER CBC SECT. 702.4 AND TABLE 5-8 WITH 1/2".
 - 2) HOLE TO GARAGE DOOR SEPARATION. PROVIDE 1/2" GYPHUM BOARD OR APPROVED 30 MINUTE RATED DOOR WITH SELF CLOSURE AND POSIT FITTING.
 - 3) EXHAUST STAIRS AND LANDINGS. 5/8" TYPE 'X' SUPPORTS AT 8' O.C. ON WALLS AND CEILING OR ENCLOSED ACCORDABLE AREA.
 - 4) ALL CONCRETE OR 3/4" x 5/8" MIN PRECAST CONCRETE FWD BY FINISH ABOVE GRADE.
 - 5) GAS WATER HEATER OR BY HIGH PLATFORM. USE PER BILLING. SEE DETAIL SPOUD AND GENERAL NOTES.
 - 6) BELL AND CONCRETE FILLED BY STANDARD PIPE. LOCATE PER PLAN FOOTNOTE LAYOUT. SEE DETAIL SPOUD.
 - 7) ATTE ACCESS LARGE DOOR TO REMOVE LARGEST PIECE OF EQUIPMENT DO NOT LESS THAN 30" X 72". SEE DETAIL SPOUD.
 - 8) IN ALL AREAS PROVIDE DESTRUCTURED PARALLEL BRIDGE TO LARGEST PIECE TO BE REMOVED. PROVIDE 2" x 4" x 8" JOIST. INSTANTLY WITH 2" FACE PLATED FLOORING WITH 30' X 30' PLATEFORM AT SERVICE SIDE OF THE EQUIPMENT. MAX 30" FROM ACCESS POINT TO FILL.
 - 9) VERIFY LOCATION IN MECHANICAL DRAWING. INSTALL PER GENERAL NOTES.
 - 10) PROVIDE SCREENED LOW VOLTAGE COORDINATION AIR VENTS.
 - 11) TYPED SAFETY GLASS PER GENERAL NOTES SECTION 05000.
 - 12) LOW WALL HEIGHT AS NOTED BY DOUBLE TOP TIE. SEE DETAIL SPOUD. (2x4 FRAMES, 1/2" AIR GULCH).
 - 13) PLAT SUPPLY AT 8'-0" MAX FRAME OPENINGS AREAS.
 - 14) INTERIOR ARCHES FRAME DETAILING TYPICAL. PLAT SUPPLY BY 8' X 8' MAX CONCRETE. SEE DETAIL SPOUD FOR ELEVATION AND DIMENSIONS.
 - 15) EXTERIOR SUPPLY OR ARCH. SEE EXTERIOR ELEVATION FOR DIMENSIONS.
 - 16) HALL VENTED CABINET ABOVE. 3" DEEP UPPER CABINET ABOVE REPRESENTATIVE.
 - 17) DRIVER VENT GULL SHALL BE OF PROPH METAL. EXTENSION TO EXTERIOR WITH DRAINAGE DAMPER PER GCL AND ENG. PROVIDE 1/2" AIR GAP. PROVIDE 1/2" AIR GAP UNLESS VENT CALLS ARE PROVIDED.
 - 18) PROVIDE AND SUBMITTER COORDINATION. PROVIDE A SMOOTH HANG MANHOLES SERVICE OVER HOODTYPE-RESISTANCE SYSTEM BOND TO A HEIGHT OF 30" MINIMUM ABOVE DRAIN INLET. SMOOTHER HEAD 3/4".
 - 19) PROVIDE MINIMUM GENERAL VALUES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXED VALVE TYPE FOR THE SERVICE AND REGULATED CONNECTIONS.
 - 20) PROVIDER FINISHES. ONE BATH IN EA. SLEEPING AREA SHALL COMPLY WITH SMOOTHER FIRE AND BUILDING CODES. BATHS FINISH SHALL HAVE A NET CLEAR OPENABLE AREA OF 3' SQUARE MIN. DIMENSIONS SHALL BE 24" HEIGHT AND THE MINIMUM NET OPENABLE WITH 20" CLEAR SHALL BE 30" MINIMUM. EXHAUST HANGERS SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 18" HIGHER ABOVE THE FLOOR.
 - 21) PRE-FABRICATED METAL 3" DIRECT VENT AND PRE-FABRICATED METAL SHEET AS3 FOR ELEVATIONS. INSTALL SEE SHEET A2.3 FOR FINISH. SPLASH AND DEC.
 - 22) 1/2" BRASS LAYOUT BY THE HOOD LIGHT EXHAUST FAN ABOVE VENT PER GENERAL NOTES OTHER.
 - 23) 3/4" BRASS COVER WITH INTERIOR. RECAUSE OVER.
 - 24) LAMB IN WARDROBE. FIVE (5) 1/2" DEEP SHELVES.
 - 25) HANGER DRAIN PAN AT SECOND FLOOR ONLY. DRAIN TO EXTERIOR.
 - 26) EXTERIOR HOSE BIBBS. PROVIDE WITH NON-REMOVABLE BALESTROP PREVENTION DEVICES.
 - 27) COLD WATER STUB OUT.
 - 28) DASHED LINE INDICATES OUTLINE OF UPPER FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF MAIN FLOOR BELOW.

D. HORTON *America's Builder*

NATOMAS CREEK 65
SACRAMENTO, CA

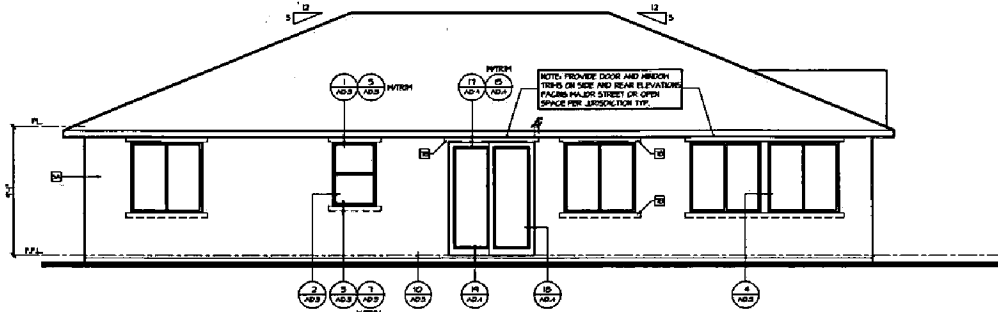
1777 INDIAN TRAIL, SUITE 100
SACRAMENTO, CA 95825
Phone: 916-911-0000

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Fair Oaks, CA 95628
916-985-2200

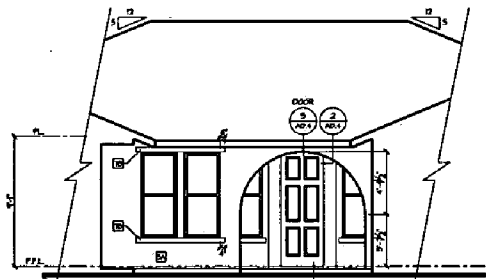
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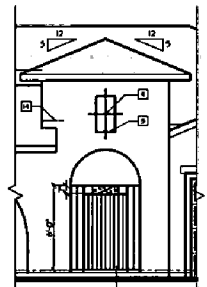
Exhibit 5: Elevation 'A'
(Plan 2)



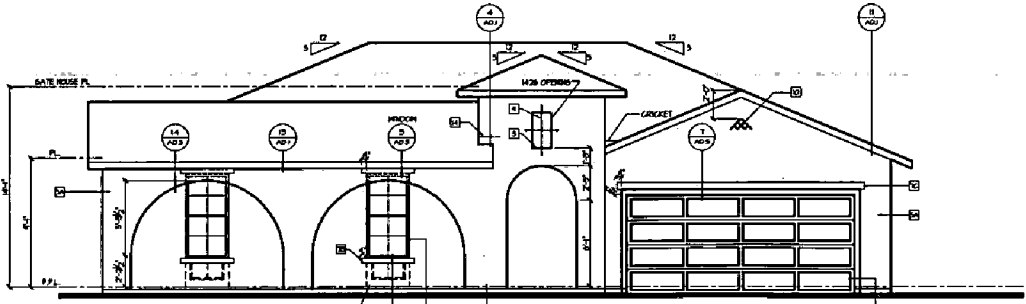
Rear Elevation - A
SCALE: 1/4" = 1'-0"
REVISION: 1



**Courtyard - AA
Partial Elevation - A**
SCALE: 1/4" = 1'-0"
REVISION: 1



**Gate Option
Partial Front Elevation - A**
SCALE: 1/4" = 1'-0"
REVISION: 1



**Spanish-(Villa Tile)
Front Elevation - A**
SCALE: 1/4" = 1'-0"
REVISION: 1

**EXTERIOR
ELEVATION NOTES**
SEE EXHIBIT 1

- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND MATERIAL DESCRIPTION OF MATERIALS.
- B. FINISH: ROOF FINISHES - SEE FLOOR + 0'-0" LVL. ON EXT. ELEVATIONS - 2ND FLOOR + 0'-0" SLAB. - DOOR HEIGHTS AS NOTED ON PLANS. - ALL DOOR AND WINDOW HEADS NEIGH WITH DOOR HEADS (AS NOTED).
- C. EXTERIOR WALLS - STICCO SYSTEM OVER 1" FOAM INSULATION PER GENERAL NOTES. CORROSION RESISTANT JEEP SCURED AT BASE.
- D. EXTERIOR SCOFFITS - STICCO PER GENERAL NOTES.
- E. ROOFING - CLASS 'A' FIRE-RETARDING CONCRETE TILES - ELEVATION 'A' - LOW-PROFILE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FINISHES. - ELEVATION 'B' - LOW-PROFILE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FINISHES. - ELEVATION 'C' - FLAT CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FINISHES.

ELEVATION KEY NOTES

- 1 STICCO RESINA - 2" SCUMM MISC. AS NOTED. SEE DETAILS. EXECUTIVE FINISH (IRON MESH SHOWN)
- 2 STICCO SHELF / LOW MALL. STICCO OVER ELASTOMERIC FLASHING. SEE EXTERIOR ELEVATIONS FOR DETAIL.
- 3 SLOPING SURFACE. STICCO OVER ELASTOMERIC FLASHING. SEE DETAIL. S-10A.
- 4 LOWERED STONE VENEER AS SELECTED BY BUILDER. HEIGHT AS NOTED. SEE DETAIL.
- 5 A. STICCO 4" TYP. B. STICCO 1" TYP. SEE DETAIL.
- 6 LOWERED STONE VENEER TRIM. SEE DETAIL.
- 7 STICCO OVER FOAM TRIM. A. 1/2" FOAM IN STICCO OVER. B. 1/4" FOAM IN STICCO OVER. C. 3/8" FOAM IN STICCO OVER. D. 1/2" FOAM IN STICCO OVER. E. 3/4" FOAM IN STICCO OVER. F. 1" FOAM IN STICCO OVER. G. 1 1/4" FOAM IN STICCO OVER. H. 1 1/2" FOAM IN STICCO OVER. I. 1 3/4" FOAM IN STICCO OVER. J. 2" FOAM IN STICCO OVER. K. 2 1/4" FOAM IN STICCO OVER. L. 2 1/2" FOAM IN STICCO OVER. M. SHAPED FOAM IN STICCO OVER.
- 8 SCURED STICCO 4" TYP.
- 9 DECORATIVE MOUNTAIN ROAM. SEE DETAILS.
- 10 1/2" HALF ROUND - 1" DEEP PLUNGED MOUNTED DECORATIVE GLAZ PIPES. SEE ELEVATIONS AND DETAIL. S-10A.
- 11 CORROSION RESISTANT SCREEN LOWERED 1/2" FROM SLAB. SEE EXTERIOR ELEVATION FOR DETAILS.
- 12 FALSE WOOD MATERIAL. TYPE AS SHOWN. SEE DETAILS S-10A-D.
- 13 LOWERED FINISH. SEE DETAIL. S-10A.
- 14 CORROSION RESISTANT ROOF TO MALL FLASHING. SEE ROOF DETAILS.



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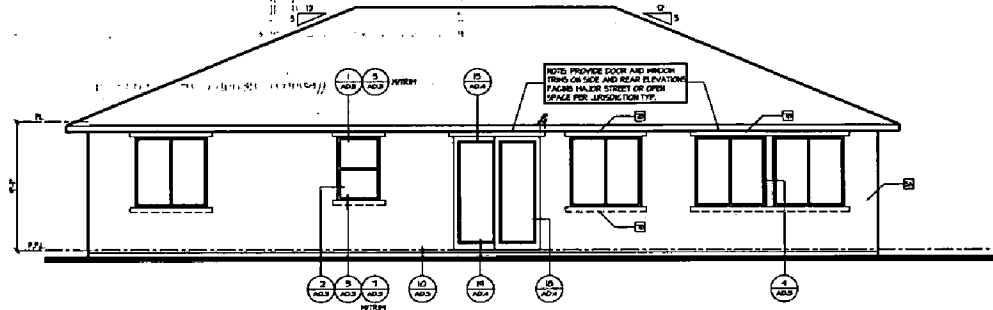
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SACRAMENTO, CA

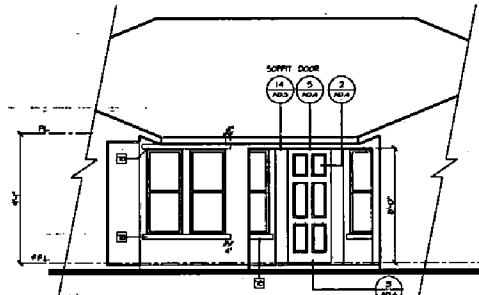
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DATE: 3/2/04
SHEET NO. A3.1
TOTAL SHEETS: 3

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Rec'd 3/2/04

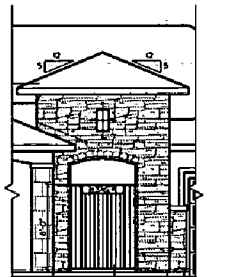
Exhibit 5: Elevation B
(Plan 2)



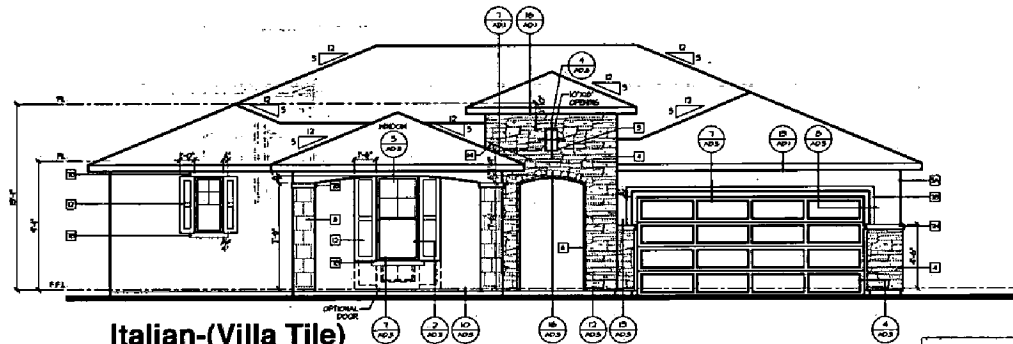
Rear Elevation - B
SCALE: 1/4"=1'-0" REF: 100-3



**Courtyard - AA
Partial Front Elevation - B**
SCALE: 1/4"=1'-0" REF: 100-4



**Gate Option
Partial Front Elevation - B**
SCALE: 1/4"=1'-0" REF: 100-3



**Italian-(Villa Tile)
Front Elevation - B**
SCALE: 1/4"=1'-0" REF: 100-4

**EXTERIOR
ELEVATION NOTES**
NOTE: (SEE PLAN)

- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
- B. WINDOW HEADS HEIGHTS:
- 1ST FLOOR - 8'-0" UNL. ON EXT. ELEVATIONS
- 2ND FLOOR - 8'-0" UNL.
- WINDOW HEADS, AS NOTED ON PLANS. (ALSO ADJUST WINDOW HEADS HEIGHT WITH DOOR HEADS.)
- C. EXTERIOR WALLS:
- STUCCO SYSTEM OVER F.P. FROM INSULATION PER GENERAL NOTES. CORROSION RESISTANT KEEP SEALED AT BASE.
- D. EXTERIOR SOFFITS:
- STUCCO PER GENERAL NOTES.
- E. ROOFING:
- GLASS: 1/2" FIRE-RESISTANT CONCRETE TILE. ELEVATION 10. LOW-PITCHED.
- CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FLASHING.
- ELEVATION 11. LOW-PITCHED.
- CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FLASHING.
- ELEVATION 12. FLAT CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FLASHING.

ELEVATION KEY NOTES

- 1. STUCCO FINISH - 3/8" THICK. SEE DETAIL. DECORATIVE MOUNTAIN BROWN HERE SHOWN.
- 2. STUCCO SHIELD / LIN. WALL. STUCCO OVER ELASTOMERIC FLASHING. SEE EXTERIOR ELEVATIONS FOR DETAIL.
- 3. STUCCO SURFACE. STUCCO OVER ELASTOMERIC FLASHING. SEE DETAIL. (SMA).
A. ADMIXED STONE VENEER AS SELECTED BY BUILDER. HEIGHT AS NOTED. SEE DETAIL.
B. STUCCO OF TYP. B. STUCCO OF TYP. SEE DETAIL.
C. ADMIXED STONE VENEER TYP. SEE DETAIL.
- 4. STUCCO OVER FOAM IRON
A. 1/2" FOAM IRON STUCCO OVER
B. 3/4" FOAM IRON STUCCO OVER
C. 1" FOAM IRON STUCCO OVER
D. 1 1/2" FOAM IRON STUCCO OVER
E. 2" FOAM IRON STUCCO OVER
F. 3" FOAM IRON STUCCO OVER
G. 4" FOAM IRON STUCCO OVER
H. 6" FOAM IRON STUCCO OVER
I. 8" FOAM IRON STUCCO OVER
J. 10" FOAM IRON STUCCO OVER
K. 12" FOAM IRON STUCCO OVER
L. 14" FOAM IRON STUCCO OVER
M. SHAPED FOAM IRON STUCCO OVER
- 5. SCORED STUCCO - 1/4".
A. DECORATIVE MOUNTAIN BROWN SEE DETAIL.
B. 1/2" HALF ROUND - 1" DEEP PL. WOOD MOUNTED. DECORATIVE GLAZED PIPE. SEE ELEVATIONS AND DETAIL. (SMA).
C. CORROSION RESISTANT SCRUBB LOW-COST VENT 1/2" UNL. SEE EXTERIOR ELEVATION FOR DETAILS.
D. FALSE HEAD SHUTTERS. TYPE AS SHOWN. SEE DETAILS 3-SMA.
E. LOWERED ANNING. SEE DETAIL. (SMA).
F. CORROSION RESISTANT ROOF TO HALL FLASHING. SEE ROOF DETAILS.



DATE	DESCRIPTION

4401 Hazel Ave. Ste. 225
Fair Oaks, CA 95628
916-965-1200

DR. HORTON
America's Builder

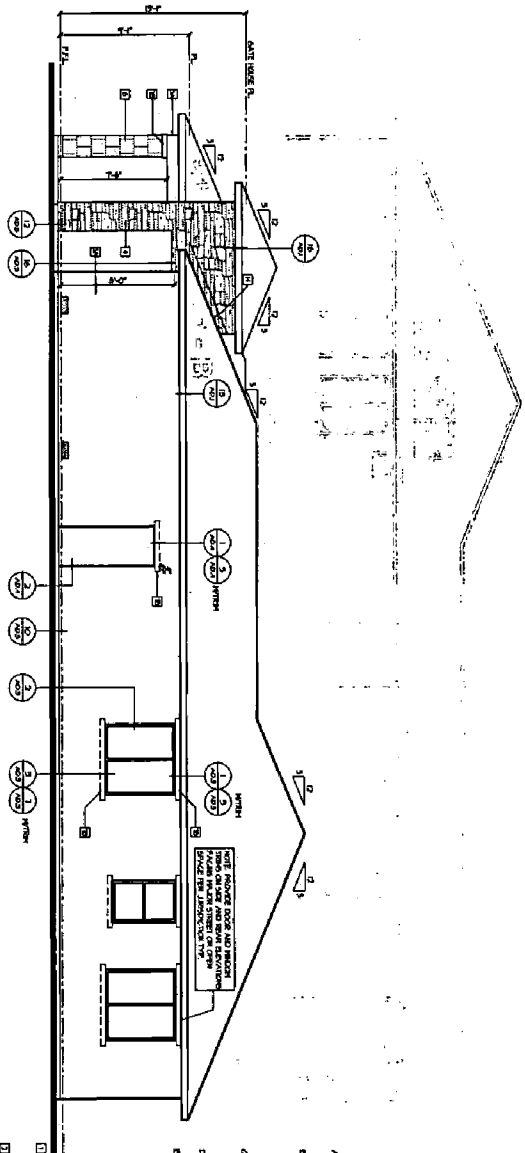
NATOMAS CREEK 65
SACRAMENTO, CA

DATE	DESCRIPTION

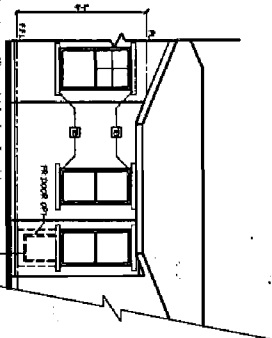
PLAN 2
SHEET NO. A3.5

PERMIT SET
1-5-2004

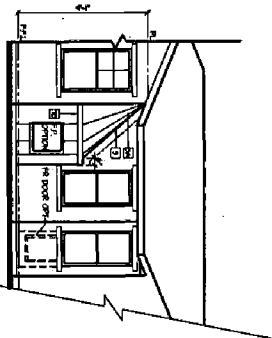
P04-037
Rec'd 3/2/04



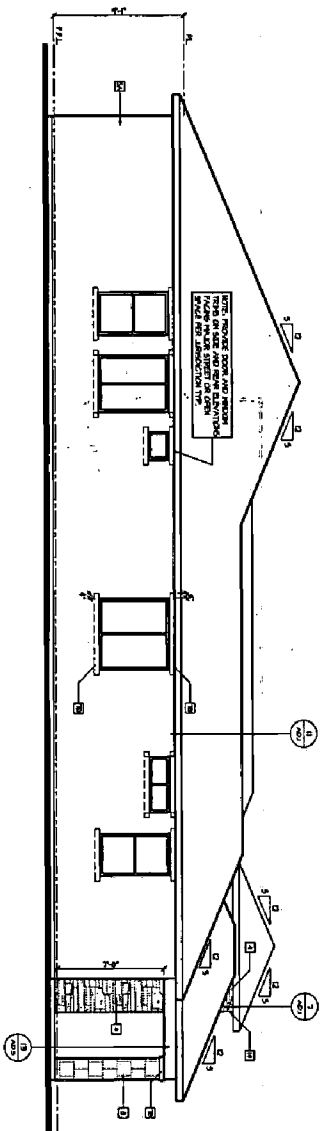
Right Elevation - B



**Courtyard - BB
Partial Side Elevation - B**



**Courtyard - BB - Option
Partial Side Elevation - B**



Left Elevation - B

- EXTERIOR ELEVATION NOTES**
1. REFER TO EXTERIOR ELEVATION FOR FINISHES AND MATERIALS.
 2. WINDOW SIZES AND SPACING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 3. SHADING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 4. ROOF SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 5. FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 6. MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 7. FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 8. MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 9. FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 10. MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
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 16. MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 17. FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 18. MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 19. FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 20. MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

P04-037
Rec'd 3/2/04

NATOMAS CREEK 65
SACRAMENTO, CA

D-R HORTON
America's Builder

4401 Hazel Ave. Ste. 225
Fair Oaks, CA 95628
916-965-2200

Bloodgood Sharp Buster

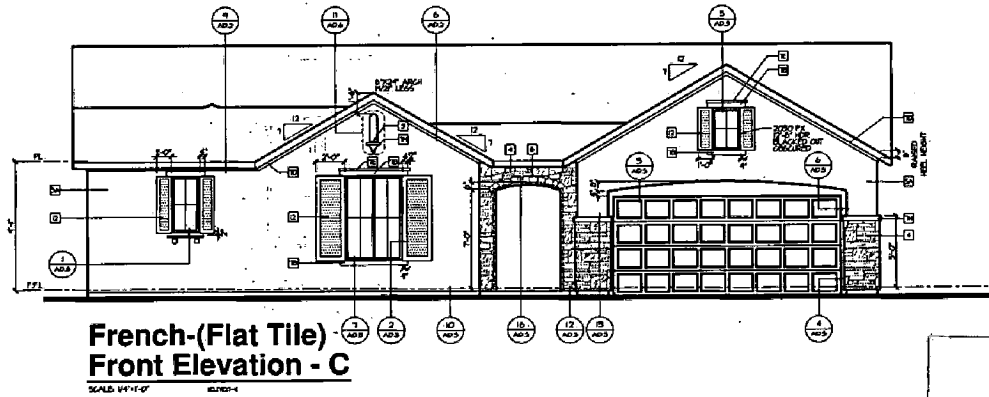
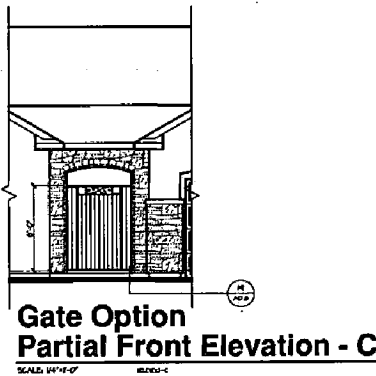
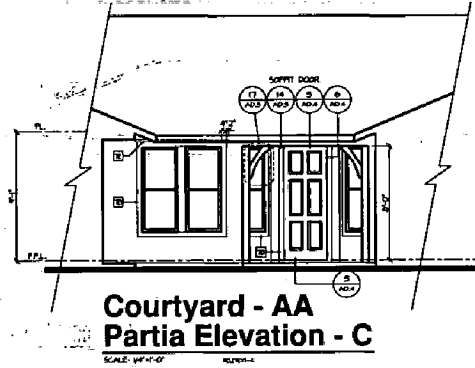
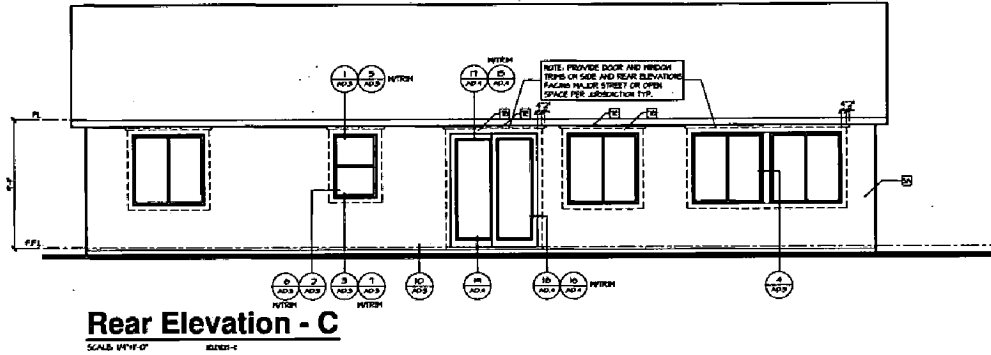
117 Middle St, Ste 110
D. Davis, CA 95622
Phone: 916-441-0000

Office Locations: ☐ One Station ☐ Target ☐ StarMarket ☐ Home ☐ Photo ☐ Delta ☐ Courts ☐ Home ☐ Home ☐ Home ☐ Home

DATE: 02/22/04
SCALE: 1/8" = 1'-0"
DRAWN: [Name]
CHECKED: [Name]
DATE: 02/22/04

PERMIT SET

1-5-2004



**EXTERIOR
ELEVATION NOTES**

- (GENERAL NOTES)
A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
B. WINDOW HEAD HEIGHTS:
- 1ST FLOOR = 8'-0" W/O OR EXT. ELEVATION
- 2ND FLOOR = 8'-0" W/O OR EXT. ELEVATION
- DOOR HEIGHTS AS NOTED ON PLANS. (ALLOW ADJACENT WINDOW HEADS TO BE WITH DOOR HEADERS)
C. EXTERIOR WALLS:
- STUCCO SYSTEM OVER 1" FORTH INSULATION PER GENERAL NOTES, CORROSION RESISTANT PEEL SCREENS AT BASE.
- STUCCO PER GENERAL NOTES
D. EXTERIOR SURFACES:
E. ROOFING:
- CLASS 1A FIRE RESISTANT CONCRETE TILES
- INSULATION (R-19) INSULATION
- CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FLASHING.
- ELEVATION KEY: L - LOW PROFILE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FLASHING.
- ELEVATION KEY: H - HIGH PROFILE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FLASHING.
F. ELEVATION KEY NOTES:
1. STUCCO HEIGHT - 1/2" ROUGH SIZE AS NOTED. SEE DETAILS. DECORATIVE HIGHLIGHT BORN WHERE SHOWN.
2. STUCCO SUELF / LOW WALL. STUCCO OVER ELASTOMERIC FLASHING. SEE EXTERIOR ELEVATIONS FOR DETAIL.
3. SLOPING SURFACE. STUCCO OVER ELASTOMERIC FLASHING. SEE DETAIL. LVPB.
4. ADHERED STONE VENER AS SELECTED BY BUYER. HEIGHT AS NOTED. SEE DETAIL.
5. 5" STUCCO 1/2" TYP.
6. ADHERED STONE VENER 1/4". SEE DETAIL.
7. STUCCO OVER ROUGH TRIM:
A. 1/2" FOMM IN STUCCO OVER
B. 1/2" FOMM IN STUCCO OVER
C. 1/2" FOMM IN STUCCO OVER
D. 1/2" FOMM IN STUCCO OVER
E. 3/4" FOMM IN STUCCO OVER
F. 1/2" FOMM IN STUCCO OVER
G. 1/2" FOMM IN STUCCO OVER
H. 1/2" FOMM IN STUCCO OVER
I. 1/2" FOMM IN STUCCO OVER
J. 1/2" FOMM IN STUCCO OVER
K. 1/2" FOMM IN STUCCO OVER
L. 3/4" FOMM IN STUCCO OVER
M. 1/2" FOMM IN STUCCO OVER
N. SAWED FOMM IN STUCCO OVER
8. SCORED STUCCO - 1/4".
9. DECORATIVE HIGHLIGHT BORN. SEE DETAILS.
10. 1/4" HALF ROUND - 1" DEEP PLWOOD MOUNTED DECORATIVE CLAY PILES. SEE ELEVATIONS AND DETAIL. BEND.
11. CORROSION RESISTANT SCREEN COVERED WITH 1/4" WOOD. SEE EXTERIOR ELEVATION FOR DETAILS.
12. FALSE HOOD BUTTERS. TYPE AS SHOWN. SEE DETAILS B-1204.
13. LOWERED ANGLE. SEE DETAIL. B2A-D.
14. CORROSION RESISTANT ROOF TO WALL FLASHING. SEE ROOF DETAILS.



PROJECT NO. 04-037-001-002
DATE 02/20/04

4401 Hazel Ave., Ste. 225
Sacramento, CA 95828
Fair 916-865-2200

D. R. HORTON
America's Builder

NATOMAS CREEK 65
SACRAMENTO, CA

717 H Street, Suite 111
Name: 916-865-2200

SI Tim Woodford, Sharp Designer
Office Location

DATE ISSUED: 02/20/04
PROJECT NO: 04-037-001-002
DRAWN BY: DWH
CHECKED BY: DWH

REV. NO. | REVISION | DATE
1 | 1 | 2/20/04

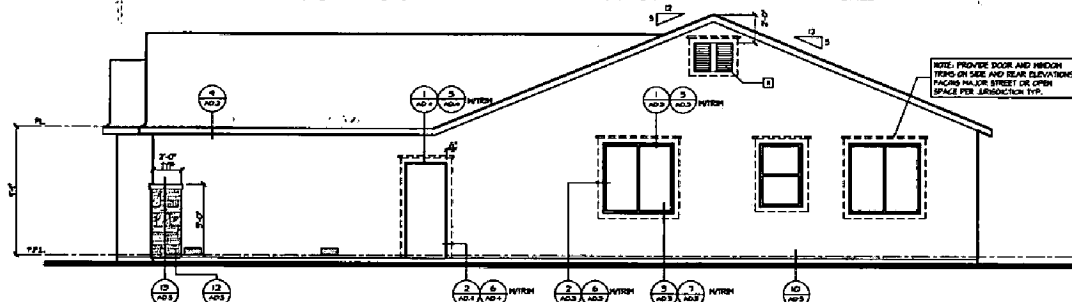
PLAN 2

SCALE: 1/4"=1'-0"
SHEET NO. | TOTAL SHEETS
A3.9 | 1

PERMIT SET
1-5-2004

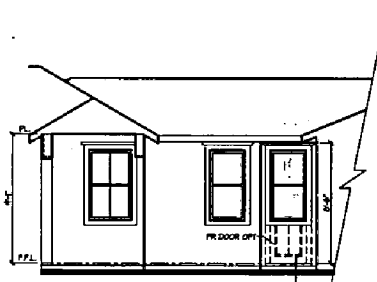
P04-037
Rec'd 3/2/04

Exhibit 5: Elevation C
(Plan 2)



Right Elevation - C

SCALE: 1/4"=1'-0" 1/8"=1'-0"



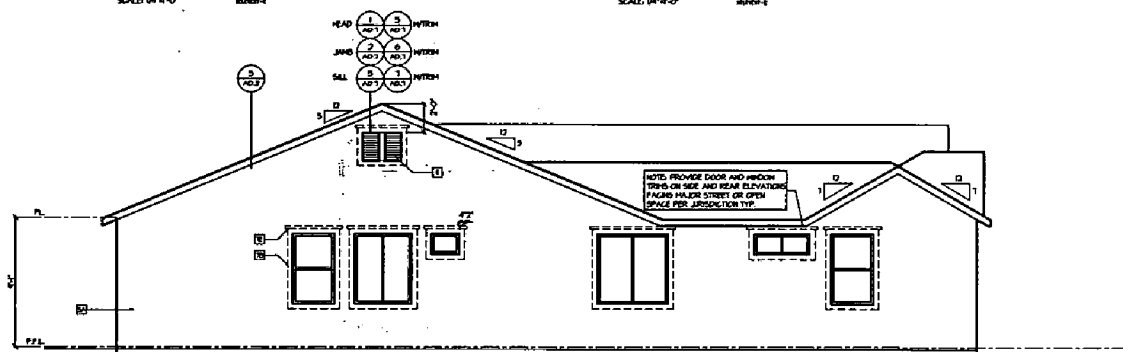
**Courtyard - BB
Partial Side Elevation - C**

SCALE: 1/4"=1'-0" 1/8"=1'-0"



**Courtyard - BB - Option
Partial Side Elevation - C**

SCALE: 1/4"=1'-0" 1/8"=1'-0"



Left Elevation - C

SCALE: 1/4"=1'-0" 1/8"=1'-0"

EXTERIOR ELEVATION NOTES

- NOTE: EXHIBIT 5
- REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
 - WINDOW HEADS: 1ST FLOOR = 8'-0" U.A.D. ON EXT. ELEVATION. 2ND FLOOR = 8'-0" U.A.D. DOOR HEADS AS NOTED ON PLAN. (ALSO ADJUSTMENT WINDOW HEADS 18" MIN WITH DOOR HEADERS)
 - EXTERIOR WALLS: -STUCCO SYSTEM OVER 1" FOAM INSULATION PER GENERAL NOTES. CORROSION RESISTANT KEYS SURFACES AS NOTED.
 - EXTERIOR SOFFITS: -STUCCO PER GENERAL NOTES.
 - ROOFING: -GLAZED TILE FIRE-RETARDANT CONCRETE TILE. ELEVATION 11: LOW PROFILE. CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FINISHES. ELEVATION 12: LOW PROFILE. CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FINISHES. ELEVATION 13: FLAT CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FINISHES.

ELEVATION KEY NOTES

- STUCCO RECESS: -3" MINIMUM AS NOTED. SEE DETAILS. DECORATIVE FINISH: IRON WOOD SHOWN.
- STUCCO SUELS / LINI WALL: STUCCO OVER ELASTOMERIC FLASHING. SEE EXTERIOR ELEVATIONS FOR DETAIL.
- FLASHING SURFACES: STUCCO OVER ELASTOMERIC FLASHING. SEE DETAIL. U.A.D.A.
- ADHERED STONE VENEER AS SELECTED BY DESIGNER. HEIGHT AS NOTED. SEE DETAIL. A. STUCCO 2" TYP. B. STUCCO 2" TYP.
- ADHERED STONE VENEER TRIM. SEE DETAIL.
- STUCCO OVER ROOF TRIM: A. 1/2" FROM HW STUCCO OVER B. 1/2" FROM HW STUCCO OVER C. 1/2" FROM HW STUCCO OVER D. 1/2" FROM HW STUCCO OVER E. 1/2" FROM HW STUCCO OVER F. 1/2" FROM HW STUCCO OVER G. 1/2" FROM HW STUCCO OVER H. 1/2" FROM HW STUCCO OVER I. 1/2" FROM HW STUCCO OVER J. 1/2" FROM HW STUCCO OVER K. 1/2" FROM HW STUCCO OVER L. 1/2" FROM HW STUCCO OVER M. SHAPED FROM HW STUCCO OVER.
- SCORED STUCCO UP.
- DECORATIVE FINISH: IRON. SEE DETAILS.
- DECORATIVE FINISH: IRON. SEE DETAILS. DECORATIVE GLAZED FINISH. SEE ELEVATIONS AND DETAIL. S.A.D. 1.
- CORROSION RESISTANT SCREEN LOUVERED VENT. HEIGHT AS NOTED. SEE EXTERIOR ELEVATION FOR DETAILS.
- FALSE WOOD SHUTTERS. TYPE AS SHOWN. SEE DETAILS. S.A.D. 1.
- LOWEDED FINISH. SEE DETAIL. S.A.D. 1.
- CORROSION RESISTANT ROOF TO WALL FLASHING. SEE ROOF DETAILS.



4401 Hazel Ave, Ste. 225
Fair Oaks, CA 95628
916-966-2200

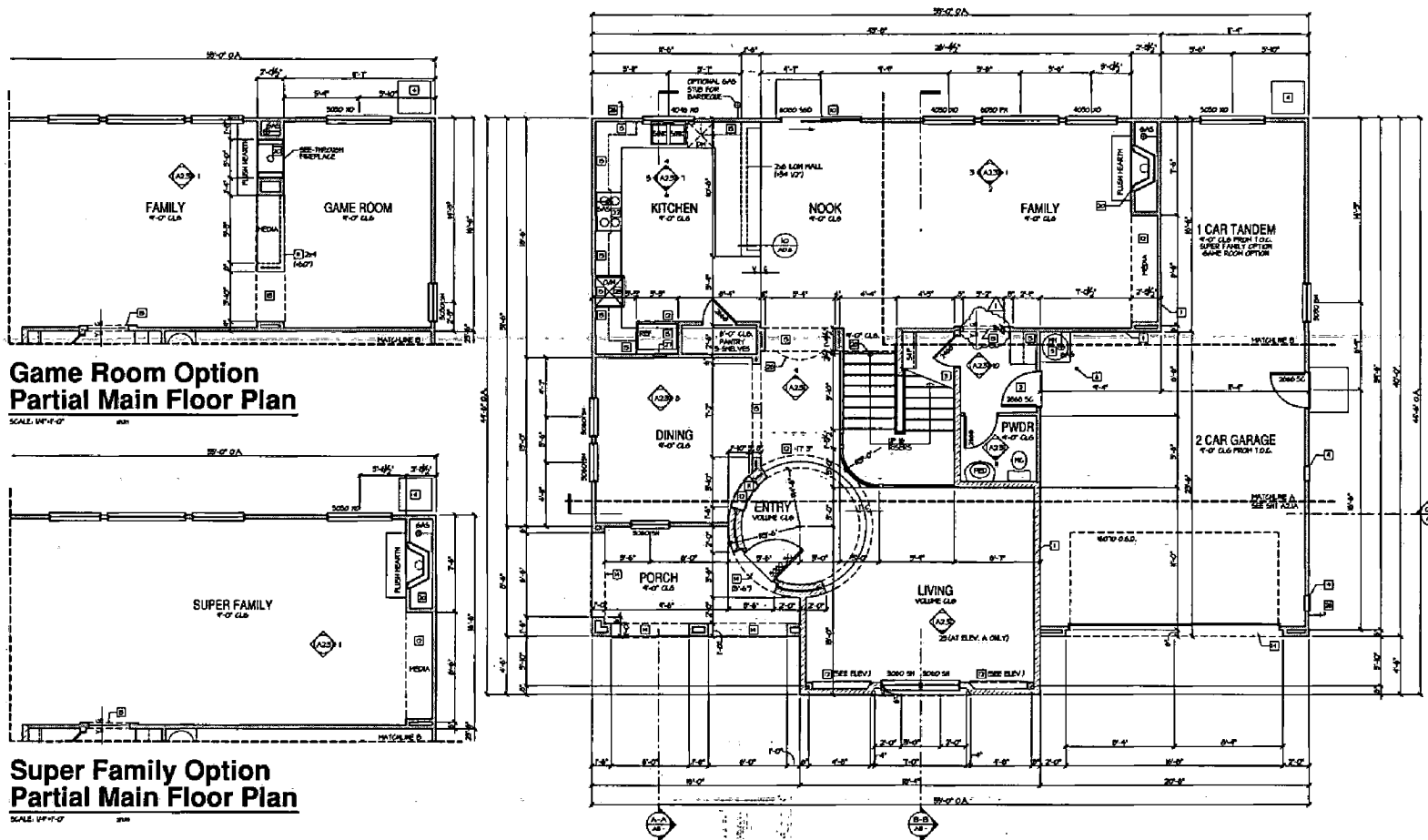
D. R. HOKIN
P.E.
America's Builder

NATOMAS CREEK 65
SACRAMENTO, CA

DATE: 03/02/04
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1/4"=1'-0"
SHEET NO. 1 OF 1
PROJECT NO. P04-037

P04-037
Rec'd 3/2/04

Exhibit 6: Main Floor Plan
(Plan 3)



Game Room Option
Partial Main Floor Plan

Super Family Option
Partial Main Floor Plan

Elevation A
Main Floor Plan

SQUARE FOOTAGES	
MAIN FLOOR	2500
UPPER FLOOR	1750
BASEMENT	2000
CONCRETE	2000
TOTAL	8250
EXTERIOR WALL/PAINT OPT	100
LANDSCAPE & SURFACING	400
CONCRETE	100
CONCRETE (OPTION)	100

P04-037
Rec'd 3/2/04

MAIN FLOOR NOTES

- A. REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES.
 - B. REFER TO DIMS FOR CERTIFICATE OF COMPLIANCE AND INSULATION VALUES.
 - C. ALL EXTERIOR WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
 - D. WINDOW HEIGHT MINIMUM: 1ST FLOOR - 4'-0" OF HEAD; 2ND FLOOR - 4'-0" OF HEAD. DOOR HEIGHTS AS NOTED ON PLANS (ALUM ADJACENT ROOMS: HEADER HEIGHT WITH DOOR HEADS).
- PLASTER NOTES**
1. HOSE TO GARAGE FIRE SEPARATION. MANUFACTURE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (2) LAYER 5/8" TYPE 'X' GYP BOARD PER CODE SECTION 708 AND TABLE 7-0.10M F-0.5.
 2. GARAGE FIRE SEPARATION AT HORIZONTAL SURFACE AT 2" OF G.C. SHALL BE PROTECTED WITH TWO (2) LAYERS 5/8" TYPE 'X' GYP BOARD PER CODE TABLE 7-0.10M F-0.5.
 3. HOSE TO GARAGE DOOR SEPARATION. PROVIDE 5/8" SOLID CORE DOOR OR APPROX. 20 MINUTE RATED DOOR BY SELF CLOSURE AND PART FITTER.
 4. IDENTIFY STUDS AND LATHING. 5/8" TYPE 'X' GYP BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS.
 5. A/C CONDENSER ON 2" X 4" JOIST PER MECHANICAL CONTRACTOR AND PROVIDE ADEQUATE SLOPE.
 6. GWS PLASTER HEADERS ON 4" HIGH PLATFORM. 1/2" PER ENDLER. SEE DETAIL, M.P.O.S. AND GENERAL NOTES.
 7. BOLLARD CONCRETE FILLED 3" STAINWOOD PIPE. LOCATE PER SLAB PERMETER LAYOUT. SEE DETAIL, G.A.S.A.
 8. ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BY NOT LESS THAN 30" CLEARANCE.
 9. FILL IN ATTIC ABOVE. PROVIDE UNRESTRICTED ACCESS TO ALL LINES ABOVE TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PROVIDE 30" HIGH WALK OFF PLATFORM WITH 1/2" SLOPE FLOORING WITH 30" SLOPE PLATFORM AT SERVICE SIDE OF THE EQUIPMENT. MAX. 27" FROM ACCESS POINT TO FILL. VERIFY LOCATION BY MECHANICAL CONTRACTOR. RETAIL PER GENERAL NOTES.
 10. PROVIDE SCHEDULED LUMBER JOIST CONDITION AS NOTED.
 11. TYPED SAFETY PLANS PER GENERAL NOTES SECTION 0800.
 12. TYPED SAFETY PLAN AS NOTED. IN DOUBLE TOP PLATE. SEE DETAIL 2/10/04 (SEE DETAIL 2/10/04).
 13. PLAT SCRY AT 8'-0" ELEV. PROVIDE CHECKING AREA.
 14. INTERIOR FINISHES. PROVIDE EXTERIOR FINISHES. PLAT SCRY AT 8'-0" ELEV. PROVIDE CHECKING AREA. SEE DETAIL 2/10/04 FOR ELEVATIONS AND DIMENSIONS. SEE EXTERIOR ELEVATIONS FOR DIMENSIONS.
 15. WALL HEIGHTS CABINET ABOVE. 3/4" DEEP UPPER CABINETS ABOVE REFRIGERATOR.
 16. CROWN. VENT ELEV SHALL BE OF SMOOTH METAL EXTENDING TO EXTERIOR WITH BALCONY RAMP PER L.C. AND L.C. MAXIMUM LENGTH WITH 2" TO 3" DROVE ELEVATION. VENT SHALL BE PROVIDED ABOVE REFRIGERATOR. PROVIDE A SMOOTH, HARD, NONCORROSIVE SURFACE OVER MECHANICAL SYSTEM BOARD TO A HEIGHT OF 30" ABOVE ABOVE DOWN SILET. DOWN HEAD 4"-11". TYPED SAFETY PLAN ENCLOSED.
 17. PROVIDE INDIVIDUAL CONTROLS, VALVES OF THE PRESSURE BALANCE ON THE THERMOSTATIC HEAVY VALVE TYPE FOR THE SHOWER, AND TUB/SHOWER COMBINATION.
 18. EMERGENCY EGRESS. ONE SHAW IN AREA. SLOPED AREA SHALL COMPLY WITH SLOPED AREA OF 1/4" PER FOOT. THE MINIMUM NET CLEARANCE HEIGHT THROUGH SHALL BE 20 INCHES AND THE MINIMUM NET CLEARANCE WITH CROWN SHALL BE 20 INCHES. EGRESS THROUGH SHALL HAVE A MINIMUM HEAD ROOM OF NOT LESS THAN 44 INCHES ABOVE THE FLOOR.
 19. FINISH FACED METAL. 3/4" DEEP VENT 3/4" WIDE. VENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER REQUIREMENTS.
 20. 4" X 8" FLOORING. THE OPENING TILE APPLIC. SPLASH AND G.C.A.
 21. 36" BASH COOKTOP IN 36" HOOD. LIGHT BASHED PAN ABOVE. VENT FOR EXTERIOR. NOTES OTHER.
 22. 30" ELECTRIC OVEN IN INTERNAL MECHANICAL OVEN.
 23. LINES IN WYTHEWOOD. FINISH ON 1/2" DEEP SHELVES.
 24. PROVIDE DRAIN PAN AT SECOND FLOOR ONLY. DRAIN TO EXTERIOR.
 25. EXTERIOR FINE WORK. PROVIDE WITH NONCORROSIABLE BACKLON PERFORMER 20 MINUTE.
 26. COLD WATER STOP OUT.
 27. DIMENSIONS LINE INDICATED OUTLINE OF UPPER FLOOR ABOVE. DOTTED LINE INDICATES OUTLINE OF MAIN FLOOR BELOW.



NO.	DATE	REVISION

4401 Hazel Ave, Ste. 225
Fair Oaks, CA 95626
916-965-2200

D.R. HORTON
America's Builder

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SACRAMENTO, CA

1111 J Street, Suite 100
Sacramento, CA 95811
Phone: 916-965-2200

Office Locations: Auburn, Colusa, Elvert, Eureka, Marysville, Yuba City, Yuba

1111 J Street, Suite 100
Sacramento, CA 95811
Phone: 916-965-2200

Bloodgood Sherry Hunter

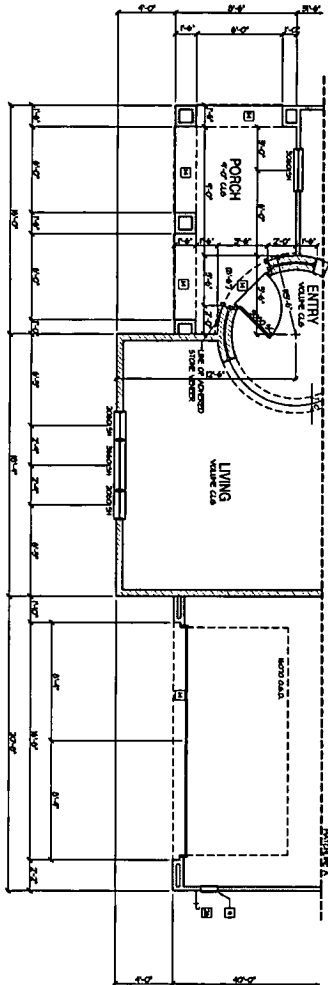
DATE	BY	REVISION

PLAN 3
1ST FLOOR PLAN

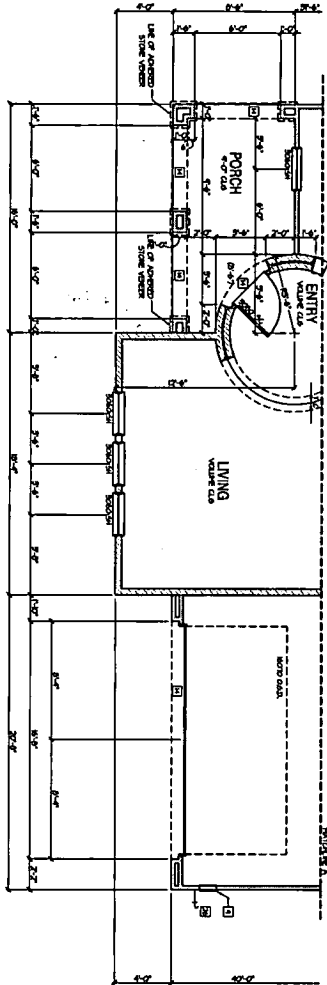
NO.	DATE	REVISION

A2.1

Exhibit 6: Main Floor Plan
(Plan 3)



Elevation B
Partial Main Floor Plan

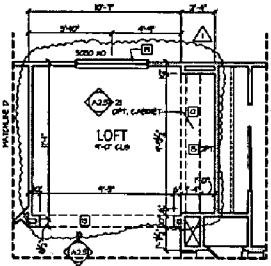


Elevation C
Partial Main Floor Plan

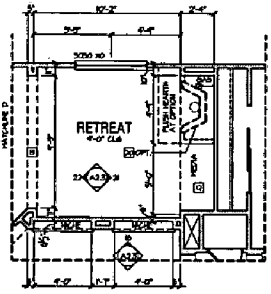
- MAIN FLOOR NOTES**
- A. REFER TO GENERAL NOTE SHEETS FOR PLAN
 - B. REFER TO THE GENERAL NOTE SHEETS FOR PLAN
 - C. ALL DIMENSIONS SHALL BE IN FEET AND INCHES
 - D. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - E. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - F. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - G. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - H. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - I. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - J. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - K. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - L. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - M. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - N. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - O. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - P. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - Q. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - R. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - S. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - T. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - U. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - V. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - W. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - X. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - Y. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE
 - Z. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE

<p>P04-037 Rec'd 3/2/04</p>	<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>	<p>D-R HORTON America's Builder</p>	<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200</p>
<p>1-5-2004</p>	<p>PERMIT SET</p>	<p>Office Locations</p> <p>•One Valley •Tempe •Sacramento •Chicago •Phoenix •Dallas •Columbus •Indianapolis •Atlanta •Boston</p>	<p>1171 Woodland Way, Suite 110 D. Gerald Hill, Inc. CA 95762 Phone: 916-965-0892</p>

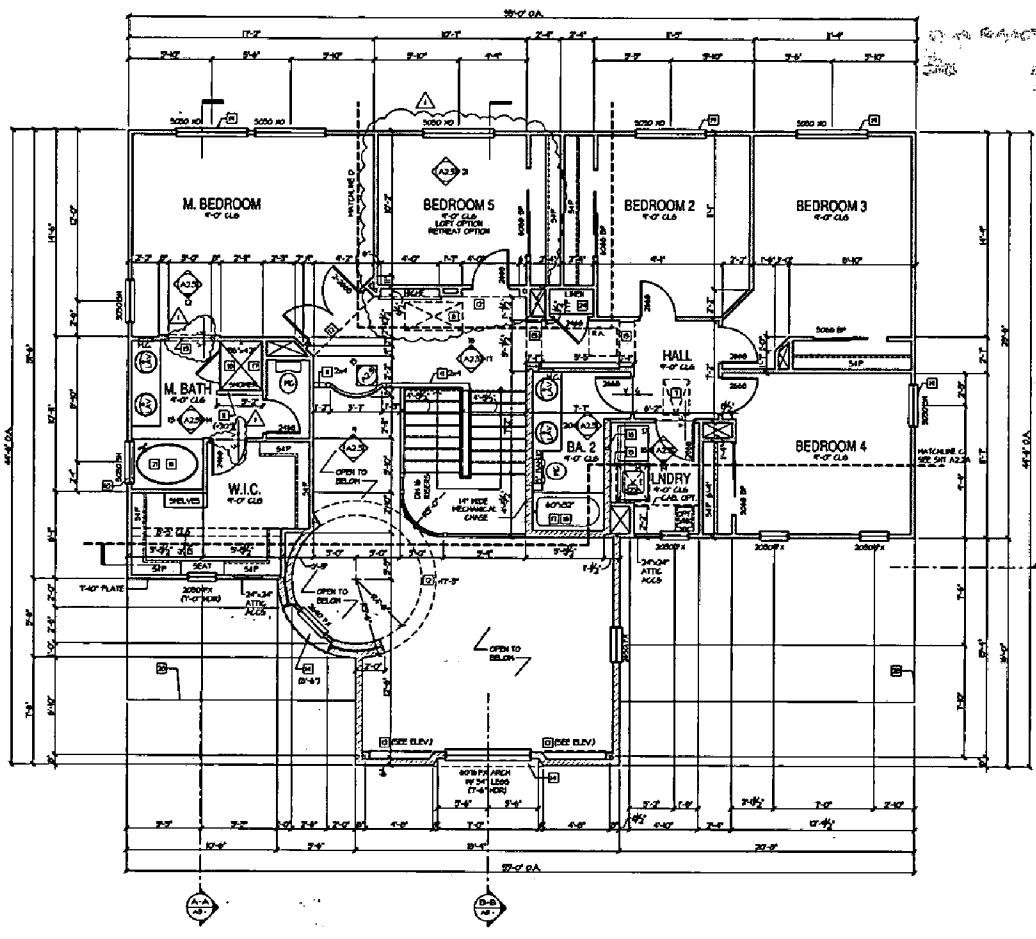
Exhibit 6: Upper Floor Plan
(Plan 3)



Loft Option
Partial Upper Floor Plan
SCALE: 1/4"=1'-0"



Retreat Option
Partial Upper Floor Plan
SCALE: 1/4"=1'-0"



Elevation A
Upper Floor Plan
SCALE: 1/4"=1'-0"

SQUARE FOOTAGES	
MAIN FLOOR	1250
UPPER FLOOR	1250
LOFT	200
RETIRES	200
TOTAL	2700
DEVELOPER/OWNER/ARCHITECT	100
CONTRACTOR	100
OPTION #	100
CONTRACT SYSTEM	100

MAIN FLOOR NOTES

- A. REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES.
- B. REFER TO THE SHEETS FOR CERTIFICATE OF COMPLIANCE AND INSURANCE NOTES.
- C. ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
- D. APPROX. TYPICAL HEIGHTS:
-1ST FLOOR: 8'-0" FIN.
-2ND FLOOR: 8'-0" FIN.
-DOOR HEIGHTS AS NOTED ON PLANS (ALSO ALLOWANCE FROM FINISH HEIGHT WITH DOOR HEADS)

FINISHES NOTES

1. REFER TO GENERAL FINISH SCHEDULE. ARRANGEMENT SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD PER IBC 703.2.2(2) AND TABLE 703.2(1) (4).
2. ARRANGEMENT SEPARATION AT HORIZONTAL SURFACE AT 3" O.C. SHALL BE PROTECTED WITH TWO (2) LAYERS 5/8" TYPE 'X' GYPSUM BOARD PER IBC TABLE 703.2(1) (4).
3. REFER TO GARAGE DOOR SEPARATION. PROVIDE 1-1/2" SOLID CORE DOOR OR APPROVED 3/4" HEAVY GAUGE METAL SELF-CLOSURE AND THRESH FITTING.
4. REPAIR STAIRS AND LANDINGS.
5/8" TYPE 'X' GYPSUM, 1/2" O.C., ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREA.
5. ALL CONCRETE ON 1ST & 2ND FRS PRECAST CONCRETE FINISH ABOVE GRADE.
6. 3/4" WHITE RENDER ON 1ST FLOOR PLASTER AND GENERAL NOTES.
7. ALL WALLS AND CEILING FIELDS TO STANDARD FINISH. LOCATE FIN. PLAN FOR FINISH LAYOUT.
8. ALL ACCESS LAMINATE FINISH TO REMOVE LAMINATE PIECE OF EQUIPMENT BUT NOT LESS THAN 2" SPACE FROM FINISH LAMINATE.
9. FIN IN ATTIC ABOVE. PROVIDE UNRESTRICTED PARALLEL PASSAGEWAY FROM LARGE DOOR TO REMOVE THE LAMINATE FROM EQUIPMENT. PROVIDE 30" HIGH x 30" WIDE PARALLEL PASSAGEWAY AT SERVICE SIDE OF THE EQUIPMENT. PROVIDE 30" HIGH ACCESS HOLES TO PANEL LOCATION OF MECHANICAL EQUIPMENT. INSTALL PER GENERAL NOTES.
10. PROVIDE SCREENED LAMINATED LATH CONCRETE OVER FINISH.
11. DOWNWALL, 1/2" MIN. AS NOTED, W/ DOUBLE 1/2" PLATE. SEE DETAIL SCHEDULE.
12. FINISH SCHEDULE AT 1/4" O.C. PROVIDE OVERLAP.
13. INTERIOR WALLS FINISH OVERLAP TYPICAL PLANT SCHEDULE BY FINISH SCHEDULE. SEE SHEET JAU FOR ELEVATIONS AND DEVELOPMENTS.
14. EXTERIOR DOORS OR WINDOWS SEE EXTERIOR ELEVATIONS FOR DEVELOPMENTS.
15. WALL MOUNTED CABINET ABOVE 3/4" DEEP UPPER CABINETS ABOVE REFRIGERATOR.
16. DOWN WALL DUCT SHALL BE OF SMOOTH METAL, EXTENDING TO EXTERIOR WITH DUCTWORK COVER PER IBC AND CHANGES BY DESIGN WITH 1/2" INSULATION. ELBOWS UNLESS VENT CAPS ARE PROVIDED.
17. SINKERS AND TUBS/SHOWER CONNECTIONS. PROVIDE A SMOOTH FINISH REFRIGERATOR SURFACE OVER REFRIGERATOR. SINKERS ABOVE DRAIN BLT. SINKER HEAD 1/2" RECESSED BLAS ENCLOSED.
18. PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE INDEPENDENT MIXING VALVE TYPE FOR THE SHOWER, AND TUB/SHOWER CONNECTION.
19. ENERGY SCHEDULE. ONE SMOKE SENS. SLEEPING AREA SHALL COVER 1/2" FIRE RATED FLOOR AND CEILING COVERED. SCHEDULE HORIZONTAL SHALL HAVE A NET CLEAR OPENABLE AREA OF 21 SQUARE FEET. THE HORIZONTAL NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE HORIZONTAL NET OPENABLE HEIGHT DIMENSION SHALL BE 30 INCHES. SINKER HEADS SHALL HAVE A FINISH ALL ROUND OF NOT MORE THAN 1/4" INCHES ABOVE THE FLOOR.
20. PRE-FABRICATED METAL 3/4" DEEP VENT AND REFRIGERATOR UNIT AS 1/2" FIRE RATED. ELEVATIONS, INSTALL AND USE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER REQUIREMENTS.
21. 1/2" x 1/2" FIBERGLASS TUB CERAMIC TILE APPROX. 1/4" MIN. AND 1/2" MIN.
22. 3/4" BATH COOKTOP W/ 24" HOOD LIGHT EXHAUST FAN ABOVE. VENT PER GENERAL NOTES OVERHEAD EXHAUST SYSTEM.
23. 3/4" ELECTRIC OVER W/ INTERNAL MICROWAVE OVEN.
24. LIFT IN REFRIGERATOR. TYPE 13 W/ DEEP SINKS.
25. HANDED DRAIN PAN AT SECOND FLOOR ONLY. DRAIN TO EXTERIOR.
26. EXTERIOR HOSE REEL. PROVIDE WITH NON-RETRACTABLE EXHAUSTION PREVENTION DEVICES.
27. GOLD FINISH STUB OUT.
28. DOWNWALL REFRIGERATOR DELIVER OF UPPER FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF MAIN FLOOR BELOW.



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916-955-2000

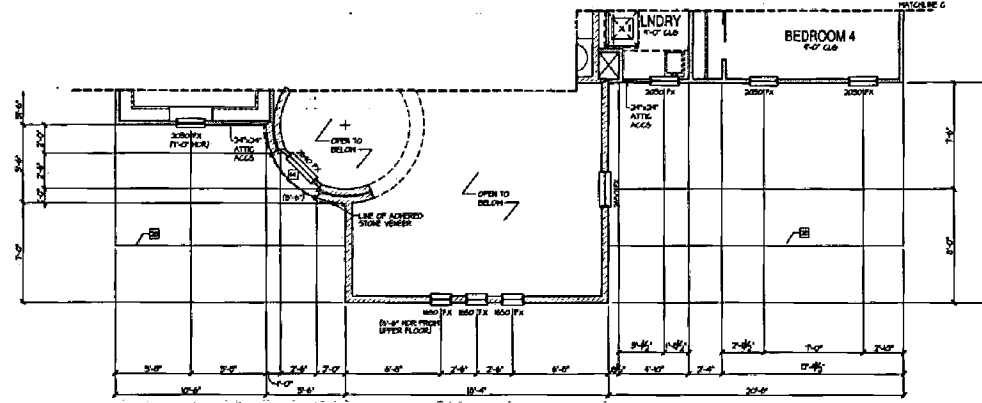
DR. HOHION, P.E.
America's Builder

NATOMAS CREEK 65
SACRAMENTO, CA
Hoodgood Stamp Builders

PLAN 3
A2.2

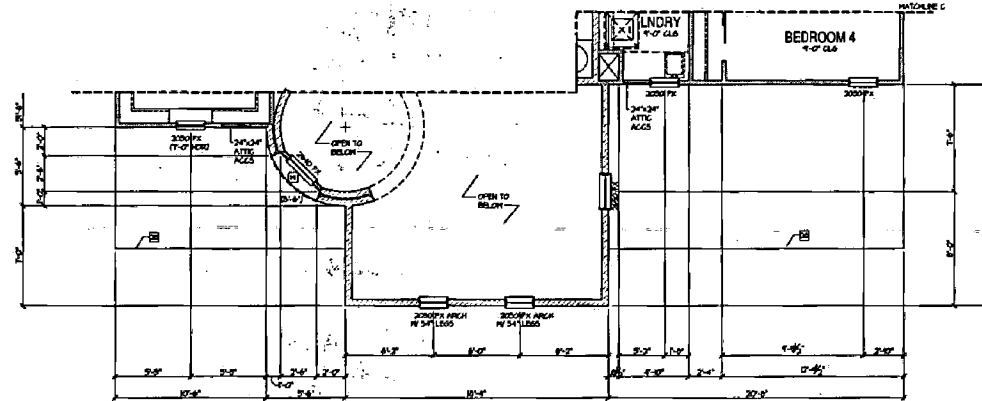
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Exhibit 6: Upper Floor Plan
(Plan 3)



Elevation B
Partial Upper Floor Plan

SCALE: 1/8\"/>



Elevation C
Partial Upper Floor Plan

SCALE: 1/8\"/>

MAIN FLOOR NOTES

- REFERENCE**
- A. REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES.
 - B. REFER TO 2ND SHEETS FOR DIMENSIONS OF CONCRETE AND INSULATION VALUES.
 - C. ALL DIMENSIONS SHALL TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
 - D. FINISH FLOOR HEIGHTS:
1ST FLOOR - 8'-0\"/>

- DETAIL NOTES**
1. HOSE TO MANAGE FIRE SEPARATION SURVIVABLE SEPARATION AT VERTICAL SURFACES SHALL BE PROVIDED IN ONE (1) LAYER 5/8\"/>

2. HOSE TO MANAGE DOOR SEPARATION PROVIDE 1/2\"/>
3. FINISH FLOOR AND LANDING:
SAY TYPE 'X' SUPPORTS AT 8\"/>
4. NO CONCRETE OR SIP 'X' OR PRECAST CONCRETE SHALL BE FINISH ABOVE GRADE.
5. GAS WATER HEATER ON 8\"/>
6. ROLLING CONCRETE FILLED BY SHOWNING FIRE LOCATE PER FLOOR FINISH LAYOUT. SEE DETAIL SADA.
7. ATTIC ACCESS LAMBE DROOP TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30\"/>

8. FINISH ATTIC FLOOR. PROVIDE UNDEFLECTED INSULATION WITH 1\"/>
9. PROVIDE SCHEDULE 40 CHANNEL LOW CORRELATION AIR VENTS.
10. PROVIDE SAFETY BLANKS FOR GENERAL NOTES SECTION CHECKS.
11. LOW WALL MOUNT AS NOTED BY DOUBLE TOP PLATE. SEE DETAIL SADA.
12. FINISH FLOOR AT 8'-0\"/>
13. INTERIOR ARCHES FINISH DEPRESSIONS TYPICAL. FLAT SOFFIT IN 12\"/>
14. EXTERIOR SOFFIT OR ARCH SEE EXTERIOR ELEVATIONS FOR FINISHING.
15. WALL MOUNTED CABINET ABOVE 3/4\"/>
16. DOORS. VENT DUCT SHALL BE OF SMOOTH METAL EXTENDING TO EXTERIOR WITH BACKDRIFT DAMPER PER CALC AND CALC. HANGING 1/4\"/>
17. SHOWERS AND BATHROOM COMBINATIONS. PROVIDE A SMOOTH, HARD, NONABSORBENT SURFACE OVER NONWOODEN SURFACES AT LEAST TO A HEIGHT OF 10\"/>
18. PROVIDE REMOVABLE CONTROL VALVES OF THE PRESSURE DRAINAGE OR THE INDICATORIC PRESSURE VALVE TYPE FOR THE SHOWER AND BATHROOM COMBINATIONS.
19. EMERGENCY EGRESS. ONE SHOWN IN SA. SLEEPING AREA SHALL COMPLY WITH SCHEDULED FIRE AND SMOKE CODES. EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING AREA OF 5.7 SQUARE FEET. THE WINDOW NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND THE WINDOW NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. BATHROOMS SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 41 INCHES ABOVE THE FLOOR.
20. FIRE PARTITIONED METAL 2x4 DIRECT VENT GAS FIREPLACE. SEE SHEET A3.2 FOR ELEVATIONS. FINISH AND USE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER REQUIREMENTS.
21. 4\"/>
22. 2x4 TRIM LOCATED TOP BY 30\"/>
23. 8\"/>
24. LINES IN FINISHGRADE. FIVE (5) 4\"/>
25. HANGER DRUM PAN AT SECOND FLOOR ONLY. DRAIN TO EXTERIOR.
26. EXTERIOR HOSE REELS. PROVIDE WITH NON-REMOVABLE ENGLAUGH PROTECTION DEVICES.
27. COLD WATER STOP OUT.
28. DIMED LINE INDICATES OUTLINE OF UPPER FLOOR ABOVE. SOLID LINE INDICATES OUTLINE OF MAIN FLOOR BELOW.



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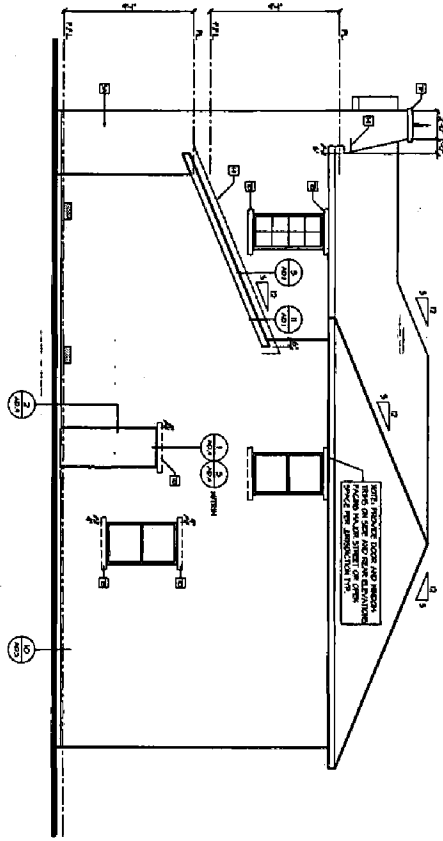
NATOMAS CREEK 65
SACRAMENTO, CA

DATE	BY	APP'D	SCALE
2018.03.28	DRH	DRH	1/8\"/>
PLAN 3			
DATE	BY	APP'D	SCALE
2018.03.28	DRH	DRH	1/8\"/>

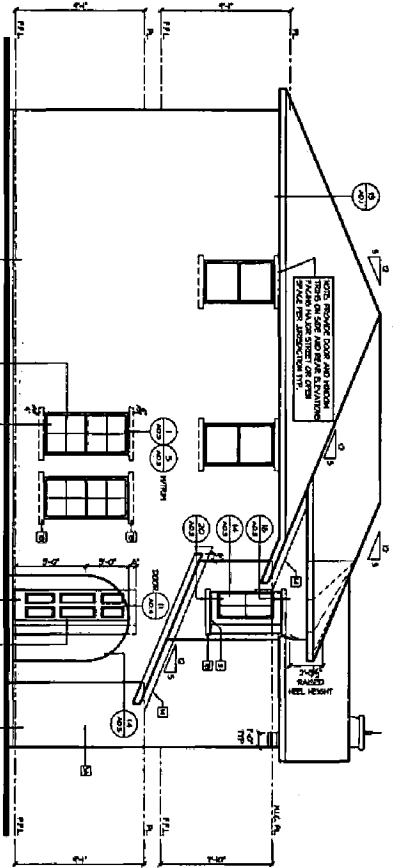
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A2.2A

Exhibit 6: Elevation A
(Plan 3)



Right Elevation - A



Left Elevation - A

SCALE: 1/4" = 1'-0"

EXTERIOR
ELEVATION NOTES

A. REFER TO GENERAL NOTES SHEETS 1, 2 & 3 FOR DISCUSSION OF MATERIALS, FINISHES, AND WORKMANSHIP.

B. VERIFY LOCAL WEATHERING CONDITIONS, CLIMATE, AIR QUALITY, AND SOIL TYPES. USE OF LOCAL MATERIALS AND WORKMANSHIP SHALL BE WITH LOCAL PRACTICES.

C. VERIFY MATERIALS, COLORS, AND FINISHES WITH SUPPLIER. VERIFY FINISHES WITH SUPPLIER. VERIFY FINISHES WITH SUPPLIER.

D. VERIFY MATERIALS, COLORS, AND FINISHES WITH SUPPLIER. VERIFY FINISHES WITH SUPPLIER.

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AQ. VERIFY MATERIALS, COLORS, AND FINISHES WITH SUPPLIER. VERIFY FINISHES WITH SUPPLIER.

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Phone: 916-441-0300

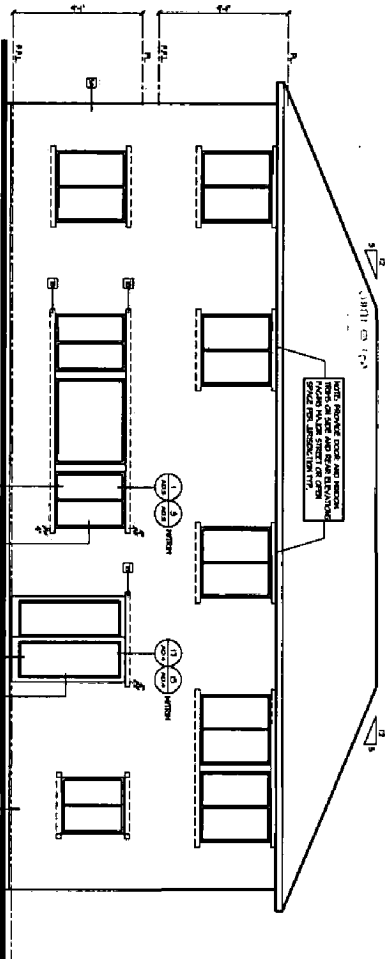
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916-965-2200

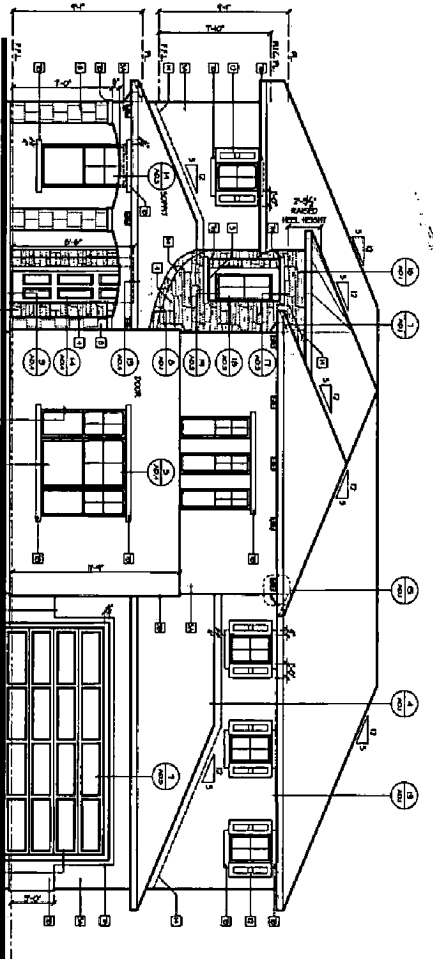
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Phone: 916-441-0300

Office Locations

Alameda Berkeley Fremont Hayward San Francisco
 San Jose Santa Clara Sunnyvale Walnut Creek West Valley City
 Woodland Hills Woodland Park Woodland South



Rear Elevation - B



Italian-(Villa Tile)
Front Elevation - B

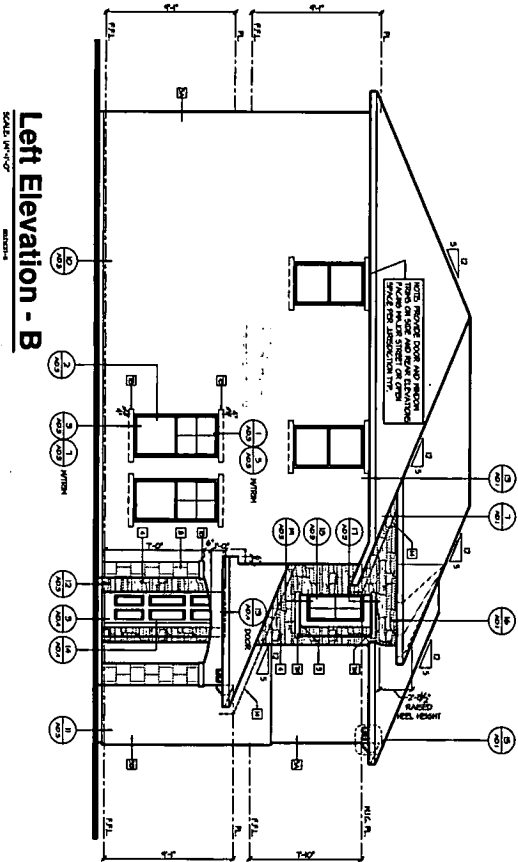
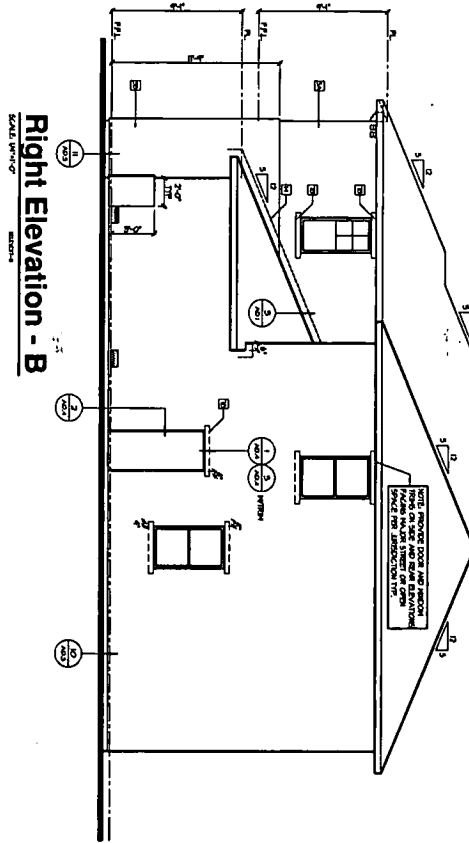
**EXTERIOR
ELEVATION NOTES**

- A. REFER TO GENERAL NOTES SHEETS FOR REVISIONS TO THIS DRAWING.
- B. VERIFY ALL MATERIALS, FINISHES, AND COLORS WITH THE CLIENT AND APPROVE IN WRITING.
- C. VERIFY ALL MATERIALS, FINISHES, AND COLORS WITH THE CLIENT AND APPROVE IN WRITING.
- D. VERIFY ALL MATERIALS, FINISHES, AND COLORS WITH THE CLIENT AND APPROVE IN WRITING.
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- W. VERIFY ALL MATERIALS, FINISHES, AND COLORS WITH THE CLIENT AND APPROVE IN WRITING.
- X. VERIFY ALL MATERIALS, FINISHES, AND COLORS WITH THE CLIENT AND APPROVE IN WRITING.
- Y. VERIFY ALL MATERIALS, FINISHES, AND COLORS WITH THE CLIENT AND APPROVE IN WRITING.
- Z. VERIFY ALL MATERIALS, FINISHES, AND COLORS WITH THE CLIENT AND APPROVE IN WRITING.

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1177 Woodland Way, Suite 110 Sacramento, CA 95834 Phone: 916-451-0292		Office Locations • San Diego • Tampa • Sacramento • Chicago • Phoenix • Dallas • Santa Ana • San Francisco • Colorado Springs			
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Exhibit 6: Elevation B
(Plan 3)



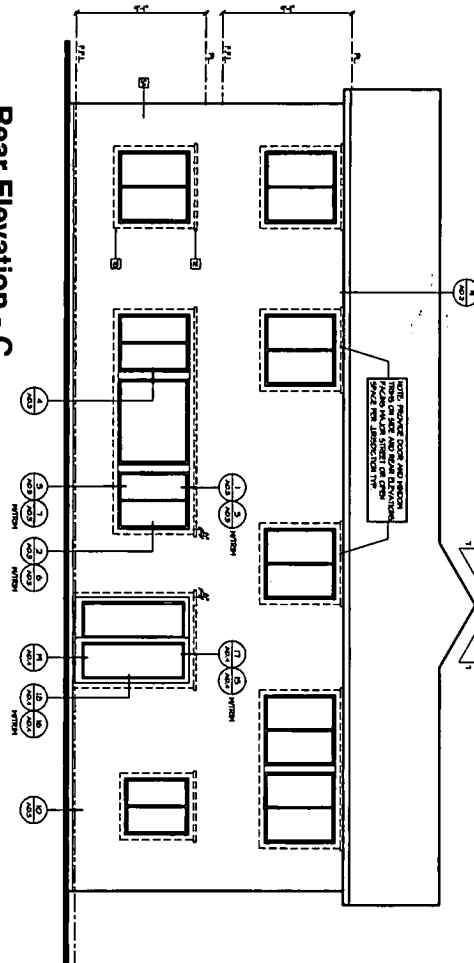
- EXTERIOR ELEVATION NOTES**
- A. REFER TO GENERAL NOTES SHEETS FOR FINISHES SCHEDULE AND THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - B. PROVIDE WINDOW FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - C. PROVIDE DOOR FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - D. PROVIDE ROOF FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - E. PROVIDE PAINT FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - F. PROVIDE TRIM FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - G. PROVIDE SILL FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - H. PROVIDE CASE FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - I. PROVIDE LINEN FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - J. PROVIDE PANEL FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - K. PROVIDE STAIN FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - L. PROVIDE GLASS FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - M. PROVIDE METAL FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - N. PROVIDE WOOD FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.
 - O. PROVIDE OTHER FINISHES IN ACCORDANCE WITH THE FINISHES SCHEDULE FOR THE EXTERIOR.

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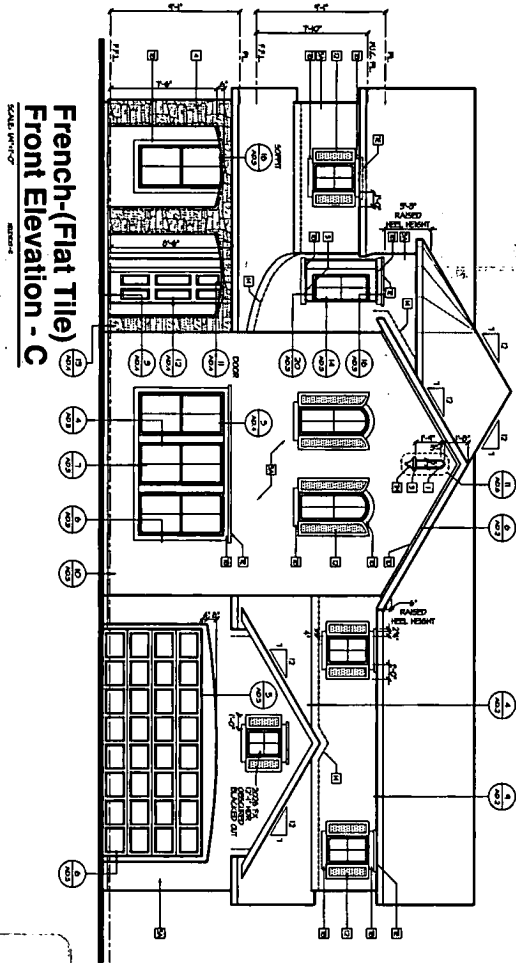
<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>		<p>D-R HORTON America's Builder</p>		<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200</p>	
<p>117 Woodfield Way, Suite 110 D. Davis, CA 95618 Phone: 916-941-0882</p>		<p>Office Locations</p> <p>•Coeville •Tampa •Starksboro •Chicago •Phoenix •Dallas •Corte Madera •Jacksonville •Orlando •Boston</p>		<p>117 Woodfield Way, Suite 110 D. Davis, CA 95618 Phone: 916-941-0882</p>	
<p>1-5-2004 PERMIT SET</p>		<p>117 Woodfield Way, Suite 110 D. Davis, CA 95618 Phone: 916-941-0882</p>		<p>117 Woodfield Way, Suite 110 D. Davis, CA 95618 Phone: 916-941-0882</p>	

Exhibit 6: Elevation C
(Plan 3)

Rear Elevation - C



French-(Flat Tile)
Front Elevation - C



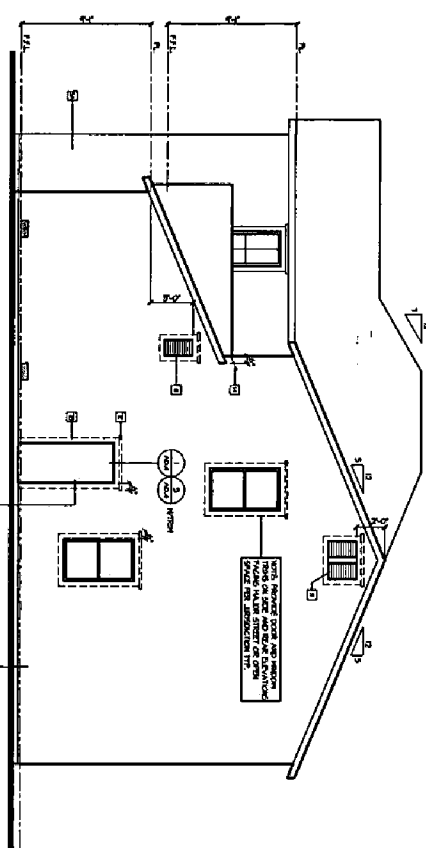
EXTERIOR
ELEVATION NOTES

- A. REFER TO GENERAL NOTES SHEETS FOR INFORMATION ON MATERIALS, FINISHES, AND CONSTRUCTION METHODS.
- B. WINDOW SIZES AND TYPES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR WINDOW SIZES AND TYPES.
- C. WINDOW SIZES AND TYPES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR WINDOW SIZES AND TYPES.
- D. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- E. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- F. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- G. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- H. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
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- K. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- L. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- M. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- N. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- O. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- P. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- Q. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- R. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- S. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- T. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- U. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
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- W. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- X. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- Y. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.
- Z. EXTERIOR FINISHES ARE SHOWN ON THE EXTERIOR ELEVATION SHEETS. SEE THE EXTERIOR ELEVATION SHEETS FOR FINISHES.

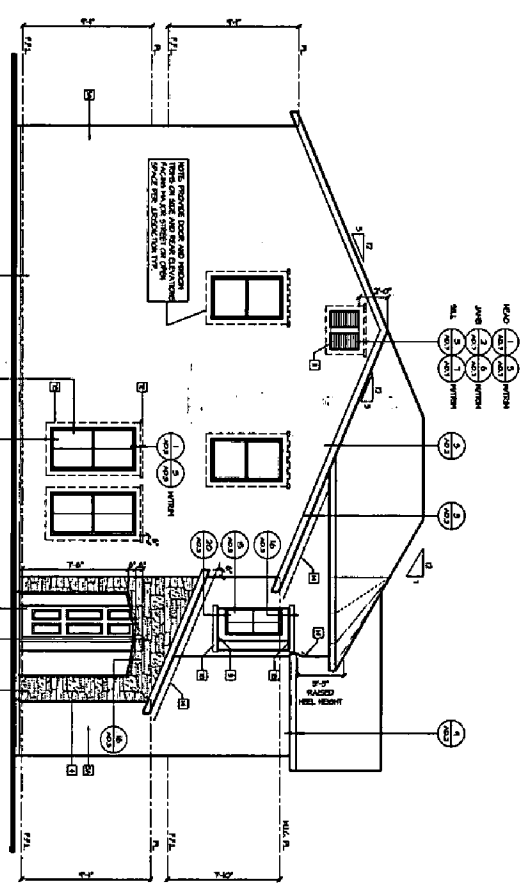
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NATOMAS CREEK 65 SACRAMENTO, CA		D-R HORTON <i>America's Builder</i>		4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200	
1177 Woodland Way, Suite 110 El Dorado Hills, CA 95762 Phone: 916-941-0882		Office Locations •Daly City •Folsom •Fremont •Hayward •Livermore •Oakland •San Francisco •San Jose •Walnut Creek		4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200	

Exhibit 6: Elevation C
(Plan 3)



Right Elevation - C
SCALE: 1/8" = 1'-0"



Left Elevation - C
SCALE: 1/8" = 1'-0"

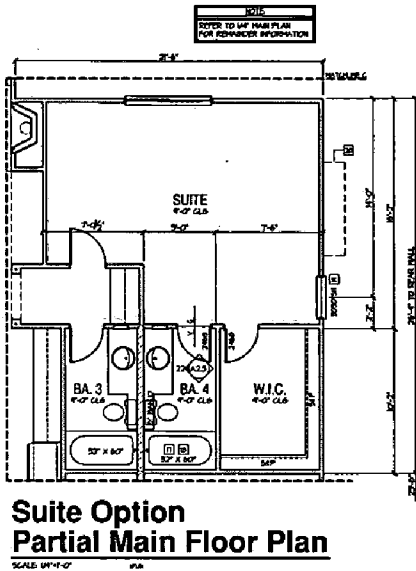
EXTERIOR
ELEVATION NOTES

- 1. REFER TO GENERAL CONTRACT SPECIFICATIONS FOR THE REQUIREMENTS OF MATERIALS.
- 2. MATERIALS TO BE DETERMINED BY ARCHITECT AND CONTRACTOR.
- 3. FINISHES, COLORS AND MATERIALS TO BE DETERMINED BY ARCHITECT AND CONTRACTOR.
- 4. FINISHES, COLORS AND MATERIALS TO BE DETERMINED BY ARCHITECT AND CONTRACTOR.
- 5. FINISHES, COLORS AND MATERIALS TO BE DETERMINED BY ARCHITECT AND CONTRACTOR.
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- 18. FINISHES, COLORS AND MATERIALS TO BE DETERMINED BY ARCHITECT AND CONTRACTOR.
- 19. FINISHES, COLORS AND MATERIALS TO BE DETERMINED BY ARCHITECT AND CONTRACTOR.
- 20. FINISHES, COLORS AND MATERIALS TO BE DETERMINED BY ARCHITECT AND CONTRACTOR.

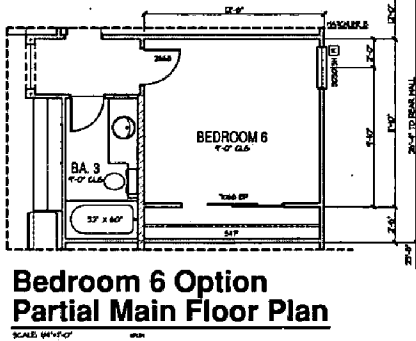
P04-037
Rec'd 3/2/04

NATOMAS CREEK 65 SACRAMENTO, CA 117 Woodhill Way, Suite 110 D. Corral Hill, CA 95746 Phone: 916-961-0200	D-R HORTON <i>America's Builder</i> 4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200	Office Locations •Albany •Alhambra •Chico •Colton •Corte Madera •Folsom •Fremont •Hawthorne •Hayward •Livermore •Petaluma •Pittsburg •Redwood City •San Bruno •San Francisco •San Jose •San Leandro •San Mateo •San Rafael •Sausalito •Sausalito •Sausalito •Sausalito	117 Woodhill Way, Suite 110 D. Corral Hill, CA 95746 Phone: 916-961-0200
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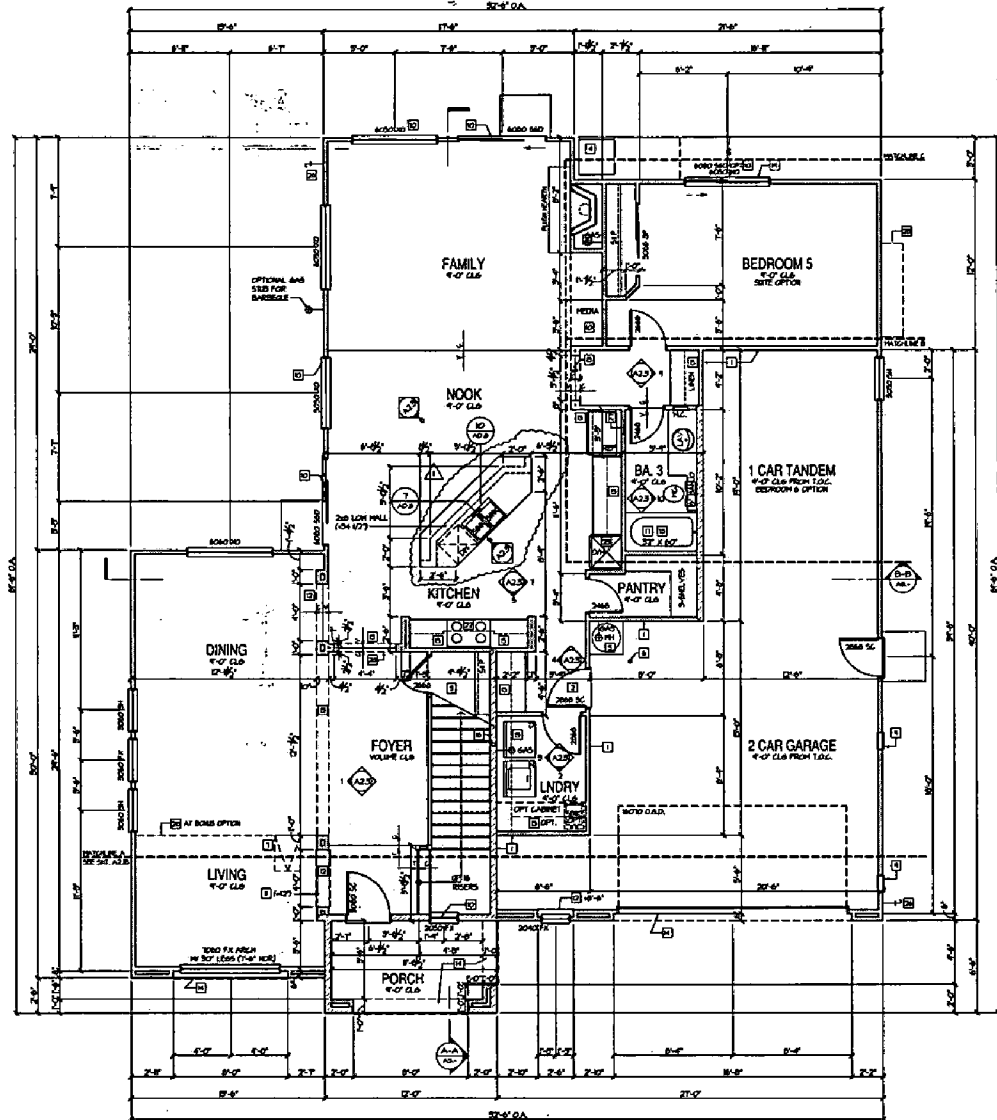
Exhibit 7: Main Floor Plan
(Plan 4)



**Suite Option
Partial Main Floor Plan**
SCALE: 1/8\"/>



**Bedroom 6 Option
Partial Main Floor Plan**
SCALE: 1/8\"/>



**Elevation A
Main Floor Plan**
SCALE: 1/8\"/>

SQUARE FOOTAGES	
MAIN FLOOR	179
UPPER FLOOR	800
Garage	800
Garage	800
TOTAL	179
TOTAL	179
SUITE OPTION	391
GARAGE AT BED & OPT.	391
SUITE OPTION	278
Garage Option	278

MAIN FLOOR NOTES

- 1. REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES
- 2. REFER TO 30' SHEETS FOR CERTIFICATE OF COMPLIANCE AND RESISTANCE VALUES
- 3. ALL DIAGONAL WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE
- 4. PROVIDE 15/8\"/>
- 5. 2ND FLOOR - 8\"/>
- 6. DOOR HEADS AT BED ROOM PLANS SHALL BE ADJACENT WINDOW HEADERS NEARBY WITH DOOR HEADERS

STAIR NOTES

- 1. ADD TO GARAGE FIRE SEPARATION SUBMITTANCE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE 1/2\"/>
- 2. ADD TO GARAGE DOOR SEPARATION PROVIDE 1-1/2\"/>
- 3. BROWN STAIN AND LAMINATE. 1/2\"/>
- 4. 4\"/>
- 5. 4\"/>
- 6. 1/2\"/>
- 7. ATTIC ACCESS LUNGE BRUSH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 20x24\"/>
- 8. FAN IN ATTIC ABOVE. PROVIDE UNRESTRICTED EXHAUSTION AIRWAYS TO REMOVE LARGEST PIECE OF EQUIPMENT. PROVIDE 30\"/>
- 9. 2\"/>
- 10. 2\"/>
- 11. 2\"/>
- 12. PROVIDE SCHEDULED LEVERED LOCK COMBINATION AND PER GENERAL NOTES SECTION 5.00
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4401 Hazel Ave. Ste. 225
Oakland, CA 94612
Tel: 510-865-1200

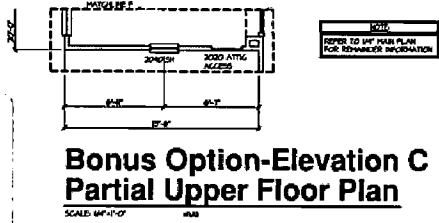
D. RHORTON
America's Builder

NATOMAS CREEK 65
SACRAMENTO, CA
Bloodgood Stamp Bunker

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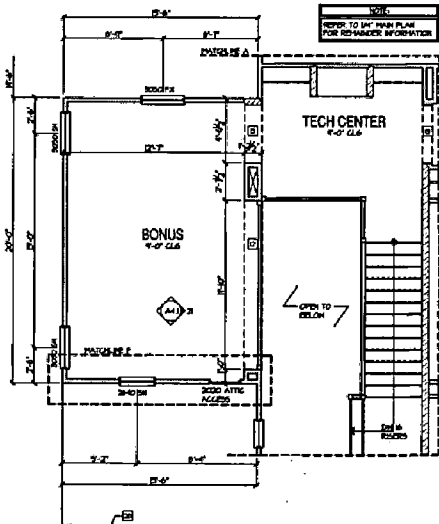
PLAN 4
A2.1

Exhibit 7: Upper Floor Plan
(Plan 4)



Bonus Option-Elevation C
Partial Upper Floor Plan

SCALE: 1/4" = 1'-0"

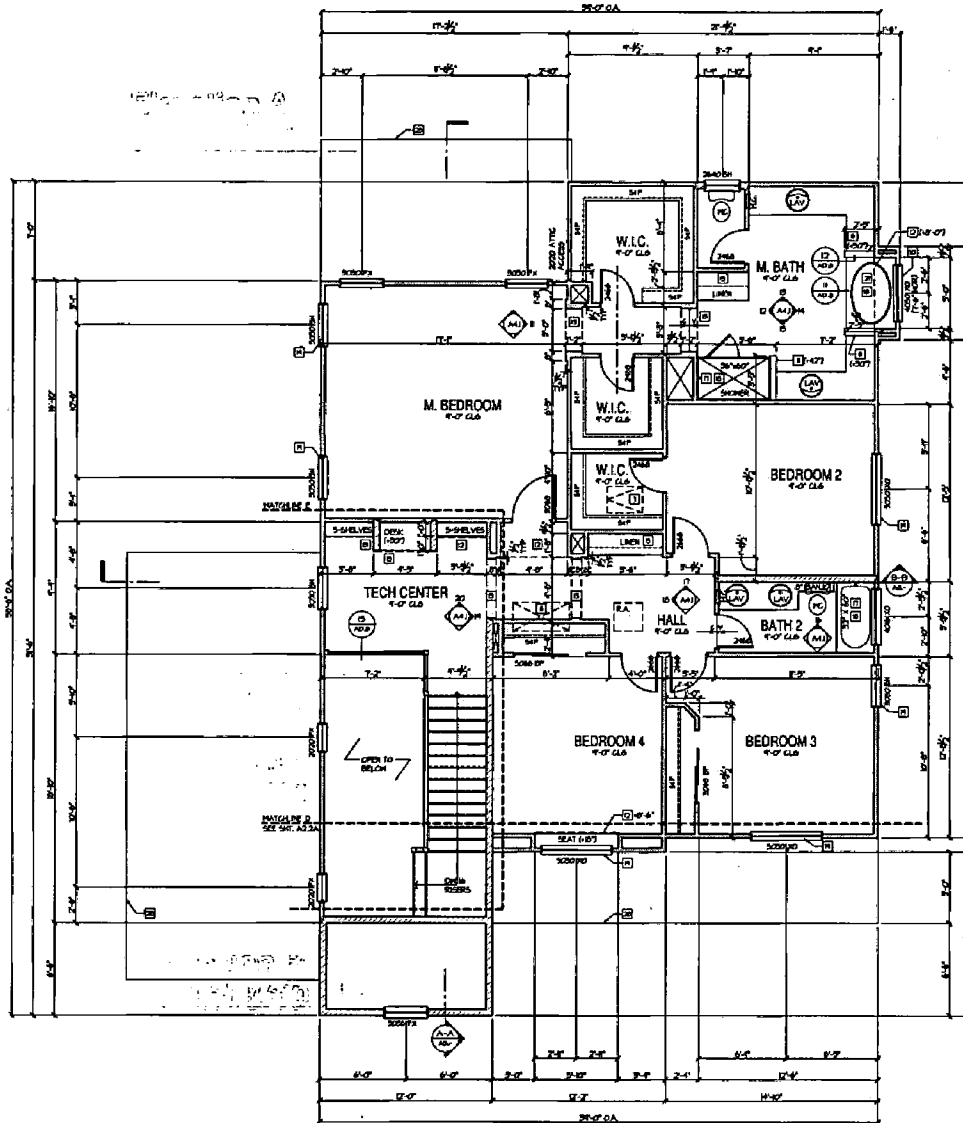


Bonus Option-Elevation A/B
Partial Upper Floor Plan

SCALE: 1/4" = 1'-0"

Elevation A
Upper Floor Plan

SCALE: 1/4" = 1'-0"



SQUARE FOOTAGES	
UPPER FLOOR	776
LOWER FLOOR	552
MECHANICAL	200
CORRIDOR	244
TOTAL	1772
MECH. / SITE OFFICE	100
CANAL AT TECH & OFF.	100
BONUS OPTION	270
CANAL (OPTION)	100

MAIN FLOOR NOTES

- A. REFER TO GENERAL NOTE SHEETS FOR PLAN ROOMING NOTES.
 - B. REFER TO THE SHEETS FOR CERTIFICATE OF COMPLIANCE AND RESOLUTION VALUES.
 - C. ALL DIMENSION WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
 - D. HATCH ROOM HEIGHTS:
 - 1ST FLOOR: 8'-0" RIGID
 - 2ND FLOOR: 8'-0" RIGID
 - DOOR HEIGHTS AS NOTED ON PLANS
 - WALLS ADJACENT HATCH ROOMS ABOUT 1/2" OVER DOOR HEIGHTS.
- PLAN ROOMING NOTES**
1. WALLS TO SEPARATE FIRE SEPARATION (GARAGEHOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSON BOARD PER CAC. SECT. 703.4 AND TABLE 703.4.1B.
 2. WALLS TO SEPARATE DOOR SEPARATION: PROVIDE 1/2" SOLID CORE DOOR OR APPROVED 3/4" SOLID CORE DOOR W/ SELF-CLOSURE AND TIGHT FITTING.
 3. BREASTH STAIRS AND LIFTOVERS: SELF-TIGHT DOORS AS W/ ALL ON WALLS AND CORNERS OF ENCLOSED ACCESSIBLE AREAS.
 4. ALL CONCRETE ON 30' x 30' MIN PRECAST CONCRETE PAD, 3" MINIMUM ABOVE GRADE.
 5. WASH WATER HEATED ON 2ND FLOOR PLATFORMS FOR COLD WATER HEATED ON 2ND FLOOR PLATFORMS AT SERVICE SIDE OF THE EQUIPMENT. MAX. 30" OF FLOOR ABOVE POINT TO FAN.
 6. FLOOR LOCATIONS FOR BLAIR PERMETER LAYOUT.
 7. ATTIC ACCESS LUNGE DECKS TO REMOVE LAMINATE PILES OF EQUIPMENT BUT NOT LESS THAN 30" HIGH. SEE DETAIL. THIS DECK IS PROVIDE IN ATTIC ABOVE. PROVIDE UNRESTRICTED PASSAGEWAY FROM TO LAMINATE DECKS TO REMOVE THE LAMINATE PILES OF EQUIPMENT. PROVIDE 30" HIGH x 30" HIGH PASSAGEWAY WITH 1/2" MIN. CLEARANCE FROM WALLS AND 30" HIGH PLATFORM AT SERVICE SIDE OF THE EQUIPMENT. MAX. 30" OF FLOOR ABOVE POINT TO FAN.
 8. PROVIDE LOCATOR MECHANICAL DRAWINGS INSTALL PER GENERAL NOTES.
 9. PROVIDE SCREENED LOW-VOLTAGE LOW-COMBUSTION AIR VENTS.
 10. PROVIDE SAFETY SIGNAL FOR GENERAL NOTES SECTION DECKS.
 11. LOW WALL HEIGHT AS NOTED BY CODES TO TOP PLATE. SEE DETAIL. (2" MIN. FRAMING, 1/2" AFF. WALL).
 12. FLOOR SUPPORT AT 8'-0" BAY PROVIDE PROVISIONS AREAS.
 13. REDUCE FRAMES. PROVIDE PROVISIONS TYPICAL. FLOOR SUPPORT BY 2" BRACKETS CONCRETE. SEE SHEET A41 FOR ELEVATIONS AND OVERSIGHTS.
 14. EXTERIOR LOUVER OR AREA. PROVIDE EXTERIOR ELEVATIONS FOR OVERSIGHTS.
 15. WALL MOUNTED CABINET ABOVE 30" DEEP UPPER CABINETS ABOVE REFRIGERATOR.
 16. DRIVER VENT DUCT SHALL BE OF INSULATED METAL EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER PER CAC. AND GAC. HANGERS HOLLOW METAL TWO (2) HANGERS ABOVE ELEVATION. VENT CALLS ARE PROVIDED.
 17. SHOWERS AND TUBS/SHOWER COMBINATIONS PROVIDE A SPOULDED INSULATED REINFORCED SURFACE OVER MORTAR-REGULATED GYPSON BOARD TO A HEIGHT OF 30" FROM ABOVE DRAIN INLET. SPOULDER READ 45". (TYPED IN PLACE BELIEVED).
 18. PROVIDE REMOTE CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC ABOVE VALVE TYPE FOR TUB, SHOWER AND TUB/SHOWER COMBINATOR.
 19. DRAINAGE SYSTEMS: ONE EACH AREA. EXTERIOR AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EXTERIOR AREA SHALL HAVE A 1/2" CLEAR OPENABLE AREA OF 57 SQUARE FEET. THE MINIMUM NET CLEAR OPENABLE HEAD DIMENSION SHALL BE 34 INCHES AND THE MINIMUM NET OPENABLE WIDTH DIMENSION SHALL BE 30 INCHES. EXTERIOR DRAINAGE SHALL HAVE A MINIMUM CLEARANCE OF 1/2" FROM FLOOR TO 14 INCHES ABOVE THE FLOOR.
 20. PRE-FABRICATED METAL 24" CORRECT VENT AND VENT PIPING PER CAC. AND GAC. ELEVATIONS. METAL AND USE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER REQUIREMENTS.
 21. 4" x 8" GIP PRESSURE AND TUB CORNER. TILE APPROX. 1/2" FROM AND OUTSIDE.
 22. 3/4" BARS CONCRETE W/ 30" HOLLOW LUMEN. EXTERIOR FAN ABOVE VENT FOR GENERAL NOTES SECTION DECKS.
 23. 30" ELECTRIC OVER W/ INTERNAL MICROSWITCH OVER.
 24. LUMEN IN PROVISIONS: FIVE (5) OF DEEP SHELVES.
 25. HANGER DRAIN PAN AT SECOND FLOOR ONLY. DRAIN TO EXTERIOR.
 26. EXTERIOR HOSE DRINK. PROVIDE WITH NON-REMOVABLE PLASTIC PREVENTION DEVICES.
 27. COLD WATER SINK COY.
 28. SHOWERS AND TUBS: PROVIDE ONE (1) FLOOR ABOVE. SOLID LINE INDICATED OUTLINE OF MAIN FLOOR BELOW.



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DR. HORTON
America's Builder

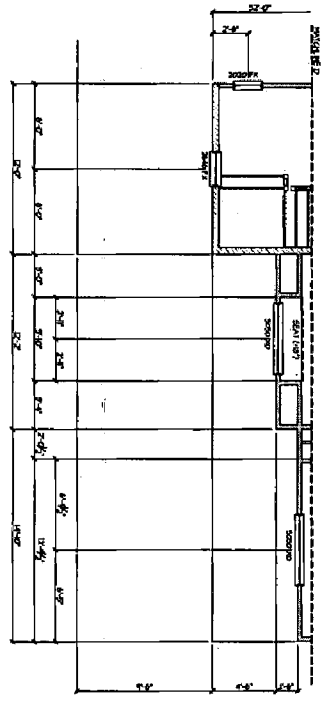
NATOMAS CREEK 65
SACRAMENTO, CA
Woodland Shanty Builder

AS PER SHOWN PERMITS OF THIS PLAN IT IS TO BE CONSIDERED AS A PERMITS PLAN 4
BEST COPY AVAILABLE
A2.2

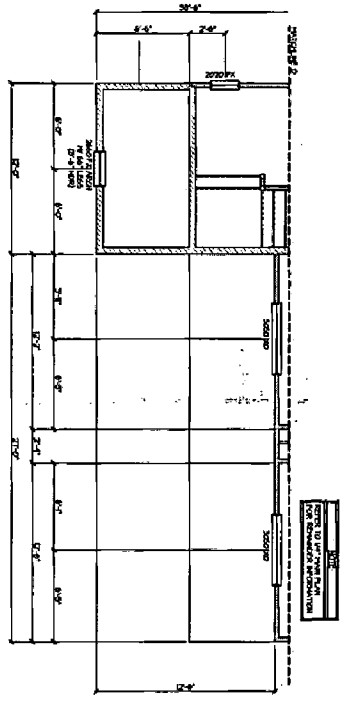
P04-037
Rec'd 3/2/04

Exhibit 7: Upper Floor Plan
(Plan 4)

Elevation B
Partial Upper Floor Plan



Elevation C
Partial Upper Floor Plan



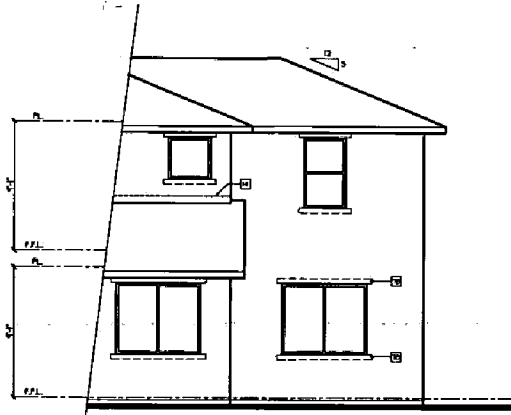
MAIN FLOOR NOTES

1. REFER TO GENERAL NOTE SHEETS FOR PLAN 1.
2. REFER TO GENERAL NOTE SHEETS FOR PLAN 2.
3. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
4. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. REFER TO GENERAL NOTE SHEETS FOR PLAN 3.
6. REFER TO GENERAL NOTE SHEETS FOR PLAN 4.
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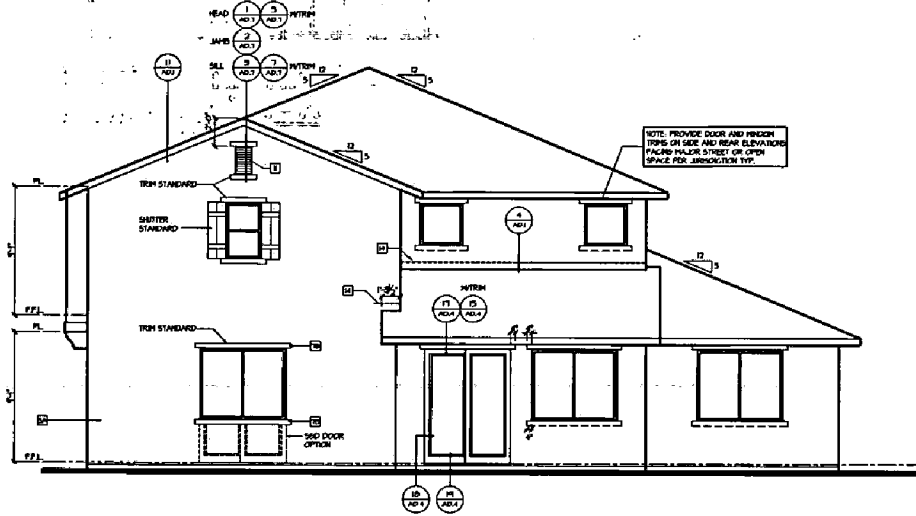
<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>		<p>D-R HORTON <small>Since 1958</small> <i>America's Builder</i></p>		<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200</p>	
<p>HOODPOD SHARP DUSTER</p>		<p>1177 Woodlark Way, Suite 110 Sacramento, CA 95833 Phone: 916-441-0960</p>		<p>Office Locations ● El Dorado ● Tampa ● Sacramento ● Chicago ● Phoenix ● Dallas ● Houston ● San Antonio ● San Diego ● San Jose ● San Francisco ● San Luis Obispo ● San Marcos ● San Rafael ● Santa Ana ● Santa Clara ● Santa Cruz ● Santa Fe ● Santa Monica ● Santa Rosa ● Stockton ● Vallejo ● Walnut Creek ● Yuba City</p>	
<p>DATE: 02/28/04 BY: [Signature] CHECKED BY: [Signature] SCALE: AS SHOWN</p>	<p>PLAN 4 A2.2A</p>	<p>1-5-2004 PERMIT SET</p>			

Exhibit 7: Elevation A
(Plan 4)



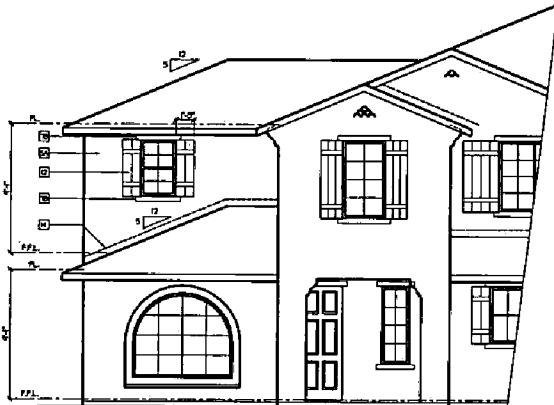
**Bonus Option
Partial Rear Elevation - A**

SCALE: 1/4"=1'-0"



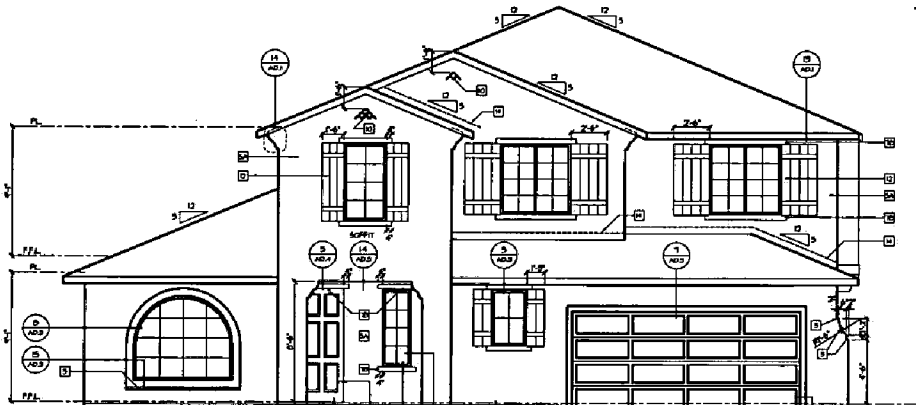
Rear Elevation - A

SCALE: 1/4"=1'-0"



**Bonus Option
Partial Front Elevation - A**

SCALE: 1/4"=1'-0"



**Spanish-(Villa Tile)
Front Elevation - A**

SCALE: 1/4"=1'-0"

**EXTERIOR
ELEVATION NOTES**

- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTIONS OF MATERIALS.
- B. WINDOW HEAD HEIGHTS:
-1ST FLOOR = 8'-0" UNADJ. ON EXT. ELEVATION
-2ND FLOOR = 8'-0" UNADJ.
-DOOR HEIGHTS AS NOTED ON PLANS.
-FALSE AND INSET WINDOW HEADERS HEIGHT WITH DOOR HEADERS.
- C. EXTERIOR WALLS:
-STRUCCO SYSTEM OVER 1" FOAM INSULATION PER GENERAL NOTES. CORROSION RESISTANT NAILS SPACED AT 16" O.C.
- D. EXTERIOR ROOFING:
-STRUCCO PER GENERAL NOTES.
- E. ROOFING:
-GLASS IN TILE RETARDANT CONCRETE TILES. ELEVATION A1: LOW-PROFILE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FASCIA. ELEVATION B1: LOW-PROFILE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FASCIA. ELEVATION C1: FLAT CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FASCIA.

- ELEVATION KEY NOTES**
- 1 STRUCCO RECESS - 3/4" ROUGH SIZE AS NOTED. SEE DETAILS. DECORATIVE PROMINENT IRON NAILS SHOWN.
 - 2 STRUCCO OVER FLOOR WALLS. STRUCCO OVER ELASTOMERIC FLASHINGS. SEE EXTERIOR ELEVATIONS FOR DETAIL.
 - 3 SLOPING SURFACE. STRUCCO OVER ELASTOMERIC FLASHINGS. SEE DETAIL. UADA.
 - 4 ADHERED STONE VENER AS SELECTED BY BUILDER. HEIGHT AS NOTED. SEE DETAIL.
 - 5 A. STRUCCO 1/2" TYP. B. STRUCCO 1/2" TYP.
 - 6 ADHERED STONE VENER TYP. SEE DETAIL.
 - 7 STRUCCO OVER FORM TYP. A. 3/4" FORM IN STRUCCO OVER B. 1/2" FORM IN STRUCCO OVER C. 1/2" FORM IN STRUCCO OVER D. 1/2" FORM IN STRUCCO OVER E. 1/2" FORM IN STRUCCO OVER F. 3/4" FORM IN STRUCCO OVER G. 3/4" FORM IN STRUCCO OVER H. 1/2" FORM IN STRUCCO OVER I. 1/2" FORM IN STRUCCO OVER J. 1/2" FORM IN STRUCCO OVER K. 1/2" FORM IN STRUCCO OVER L. 1/2" FORM IN STRUCCO OVER M. SWAPPED FORM IN STRUCCO OVER
 - 8 SCORED STRUCCO 1/2"
 - 9 DECORATIVE PROMINENT IRON. SEE DETAILS.
 - 10 1/2" HALF ROUND 1/2" DEEP FLUTED HOISTED DECORATIVE CLAY PIPES. SEE ELEVATIONS AND DETAIL BOND.
 - 11 CORROSION RESISTANT SCREEN LOUVERED NAIL IN SIGHT. SEE EXTERIOR ELEVATION FOR DETAILS.
 - 12 FALSE WOOD SHUTTERS. TYPE AS SHOWN. SEE DETAILS S-WOOD.
 - 13 LOUVERED PANING. SEE DETAIL BOND.
 - 14 CORROSION RESISTANT ROOF TO WALL FLASHING. SEE ROOF DETAILS.



4401 Hazel Ave. Ste. 205
Fair Oaks, CA 95628
916-965-2000

D. R. HOKTON
REGISTERED PROFESSIONAL ENGINEER
America's Builder

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SACRAMENTO, CA

1177 Sacramento St. Suite 1115
Sacramento, CA 95811
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FAX: 916-441-1801

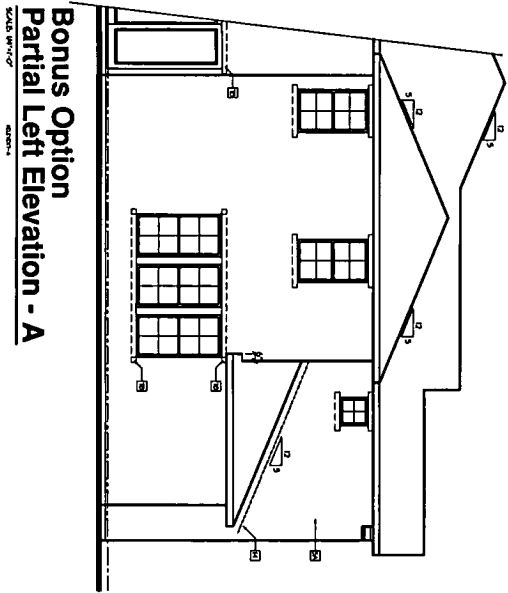
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SHEET NO. A3.1

PERMIT SET

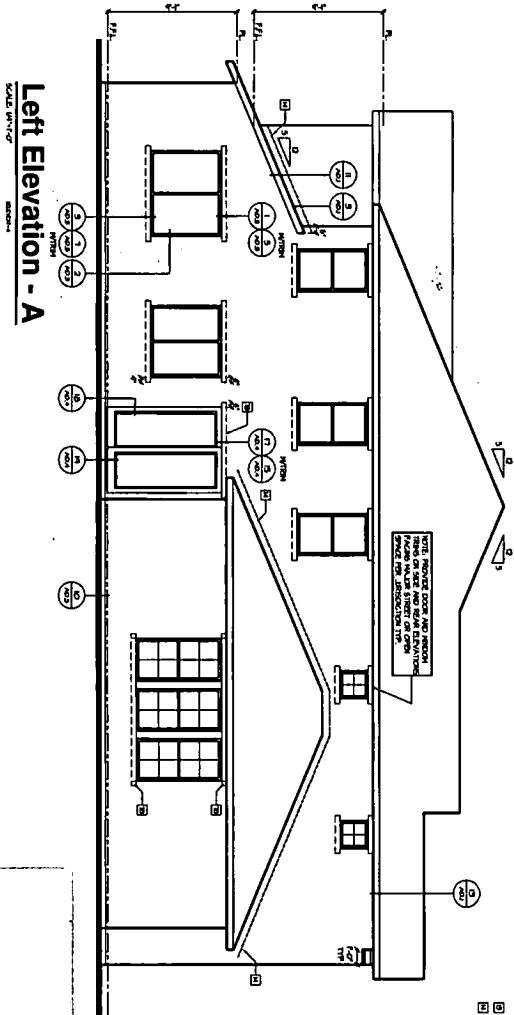
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Rec'd 3/2/04

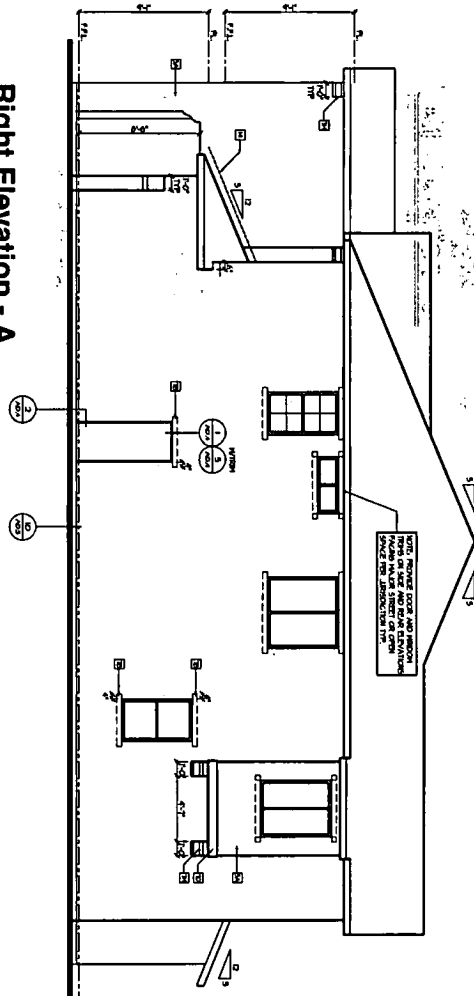
Exhibit 7: Elevation A
(Plan 4)



Bonus Option
Partial Left Elevation - A



Left Elevation - A



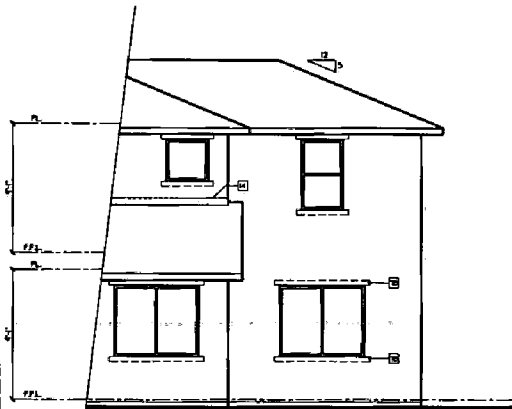
Right Elevation - A

- EXTERIOR ELEVATION NOTES**
- A. REFER TO GENERAL NOTES FOR FINISH TYPE AND MATERIALS.
 - B. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - C. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - D. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - E. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - F. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - G. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - H. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - I. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - J. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - K. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - L. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - M. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - N. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - O. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - P. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - Q. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - R. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - S. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - T. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - U. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - V. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - W. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - X. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - Y. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.
 - Z. FINISH TYPE AND MATERIALS TO BE IDENTICAL TO MATERIALS SHOWN ON EXTERIOR ELEVATION.

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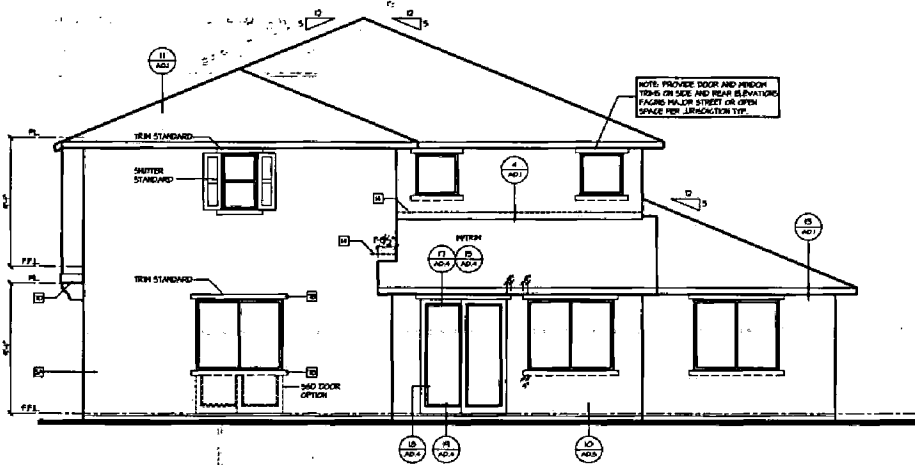
<p>NATOMAS CREEK 65 SACRAMENTO, CA</p>		<p>D-R-HORION America's Builder</p>		<p>4401 Hazel Ave. Ste. 225 Fair Oaks, CA 95628 916-965-2200</p>	
<p>1177 Industrial Way, Suite 112 Sacramento, CA 95833 Phone: 916-941-0260</p>		<p>Office Locations</p> <p>•Dulles •Tampa •Sacramento •Chicago •Plymouth •Other •Columbus •Portland •Boston</p>		<p>PERMIT SET</p>	

Exhibit 7: Elevation B
(Plan 4)



**Bonus Option
Partial Rear Elevation - B**

SCALE: 1/4"=1'-0" 2008-14



Rear Elevation - B

SCALE: 1/4"=1'-0" 2008-14



**Bonus Option
Partial Front Elevation - B**

SCALE: 1/4"=1'-0" 2008-14

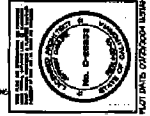


**Italian-(Villa Tile)
Front Elevation - B**

SCALE: 1/4"=1'-0" 2008-14

**EXTERIOR
ELEVATION NOTES**

- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND FINISHES, DESCRIPTION OF MATERIALS.
- B. WINDOW HEADS HEIGHTS:
1ST FLOOR = 8'-0" U.S.D. OR EXIST. ELEVATION
2ND FLOOR = 8'-0" U.S.D.
SQUE HEIGHTS AS NOTED ON PLANS (ALSO ADJACENT WINDOW HEADS HEIGHT WITH DOOR HEADERS)
- C. EXTERIOR WALLS:
- STEELCO SYSTEM OVER P FOAM INSULATION PER GENERAL NOTES, CORROSION RESISTANT NEW SCARF AT BASE.
- D. EXTERIOR SCOFFS:
- STEELCO PER GENERAL NOTES
- E. ROOFING:
- CLASS II FIRE RETARDANT CONCRETE TILES (ELEVATION X); LOW-PROFILE CONCRETE TILE PER GENERAL NOTES SEE ROOFING DETAILS FOR FINISHES.
- ELEVATION Y; LOW-PROFILE CONCRETE TILE PER GENERAL NOTES SEE ROOFING DETAILS FOR FINISHES.
- ELEVATION Z; FLAT CONCRETE TILE PER GENERAL NOTES SEE ROOFING DETAILS FOR FINISHES.
- ELEVATION KEY NOTES
- 1 STEELCO FINISH - 7'
 - 2 STEELCO FINISH - 7'
 - 3 STEELCO FINISH - 7'
 - 4 ADHERED STONE VENEER AS SELECTED BY BUILDER. HEIGHT AS NOTED. SEE DETAIL.
 - 5 A-SIZE OF TYP
 - 6 ADHERED STONE VENEER TRIM. SEE DETAIL.
 - 7 STEELCO OVER FOAM TRIM:
A. FLAT FOAM BY STEELCO OVER
B. FLAT FOAM BY STEELCO OVER
C. FLAT FOAM BY STEELCO OVER
D. FLAT FOAM BY STEELCO OVER
E. FLAT FOAM BY STEELCO OVER
F. FLAT FOAM BY STEELCO OVER
G. FLAT FOAM BY STEELCO OVER
H. FLAT FOAM BY STEELCO OVER
I. FLAT FOAM BY STEELCO OVER
J. FLAT FOAM BY STEELCO OVER
K. FLAT FOAM BY STEELCO OVER
L. FLAT FOAM BY STEELCO OVER
M. SHIPPED FOAM BY STEELCO OVER
 - 8 SCORED STEELCO 1/2"
 - 9 DECORATIVE PROMONT BEAM. SEE DETAILS.
 - 10 DECORATIVE PROMONT BEAM. SEE DETAILS.
 - 11 CORROSION RESISTANT ALUMINUM LAMINATED VENT HATCH. SEE EXTERIOR ELEVATION FOR DETAILS.
 - 12 FALSE HOOD SHUTTERS. TYPE AS SHOWN. SEE DETAILS B-VARIO.
 - 13 LAMINATED FINISH. SEE DETAIL B-VARIO.
 - 14 CORROSION RESISTANT ROOF TO HALL FLASHING. SEE ROOF DETAILS.



4401 Hazel Ave. Ste. 225
Oak Creek, CA 95628
Fair 916-955-2200

D-RHOION
America's Builder

NATOMATS CREEK 65
SACRAMENTO, CA

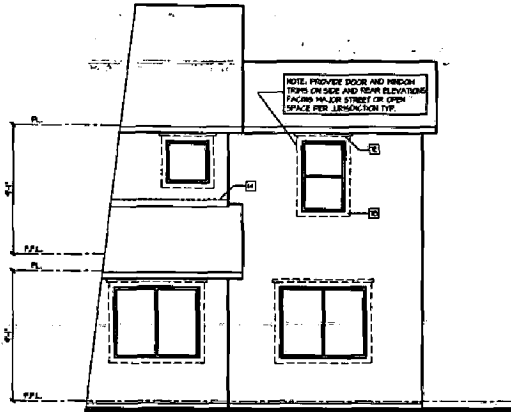
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PROJECT NO.	P04-037
DATE OF PLAN	3/2/04

P04-037
Rec'd 3/2/04

PERMIT SET

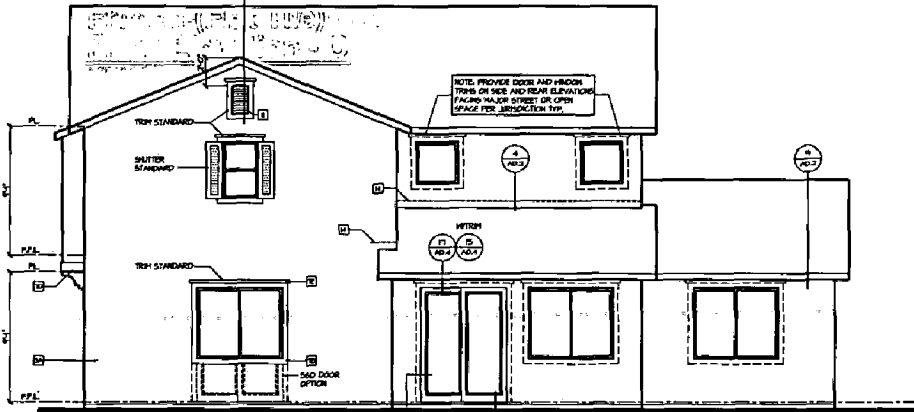
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Exhibit 7: Elevation C
(Plan 4)



**Bonus Option
Partial Rear Elevation - C**

SCALE: 1/4"=1'-0"



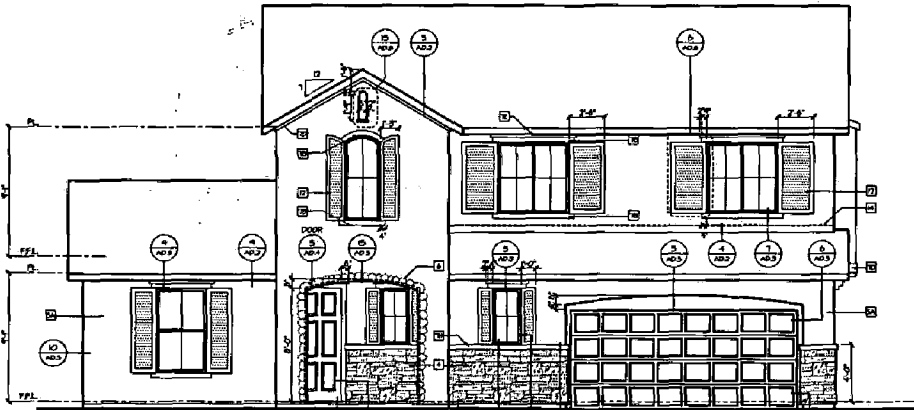
Rear Elevation - C

SCALE: 1/4"=1'-0"



**Bonus Option
Partial Front Elevation - C**

SCALE: 1/4"=1'-0"



**French-(Flat Tile)
Front Elevation - C**

SCALE: 1/4"=1'-0"

**EXTERIOR
ELEVATION NOTES**

- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTIONS OF FINISHES.
- B. WINDOW HEAD HEIGHTS:
-1ST FLOOR = 8'-0" UNLESS NOTED OTHERWISE
-2ND FLOOR = 8'-0" UNLESS NOTED OTHERWISE
-DOOR HEIGHTS AS NOTED ON PLANS
-DIM. ADJUSTMENT WINDOW HEADER HEIGHT PER DOOR MANUFACTURER
- C. EXTERIOR WALLS:
-STRECCO APPLIED OVER 1" FOAM INSULATION PER GENERAL NOTES, CORROSION RESISTANT MESH SCREENED AT BASE.
- D. EXTERIOR SOFFITS:
-STRECCO PER GENERAL NOTES
- E. ROOFING:
-GLASS TILE PER RESTAURANT CONCRETE TILES
-ELEVATION W/1: LOW-PROFILE CONCRETE TILE PER GENERAL NOTES, SEE ROOFING DETAILS FOR FINISHES
-ELEVATION W/2: LOW-PROFILE CONCRETE TILE PER GENERAL NOTES, SEE ROOFING DETAILS FOR FINISHES
-ELEVATION W/3: FLAT CONCRETE TILE PER GENERAL NOTES, SEE ROOFING DETAILS FOR FINISHES

ELEVATION KEY NOTES

- 1. STRECCO BRICKS - 3" FROM SIDE AS NOTED, SEE DETAILS. DECORATIVE PRISMATIC BRICK MORE SHOWN EXTERIOR ELEVATIONS FOR DETAIL.
- 2. STRECCO SHELF / LUSH WALL STRECCO OVER BLANKING PLANKS, SEE EXTERIOR ELEVATIONS FOR DETAIL.
- 3. SLOPPING SURFACE STRECCO OVER ELASTIC FLOORING, SEE DETAIL.
- 4. ADHESIVE MESH VENEER AS INDICATED BY DIMENSION, HEIGHT AS NOTED, SEE DETAIL.
- 5. A. STRECCO 1/2" TYP
B. STRECCO 1/2" TYP
- 6. ADHESIVE MESH VENEER TYP, SEE DETAIL.
- 7. STRECCO OVER FOAM TRIM
A. 1/2" FOAM IN STRECCO OVER
B. 1/2" FOAM IN STRECCO OVER
C. 3/4" FOAM IN STRECCO OVER
D. 1" FOAM IN STRECCO OVER
E. 1 1/2" FOAM IN STRECCO OVER
F. 2" FOAM IN STRECCO OVER
G. 3" FOAM IN STRECCO OVER
H. 4" FOAM IN STRECCO OVER
I. 6" FOAM IN STRECCO OVER
J. 8" FOAM IN STRECCO OVER
K. 10" FOAM IN STRECCO OVER
L. 12" FOAM IN STRECCO OVER
M. SHIMMED FOAM IN STRECCO OVER
- 8. SCORED STRECCO - 1/2"
- 9. DECORATIVE PRISMATIC BRICK, SEE DETAILS.
- 10. 6" HALF ROUND 1/2" DEEP ALUMINUM MOUNTED DECORATIVE GLAZED PIPES, SEE ELEVATIONS AND REAR ELEVATION.
- 11. CORROSION RESISTANT SCREEN LOUVERED VENT 1/2" UNLESS NOTED, SEE EXTERIOR ELEVATION FOR DETAILS.
- 12. FALM WOOD SHUTTERS, TYPE AS SHOWN, SEE DETAILS 5-100-0A.
- 13. LOUVERED FINISH, SEE DETAIL, SHADA.
- 14. CORROSION RESISTANT ROOF TO WALL FINISHES, SEE ROOF DETAILS.



DATE	DESCRIPTION

4401 Hazel Ave. Ste. 225
Fair Oaks, CA 95628
916-985-1200

D. R. HORTON • *Architect*
America's Builder

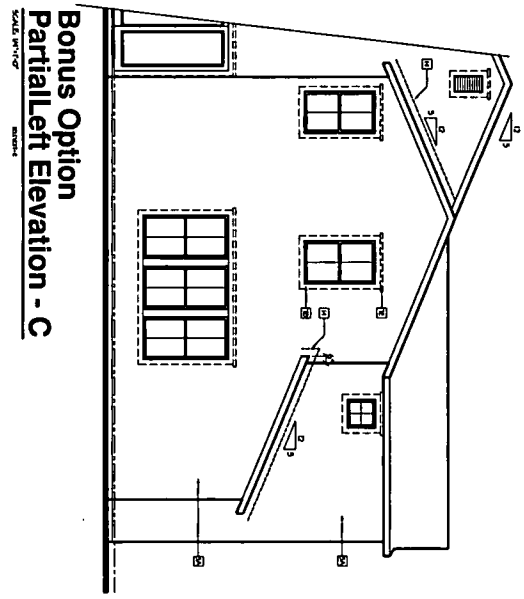
NATOMAS CREEK 65
SACRAMENTO, CA
1177 National Way, Ste. 100
El Dorado Hills, CA 95762
916-985-1200

DATE	DESCRIPTION

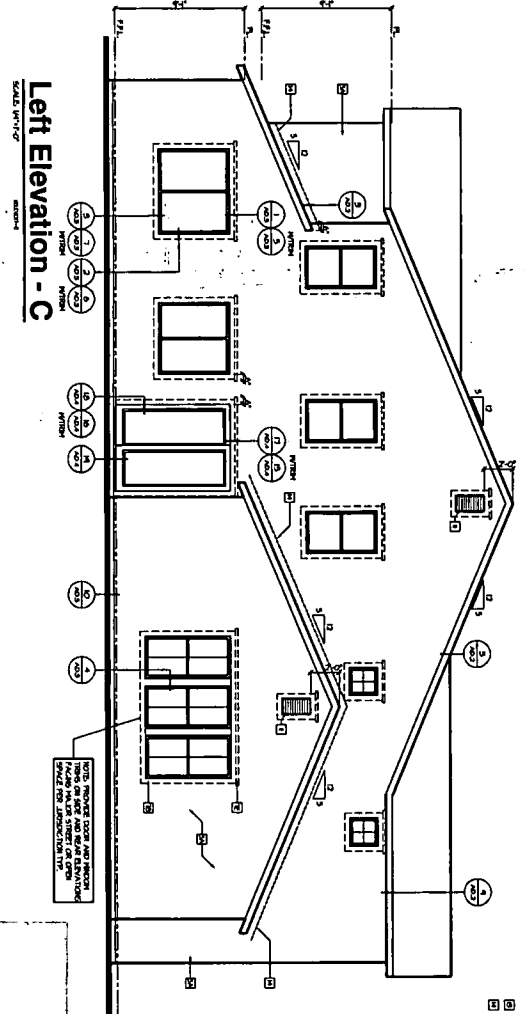
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1-5-2004

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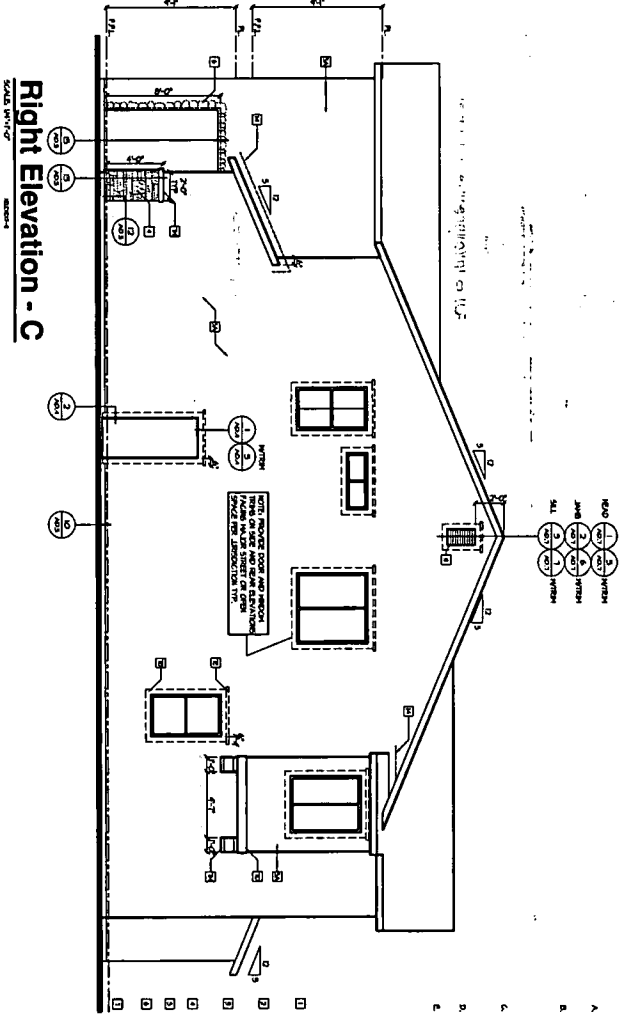
Exhibit 7: Elevation C
(Plan 4)



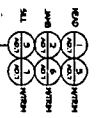
Bonus Option
Partial Left Elevation - C



Left Elevation - C



Right Elevation - C

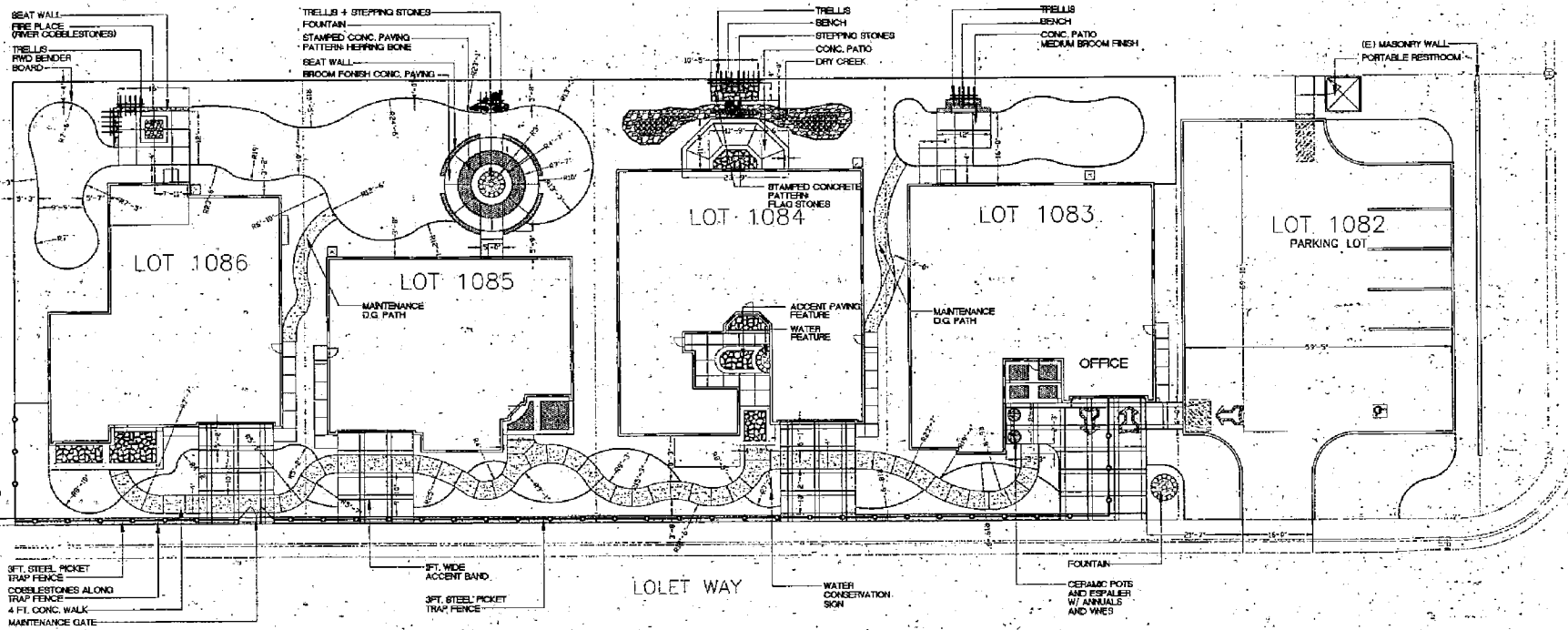
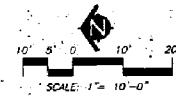


- EXTERIOR ELEVATION NOTES**
1. REFER TO GENERAL NOTES SHEETS FOR THE EXTERIOR ELEVATIONS AND FINISHES.
 2. REFER TO THE GENERAL NOTES SHEETS FOR THE EXTERIOR ELEVATIONS AND FINISHES.
 3. REFER TO THE GENERAL NOTES SHEETS FOR THE EXTERIOR ELEVATIONS AND FINISHES.
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 9. REFER TO THE GENERAL NOTES SHEETS FOR THE EXTERIOR ELEVATIONS AND FINISHES.
 10. REFER TO THE GENERAL NOTES SHEETS FOR THE EXTERIOR ELEVATIONS AND FINISHES.

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<p>117 Woodland Way, Suite 110 Dunsmuir, CA 95923 Phone: 916-941-0880</p>		<p>Office Locations</p> <p>•Dunsmuir •Tampa •Sacramento •Chicago •Phoenix •Dallas •Crestview •Jacksonville •Orlando •Atlanta</p>		<p>1-5-2004 PERMIT SET</p>	

Exhibit 8: Model Homes Staking and Paving Plan



PAVING AND SITE LEGEND

KEY	KEY	KEY	KEY
			WOOD TRELLIS
			ESPALIER
			6 FT. WOOD BENCH COORDINATE TYPE W/ OWNER
			WATER FOUNTAIN COORDINATE TYPE W/ THE OWNER

MTW group
 MEMPHYS
 TOKESHVILI
 WERNICKI

LANDSCAPE ARCHITECTURE
 AND PLANNING
 10411 Old Placerville Road,
 Suite 205
 Sacramento, CA 95827
 916 369-3990

CONSULTANTS

NO.	DATE	DESCRIPTION

REVISIONS

NO.	DATE	DESCRIPTION

INITIAL BOX

NO.	DATE	REVIEWED

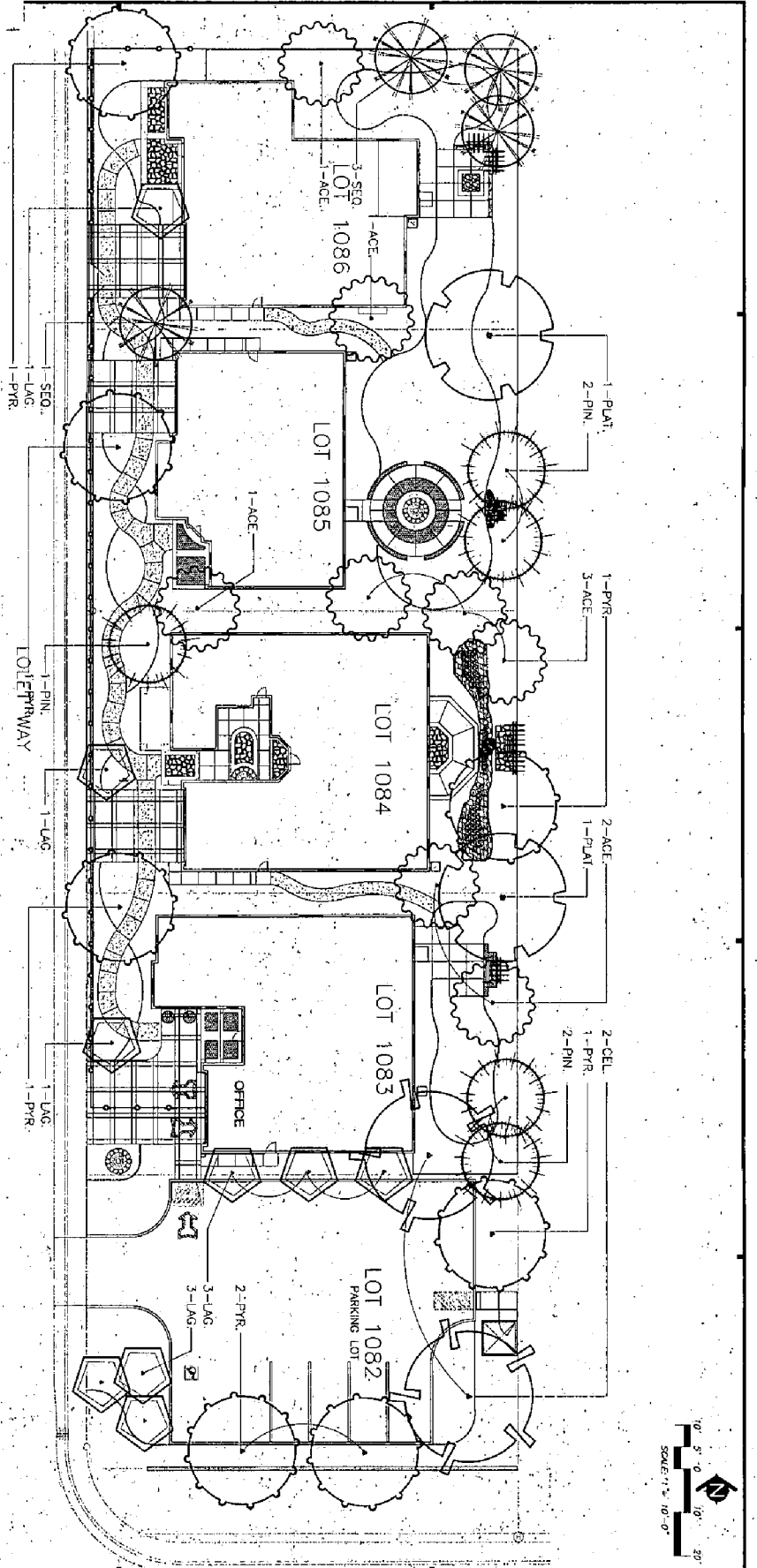
STERLING HILLS AT NATOMAS CREEK
 MODEL HOMES
 SACRAMENTO, CALIFORNIA

D.R. HORTON, INC.
 4401 HAZEL AVENUE, SUITE 226
 FAIR OAKS, CALIFORNIA 95628
 (916) 865-2000

P04-037
 Rec'd 5/6/04

DATE APRIL 21 2004
 JOB NO. 04-032
 SHEET TITLE SRTAKING AND PAVING PLAN
 SHEET NO. L1
 SHEET 1 OF 3 TOTAL

Exhibit 9: Model Homes Tree Planting Plan

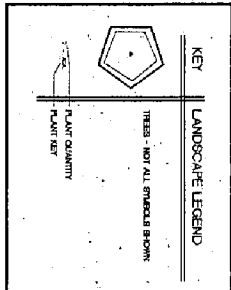


PLANT MATERIAL LIST

SIZE	QUANTITY	KEY	BOTANICAL NAME - COMMON NAME
15 G.C.	7	ACE	ACER RUBRUM 'GERLING' ... RED MAPLE
15 G.C.	2	CEL	CELIS SINENSIS ... CHINESE HAZELBERRY
15 G.C.	9	LAG	LAGESTROEMIA-FALERI 'CATAMBA' ... RED CRAPE MYRTLE
15 G.C.	5	PIN	PINUS NIGRA ... BLACK PINE
15 G.C.	2	PLAT	'PLATANUS ACERIFOLIA 'BLOODGOOD' ... LONDON-PLANE TREE
15 G.C.	6	PYR	PYRUS CALLERYANA 'CAPITAL' ... ORNAMENTAL PEAR
24" BOX	4	SEO	'SCODIA SEMPERVIRENS 'APTOS BLUE' ... COAST REDWOOD

LANDSCAPE NOTES

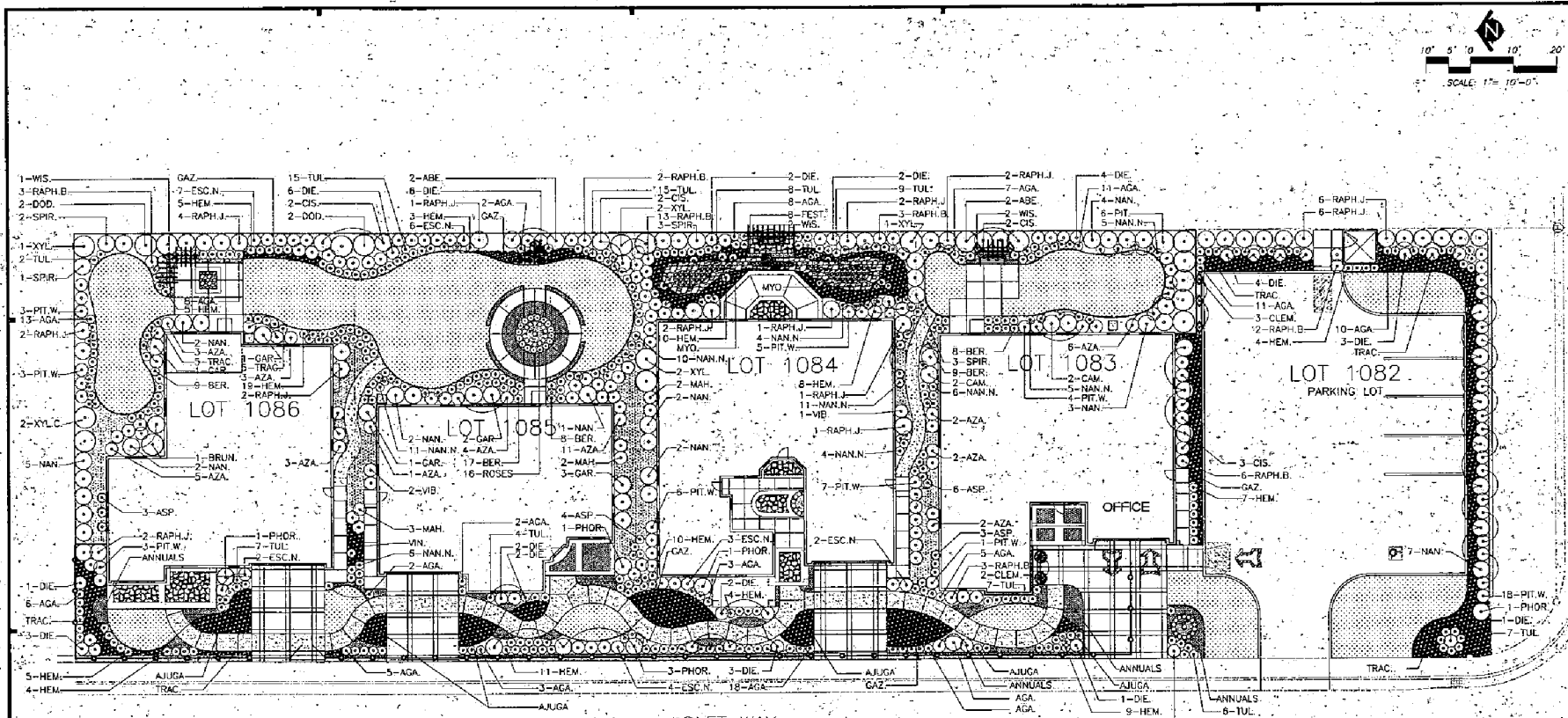
- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN TESTED BY CONTRACTOR IN PRESENCE OF OWNER'S REPRESENTATIVE AND NOTED DEFICIENCIES CORRECTED.
- NO PLANTING SHALL BE PERMITTED FOR TREE SPECIES, PLANTING AND PRUNING OPERATIONS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- QUANTITIES SHOWN ON PLANT MATERIAL LIST ARE APPROXIMATE. EXACT QUANTITIES INDICATED ON LANDSCAPE PLAN.
- PLANT MATERIALS TO BE SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- FOR LANDSCAPE AND SPRINKLER IRRIGATION DETAILS, SEE SHEET 15.1 AND 15.1.
- INSTALL PARK WALK TO ALL SHRUB PLANTING AREAS AND AS PER NOTE NO. 6.
- INSTALL PARK WALK TO ALL SHRUB PLANTING AREAS AND AS PER NOTE NO. 6.



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Exhibit 9: Model Homes Tree Planting Plan



LOT 1084
LOT 1085
LOT 1086
LOT 1083
OFFICE
PARKING LOT
LOT WAY
PLANT MATERIAL LIST

SIZE	QUANTITY	KEY	BOTANICAL NAME - COMMON NAME ?
SHRUBS			
5 0.C.	4	ABE	ABELIA GRANDIFLORA "SHERWOOD" ... "GLOSSY ABELIA"
1 0.C.	14	AGA	ADAPANTHUS AFRICANUS "PETER PAN" ... "DWARF LILY-OF-THE-RILE"
5 0.C.	16	ASP	ADONISMA FLAVIB ... OXI-IRON PLANT
5 0.C.	42	AZA	AZALEA BELGIAN INDICA ... BELGIAN INDICA AZALEA
1 0.C.	51	BER	BEGONIA CRISPO-OLIA ... WINTER-BLOOMING BEGONIA
5 0.C.	1	BRUN	BRUNFELSA FLORIBUNDA ... YESTERDAY-TODAY & TOMORROW
5 0.C.	4	CAM	CAMELLIA SASANQUA "YULETIDE" ... CAMELLIA
1 0.C.	18	FEST.	TESTUDIA OVATA "OLYMPIA" ... BLUE TESTUDO
5 0.C.	9	ESC	CISTUS PURPUREUS ... ORCHID ROCKROSE
5 0.C.	45	DIE	DIETES BICOLOR ... "DORNBIGHT LILY"
5 0.C.	14	DOD	DODONAEA VISCOSA "SANTOGA" ... HOOP BUSH
5 0.C.	24	ESC.N	ESCALONIA RUBRA "NEWPORT DWARF" ... DWARF ESCALLONIA
1 0.C.	8	GAR	GARDENIA JASMINOIDES "VETCHI" ... GARDENIA
5 0.C.	99	HEM	HEMEROCALLIS HYBRIDS ... DANIELI
5 0.C.	7	MAH	MADONIA NERVOISA ... LONGLEAF MADONIA
5 0.C.	62	MAW	MADONIA DOMESTICA "HARBOR DWARF" ... DWARF HEAVENLY BAMBOO
5 0.C.	30	MAW	MADONIA DOMESTICA ... HEAVENLY BAMBOO
5 0.C.	9	SPAR	SPIREA THUNBERGI "OGON" ... YELLOW YELLOW SPIREA
5 0.C.	8	PHOR	PHODOSMUM TENAX "TOM THUMB" ... DWARF NEW ZEALAND FLAX
5 0.C.	30	PIT.W	PITOSPORUM TOBIIRA "WHEELER'S DWARF" ... DWARF PITOSPORUM
5 0.C.	5	PIT	PITOSPORUM TOBIIRA "VARIEGATA" ... VARIEGATED TOBIIRA
5 0.C.	5	RAPH.B	RAPHANOPSIS INDIRA "SALLEENA" ... DWARF INDIA HAWTHORN
5 0.C.	12	RAPH.J	RAPHANOPSIS INDIRA "JACK EVANS" ... DWARF INDIA HAWTHORN
1 0.C.	10	TRAC	TRACHELOSPERMUM JASMINOIDES "STAR JASMINE"
1 0.C.	80	TUL	TULBAGHIA NIVALEA "SOCIETY GARLIC"
5 0.C.	8	XYL	XYLOSIA CONGESTITA ... XYLOSIA
5 0.C.	2	VB	VELURIUM DAVIDI ... VIBURNUM
5 0.C.	16	ROSES	MULTIPLER ROSES
GROUNDCOVER			
FLATS	12' 0.C.	AJUGA	AJUGA REPTANS "PURPUREA" ... CARPET BUGLE
FLATS	18' 0.C.	GAZ	GRASSIA VINDSANA "SEA DOR" ... TREMBLING GRASSIA
1 0.C.	24' 0.C.	MAW	TRACHELOSPERMUM JASMINOIDES "STAR JASMINE"
1 0.C.	24' 0.C.	MAW	VINCA MINOR ... DWARF PERVIKULE
1 0.C.	35' 0.C.	MYO	MYOPORIUM PARVIFOLIUM ... MYOPORIUM
VINES			
1 0.C.	5	CLE	CLEMATIS ARMANDI ... EVERGREEN CLEMATIS
1 0.C.	5	WIS	WISTERIA SINENSIS ... CHINESE WISTERIA

KEY LANDSCAPE LEGEND

- SHRUBS
- BARK MULCH
- GROUNDCOVER
- ANNUALS
- LAWN - SOO
- RWD HEADER BOARD
- PLANT QUANTITY
- PLANT KEY

- LANDSCAPE NOTES**
- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN TESTED BY CONTRACTOR IN PRESENCE OF OWNER'S REPRESENTATIVE AND NOTED DEFICIENCIES CORRECTED. EXCEPTION: DRIP IRRIGATION FOR SHRUBS.
 - NO PLANTING SHALL BE STARTED UNTIL SOIL PREPARATION AND FINISH GRADING OPERATIONS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
 - QUANTITIES SHOWN ON PLANT MATERIAL LIST ARE APPROXIMATE. PROVIDE QUANTITIES INDICATED ON LANDSCAPE PLAN.
 - PLANT MATERIAL IS SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
 - FOR LANDSCAPE AND SPRINKLER IRRIGATION DETAILS, SEE SHEET L3.1 AND L6.1.
 - INSTALL BARK MULCH IN ALL EXPOSED "DIRT" AREAS.
 - INSTALL BARK MULCH TO ALL SHRUB PLANTING AREAS AND AS PER NOTE NO. 18.
- NOTE:**
FOR SOIL ANALYSIS REPORT AND WATER USE CALCULATIONS, SEE SHEET L4.1.

MTW group
Landscape Architecture and Planning
10411 Old Placerville Road, Suite 205
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REVISIONS

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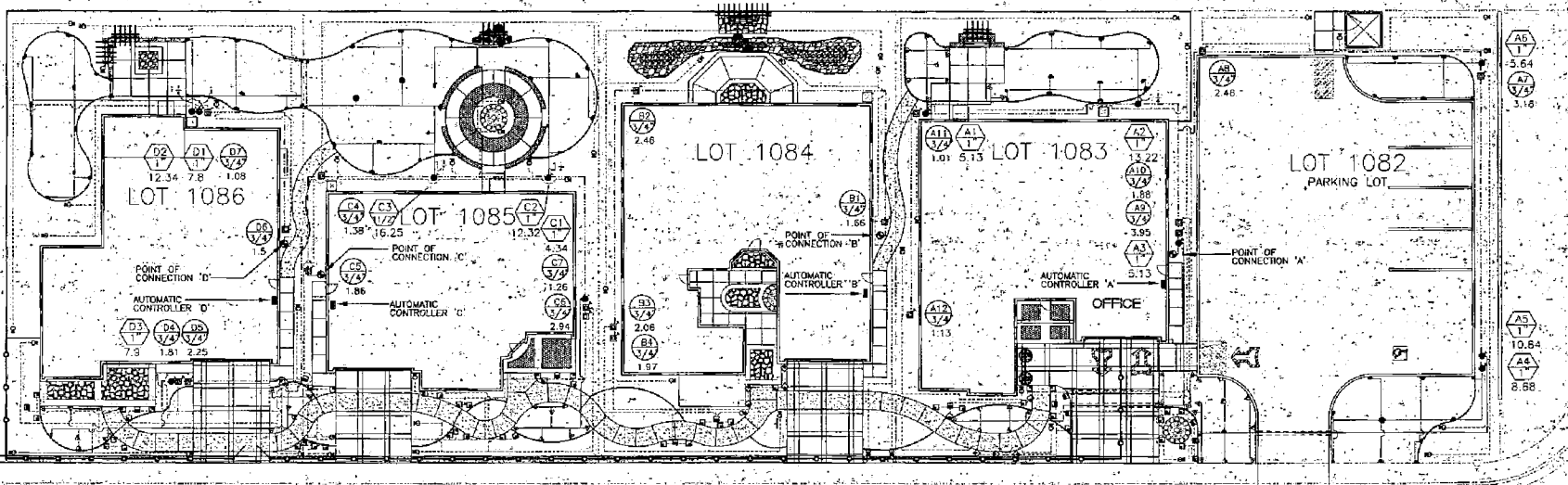
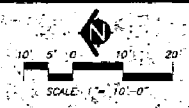
STERLING HILLS AT NATOMAS CREEK
MODEL HOMES
SACRAMENTO, CALIFORNIA

D.R. WORTON, INC.
4401 HAZEL AVENUE, SUITE 225
FAIR OAKS, CALIFORNIA 95628
(916) 905-2200

DATE APRIL 21 2004
JOB NO. 04-032
SHEET TITLE TREE PLANTING PLAN
SHEET NO. L21
SHEET 3 OF 10 TOTAL

P04-037
Rec'd 5/6/04

Exhibit 10: Sprinkler
Irrigation Plan



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KEY	SPRINKLER IRRIGATION LEGEND
○	POINT OF CONNECTION CONNECT TO EXISTING 1" COPPER LINE/PIPE SIZE AND EXTEND AS SHOWN ON DRAWINGS. VERIFY EXACT LOCATION ON SITE. THIS SYMBOL IS DESIGNED TO OPERATE AT 45 PSI AT THE POINT OF CONNECTION WITH A MAXIMUM GALLONS PER MINUTE CAPACITY OF 1.00 GPM.
■	AUTOMATIC CONTROLLER (REQUIRED) CONTROL VALVE SIZE AS INDICATED ON DRAWINGS. CONTROLLER "A" - 1/2" SIZING CONTROLLER "B" - 3/4" SIZING CONTROLLER "C" - 1" SIZING CONTROLLER "D" - 1 1/2" SIZING COORDINATE WITH SERVICE AND POWER CONNECTION WITH THE SPACE.
●	AUTOMATIC CONTROL VALVE RATED 1/2" SIZING. SIZE AS INDICATED ON DRAWINGS.
—	PRESSURE MAIN LINE PVC SCHEDULE 40 SOLVENT WELD 1/2" ALL 1 1/2" SIZE UNLESS OTHERWISE INDICATED. MINIMUM DEPTH OF COVER SHALL BE 18" IN UNDER FLOORMENT.
---	LATERAL LINE PVC CLASS 200 SOLVENT WELD ALL SCHEDULE 40 SHALL BE 3/4" SIZE UNLESS OTHERWISE INDICATED. DEPTH OF COVER SHALL BE 12" IN UNDER FLOORMENT.
●	LAWN POP-UP SPRAY HEADS RATED 1/2" SIZING SERIES WITH 1/2" MPX NOZZLES FULL (1/2" PROTR. RATE) HALF (1/4" PROTR. RATE) TRIP (1/4" PROTR. RATE) AND QUARTER (1/4" PROTR. RATE) PATTERNS.
●	LAWN POP-UP SPRAY HEADS RATED 1/2" SIZING SERIES WITH 3/8" MPX NOZZLES FULL (1/2" PROTR. RATE) HALF (1/4" PROTR. RATE) TRIP (1/4" PROTR. RATE) AND QUARTER (1/4" PROTR. RATE) PATTERNS.
○	INDICATES CONTROL VALVE AND STATION NUMBER A1 2 0.00
○	INDICATES CONTROL VALVE SIZE A1 1/2
○	INDICATES GALLONS PER MINUTE A1 0.00
○	AUTOMATIC DRIP IRRIGATION VALVE/ALTERNATE PRESSURE REGULATOR RATED 1/2" SIZING WITH 1/2" FILTER AND 1/2" PRESSURE REGULATOR. SIZE AS INDICATED ON DRAWINGS.
○	DRIP IRRIGATION FLUSH PLUGS 1/2" DIA. 1/2" SIZING.
□	YEM-SPRAY FOR BEDDING PLANTS RATED 1/2" SIZING WITH 1/2" FILTER AND 1/2" PRESSURE REGULATOR WITH 1/2" POLYESTER MESH (1/2" - 1/2" AND 1/2" FILTER (1/2" - 1/2") NO. PROTR. RATE AVAILABLE).
○	DRIP LATERALS RATED 1/2" SIZING WITH 1/2" DISTRIBUTION TUBING NOT INDICATED ON DRAWINGS. RATED 1/2" SIZING WITH 1/2" DISTRIBUTION TUBING NOT INDICATED ON DRAWINGS. NOTE FOR TRIP UNDER TRIPING USE 1/2" PVC CLASS 200 SOLVENT WELD 1/2" PVC SCHEDULE 40 SIZES ARE REQUIRED FOR ALL TRIP UNDER FLOORMENT.
○	INDICATES DRIP CONTROL VALVE AND STATION NUMBER A2 2
○	INDICATES DRIP CONTROL VALVE SIZE A2 1/2
○	INDICATES GALLONS PER MINUTE A2 2.3

SPRINKLER IRRIGATION NOTES

1. VERIFY EXISTING 1" COPPER LINE/PIPE SIZE AND EXTEND AS SHOWN ON DRAWINGS. VERIFY EXACT LOCATION ON SITE. THIS SYMBOL IS DESIGNED TO OPERATE AT 45 PSI AT THE POINT OF CONNECTION WITH A MAXIMUM GALLONS PER MINUTE CAPACITY OF 1.00 GPM.

2. COORDINATE WITH SERVICE AND POWER CONNECTION WITH THE SPACE.

3. RATED 1/2" SIZING WITH 1/2" FILTER AND 1/2" PRESSURE REGULATOR WITH 1/2" POLYESTER MESH (1/2" - 1/2" AND 1/2" FILTER (1/2" - 1/2") NO. PROTR. RATE AVAILABLE).

4. RATED 1/2" SIZING WITH 1/2" DISTRIBUTION TUBING NOT INDICATED ON DRAWINGS.

5. RATED 1/2" SIZING WITH 1/2" DISTRIBUTION TUBING NOT INDICATED ON DRAWINGS.

6. RATED 1/2" SIZING WITH 1/2" DISTRIBUTION TUBING NOT INDICATED ON DRAWINGS.

7. RATED 1/2" SIZING WITH 1/2" DISTRIBUTION TUBING NOT INDICATED ON DRAWINGS.

8. RATED 1/2" SIZING WITH 1/2" DISTRIBUTION TUBING NOT INDICATED ON DRAWINGS.

9. RATED 1/2" SIZING WITH 1/2" DISTRIBUTION TUBING NOT INDICATED ON DRAWINGS.

10. RATED 1/2" SIZING WITH 1/2" DISTRIBUTION TUBING NOT INDICATED ON DRAWINGS.

NOTE:
 FOR IRRIGATION SCHEDULE
 AND WATER USE CALCULATIONS
 SEE SHEET L-41.

P04-037
 Rec'd 5/6/04

DATE: APRIL 21 2004
 JOB NO.: 04-032
 SHEET TITLE:
 SPRINKLER IRRIGATION PLAN
 SHEET NO.:
 L3:1
 SHEET - A OF - L TOTAL

CITY OF SACRAMENTO
WATER USE CALCULATIONS

WATER USE	PLANT	SQ. FT.	WATER USE FACTOR (TOTAL SQ. FT. X USE FACTOR)
LOW	ADAPANTHUS	96	767.5 x (0.4) = 307.0
	DIETES	35	
	PAZONIA	214	
	HYDRORUM	209	
	MAHONIA	14	
	IRAPHOLEPIS	199.5	
	TULBAGHIA	51	
	XYSOXA	78	
MEDIUM	LAURUS	45	510 x 1.0 = 510.0
	ESCALONIA	35	
	HEMEROCALLIS	89	
	IRACONIA	113	
	PHORNUM	29	
	PITIOSPORUM	126	
	SPREA	75	
	YBURNUM	7	
TOTALS		1277.5 SF	812.0 SF

LIST	GALLONS/WEEK * SUMMER ESTABLISHMENT	ESTABLISHMENT				MAINTENANCE			
		SP	SM	IF	W	SP	SM	F	W
DRIP B1 1,966GPM	199.2GPM	1	2	1	0	1	2	1	1
DRIP B2 2,496GPM	295.2GPM	60	60	30	0	30	30	30	1
DRIP B3 2,095GPM	247.2GPM	1	2	1	0	1	2	1	1
MICRO SPRAY B4 1,976GPM	118.2GPM	3	4	2	0	3	4	4	1
TOTAL WATER USAGE PER WEEK = 859.6 GALLONS PER WEEK									
TOTAL WATER USAGE PER YEAR = 30952.8 GALLONS									

WATER USE CALCULATIONS
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
= (ET0) (0.8) (TOTAL PROJECT AREA) (0.82)
= (51.9) (0.8) (1277.5) (0.82)
= 32,885.9 GAL/YEAR

ESTIMATED APPLIED WATER USE (EAWU)
30952.8 GAL/YEAR (SEE IRRIGATION SCHEDULE)

EAWU (30952.8 GAL/YEAR) < MAWA (32885.9 GAL/YEAR)

Exhibit 10: Irrigation Schedule and Calculations

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Sunland Analytical
11311 Peyton Way, Suite 4
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(916) 871-8337

RECEIVED
APR 26 2004
Date Reported: 04/23/2004
Date Submitted: 04/23/2004

Client: MTW Group
Project: STERLING HILLS MODEL

Information requested by: Bob Takahara
Sample ID: NATOMAS CREEK

Soil Recommendations for Landscape Gardening

Soil pH (Acidity and Alkalinity): The pH of this sample indicates the soil is in a range for normal growth of most plants. No modification is required.

Dissolved Salts (Indicated by EC & SAR): These conditions are in the normal range for plant growth.

Soil Permeability and Rate of Water Infiltration: The infiltration rate for all soil textures decreases with increasing ground slope. At 0 to 4%, 5 to 24%, 25 to 34%, and above 34% the infiltration rate of this sample decreases from 0.25 to 0.20, 0.15, 0.10, 0.06, respectively. Infiltration rate also decreases with percent of ground cover and by compaction.

Water Penetration of Soil Due to Chemical Characteristics: When exchangeable sodium increases in the soil, water penetration decreases. Based on SAR and ESP values this sample has no penetration problem due to soil sodium. No gypsum required.

Organic Matter: Organic matter provides a slow nitrogen release and aids water retention. This sample has a moderate organic matter content. To maintain moisture and provide sustained nitrogen release a level of 10% organic matter is recommended. The amending material that is approximately 75% organic matter (i.e., many ground fir barks). Based on the analysis of this soil sample apply 2 yards per 1000 sq. ft. Spread evenly and blend into the top 2-3 inches of soil. It is a reasonable practice to apply a top dressing of 2 inches of organic mulch to aid water penetration and retention.

Soil BODB: Based on observations are in a range allowing normal plant growth.

Soil Texture: Clay Loam

Parameter	Value	Soil Texture
CEC	7.48	Clay Loam
EC	0.29	meq/L
Top Dissolved Salts	155	ppm
Infiltration Rate (10% Slope)	0.25	in/hr
Organic Matter	4.0	%
C:N	22.2	mg/100g
Hydrolytic Ammonium Ratio (HAR)	3.6	
Exchangeable Sodium Percent (ESP)	3.8	%
Organic Base (Cation Exchange Capacity)	14.4	meq/100g
Calc. Nitrogen Release	3.4	lb/1000 sq. ft.

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Information requested by: Bob Takahara
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Soil BODB: Based on observations are in a range allowing normal plant growth.

Soil Texture: Clay Loam

Soil Permeability: 6-30-20, 1-30-12, 1-10-16, 0-10-10, 2-3-3-4, 21-9-0

Grade of Soil Preparation: Fill in outside matrix, F.F.R. and score entrance in addition to any lime gypsum or sulfur as directed above. Smooth soil surface and follow seed or sod production direction for planting and product application.

Trees and Shrubs: Remove holes for planting shrubs and trees in at least twice the volume of the container. Prepare berms for tree and shrub planting holes by mixing three parts of native soil (or imported top soil) with one part organic amendment (preferably nitrogen and iron fertilized) and 1-3 ounces of 8-30-20 per yard of soil. For extended fertilization, place slow release fertilizer tablets in each hole per manufacturer's instructions. If 8-30-20 was not directly added to berms, mix and apply evenly 1/2 oz of 8-30-20 per gallon container, 1.5 oz per 5 gallons, 5 oz per 25 gallon.

Summary and Suggested Sequence of Soil Improvements (lb/1000 sq. ft.):
Organic Amendment: 2 10/1000 Sq. Ft. Bulk organic amendment (nitrofired)
F.F.R. Fertilizer: See above chart
Sulfur-Sulfur: Ammonium sulfate

Maintenance Fertilization: Apply 1 pound of Ammonium sulfate (21-0-0) per 1000 sq. ft. every month until plants become established. After established, apply 1/2 lb of similar preparation to provide desired growth rate and color.

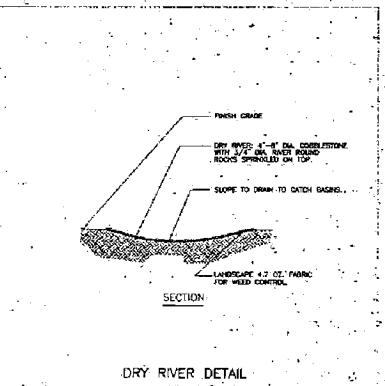
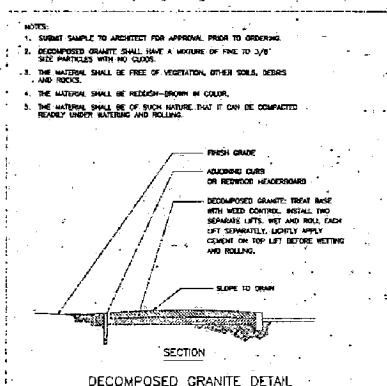
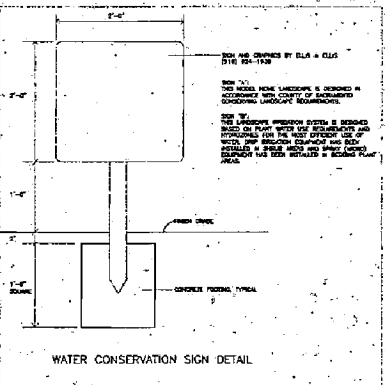
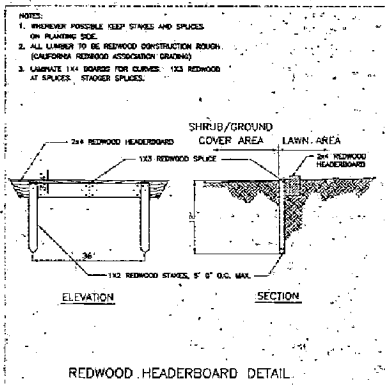
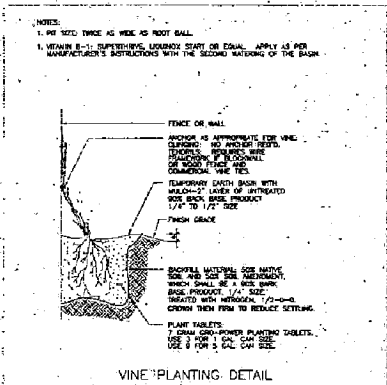
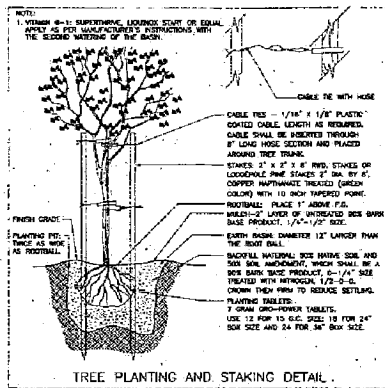
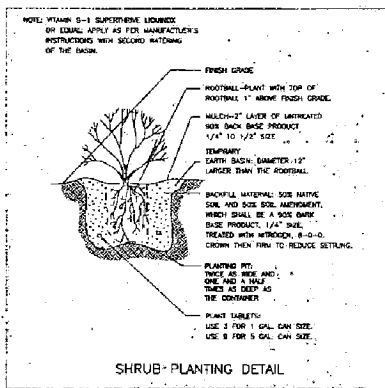
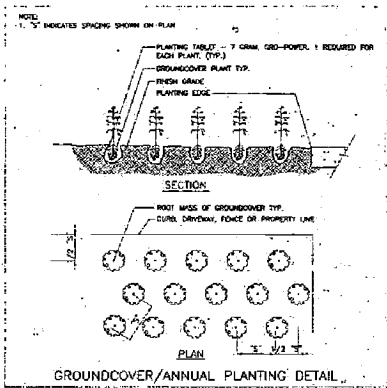
SOIL ANALYSIS

STERLING HILLS AT NATOMAS CREEK
MODEL HOMES
SACRAMENTO, CALIFORNIA

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(916) 865-2200

DATE: APRIL 21 2004
JOB NO.: 04-032
SHEET TITLE: IRRIGATION SCHEDULE WATER USE CALCULATION AND SOIL ANALYSIS
SHEET NO.: L4.1
SHEET 3 OF 8 TOTAL

P04-037
Rec'd 5/6/04



P04-037
Rec'd 5/6/04

MTW group
Memuyoc Takemura Weranicki

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CONSULTANTS

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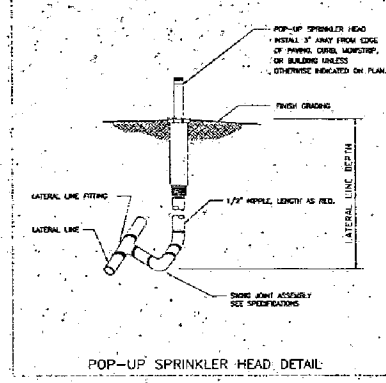
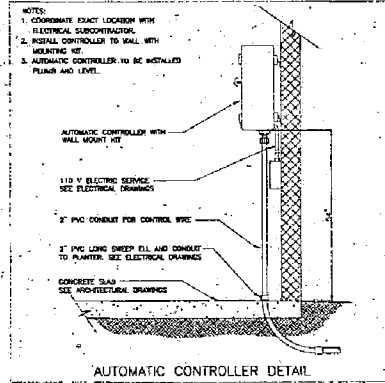
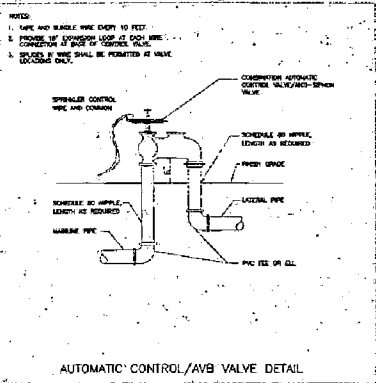
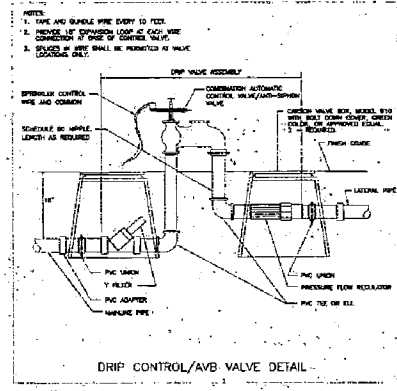
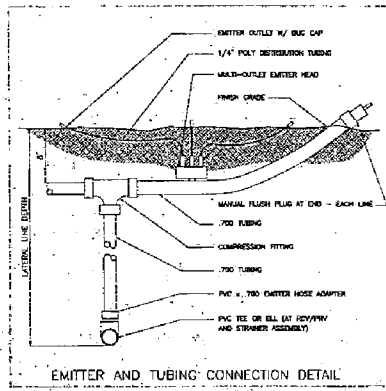
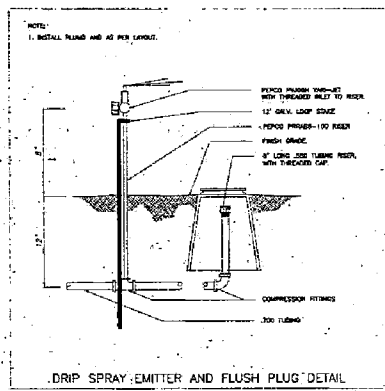
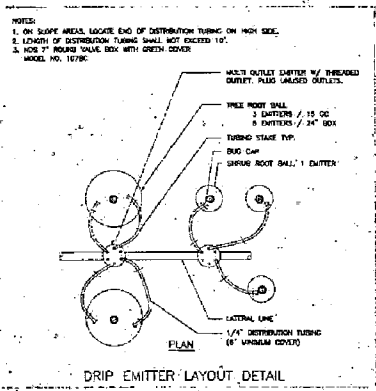
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MODEL HOMES
SACRAMENTO, CALIFORNIA

D.R. HORTON, INC.
4401 HAZEL AVENUE, SUITE 225
FAIR OAKS, CALIFORNIA 95628
(916) 965-2300

DATE: APRIL 21 2004
JOB NO. 04-032
SHEET TITLE
PLANTING DETAILS
SHEET NO.
L51
SHEET A OF B TOTAL

Exhibit 12: Sprinkler Irrigation Details



MTWgroup
 Momyrac
 Tolbert
 Woronicki

LANDSCAPE ARCHITECTURE AND PLANNING
 10411 Oak Reservoir Road
 Suite 205
 Sacramento, CA 95827
 916 369-3300

San Francisco C-3871

CONSULTANTS

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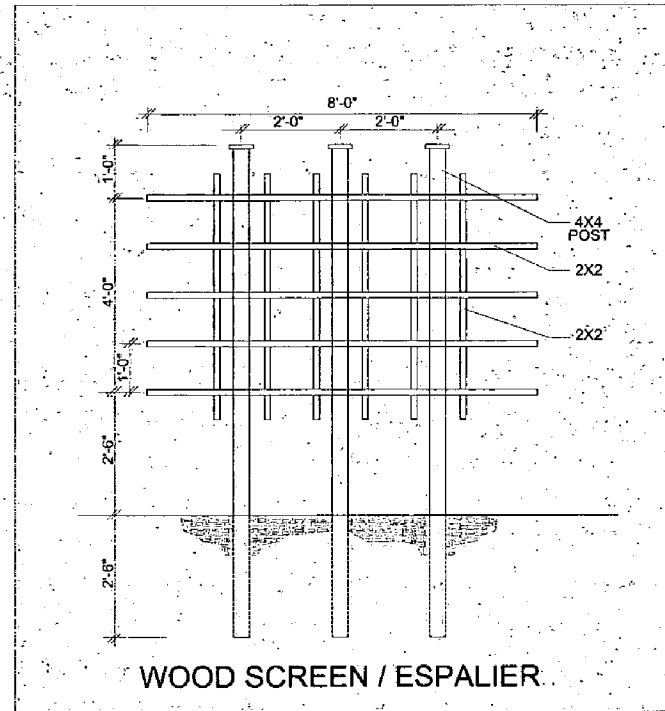
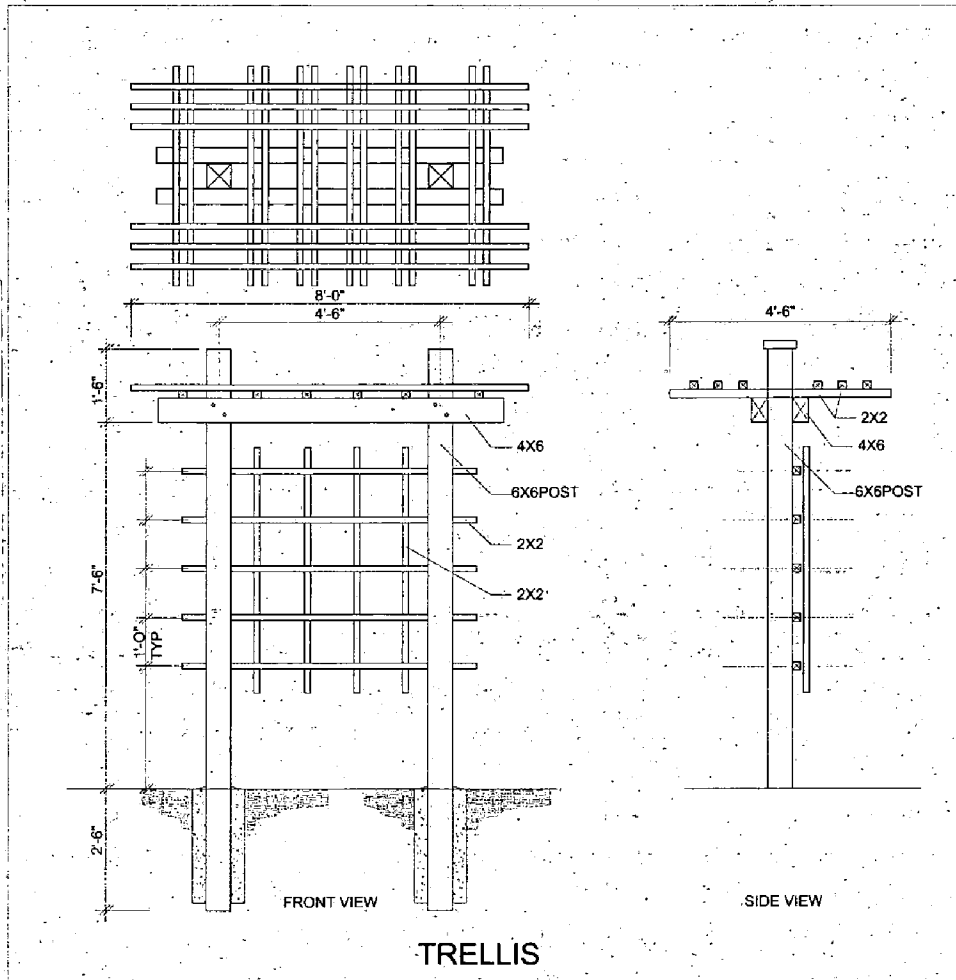
**STERLING HILLS AT NATOMAS CREEK
 MODEL HOMES
 SACRAMENTO, CALIFORNIA**

D.R. HORTON, INC.
 4401 HAZEL AVENUE, SUITE 225
 FAIR OAKS, CALIFORNIA 95628
 (916) 985-2280

P04-037
 Rec'd 5/6/04

DATE **APRIL 21 2004**
 JOB NO. **04-032**
 SHEET TITLE **SPRINKLER IRRIGATION DETAILS**
 SHEET NO. **L6.1**
 SHEET **7** OF **10** TOTAL

Exhibit 13: Trellis and Wood Screen Details



P04-037
Rec'd 5/6/04



MTWgroup
M e m u y o c
T e a c h e r s
W o r k s t e c k i

LANDSCAPE ARCHITECTURE
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10411 Old Placerville Road
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200 License C-301

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STERLING HILLS AT NATOMAS CREEK
MODEL HOMES
SACRAMENTO, CALIFORNIA

D.R. HORTON, INC.
4401 HAZEL AVENUE, SUITE 225
FAIR OAKS, CALIFORNIA 95628
(916) 985-2800

DATE: APRIL 21 2004

JOB NO. 04-032

SHEET TITLE

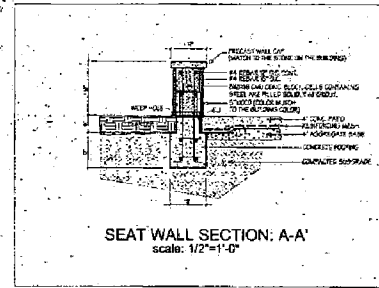
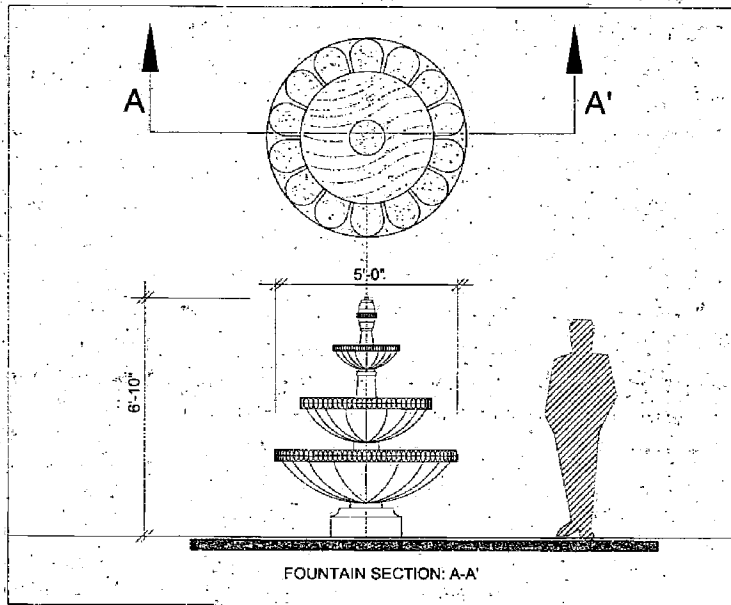
TRELLIS
AND
WOOD SCREEN
DETAILS

SHEET NO.

L71

SHEET 8 OF 10 TOTAL

Exhibit 14: Fountain and Seat
Walls Details



P04-037

Rec'd 5/6/04

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STERLING HILLS AT NATOMAS CREEK
MODEL HOMES
SACRAMENTO, CALIFORNIA

D.R. HORTON INC. SUITE 225
FAIR OAKS, CALIFORNIA 95628
(916) 865-2200

DATE: APRIL 21 2004

JOB NO. 04-037

SHEET TITLE
FOUNTAIN
AND
SEAT WALL
DETAILS

SHEET NO.

L8.1

SHEET 9 OF 10 TOTAL

LAW OFFICES OF
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GREGORY D. THATCH
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February 11, 2004

VIA FACSIMILE AND FIRST CLASS MAIL

Cori Van Dyck
D.R. Horton
4401 Hazel Avenue, Suite 225
Fair Oaks, CA 95628

Re: Natomas Creek PUD / Architectural Reviews

Dear Ms. Van Dyck:

We write to you on behalf of our client, Kern Schumacher, and in response to your request for review and approval of the proposed house plans and elevations presented in your application for a Planning Director Special Permit with the City of Sacramento.

Specifically, our client has reviewed the "Sterling Hill," "Monaco," "Palisades," and "Terrace Park" product lines and approves of their use on the lots identified on the attached exhibit provided by your office.

Per your request, we will be returning the color samples provided for review under separate cover. Thank you for your cooperation in this matter. If we can be of any further assistance, please feel free to contact our office at your convenience.

Very truly yours,

LAW OFFICES OF
GREGORY D. THATCH


DAVID P. TEMBLADOR

DTNkr
DT0420.ltr
enclosure

cc: Brad Ross

P04-037
2-20-04

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD
LETTER OF AGREEMENT**

P04-037: D.R. HORTON - STERLING HILLS AT NATOMAS CREEK

PROJECT NAME/FILE #: Sterling Hills at Natomas Creek, 128 single-family units total, file P04-037

PROJECT LOCATION: Southwest of Elkhorn Boulevard and East Commerce Way in North Natomas

ASSESSOR'S PARCEL NUMBER(S): 201-0300-026, -029

ZONING: R-1-PUD

APPLICANT'S NAME/ADDRESS: D.R. Horton (Cori Van Dyck)
4401 Hazel Avenue, Suite 225
Fair Oaks, CA 95628
(916) 965-2200 x242; fax (916) 965-2280

I, CORI VANDYCK PROJECT MANAGER (please print and include title), agree to amend the project application, P04-037 to incorporate the attached Conditions of Approval into the requested Planning Director's Special Permit (PDSP).

I acknowledge that this project, P04-037 is subject to these PDSP Conditions of Approval. These PDSP Conditions of Approval will establish responsibilities for the monitoring of my project by various City Departments, and by other public agencies under the terms agreed upon in the PDSP Conditions of Approval. I understand that the PDSP Conditions of Approval for my project may require the expenditure of owner/developer funds where necessary to comply with the provisions of said PDSP Conditions of Approval.


Signature

PROJECT MANAGER
Title

5-21-04
Date