

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Thursday, October 21, 1999, the Zoning Administrator approved a special permit modification to develop a 5,900 ± square foot multi use building for an existing residential care facility on 1.36± developed acres in the Heavy Industrial Special Planning District (M-2 (W) SPD) zone and a lot line merger to merge three lots into one lot totaling 1.36± acres.Z99-048. Findings of Fact and conditions of approval for the project are listed on page s 7-14.

Project Information

- Request: A. **Zoning Administrator Special Permit Modification** to develop a 5,900± multi use building for an existing residential care facility on 1.36± developed acres in the Heavy Industrial Special Planning District (M-2 (W) SPD) zone.
- B. **Lot Line Merger** to merge three lots into one lot totaling 1.36± acres in the Heavy Industrial West Special Planning District.

Location: 400 Bannon Street

Assessor's Parcel Number: 001-0052-009, 011, 020

Applicant: Carissimi Rohrer McMullen Associates, c/o Ronald J. Carissimi
 707 Commons Drive, Ste. 250
 Sacramento, CA 95825

Property Owner: Union Gospel Mission
 PO Box 1108
 Sacramento, CA 95814

Project Planner: Jeanne Corcoran, 264-5317

General Plan Designation:	Special Planning District
Central City	
Community Plan Designation:	Public Utilities
Existing Land Use of Site:	Residential Care Facility
Existing Zoning of Site:	M-2 (SPD)

Surrounding Land Use and Zoning:

North: Vacant, Proposed Office Building; OB (PUD)SPD
 South: Residential Care Facility; M-2 (W) SPD
 East: Vacant; M-2 (C) (SPD)
 West: City Water Treatment Plant, vacant & residential; M-2(W) SPD

Property Dimensions: Irregular
 Property Area: 1.36± acres
 Topography: Flat
 Street Improvements: To Be Provided
 Utilities: Existing

Project Plans: See Exhibit A-1 through A-5

Previous File Numbers: P 248; P87-174

Background Information: On June 27, 1967, the Planning Commission approved a special permit (permit #248) to locate Union Gospel Mission at the 400 Bannon Street site. The Union Gospel Mission was seeking a new site, since their site at 906 2nd Street was being cleared due to redevelopment activities in "Old Sacramento". The project proposal was for a 8,400 square foot building which contained a 150 seat capacity chapel, dining room, kitchen facilities, dormitory, bath facilities, staff quarters, a medical/dental clinic and 11 parking spaces. On January 10, 1983 a Planning Director's special permit modification was approved to allow a one story 1,050 square foot storage and carport structure. On August 27, 1989, the Planning Commission approved a special permit (P 87-174) to construct a 10,207 square foot women's center. This project was never constructed.

On June 27, 1989, the City Council adopted Resolution 89-544, which provided policy on the Homeless and Transient Person in the Richards Boulevard Area. This Resolution discloses that it is the policy of the City to "generally not favor in the Richards Boulevard Area the establishment of any new social service program or facility to serve indigent, homeless or transient persons, or geographical expansion of any existing facilities in the Richards Boulevard area used for provision of such services". On November 10, 1998, the City Council authorized negotiations with General Produce and modified the social service complex policies (Resolution 98-559). This resolution reiterated that the "City shall not generally favor the approval of new or the expansion of publicly funded homeless programs in the Central City, that would duplicate or replace those homeless programs approved to be located in the Social Service Campus".

In July 1990, the City Council acting as the Redevelopment Agency adopted the Richards Boulevard Redevelopment Plan and directed the preparation of a land use plan for the area. In December 1993, the City Council certified the EIR and amended the General Plan, designating the Railyards and Richards Boulevard as a Special Planning District, amended

the Central City Community Plan to incorporate the Railyards and Richards Boulevard area into the Central City Community Plan and designated land use for both planning areas (M93-108). The Central City Community Plan designates this site as Public Utilities. In December 1994, the City Council certified a Supplemental EIR (SEIR) and adopted the Railyards Specific Plan (M93-118) and the Richards Boulevard Area Plan (M93-121) and various other documents necessary to implement the Railyards Specific Plan (RSP) and Richards Boulevard Area Plan (RBAP).

As noted above, the Central City Community Plan designates the site as Public Utilities. The Downtown Regional Enterprise Department has always assumed that the City would someday purchase Union Gospel Mission for the expansion of the Water Treatment Facility. However, the City currently does not have the funds, nor is an expansion of the Water Treatment Facility anticipated to occur in this area within the next five years. The proposed addition does not limit the ability of the City to purchase the Union Gospel Mission site when the Water Treatment Facility proposes its expansion.

Additional Information: The Union Gospel Mission was established in Sacramento in 1962 and has been providing for the needs of the homeless for the last 37 years. The Union Gospel Mission is non-denominational and is open for any and all who are in need regardless of race, color or creed. It is a faith based ministry. All services received at the Union Gospel Mission are free of charge and are funded solely by private donations. The mission receives no Federal, State, County or City funds (Per Rev. Kirk of Union Gospel Mission).

The proposed project is to construct a 5,900 square foot building which is intended to facilitate the internal operations of the existing services on the site. The proposed development includes 33 parking spaces, an outdoor waiting area and a trash enclosure. With the construction of the new facility, approximately 1,600 square feet of small ancillary structures will be removed and the use of the 500 square foot basement will be abandoned.

The design of the site proposes to orient the building on the north side of the lot facing Bannon Street. An existing driveway is located on the Bannon Street curve. The Richards Boulevard Area Plan provides for the extension of a new 5th Street from the Railyards site to connect with Richards Boulevard. The new 5th Street with a north/south alignment will utilize a portion of the existing north/south Bannon Street alignment. However, the current driveway to Union Gospel Mission may not provide access to the proposed 5th Street. In order to assure access to the site should 5th Street be developed staff proposes to shift the building 30 feet to the east. Shifting the building will comply with the 10 foot building setback requirement and provide future access to the site from Bannon Street (east/west alignment) should 5th Street be developed.

The project will be developed with an internal orientation. Door openings are not proposed on the north elevation. A plaza area is proposed on the south elevation with access to the

building provided internally. Normally, staff would require exterior access, however, due to the sensitivity of the site's use, staff supports the internal orientation. The internal orientation provides for better security and control of the site.

A fence is proposed to be constructed around the entire site, with a gate to be located across the driveway. The Zoning Ordinance requires non residential development to obtain approval of City departments to establish gates at private vehicular entrances that will be closed during business hours or result in a fully enclosed development. Since this site is a residential care facility which provides programs and services to the homeless, the Police Department and the Neighborhoods, Planning and Development Services Department concludes it is in the best interest of the provider and the community to permit a gate which is locked during business hours (24 hour). The Fire Department has requested that the design of the gate be reviewed and approved by them.

The plans do not indicate the type or size of the proposed fence. The Richards Boulevard Area Plan discourages fencing, however, where necessary, open iron fencing, painted black or a similar unobtrusive color, to a maximum height of six feet is permitted. An open iron fencing along Bannon Street frontage which wraps the west and east property line to the building wall should be installed. The fencing along the west and south property line, where not in view from the public street may be cyclone and shall be maintained.

The site is comprised of three lots, two currently owned by Union Gospel Mission and a spur line owned by Union Pacific Railroad. The proposal requires the lots to be merged since the proposed building is to be constructed within the UP spur line. The applicant has indicated that UP will abandon the spur line and transfer the property to Union Gospel Mission.

The proposed development does not constitute an expansion of the facility since the proposed development will not increase any services within the Richards Boulevard Area. The proposed development will be constructed on the existing site and the services are not publicly funded, therefore the proposed development will not conflict with adopted City Council policy directive Resolution 89-544.

Agency Comments

The proposed project has been reviewed by the Public Works, Development Services, Utilities Division, Building Division, and Economic Development and Regional Enterprises Agency. The comments are noted below or made conditions of approval.

Utilities: Utilities comments have been incorporated into the conditions of approval. The following are advisory notes:

All new residential and commercial development will be required to be constructed

with the lowest floor, including basement, at or above the base flood elevation, or three feet above the highest adjacent grade, whichever is lower.

Commercial projects will have the option of flood proofing in lieu of the elevation requirement

An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual)

The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.

Solid Waste: The plans should indicate the cubic yards designated for recycling. The proposed project is required to provide one cubic yard of recycling volume, This is based on office and classroom requirements. The applicant is required to prepare a statement of recycling for the review and approval of Solid Waste Division. The Statement should include:

- A demolition plan identifying materials to be targeted for diversion/recycling
- A comprehensive list of materials to be recycled
- Description of flow of recyclables to the recycling containers
- Method of recycling education

Solid Waste staff (Michael Root - 264-5596) is available to offer technical assistance as needed to ensure maximum resource recovery.

Fire Department: Develop fire flow; maintain fire access; provide KNOX boxes, review gate plans.

Downtown Regional Enterprise Department (see attached letter)

Public Works Department: Public Works comments have been incorporated into the conditions of approval.

Building Inspections: Type of construction for V-N wood framed building will be permitted. However, building shall be provided with automatic sprinkler system as the building area exceeds 5,000 square feet.

Exterior west wall shall be not less than on hour fire-resistive construction as the building set back is less than 20 feet from the property line.

Exterior openings shall be protected with 3/4 hour label with 30 inches parapet where the exterior wall is less than 10 feet from the property line. The parapet wall may be waived if the ceiling assembly meets the CBC Section 709.41, exception 5.

Building and site shall comply with Accessibility Requirements

1998 California Building Code will be the applicable building code on and after July 1, 1999

Police: (See Attached memo) Police Departments comments have been incorporated into the conditions of approval.

The Police Department, after consultation with Planning Staff, met and conferred with Pastor Kirk regarding conditions of approval which included, but not limited to, a security guard and the initiation of a twice a month clean-up program for the Richards Boulevard area.

Neighborhood Comments

The project was routed to Capitol Station District. Capitol Station District opposes the expansion of Union Gospel Mission. Their opposition is based on the principles that the City and County have committed to a policy of no expansion of social services in the Richards Boulevard Redevelopment area; the Richards Boulevard Area Plan indicates that the Union Gospel Mission site is to be for the future expansion of the Sacramento River Water Treatment Plant and is designated Public Utilities; the clients served by the Union Gospel Mission are a nuisance to the community and have posed repeated, serious health and safety issues; and, lastly Capitol Station District strongly urges that Union Gospel Mission refocus its central purpose to rehabilitate its guest and to move away from services that attract large numbers of transients without any accountability (See attached letter). A letter of opposition was also received by the Consolidated Social Service Advisory Committee (also attached).

Zoning Administrator Hearings

Two hearings were held on this project, September 15, 1999 and October 21, 1999. The first meeting was attended by Capitol Station District (Connie Miotel), Social Service Campus Advisory Committee (Walt McDaniel) and Grove Investment (Ernie Gallardo). All three spoke in opposition of the project, based on concerns noted above. Paul Blumberg of the Downtown Regional Enterprise Department was also in attendance and spoke in support of the project.

At the October 21, 1999, hearing again Ms. Miotel and Mr. Gallardo opposed the project and recommended postponing the decision due to other social service agencies (Francis House and El Hogar) proposing relocation into the Redevelopment area or expanded programs.

The applicant presented a draft Good Neighbor Policy which was discussed by all present. The Zoning Administrator closed the public hearing and approved the requested entitlements. The Zoning Administrator approved the applicant's request as: the proposed construction will improve the physical appearance of the facility, with increased landscaping and attractive fencing; provide for the dedication and construction of public improvements such as curb, gutter, sidewalk and lighting; and, provide for operational restrictions, since the existing Union Gospel Mission special permit contains no specific requirements and the special permit modification requires implementation of a "Good Neighbor" policy that will address the community concerns with loitering, illegal camping, trash, and other nuisances that neighbors attribute to Union Gospel Mission's operations. The project is approved, subject to the conditions listed in this report.

Environmental Determination

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines (California Environmental Quality Act, Section 15305(a). & 15301(e)(2))

Conditions of Approval - Special Permit Modification

PLANNING

1. Prior to issuance of a building permit, the lot line merger shall be recorded.
2. Prior to issuance of a building permit, developer shall comply with the Design Review conditions on file in the Planning Division, file number DR99-053.
3. Union Gospel Mission shall work with the Capitol Station District (Connie Miotel) and the Social Service Campus Advisory Committee (Walt McDaniel) to further refine the attached draft Good Neighbor Policy for Union Gospel Mission.
4. Prior to issuance of a building permit, the Union Gospel Mission will develop, subject to review and approval of the Planning Director, and implement a Good Neighbor Policy which will include the following;
 - a. Establish a process for neighbors to communicate directly with the Union Gospel board

- b. Union Gospel Mission will participate in the Capitol Station District.
5. Prior to issuance of a building permit, Union Gospel Mission shall establish a management plan, available to the public, upon their request, which outlines and implements:
 - a. A security plan that will ensure safe and orderly operation with the facility and immediate vicinity
 - b. Sanctions and/or terminate clients who have repeated violations of facility rules which will include violations in the neighborhood unless prohibited by law
 - c. Post contact person for 24 hour response to problems.
 - d. Complaint practices, which takes complaints seriously, responds immediately and provides feedback action taken by Union Gospel Mission
 - e. Litter control (½ block radius of the Union Gospel Mission site), prohibits loitering (queue people to the rear of the site away from public street frontages or internally), establish and post hours of service, keep grounds clean and remove graffiti as soon as possible
6. The following services may be provided at the Union Gospel Mission site:
 - a. Temporary shelter service not to exceed 86 beds
 - b. Clothing Distribution not to exceed 50 clients
 - c. Rehabilitation Programs
 - d. Continuing Education programs
 - e. Evening Meals not to exceed 125 people (Sunday through Saturday)
 - f. Breakfast served only to those clients which have stayed the night, not to exceed 86 clients.
 - g. Lunch served to rehabilitation residents only.
 - h. Mail Service provided for residents participating in Union Gospel Mission programs (This service may be phased in over a six month period with only residents receiving mail as of March 1, 2000)
7. On -site clients at any one time shall not exceed 125 people with the exception of Thanksgiving and Christmas (200 clients). Queuing of clients for programs and services shall occur on site and away for the public right-of ways.
8. Union Gospel Mission shall not exceed 86 beds, of the 86 beds a minimum of 30 beds shall be dedicated to people participating in the Union Gospel rehab programs.

The Union Gospel Mission shall make a good faith effort to reduce the number of transients beds by increasing the number of people in their rehab programs each year.

9. All programs/services shall be conducted within a building.
10. Evening meals served to clients shall be consumed on-site and within the serving area.
11. Showers, and facilities for washing clothes shall be permitted only to program residents or to transients which stay the night.
12. A minimum of 1,250 square feet (10 square feet of waiting space per client) shall be provided on site, approximately 2,688 is being provided. A waiting area inside shall also be provided during inclement weather. The outside waiting area shall be located in an area not visible from the public rights-of-way.
13. Pedestrian scale lighting shall be utilized in parking areas. Light standards shall not be higher than 18 feet. Lighting levels shall be as follows: 1.5 foot-candles of minimum maintained illumination per square foot of parking space between the hours of dusk and one hour after sunrise. A minimum of .25 foot-candles of illumination shall be provided at the surface of any walkway, alcove, or passageway related to the building project during the same hours.
14. Prior to occupancy permit, the existing portable toilets shall be relocated to the queuing area at the southwest corner of the site.
15. Prior to occupancy permit, an open iron fence, painted black, with a maximum height of six feet shall be installed along the Bannon Street frontage and which wraps the west and south property line to the building walls. The fence shall be placed at the back of sidewalk along the Bannon Street frontage and at the west and south property line. Landscaping shall be creatively treated so as not to distract from the street scape. The fencing along the west and south property line, where not in view from the public street may be cyclone. All fencing shall be maintained.
16. The area located within the public right-of-way between the property line and sidewalk shall be planted with lawn and maintained (mowed, water, etc).
17. All landscaping shall be maintained at a minimum plant and/or shrub height of 30 inches and trees maintained a minimum distance of 6 feet from lowest branch to the ground.
18. Decorative planting shall be maintained as not to obstruct or diminish lighting level throughout project.

19. A ten foot landscaped setback from the proposed Bannon right-of-way and proposed 5th Street right-of-way, shall be developed, irrigated and maintained. This landscaped area shall be developed with lawn and trees. No staff or clients shall gather, loiter, recreate, sleep, sleep, etc. on the landscaped setback area.
20. Prior to issuance of building permit the design of the parking areas shall comply with the 50% shading requirement per the Zoning Ordinance.
21. Prior to issuance of building permit easements shall be abandoned to the satisfaction of the Public Works Department, a lot line adjustment shall be reviewed and approved by the Zoning Administrator and recorded by the County Recorder
22. Prior to issuance of occupancy permit, bicycle parking shall be provided at a ratio of one bicycle parking space per 20 vehicle parking space provide. Fifty (50%) percent of the bicycle parking space shall be Class I. Bicycle parking spaces shall comply with the requirements of the Zoning Ordinance.
23. Prior to issuance of a building permit, a Statement of Recycling shall be prepared and reviewed and approved by the Solid Waste Division.
24. The special permit modification to construct a 5,900± building shall be established within two years from date of approval, October 21, 2001. The special permit modification shall be established by obtaining a building permit and construction commenced prior to October 21, 2001.
25. The facilities shall be for the exclusive use of Union Gospel Mission. No other operators, service providers or churches shall be permitted use of the site, grounds or facilities without a special permit modification approved by the Zoning Administrator.

Public Works

26. The applicant shall dedicate the additional 18 feet of right-of-way for the future widening of Bannon Street in accordance with the Richards Boulevard Area Plan/Facility Element and to the satisfaction of the Public Works Department.
27. Prior to occupancy permit, the applicant shall construct standard frontage improvements adjacent to Bannon Street in accordance with Chapter 40 of the City Code. These improvements shall include, but are not limited to curb, gutter, sidewalk and lighting. The applicant shall cut into the existing Bannon Street approximately two feet to get a good mesh between the existing road and the new improvements. All improvements shall be to the satisfaction of the Department of Public Works.

28. Prior to occupancy permit, the applicant shall remove the proposed site access on the inside of the horizontal curve of Bannon Street. The applicant shall relocate the site access to Bannon Street at the northwest corner of the site. Relocation of the site access point will require relocation of the proposed building onsite (shift to east between 20-30 feet). The applicant shall meet with the Department of Public Works (Scott Tobey 264-8307) to discuss how to safely implement this condition.
29. Prior to issuance of any grading/building permit, a new site plan showing the relocation of the building and the new location of the frontage improvements as well as the new access point shall be submitted to and approved by the Department of Public Works.

Police

30. Prior to issuance of occupancy permit, on-site security guard shall be provided between the hours of 7 PM and 7 AM seven days a week (contract shall be submitted substantiating this condition). This security guard shall work with the Police Department to identify and resolve illegal activities such as camping, drug use, loiters, etc. on site and within the vicinity of the Bannon Street curve and adjacent properties.
31. Prior to issuance of occupancy permit, Union Gospel Mission will enter into an agreement with the Police Department (Contact Officer Chew, 264-2424) to provide a twice a month clean-up program within the Richards Boulevard area.
32. Prior to issuance of occupancy permit, the applicant shall sign an agreement delegating the sworn employees of the Sacramento Police Department to act as applicant's agents for the sole purpose of enforcing Section 602(k) of the California Penal Code and that the applicant agrees to properly post project property, to the satisfaction of the Police Department, and aid in the investigation and prosecution of such cases. The posting shall consist of notices, in block lettering, with the wording:

NO TRESPASSING
VIOLATORS WILL BE PROSECUTED
UNDER 602(k) C.P.C.

33. Prior to issuance of occupancy permit, the applicant shall post and maintain on the premises and in the parking lot, to the satisfaction of the Police Department, notices clearly visible to the patrons of the establishment and parking lot and to persons on the public sidewalk stating, in block lettering, the following:

UNLAWFUL TO ENTER, BE OR REMAIN ON
ADJACENT PARKING LOT OR ADJACENT PUBLIC SIDEWALK
WITH AN OPEN ALCOHOLIC BEVERAGE CONTAINER

Fire

34. Prior to issuance of a building permit the design of the gate shall be reviewed and approved by the Fire Department.

Utilities

35. Prior to issuance of a building permit, a water supply test shall be performed by the Utilities Department, to determine the pressure and flows of the surrounding public water distribution system. This information should be obtained prior to final design of the project since the information will assist the engineers in the design of the on-site domestic, irrigation and fires suppression systems. If water pressure is not adequate a water distribution main extension may be required.
36. Prior to issuance of a building permit a grading plan showing existing and proposed elevations shall be submitted for review and approval of the Utilities Department. Adjacent off-site topography shall also be show to the extent necessary to determine impacts to existing surface drainage paths. At a minimum, one foot off-site contours within 100' of the project boundaries shall be required. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.

Building

37. The classroom occupant load shall not exceed 49 people since the proposed new 5,900 square foot building will be classified a B occupancy group for office use and adult classroom.

Conditions of Approval - Lot Line Merger

1. The applicant shall complete the following at the Pubic Works Department, Engineering Services, prior to a lot merger being recorded:
 - a. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist, and pay necessary fees.
 - b. File a waiver of Parcel Map.
 - c. Pay off or segregate any existing assessments
 - d. Notice: Property to be merged in accordance with this certificate of compliance may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. Base flood elevations

are shown on the preliminary Flood Insurance Rate Maps available for review at 1231 I Street, Room 200.

2. Property is not currently owned under same ownership. Ownership shall be resolved prior to recordation of Certificate of Compliance.

Findings of Fact

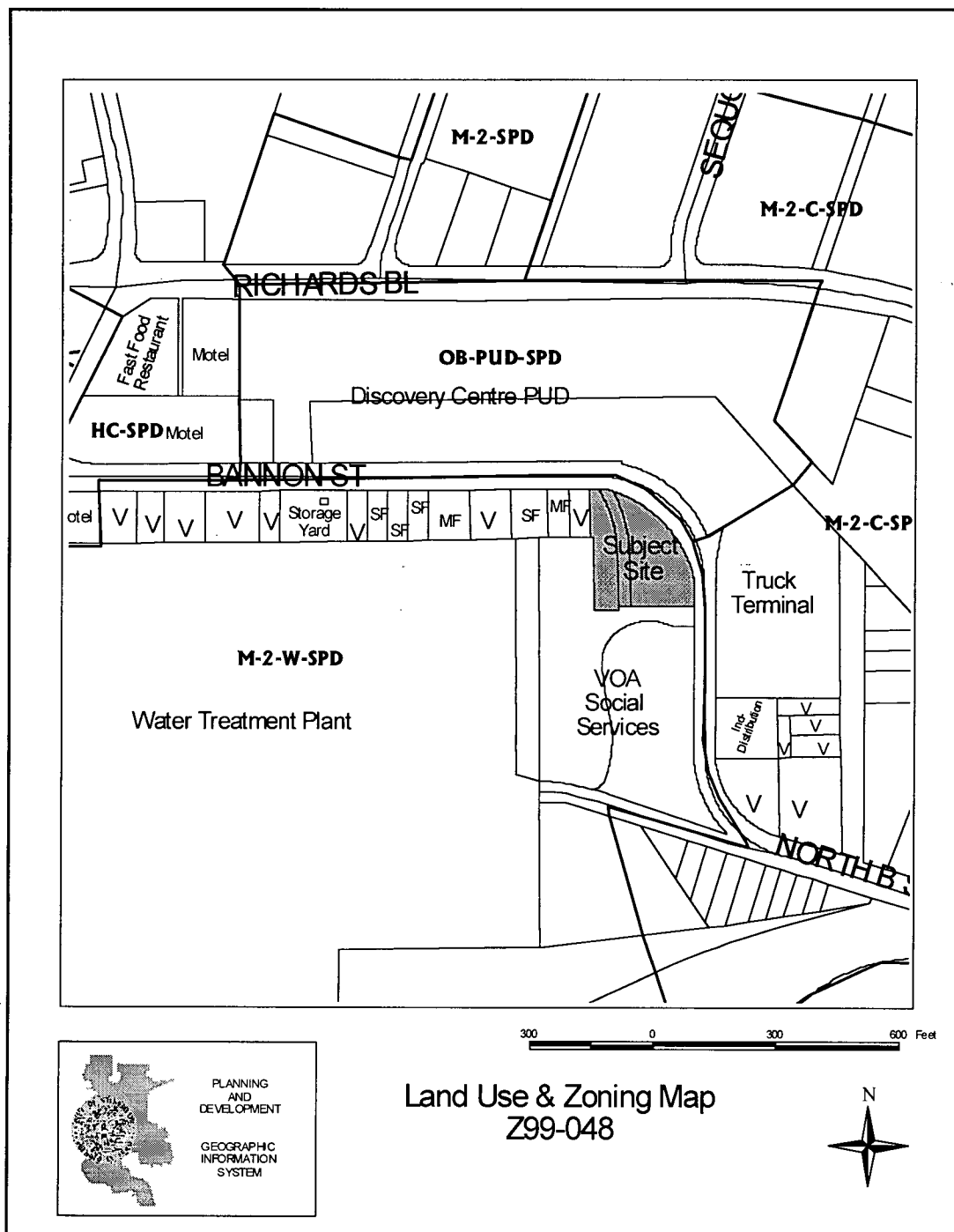
1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. The proposed project is intended to facilitate the internal operations of the existing residential care facility on the site.;
 - b. The proposed project will improve the physical appearance of the facility, with increase landscaping and attractive fencing and provide for the dedication and construction of public improvements such as curb, gutter, sidewalk and lighting; and,
 - c. The project meets the operational standards and business practices of the Social Services Siting Policy.
2. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
 - a. The project will provide operational restrictions which currently do not exist on the site;
 - b. The applicant has agreed to reduce the number of services currently conducted on the site, eliminate the mail drop, reduce feeding program, etc., and;
 - b. The project will implement a "Good Neighbor" policy that address the community concerns with regards to loitering, illegal camping, trash, and other nuisances that neighbors attribute to Union Gospel Mission's operations
3. The project is consistent with the General Plan and Central City Community Plan designations and City Council Resolutions 89-544 and 98-559 in that:
 - a. The site is designated Special Planning District and Heavy Industrial respectfully and a residential care facility is permitted in the Heavy Industrial zone, subject to a special permit;
 - b. The proposed building addition will not increase social services within the

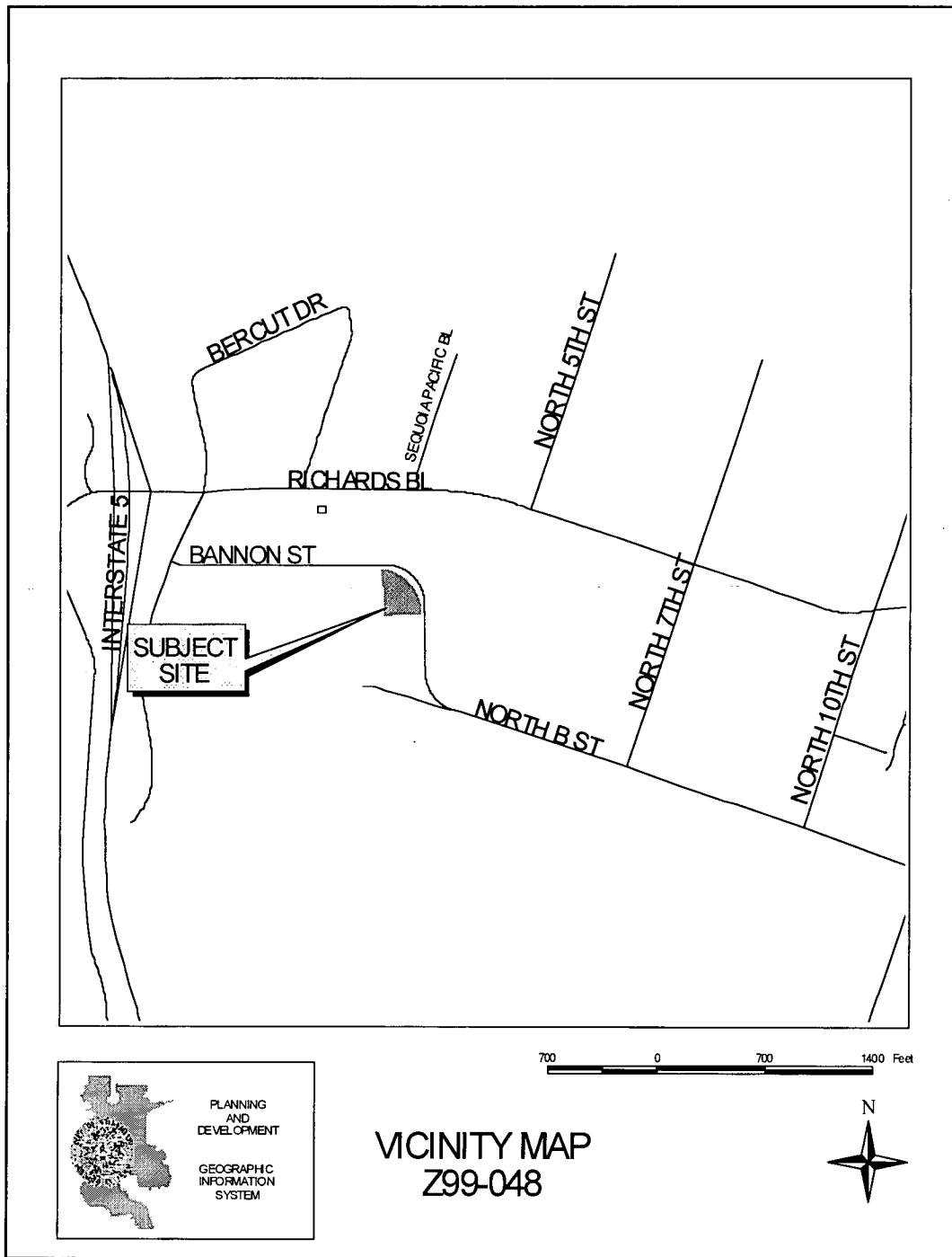
Richards Boulevard Area since the Union Gospel Mission is an existing social service currently located within the Richards Boulevard area;

- c. The proposed development is not a geographic expansion since the building will be developed on the existing site of the Union Gospel Mission, and
- d. The existing services are not publicly funded.

Joy D. Patterson
Joy D. Patterson
Zoning Administrator

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.





DRAFT**UNION GOSPEL MISSION GOOD NEIGHBOR POLICY**

All employed personnel of the Union Gospel Mission will comply with the Good Neighbor Policy contained herein. The specific requirements are stated as follows:

- A. Union Gospel Mission (hereafter known as Mission) shall comply with the Good Neighbor Policy with respect to its facility operations during the term of this Agreement. Mission shall:
1. Be responsive to complaints and concerns of the community;
 2. Hold a "Good Neighbor" open house at least once annually to insure ongoing communications with Mission neighbors;
 3. Establish an ongoing relationship with surrounding businesses, law enforcement and neighborhood groups and assume responsibility for being an active member of the neighborhood by having continuous contacts with these groups and joining the Capital Station District.
 4. Comply with the public nuisance ordinances and post signs prohibiting, loitering, drinking and public nuisance, and nay others as may be required by any applicable government authority;
 5. Participate in area crime prevention and nuisance abatement efforts;
 6. Provide inside the compound a waiting area for clients/guests in order to control loitering and to avoid disturbing adjacent businesses with outdoor waiting lines.
 7. Establish and post hours of service;
 8. Maintain the facility grounds with appropriate landscaping and litter removal;
 9. Provide on-site security which includes patrolling the parking lot and perimeter of the facility;
 10. Remove graffiti within twenty-four, but not later than 72 hours;
 11. Post the name and telephone number of an emergency contact person on outside of facility for 24-hour response to problems;
 12. Notify surrounding businesses and neighborhood groups of any operational changes that could impact the neighborhood and work with the community in an effort to mitigate and potential impacts;
 13. Respond immediately to complaints of neighbors and law enforcement, with

feed back taken to resolve issue given to complainant;

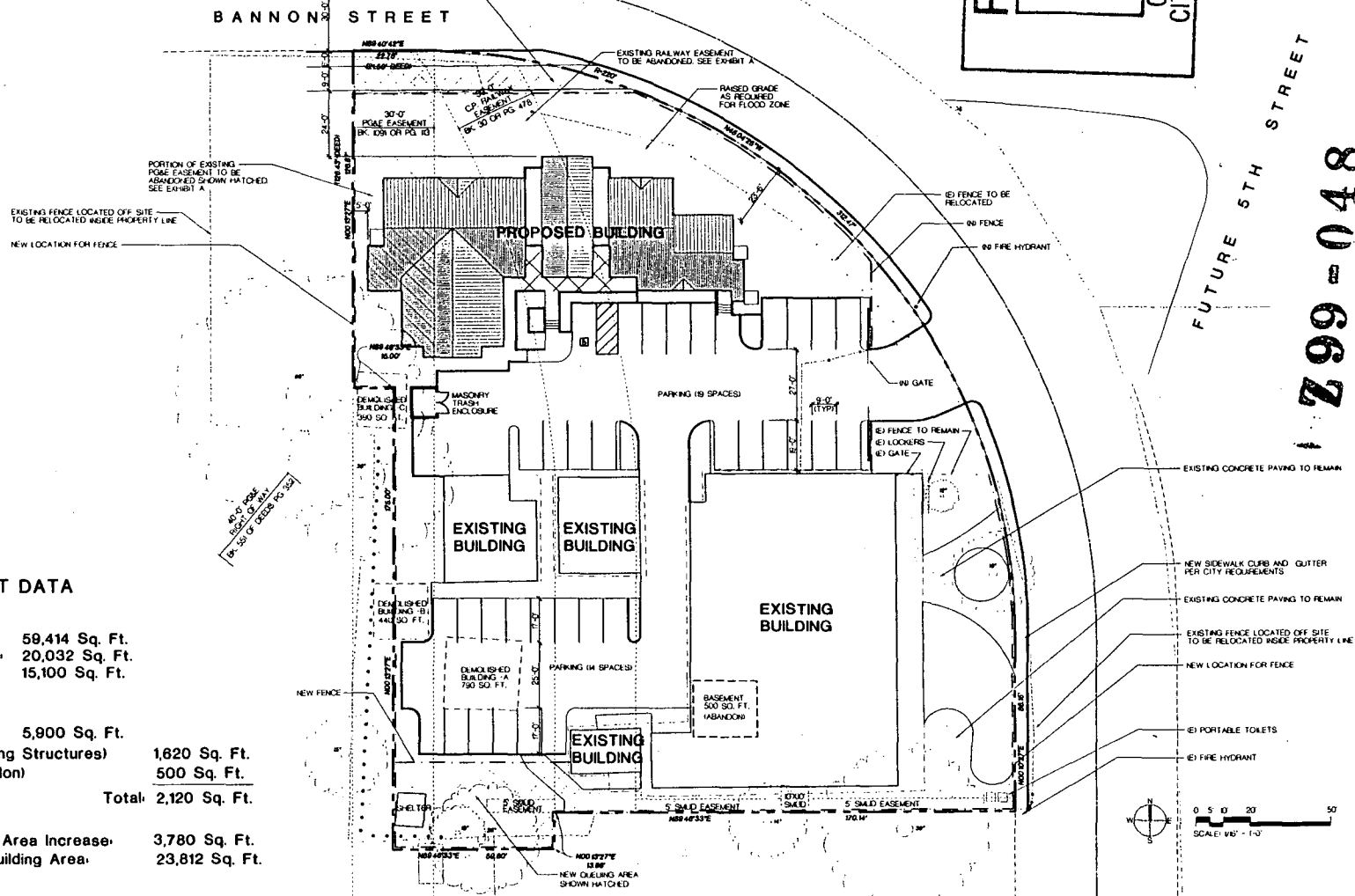
14. Clients/guests of Union Gospel Mission will be denied services for repeated infractions of facility policies/rules. This includes warnings about loitering, drug/alcohol use, abusive behavior;
15. Union Gospel Mission will discontinue any operation or service which would increase foot traffic in the Bannon Street corridor (women's clothing issue, non-resident mail service);
- B. Exceptions may be made to the Good Neighbor Policy, to exempt the Mission from one or more of the Policy provisions when necessary, and appropriate for the continuing operation of the Mission for the uses specified in the Regulatory Agreement, provided that the spirit and purpose of the Policy is maintained. Exceptions, shall be made when compelled by concerns of confidentiality or physical limitations, relating either to the participants or to the nature of the particular use or program, provided that the spirit and purpose of the Policy is maintained. To request an exemption, the Provider shall submit to the City, or its appointed authority, a written request for exemption, to include in a statement of the justification for the exemption. Requests shall be submitted in advance, except that in an emergency, the request shall be submitted as soon as possible. The city, or its appointed authority, shall respond promptly, in writing, to all such requests.

Reverend Donald W. Kirk
Executive Director
Union Gospel Mission

Date

RECEIVED
MAY 17 1999
CITY OF SACRAMENTO
CITY PLANNING DIVISION

STREET IMPROVEMENTS AT BANNON STREET
TO BE DEVELOPED WITH CONSIDERATION OF
FUTURE WIDENING AND ALIGNMENT WITH AREA OF
IRREVOCABLE OFFER OF DEDICATION



SITE DEVELOPMENT DATA

Existing:	
Existing Site Area	59,414 Sq. Ft.
Existing Building Area	20,032 Sq. Ft.
Building Footprint	15,100 Sq. Ft.
Proposed:	
Proposed Building	5,900 Sq. Ft.
Demolition (Existing Structures)	1,620 Sq. Ft.
Basement (Abandon)	500 Sq. Ft.
Total:	2,120 Sq. Ft.
Proposed Building Area Increase	3,780 Sq. Ft.
Total Proposed Building Area	23,812 Sq. Ft.

799-048

EXHIBIT A-1

UNION GOSPEL
SACRAMENTO, CALIFORNIA

PROJECT	FACILITIES CONSOLIDATION
TITLE	SITE DEVELOPMENT PLAN

Architect and Planners, Inc.
707 Commons Drive, Suite 250
Sacramento, California 95825-6864
(916) 925-6009 Fax (916) 925-6340

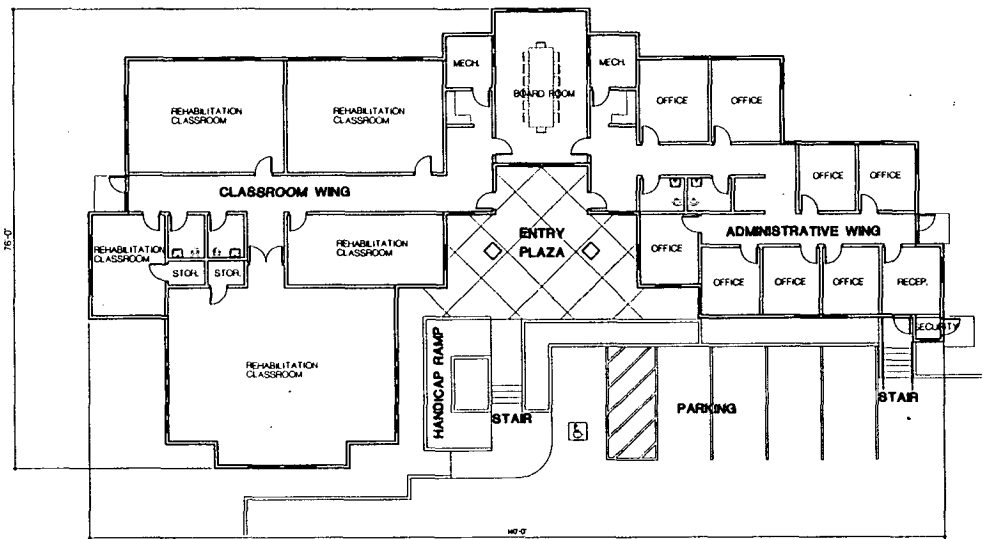
CARISSIMI · ROHRER · MC MULLEN · ASSOCIATES

OWNER
CONTRACTOR

DATE	MAY 3, 1999
PROJECT NO.	30223
DRAWN BY	
CHECKED BY	
CAD FILE NO.	

REVISIONS	▲
	▲
	▲
	▲

SHEET NO.	3	DRAWING NO.	A1
	OF 5		

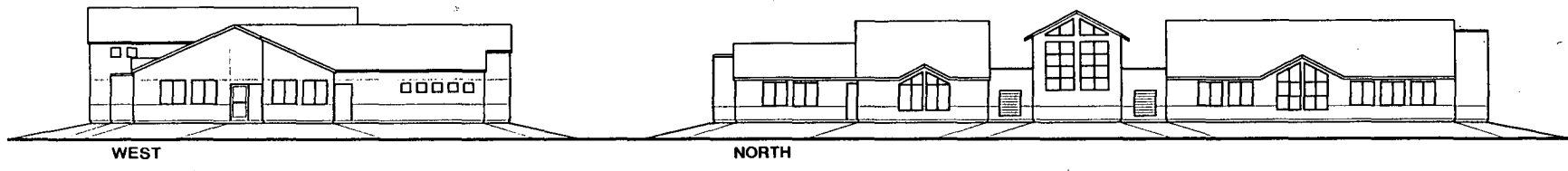
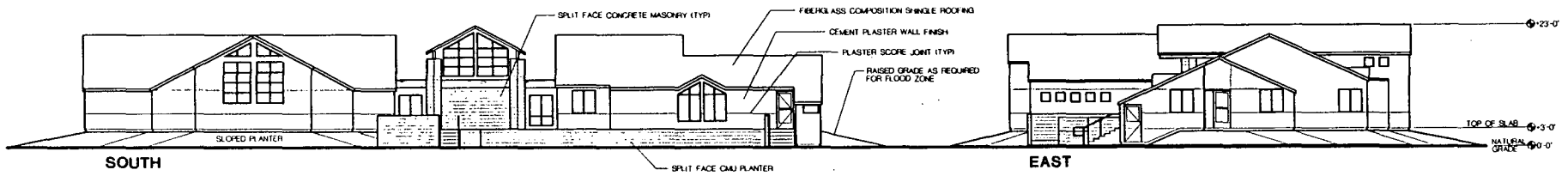


RECEIVED
 MAY 17 1999
 CITY OF SACRAMENTO
 CITY PLANNING DIVISION

799-048

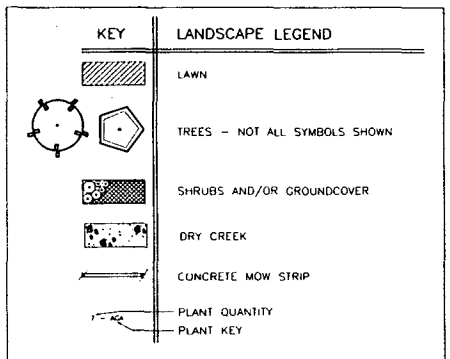
EXHIBIT A-2

PROPOSED FLOOR PLAN SCALE: 1/8" = 1'-0" 1



EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 2

UNION GOSPEL SACRAMENTO, CALIFORNIA	PROJECT FACILITIES CONSOLIDATION	Architects and Planners, Inc. 1077 Commons Drive, Suite #100 Sacramento, California 95825-1464 (916) 925-8009 Fax: (916) 925-6340	ARCHITECT <small>OFFICE & CONSULTING ARCHITECTS</small>	OWNER CONTRACTOR	DATE May 3, 1999	REVISIONS ▲ ▲ ▲	SHEET NO. 4 <small>OF 5</small>	DRAWING NO. A2
	TITLE PROPOSED FLOOR PLAN BUILDING ELEVATIONS				ARCHITECT			



SUGGESTED PLANT MATERIAL LIST

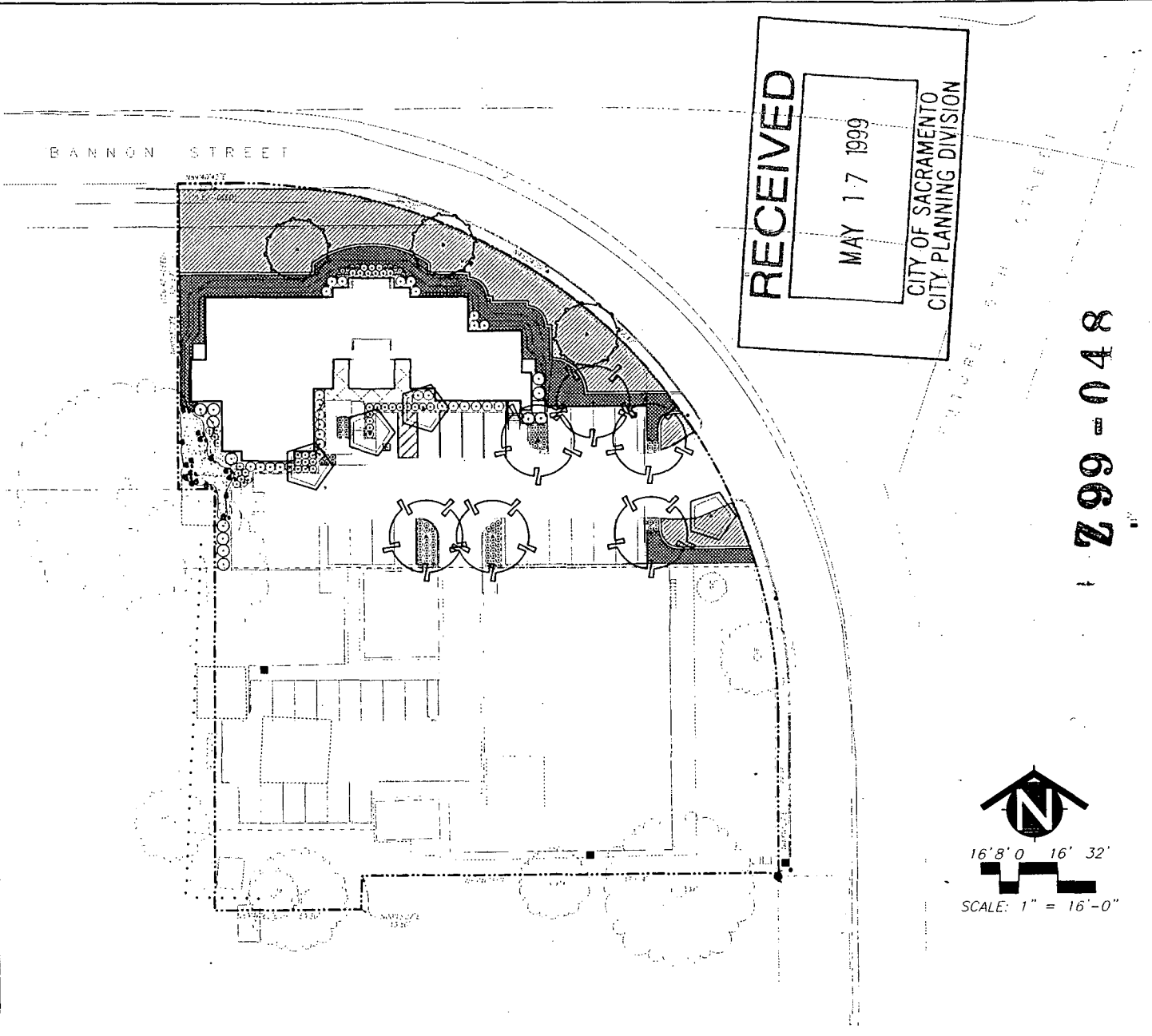
BOTANICAL NAME	COMMON NAME
TREES:	
CELIS SINENSIS	CHINESE HAZELBERRY
LAGERSTRÖMIA INDICA	"WATERMELON", RED CRAPE MYRTLE
PISTACHIA CHINENSIS	CHINESE PISTACHE
PLATANUS ACERIFOLIA	"BLOODGOOD"
LONDON PLANE TREE	
VITIS CALIFORNICA	"BRADSHAW PEACH"
SEQUOIA SEMPERVERENS	COAST REDWOOD
SHRUBS:	
ABELIA GRANDIFLORA	"SHERWOOD" ... GLOSSY ABELIA
ALAPATHUS MICHANUS	"PETER PAN"
AZALEA (PINK)	PINK DECIDUOUS AZALEA
AZALEA (WHITE)	WHITE DECIDUOUS AZALEA
CAMELLIA SASAKAWA	"TUBETEE" ... CAMELLIA
CLANGNIUS THAKLEE POINT	CLANGNIUS
CRISTUS PURPUREUS	ORCHID MUCKROSE
DICTYOSPERMUM	"FOUNTAIN LILY"
ESCALONIA FLUBRA	"NEWPORT DWARF" ... DWARF ESCALLONIA
NANDINA DOMESTICA	"HARBOR DWARF" ... DWARF HEAVENLY BAMBOO
PISTACHIO-INDICA	"WHEELER'S DWARF" ... DWARF PISTACHIO
RAPHANOPHYLLIS INDICA	"BALLERINA" ... DWARF INDIAN HAWTHORN
RAPHANOPHYLLIS INDICA	"JACK EVANS" ... PINK INDIAN HAWTHORN
ROSEMARINUS PROSTRATUS	DWARF ROSEMARY
GROUNDCOVER:	
LAZARNA	MILITARY HILLTOP ... THAI PINE, LAZARNA
BRACHYCLADIA	BRACHYCLADIA ... "STAR" JACARANDA

PARKING LOT SHADE CALCULATION (50% AFTER 15 YEARS)

TREES	100%	75%	50%	25%	TOTAL
CELIS SINENSIS FLOW CHINESE HAZELBERRY	1 x 100 = 100 SF	2 x 75 = 150 SF	2 x 50 = 100 SF	1 x 25 = 25 SF	475 SF
LAGERSTRÖMIA FLOW "WATERMELON" CHINESE MYRTLE	-	-	1 x 50 = 50 SF	-	50 SF
EXISTING TREE	-	-	-	1 x 25 = 25 SF	25 SF
TOTAL SHADE CALCULATION	-	-	-	-	550 SF
PARKING LOT AREA (57%)	-	-	-	-	817 SF
PARKING LOT TO BE SHADED (50%)	-	-	-	-	476 SF
PERCENTAGE OF SHADING	-	-	-	-	58%

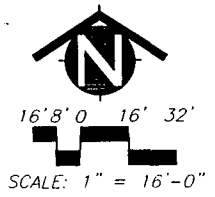
SPRINKLER IRRIGATION CRITERIA

THE SPRINKLER IRRIGATION SYSTEM FOR LAWN AREAS, SPRINKLER Drip Irrigation System for Shrubs/Groundcover will be automatic to provide adequate support of plant growth, reduce maintenance and water costs, and to conserve water. THE SYSTEM FOR LAWN PLANTING WILL BE DESIGNED TO PROVIDE A PRECISION RATE OF UP TO 1/12" PER WEEK, WHICH IS REQUIRED IN THE HOT SUMMER MONTHS OF THE SITE. THE SYSTEM FOR SHRUBS/GROUNDCOVER AREAS WILL BE DESIGNED TO PROVIDE ONE GALLON PER HOUR FOR EACH SHRUB. IT WILL ALSO HAVE THE CAPABILITY OF GOING THROUGH A COMPLETE CYCLE DURING THE EARLY MORNING HOURS, WHICH WILL CONSERVE WATER (LESS WIND AND EVAPORATION). IRRIGATION WATER PIPING SPECIFIED WILL BE WELL-DRIVEN BRONZE, LOCALLY AVAILABLE. INSTALLATION DETAILS WILL CONFORM TO PUBLISHED SPECIFICATIONS, WHICH SHOULD REDUCE MAINTENANCE COSTS. EQUIPMENT WILL BE SELECTED ON THE BASIS OF RELIABILITY AND SIMPLICITY AND EASE OF MAINTENANCE. A COMPLETE SPRINKLER IRRIGATION PLAN, INCLUDING LEGEND, NOTES AND DETAILS, WILL BE SUBMITTED PRIOR TO BUILDING PERMIT PHASE.



840-067

EXHIBIT A-3



UNION GOSPEL
SACRAMENTO, CALIFORNIA

PROJECT FACILITIES CONSOLIDATION
TITLE PRELIMINARY LANDSCAPE PLAN

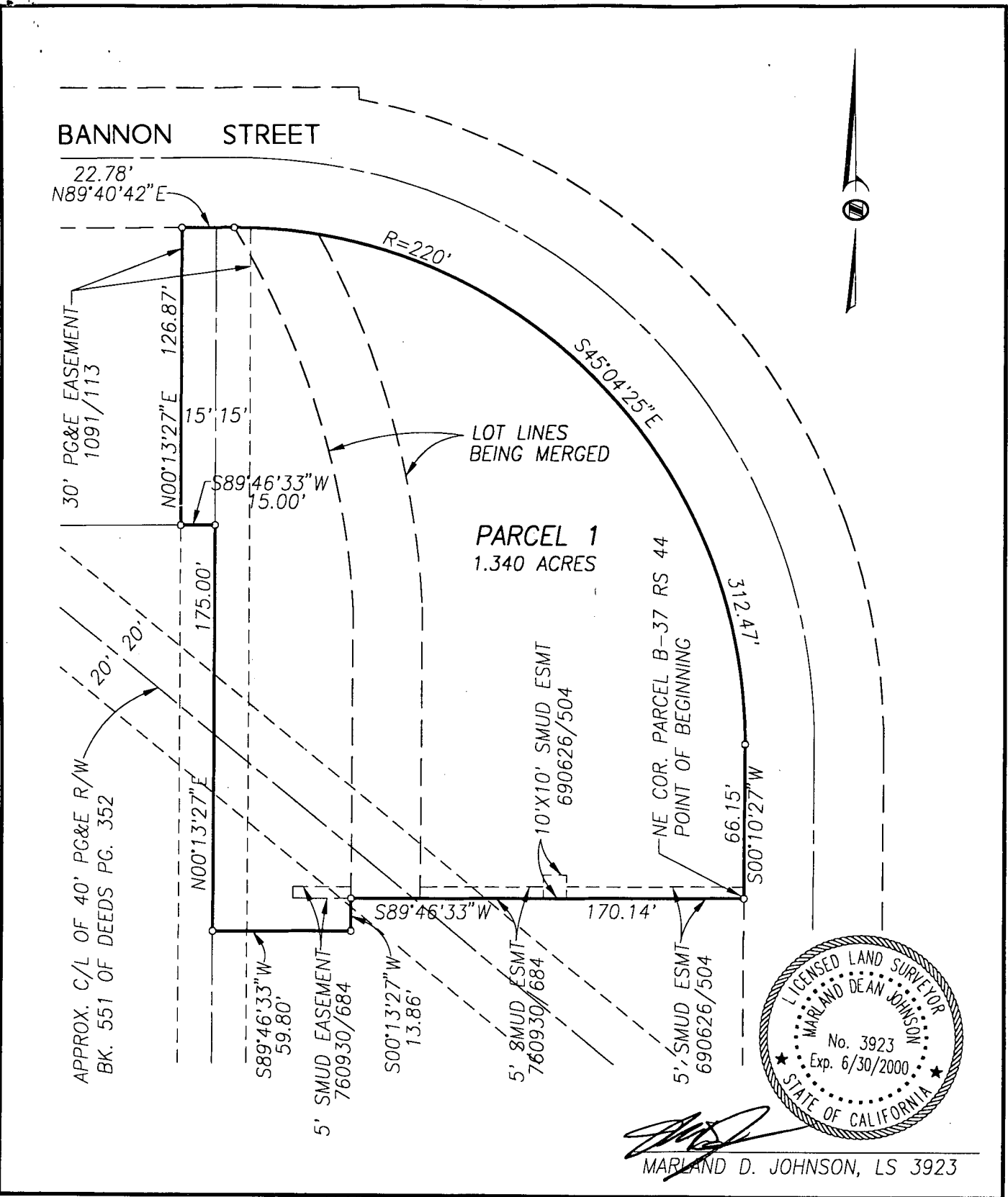
Architects and Planners, Inc.
707 Commodore Drive, Suite 280
Sacramento, California 95825-8884
(916) 925-8009 Fax: (916) 925-6340
CARISSIMI-ROHRER-MCMULLEN-ASSOCIATES



OWNER -
CONTRACTOR -
ARCHITECT -
DATE APRIL 30, 1999
PROJECT NO. 8803
DRAWN BY AW
CHECKED BY CDM
CAD FILE NO. 9927CRW

REVISIONS
SHEET NO. 5
DRAWING NO. L1

X:\PROJ\990016\DWG\99016EX2.DWG 08-30-99 4:08 pm



mnp **MORTON & PITALO, INC.**
 CIVIL ENGINEERING • PLANNING • SURVEYING
 1788 TRIBUTE ROAD • SUITE 200 • SACRAMENTO, CA 95815
 PHONE: 916/927-2400 • FAX: 916/567-0120

DRAWN:	RB	JOB NO:	990016
CHECKED:	RB	DATE:	AUGUST, 1999
SCALE:	1"=60'	SHEET:	1 of 1

EXHIBIT "B"

LOT LINE MERGER
 400 BANNON STREET
 UNION GOSPEL MISSION
 CITY OF SACRAMENTO, CALIFORNIA

EXHIBIT A-5

EXHIBIT "A"

LEGAL DESCRIPTION

**LOT LINE MERGER
PARCEL 1**

All that certain real property situate in the City of Sacramento, County of Sacramento, State of California, described as follows:

All that portion of Section 36, Township 9 North, Range 4 East, Mount Diablo Meridian, described as follows:

BEGINNING at the Northeast corner of Parcel B as shown on that certain Record of Survey by the County of Sacramento, Department of Public Works, filed in Book 37 of Surveys, Page 44, Official Records of Sacramento County, said corner also being a point in the Westerly right-of-way line of Bannon Street, a public street having a width of sixty (60.00) feet as shown on said Record of Survey; thence from said point of beginning, along the Northerly line of said Parcel B the following five (5) courses: (1) South 89°46'33" West 170.14 feet; (2) South 00°13'27" West 13.86 feet; (3) South 89°46'33" West 59.80 feet; (4) North 00°13'27" East 175.00 feet and (5) South 89°46'33" West 15.00 feet to a point located 125.20 feet Easterly from the Northeast corner of that certain tract of land described in deed from Fredrick A. Warner and others to the City of Sacramento dated May 29, 1920, filed in Book 542 of Deeds, Page 167, Official Records of Sacramento County, all as shown on said Record of Survey; thence North 00°13'27" East 126.87 feet to a point in the Southerly right-of-way line of said Bannon Street; thence along the Southerly and Westerly right-of-way line of said Bannon Street the following three (3) courses: (1) North 89°40'42" East 22.78 feet; (2) along the arc of a curve to the right, concave Southwesterly, having a radius of 220.00 feet, subtended by a chord bearing South 45°04'25" East 312.47 feet and (3) South 00°10'27" West 66.15 feet to the point of beginning.



ATTACHMENT 1**CSD**

Capitol Station District
501 North 10th Street
Sacramento, CA 95814
916.553.9286
fax 916.553.9281

Jeannie Corcoran
City of Sacramento Planning Dept.
1231 I Street
Sacramento, CA 95814

June 25, 1999

Dear Jeannie:

RE: Capitol Station District's position on item # Z99-048

- 1. Request by Union Gospel Mission for a special permit modification and environmental determination to remodel and expand their facility at 400 Bannon Street in the Richards Blvd./Railyards Redevelopment Area.**
- 2. Alternative proposal to move the Union Gospel Mission facility to a vacant warehouse on North C Street in the Richards Blvd./Railyards Redevelopment Area.**

The CSD Board of Directors, on behalf of the Capitol Station members and stakeholders, has directed me to convey their opposition to Union Gospel Mission's proposed expansion of their current facility at 400 Bannon Street, and to request that the City deny the Mission's entitlement applications to do so. In addition, the CSD opposes any relocation of the Union Gospel Mission that would result in a new Mission site within the Richards Blvd./Railyards redevelopment area.

Our opposition is based on the following principles:

- 1. The City and County have committed to a policy of no expansion of social services in the Richards Blvd. redevelopment area, in recognition of the redevelopment area's current over-concentration of social service agencies, the health, public safety and economic burden that the unusually high number of transients place on this community's infrastructure and culture, and as an integral part of the community's agreement to support the Social Services Complex in its current configuration. Although the CSD would welcome an improvement in the appearance and use of the Mission facility, the proposed renovation includes the addition of 4,000 s.f. of building space to their current complex, which constitutes a clear expansion of their facility, and which we strongly oppose.**
- 2. The Richards Blvd. Area Plan, prepared for the City of Sacramento by the ROMA Design Group, clearly states that the Mission's current site at 400 Bannon Street shall be acquired for the expansion of the adjacent Sacramento River Water Treatment Plant in order, among other things, to achieve critical space**

for larger retention ponds. It has been the City's consistent position that, due to the increasingly urgent need for Plant expansion and to facilitate redevelopment of the neighborhood, the Mission will be required to find a new location outside of the Richards Blvd. redevelopment area, and the Mission has expressed a willingness to move to a new location. **The community has relied, and will continue to rely on the City's commitment to achieve the common goal of relocating the Mission outside the Richards redevelopment area.**

3. Throughout the planning and design process for the Social Service Complex, it has been understood clearly by the community and all parties that the Union Gospel Mission was not an appropriate agency for inclusion in the Complex, due to differences in its charitable philosophy and the Complex's management philosophy and because, as a publicly funded facility, the Mission's religious requirements would have violated the principle of separation of church and state.

In addition, on several different occasions, the businesses and neighbors in the North 12th and 16th street area have expressed their adamant opposition to the Mission moving to any site adjacent to or near to the Social Service Complex, due to that neighborhood's clearly demonstrable and onerous problems with the transient populations that already flood the area. This district serves as a gateway to the downtown; redevelopment objectives to improve the aesthetics, safety, and infrastructure of the area would be severely compromised by the addition of a new soup kitchen and bed facility in that community. Although the neighborhood at the current site suffers ongoing problems with the facility's clients (see detail below), in the interest of the entire district's economic and physical well-being, they are unwilling to support a move that could overburden the highly precarious situation in the gateway area. **Any proposal to relocate the Union Gospel Mission to the fragile gateway area of North 12th and North 16th Street is unacceptable.**

4. Although its avowed (and admirable) purpose is to assist people to rehabilitate themselves, to find new vocations, jobs, homes, and healthy lifestyles, the Mission also serves a large percentage of clientele who do not participate in rehab. (They have estimated that 80% of their beds are "transient," rather than "rehab" guests; an even larger percentage of their meals served are to non-rehab guests.) **At the Union Gospel Mission's current site, these clients have proven to be, at minimum, a nuisance to the community and have posed repeated, serious health and safety issues. Problems include:**

- Night-time camping and daytime loitering by many dozens of transients on the Bannon Street curve, an unlit 90° bend in the road, without curbs, sidewalks and gutters, that is often used by large trucks from neighboring businesses to access I-5. We have multiple reports from the police and security patrol on assaults, robberies, public inebriation, public toileting, drug dealing and abuse, and other anti-social behavior on the part of the illegal campers on this curve. Neighboring property owners regularly complain about their fencing being broken and trespassing on their properties. In addition, the Salvation Army's NABORS program must visit this site at least three times a week in order to clean up garbage, drug paraphernalia, and other human detritus.

- The steady flow of transient pedestrian and bicycle traffic between the Bannon Street Mission and North 12th Street via North B Street, which causes all of the regular health, safety and nuisance issues already cited. In addition, the transient traffic makes it difficult for property owners to lease their sites and for businesses to protect their employees on North B Street.

•Due to the mental instability and/or substance abuse exhibited by some of the foot traffic, the roadways in and around Bannon Street/North B Street/North 12th Street show a high ratio of vehicular/pedestrian accidents; this problem will increase dramatically if the transient traffic continues to flow across North B Street when North 7th Street is connected from downtown in 2001.

5. It is the CSD Board of Directors' position that the Union Gospel Mission must recognize that its clientele have negative impacts on the neighborhood, and must make a better effort to mitigate these impacts. We believe that if the Mission were to make an effort to be a better neighbor and to provide more accountability for its clients, that it would find a new home more easily (and, in the meantime, would improve what has proved to be a destructive situation at its current site). The CSD Board urges the Mission to refocus on its central purpose to rehabilitate its guests and to move away from services that attract large numbers of transients without any accountability.

We have developed, through discussion of these issues with the Union Gospel Mission and its neighbors, a list of suggestions and mitigation that we urge the Mission to implement, wherever its ultimate facility may be located. That list is attached for your consideration.

Thank you for the opportunity to take part in the discussions of the Union Gospel Mission's renovation and expansion proposal and to comment on it.

Yours truly,


Connie Miottel
Executive Director

encl.

cc: Heather Fargo, City Council
Pastor Don Kirk, Union Gospel Mission
Walt McDaniel, Social Service Complex Citizen's Advisory Committee
Paul Blumberg, City Downtown Regional Enterprise Dept.
Ron Carissimi, Carissimi & Rohrer
William Carlson, Citygate Associates

Attachment: Z99-048**UNION GOSPEL MISSION RENOVATION & EXPANSION PROPOSAL
Z99-048****Suggestions for Improvement and Mitigation of Current Problems****GOAL: IMPROVE SAFETY AND HEALTH PROBLEMS; CUT DOWN ON TRANSIENT FOOT TRAFFIC, CAMPING AND ANTI-SOCIAL BEHAVIOR.**

- Mission to provide transportation to and from Bannon Street site, to mitigate the pedestrian traffic flow from North 12th Street via North B Street.
- Cut services to the non-resident transient population; concentrate on providing service to rehab clients primarily.
- Set specific number of beds to 80 or fewer; require at least 80% be for rehab residents only.
- Set a specific number of meals served to a reasonable multiple of the beds (e.g. 125%), limit days approved for meal service for non-rehab transients, concentrating primarily on rehab residents.
- Discontinue the mail pick-up service for all but rehab residents.
- Discontinue the shower and clothes-washing service for all but rehab residents.
- Mission to create a self-policing group that will disperse illegal campers, loiterers, drunks, etc. Only legitimate clients are allowed in immediate vicinity, to gather no more than 20 minutes before the slated activity. Require legitimate rehab clients to gather inside the facility instead on the public right-of-way.
- Mission to provide garbage pick-up service daily on Bannon and North B streets, to mitigate the considerable trash, drug paraphernalia, and other unhealthy detritus their clients leave behind.
- City commit to a stronger police presence to end camping and illegal activity on the Bannon curve.
- Do not duplicate services that are provided by other social services in the area.

GOAL: CREATE BETTER ACCOUNTABILITY

- Commit to a full-scale, good-faith effort to find an appropriate new location out of the Richards Blvd. redevelopment area.
- No expansion in size of facility, scope of programs, number of clients or staff at current site.
- Set a definite time limit on any special permit to operate Mission programs (suggest 5 years). Any renewal request contingent upon review of successful adherence to conditions set forth in current special permit and good neighbor policy; also contingent on current redevelopment plans and expansion of the Water Treatment Plant.
- Review public (and neighbors') costs for mitigating the problems associated with the Mission's transient clients (e.g., police costs, refuse pick-up, etc.) and set a reasonable percentage for the Mission to reimburse.
- Create a written good neighbor policy, schedule yearly meeting with neighbors and citizens' advisory groups to discuss and resolve any outstanding issues, review rehab and/or relocation goals.

GOAL: IMPROVE FACILITY AESTHETICS AND INFRASTRUCTURE

- Implement high standards for design, including making sure that any remaining older buildings are brought up to the level of the new buildings.
- Design Mission buildings and landscaping to hide any outdoor waiting/activity areas and parking areas.
- Meet highest degree of ADA, fire, and other building codes for all of Mission facilities, old and new.
- Provide new curbs, sidewalks, gutters, lighting for property line at Mission's expense.

ATTACHMENT 2



Blue Diamond Growers

September 14, 1999

Ms. Jeannie Cochran
City of Sacramento Planning Department
1231 I Street
Sacramento, California 95814

Dear Jeannie,

**SUBJECT: SOCIAL SERVICES ADVISORY COMMITTEE POSITION ON THE UNION
GOSPEL MISSION REQUEST**

The Consolidated Social Services Complex Community Advisory Committee (CAC) has directed me to express their opposition to the proposed expansion of the Union Gospel Mission. Following considerable discussion of this matter, the CAC has concluded that the physical expansion of this facility represents a violation of existing agreements with the community that there be no expansion of social services in the Richard's area.

Although the CAC is appreciative of the work of the Union Gospel Mission, particularly those programs that lead to the re-habilitation of the homeless, they are deeply concerned that this physical expansion of their facility would lead to an expansion of the number of transients served in this already over burdened area.

Another concern that influenced the position taken by the CAC revolves around the perception that Union Gospel Mission lacks adequate good neighbor practices. During our discussions, a number of the CAC members expressed their dissatisfaction with the Union Gospel Mission's absence of meaningful response to past pleas for help from neighboring businesses. It is the view of a number of the CAC members that Union Gospel Mission has taken very little responsibility for mitigating the impact that their clients have upon their neighbors.

It is the opinion of the CAC that if Union Gospel Mission believes that it is necessary to expand it's physical facility, then it would better serve the community if they considered making their investment in a new facility outside of the over-concentrated Richard's Boulevard area. Investing in an expansion of the present facility not only violates existing agreements with the City, but it also appears to be inconsistent with the city's master plan for this area.

Regardless of where Union Gospel Mission is located, their special use permit must address the mitigation measures that would limit the impact that their services would have on their surrounding neighbors.

Ms. Jeannie Cochran
September 14, 1999
Page 2

Finally, The CAC strongly opposes this matter being settled by action of a Zoning Administrator. At the very least, this issue should be heard by the Planning Commission in a public forum.

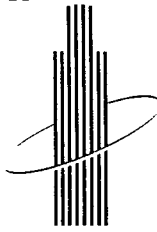
Sincerely,

A handwritten signature in black ink that reads "Walt McDaniel". The signature is written in a cursive style with a large, looping "W" and "M".

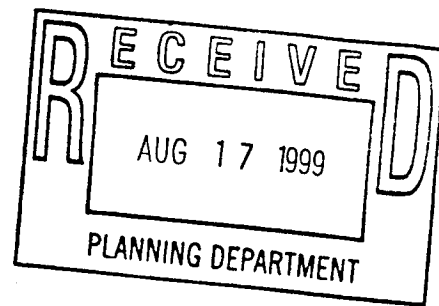
Walt McDaniel
Chair, Consolidated Social Services Community Advisory Committee

cc: Heather Fargo, City Council – District 1
cc: Jack Crist, Deputy City Manager

ATTACHMENT 3



DOWNTOWN AND REGIONAL
ENTERPRISE DEPARTMENT



August 12, 1999

MEMORANDUM

TO: Jeanne Corcoran, Associate Planner

FROM: *ps* Paul Blumberg, Senior Management Analyst

TOPIC: **PROPOSED UNION GOSPEL MISSION SPECIAL PERMIT
MODIFICATION (Z99-048)**

This letter provides a written submittal of the City Economic Development and Regional Enterprise Department (EDREA) staff comments on Union Gospel Mission's (UGM) special entitlement application. These comments reflect the *redevelopment* staff perspective, and this department's role in managing City revitalization initiatives in the Richards Boulevard Redevelopment Project Area.

Just to recap, for years the City has opposed various UGM improvement plans on the basis that they would constitute "expansion" and conflict with the City's stated policy directive to consolidate social services within the Richards Boulevard Area. Since the adoption of consolidation policies in 1989, UGM has operated in a "status quo" environment, on the one hand living with crowded, inadequate facilities, on the other anticipating relocation as a result of redevelopment activities. UGM has been unable to construct improvements that facilitate an improvement of operations, even though these improvements would constitute neither an expansion of those programs, nor increase in the number of homeless beds.

Pursuant to many months of meetings with Union Gospel Mission and community representatives, this department has developed a better understanding of the UGM programs. Based on this new understanding of what is proposed to be constructed, i.e., a 5,900 square foot administration building, staff supports conditional approval of the requested entitlement for the *administration building only for a period of no more than five years*. This support is based on our conclusion that these improvements will not constitute a physical expansion of the facility, and therefore will not conflict with adopted City Council policy directive 89-544.

Building on Our History - Creating The Place to Be.

CITY OF SACRAMENTO

1030 Fifteenth Street, Suite 250, Sacramento, CA 95814-4009
Tel 916.264.8109. Fax 916.264.8161, www.sacto.org/dwntwn

However, we do recognize that the community, represented by the Capitol Station District and the Social Service Complex Community Advisory Committee (CAC), oppose the granting of entitlements. The community has stated that it would like to see UGM relocate out of the area in the near term, rather than the long term. The community views relocation as a long overdue element of the area's social service consolidation (however, no Council policy was ever approved with regards to the relocation of UGM).

The City has in fact discussed relocation options with UGM representatives. UGM has clearly communicated their intent to relocate elsewhere in the City and the region, and the opposition these initiatives have received. Consolidation in proximity to the social service complex has also been reviewed and rejected. In fact, UGM's recent discussion with Capitol Station District regarding relocation of the facility to a the vicinity of the social service complex was met with the same opposition that doomed an earlier redevelopment agency UGM relocation initiative in 1991.

It is staff's conclusion that nothing prevents the continued "near term" operation of UGM at Bannon Street location. As such, UGM proposed improvement plan provides a better solution than the status quo. In fact, staff supports the application specifically because of the ability to address community concerns within the context of the special permit modification. We believe the proposed project and special permit can accomplish the following:

1. Improvement to the physical appearance of the facility with the construction of a new administration building (with review by the City's Design Review Board);
2. Requirement for the installation of attractive fencing and landscaping;
3. Requirement for construction of curb, gutter, and sidewalk improvements that will improve the pedestrian safety and physical appearance of Bannon Street;
4. Imposition of operational restrictions that regulate the programs UGM delivers (for example, UGM's existing special permit contains no specific requirements); and
5. Adoption of a "good neighbor" policy that address community concerns about loitering, illegal camping, trash, and other nuisances that the neighbors attribute to UGM's operations.

We are hopeful that the community will eventually understand these benefits, and come to support the entitlement request.

However, while supportive of near term improvements, the City must continue to emphasize that Union Gospel Mission's presence on Bannon Street is inconsistent with the redevelopment plan's long term objectives. The redevelopment context will necessitate the relocation of UGM in the future, and the following are just a few of the redevelopment issues that will drive that relocation.

Incompatibility with changing land use: In coming years, the industrial nature of the neighborhood will transition to that of an urban office district consistent with the adopted Richards Boulevard Area Plan (RBAP). The City has approved

a major office development, Discovery Centre, directly across the street from UGM. This project is a high quality office park targeted for either the State of California, or private tenants, and is anticipated to be the catalyst for other new commercial development of the area. UGM is incompatible with this future transition in land use, and relocation will likely more of a priority for redevelopment as new construction occurs.

Expansion of City water treatment plant: Both the redevelopment and land use plans call for expansion of the City's water treatment plant onto the UGM site. While there are no immediate needs to relocate UGM, the City is in the process of acquiring adjacent parcels that can accommodate future expansion of treatment facilities.

Bannon Street improvements – With the opening of the 7th Street extension project in 2001, and the construction of approximately one million square feet of commercial uses across the street from UGM, Bannon Street will become an increasingly important east-west arterial connection. Increased traffic will only exacerbate the safety concerns related to pedestrian traffic to and from the facility.

Given the uncertainty of the timing of these projects, staff recommends that a key condition of the approval of the special permit modification is a time limit of **no more than five years**. While staff could enumerate other conditions, we believe that the community has already clearly identified its concerns in Capitol Station District's letter to the City (dated 6/25/99). We suggest that the City include as many those conditions in the special permit as can be reasonably accommodated by UGM.

Thank you for considering City redevelopment staff's comments.

Cc: Joy Patterson
Wendy Saunders
Vincene Jones

**ATTACHMENT 4****MEMORANDUM****SACRAMENTO POLICE DEPARTMENT****Date: August 25, 1999****Ref: 99-8-17**

**To: Lt. Cara Westin
Executive Lieutenant/Sector One Command**

**Attn: Jim Hyde
Captain/Sector One Command**

**From: Bradley Chew
Problem Oriented Police Officer/Richards Blvd.**

Subject: Expansion of Union Gospel Mission on Bannon St.

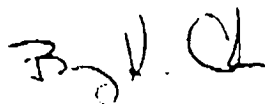
On August 25th of this year, I met with City of Sacramento Planning consultant Jeane Corcoran regarding the expansion of the facilities at the Union Gospel Mission located at 400 Bannon St. As you may or may not be aware, this location caters to members of the transient community and has come under fire for creating blight and nuisance in their neighborhood. Recently, Reverend Donald Kirk of the Union Gospel Mission applied for a building permit with the City of Sacramento to expand certain services at this location. Jeane Corcoran met with R/O to discuss police department concerns regarding approval of the permit and what conditions, if any, should be imposed on Union Gospel Mission if the permit were to be granted. Ms. Corcoran informed R/O that as of this writing, the City of Sacramento has absolutely no conditions or restrictions on Union Gospel regarding their activities or services. However, Ms. Corcoran did inform R/O that conditions by the City of Sacramento could be imposed in a new building permit and this is why police personnel familiar with this area should be consulted. The following are conditions that R/O asked Ms. Corcoran to consider when issuing a new building permit to the Union Gospel Mission:

1. Fencing around the front of Union Gospel Mission premises with "No Loitering" signs posted along Bannon St.
2. The installation of street lights, and sidewalks, along the front perimeter of the mission. (Note: Currently, there are no concrete walkways or street lights in front of the mission. This has been a safety issue to subjects who camp in front of the mission in the hours of darkness and has even contributed to fatality when a motor vehicle ran over a sleeping subject.). Union Gospel Mission(UGM) has agreed to

- pay for the costs for the new sidewalk improvements and for the street lights.
3. A newly instituted program involving UGM clients whereby no services are rendered if failing to comply with UGM policy and police personnel are not strictly adhered to.
 4. A program whereby clients enrolled in the UGM training program would be required to work twice a month in a cleanup program in the cleaning of areas in the Richard's Blvd area. This partnership would be between the management of the UGM and with the Sacramento Police Department. As part of the UGM training criteria, participants would take part in the picking up of rubbish in the Richard's Blvd area and would be overseen by the Richards Blvd POP officers. POP officers would oversee the cleanup operation, which would involve up to 15 UGM clientele for each operation, and focus on cleaning up the Richards Blvd corridor.
 5. A condition mandating that UGM personnel must keep the premises clean and litter free within a ½ block radius of the mission.
 6. An on-sight security guard that will be on the UGM premises between the hours of 7:00 p.m. to 7:00 a.m. This security would be trained by Sacramento Police Department personnel in taking a zero tolerance approach to trespassers, loiterers in front of the UGM, and unlawful obstruction of a sidewalk if UGM clientele attempt to use the newly improved sidewalk as location for unlawful camping. The security guard would be trained by Richard's Blvd POP officers in report writing so that responding officers would not have to complete an entire report each and every time a response by the police department is necessary. With the creation of the misdemeanor jail, all violators would be arrested with the issuance of citation not being an option. This should deter would violators.

After discussing the above conditions with Ms. Corcoran, R/O met with UGM Reverend Donald Kirk Sr. and he told R/O that he would be willing to comply with the conditions. Reverend Kirk made it clear to R/O that the expansion of the UGM would not include an expansion of food or lodging services. The proposed building would be approximately 7,000 square feet and would be used only for administrative use only. Per Reverend Kirk, current facilities are able to house 89 beds and no additional bedding would be added with the expansion plan. While there exists many other conditions for a building permit, the above are just a few of what the police department has voiced concerns about. I will continue to keep you apprised as this building expansion process develops.

Respectfully Submitted,



Bradley K. Chew#745
Richards Blvd POP Officer