

3.1

PLANNING AND BUILDING DEPARTMENT

CITY OF SACRAMENTO CALIFORNIA

1231 I STREET ROOM 300 SACRAMENTO, CA 95814-2998

PLANNING 916-264-5381 FAX 916-264-5328

PLANNING DIVISION

February 1, 2002

City Council Sacramento, California

C) AG 2002-029

Honorable Members in Session:

SUBJECT: THE MEADOWS (P00-048)

Various entitlements to develop an entirely single-family housing development

- A. Negative Declaration
B. Mitigation Monitoring Plan
C. Development Agreement between Lennar Winncrest LLC and the City of Sacramento;
D. PUD Designation with Schematic Plan and Guidelines to be known as the Meadows PUD, and
E. Approval of Inclusionary Housing Plan

LOCATION: West side of Natomas Boulevard approximately 670 feet north of Club Center Drive APN: 201-0310-036, 201-0310-037, 201-0440-028 (portions) North Natomas Community Plan (Council District 1)

RECOMMENDATION: Staff and the City Planning Commission recommend approval of the requested entitlements.

CONTACT PERSONS: David Kwong, Senior Planner 264-2691

FOR CITY COUNCIL MEETING OF: February 12, 2002 (Afternoon Session)

SUMMARY: The applicants, Lennar Communities propose to develop approximately 28.2± gross acres of vacant land into a single family residential development consisting of 146 single-family

residential lots, 1 park lot, 2 landscapè lots, and 1 RD-1000 lot. This portion of the proposal establishes the legislative entitlements including the PUD Schematic Plan and PUD Guidelines to address the proposed overall design. This portion of the proposal also includes approval of the Inclusionary Housing Plan and the approval of a superceding Development Agreement.

COMMITTEE/COMMISSION ACTION: The Planning Commission heard this project at the January 10, 2002 hearing. By a vote of 6 ayes to 0 noes, the Planning Commission recommended approval of the Development Agreement, the Schematic Plan and PUD Guidelines for the Meadows PUD. Also, in the same action, the Commission approved a Tentative Map from 3 parcels of approximately 28.2 acres into 146 single family home lots, 2 landscape lots, 1 park lot and 1 RD1000 lot.

BACKGROUND INFORMATION:

The project elements:

- The land uses proposed for the project site include a single family residential and a park lot.
- An Off-site Inclusionary Housing component consisting of 33 inclusionary housing units, 22 affordable to very low-income households and 11 affordable to low-income
- A Development Agreement between the developer, Lennar Winncrest LLC and the City of Sacramento that establishes certain rights and obligations of the parties relative to the property and assures the property owners commitment to the North Natomas Financing Plan while preserving development rights in affect at the time of the agreement.

PUD Guideline and Schematic Plan:

The proposed PUD Guidelines will establish the Meadows PUD development guidelines for this entirely single-family residential development. The proposed PUD Schematic Plan will provide land use consistency with the overall proposal and design of the project.

FINANCIAL CONSIDERATIONS: Not applicable.

ENVIRONMENTAL REVIEW: A Negative Declaration and Mitigation Monitoring Plan (MMP) have been prepared for this project. The Draft Negative Declaration was circulated for a 20-day public review period between December 21, 2001 and January 10, 2002. The Negative Declaration identified potential impacts to air quality and cultural resources. Mitigation measures have been identified to reduce the impacts to less than significant levels and are presented in the MMP.

POLICY CONSIDERATIONS:


The proposed project is consistent with the general and community plans and have not requested entitlements for either general or community plan changes. The applicants have not requested a rezoning as the project is also consistent with existing zoning of R-1A and has proposed a development of single-family homes consistent with the underlying zoning. Finally, the development of this PUD as an entirely single family PUD will allow for the opportunity of affordable housing development, particularly in an area previously exempt from the Mixed Income Housing Ordinance requirements (see planning commission staff report).

It should be noted that this project is subject to the Mixed Income Housing Ordinance and that its inclusionary housing component is proposed to be met through the use of qualifying for the single family development exception provision that allows for off site development. To that extent and as described in the planning commission staff report, city staff in conjunction with Sacramento Housing and Redevelopment Agency (SHRA) staff identified a site that has been determined to be superior to providing inclusionary housing on the Meadows site itself. The off-site development is adjacent to a transit hub, elementary and middle schools, a community park, and future day care center. The Meadows property does not have this complement of features. Additionally, the off-site affordable housing site is presently owned by the same property owner (Lennar Wincrest) and has in fact proceed ahead of the Meadows project. A Planning Director's Special Permit (PDSP) was granted on December 28, 2001 for a 212 unit multi-family complex on a parcel of land, specifically, Northpointe Park parcel 17, located south of Club Center Drive, 500' east of Danbrook. Staff's determine that this site, not only was it superior to the Meadows site, but also provided an additional opportunity to meet the Mixed Income Ordinance goals in an area previously exempt from its requirements.


In granting the PDSP, the City ordinance's requirement for timely, contemporaneous development has been met in part by Lennar Communities' ownership of the off-site location and its having entered into a contract for sale to an affordable housing developer. The off-site developer is proposing that SHRA approve the issuance of tax-exempt mortgage revenue bonds and an application to the California Debt Limit Allocation Committee in its first round of funding in 2002. By that time, ownership of the land will have been transferred from Lennar Communities to the St. Anton Development Company. Prior to transfer of title, Lennar Communities recorded a covenant running with the land to ensure that no less than the inclusionary housing units will be built and maintained on Northpointe Park Parcel 17. The Inclusionary Housing Agreement provides for 33 inclusionary housing units, 22 affordable to very low-income households and 11 affordable to low-income households. An Inclusionary Housing Agreement was also recorded against both the inclusionary site and the development project. With the recordation of the Inclusionary Housing Agreement against the site on December 26, 2001, the City granted the PDSP. The details of the inclusionary housing components are addressed in the Inclusionary Housing Agreement which is in conformance with the proposed Inclusionary Inclusionary Housing Plan. The Mixed Income Housing Ordinance requires City Council approval of the Inclusionary Housing Plan. The Inclusionary Housing Plan recommended by SHRA to the Planning Director is before the City Council for approval.

ESBD CONSIDERATION: City Council adoption of the attached Ordinance and Resolutions is not affected by City policy related to the ESBD program.

Respectfully Submitted,


GARY L. STONEHOUSE
Planning Director

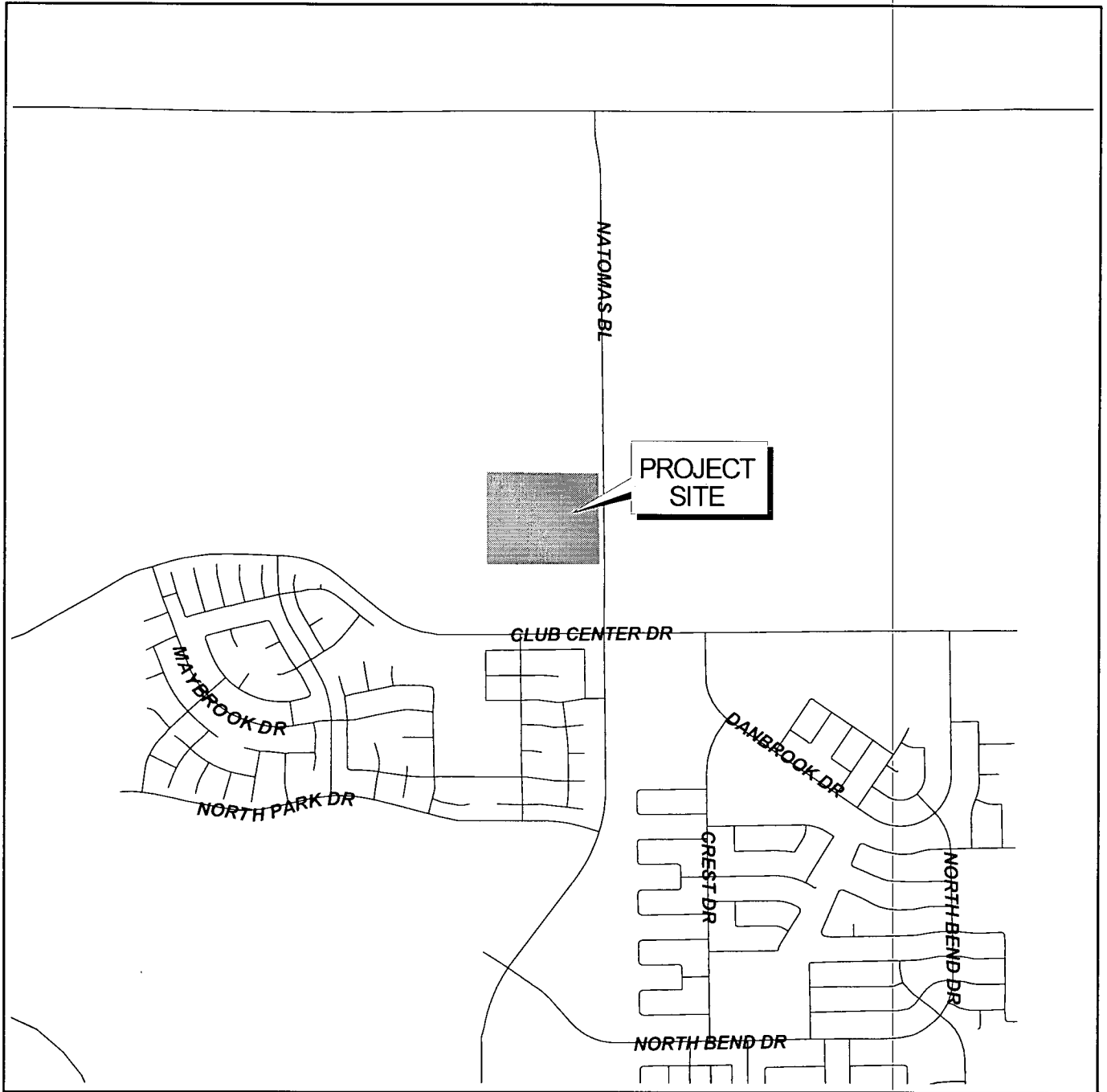
RECOMMENDATION APPROVED:


ROBERT P. THOMAS
City Manager

ATTACHMENTS

- Vicinity Map
- Land Use and Zoning Map
- Resolution approving the Mitigation Monitoring Plan
 - Exhibit: Mitigation Monitoring Plan
- Ordinance approving the Development Agreement
 - Exhibit: Development Agreement
- Resolution approving the PUD Schematic Plan and Guidelines
 - Exhibit: PUD Schematic Plan
 - Exhibit: PUD Guidelines
- Resolution approving the Inclusionary Housing Plan
 - Exhibit: Inclusionary Housing Plan
- Voting Record from Planning Commission - January 10, 2002
- Staff Report to Planning Commission - January 10, 2002

VICINITY MAP



1000 0 1000 Feet



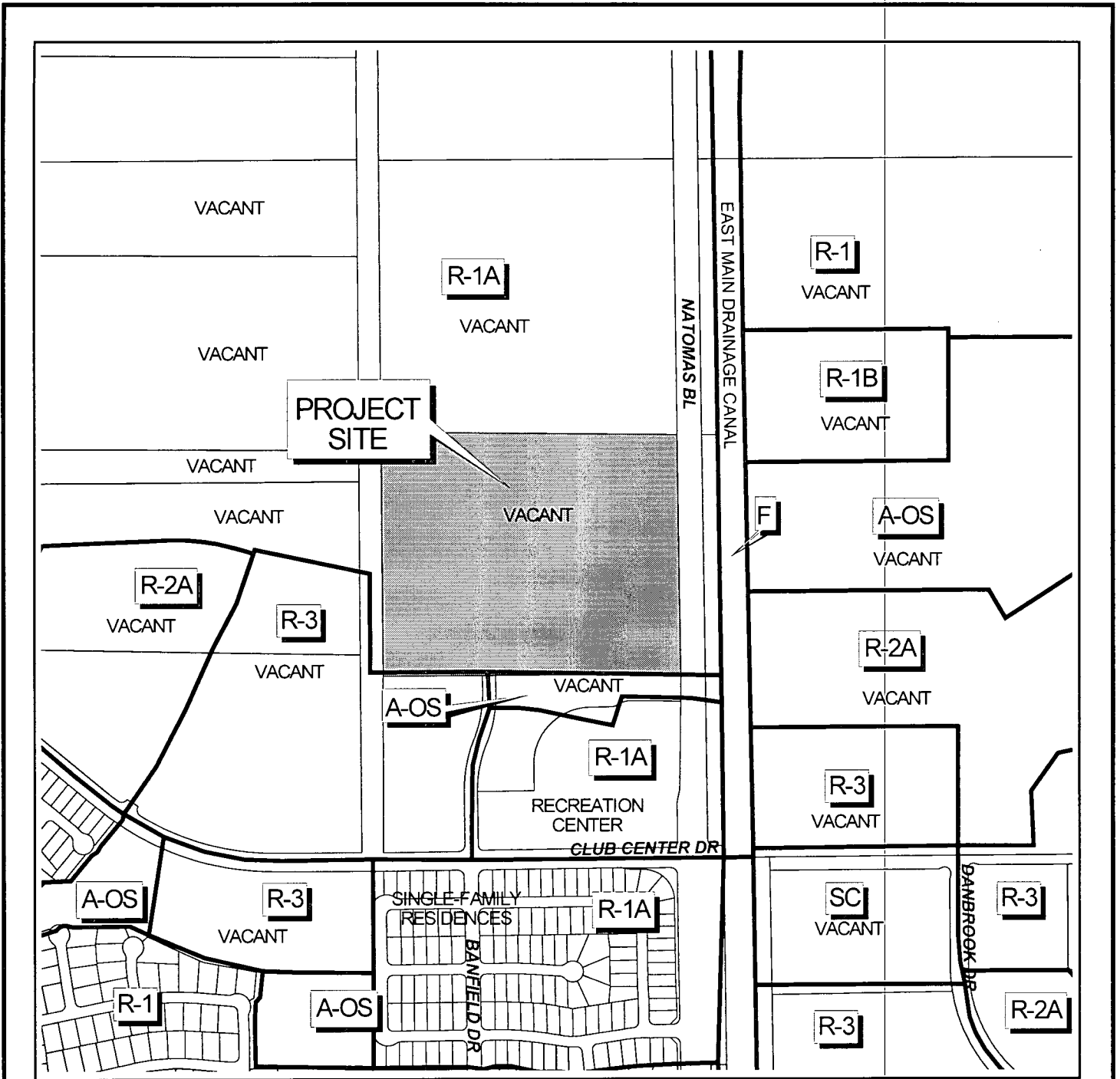
Planning & Building
Department

Geographic
Information
Systems

Vicinity Map
P00-048



LAND USE AND ZONING MAP



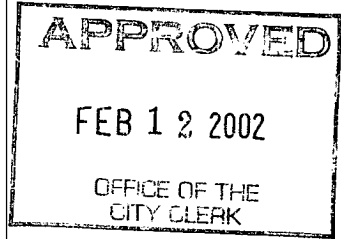
Planning & Building
Department

Geographic
Information
Systems

Land Use & Zoning
P00-048



3.1-A-B



RESOLUTION NO. 2002-073

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

A RESOLUTION RATIFYING THE NEGATIVE DECLARATION AND ADOPTING A MITIGATION MONITORING PLAN FOR THE MEADOWS PUD, LOCATED IN NORTH NATOMAS, WEST SIDE OF NATOMAS BOULEVARD, APPROXIMATELY 670 FEET NORTH OF CLUB CENTER DRIVE TO BE KNOWN AS THE MEADOWS PUD AND ADOPTING A SCHEMATIC PLAN AND DEVELOPMENT GUIDELINES FOR THE PUD (P00-048) (APNs:201-0310-036, 201-0310-037

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SACRAMENTO THAT:

The Mitigation Monitoring Plan is approved for the proposed Meadows PUD project based upon the following findings:

1. One or more mitigation measures have been added to the above-identified project;
2. A Mitigation Monitoring Plan has been prepared to ensure compliance and implementation of the mitigation measures for the above-identified project, a copy of which is attached as Exhibit 1;
3. The Mitigation Monitoring Plan meets the requirements of Public Resources Code Sec.21081.6; and
4. The Mitigation Monitoring Plan is approved, and the mitigation measures shall be implemented and monitored as set forth in the Plan.

_____ MAYOR

ATTEST:

CITY CLERK

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RESOLUTION NO.: _____

DATE ADOPTED: _____

EXHIBIT: MITIGATION MONITORING PLAN

Mitigation Reporting Plan

THE MEADOWS (P00-048) PROJECT MITIGATION REPORTING PLAN

This Mitigation Reporting Plan (MRP) has been required by and prepared for the City of Sacramento Planning and Building Department, Office of Environmental Affairs, 1231 I Street, Room 300, Sacramento, CA 95814, pursuant to CEQA Section 21081.6.

PROJECT DESCRIPTION

Project Name: The Meadows Project

Contact Persons: Dave Kwong, Project Manager
City of Sacramento
Planning and Building Department., North Team

1231 I Street, Room 300
Sacramento, CA 95814
(916) 264-2691

Project Location

The project site is located north of the Central City and northeast of Interstate 5 within the North Natomas Community Plan area. The project site is bound by Natomas Boulevard to the east, Heritage residential site to the north, approximately 670 feet north of Club Line Drive to the south, and vacant land to the west currently under development.

Project Description

The project applicant is seeking several entitlements for the project site. The list of proposed entitlements include: (1) establishment of a Planned Unit Development (PUD) by adoption of PUD Guidelines and a Schematic Plan, (2) a Tentative Subdivision Map, and (3) a Development Agreement. Approval of the above entitlements would allow the construction of 146 single family residential lots and establishment of 3.8 ± acres of park/ open spaces.

The land uses proposed for the currently vacant project site include a mix of residential and parks/open space uses.

A central feature of the Proposed Project is the construction of 146 single family residential units. The existing parcel will be subdivided in accordance with existing zoning, community plan and general plan designations. The residential development will consist of 45 x 105 typical lots with an average density of 8.0 dwelling units per net acre.

In addition to the proposed 146 housing units, the applicant seeks to develop a 1.7 ± gross acre neighborhood park adjacent to an existing 3.4 ± acre park along the southern boundary of the

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DATE ADOPTED: _____

project site. The proposed project is designed to maximize access to this park with 97% of the housing units being within 880 feet walking distance. Additionally, 2.1 ± gross acres across Natomas Boulevard will be set aside as open space.

MITIGATION REPORTING PLAN

Introduction

The California Environmental Quality Act (CEQA) requires review of any plan or project that could have significant adverse effects on the environment. In 1988, CEQA was amended to require reporting on and monitoring of mitigation measures adopted as part of the environmental review process. This MRP is designed to aid the City of Sacramento in its implementation and monitoring of mitigation measures adopted for the Proposed Project.

Mitigation Measures

The mitigation measures are taken verbatim from the Initial Study and are assigned the same number they have in the document. The MRP describes the actions that must take place to implement each mitigation measure, the timing of those actions, and the entities responsible for implementing and monitoring the actions.

MRP Components

The components of each monitoring form are addressed briefly, below.

Mitigation Measure: All mitigation measures that were identified in the Initial Study are presented, and numbered accordingly. The mitigation measures are presented by topic (e.g., Air Quality).

Implementing Responsibility: This item identifies the entity that will undertake the required action.

Monitoring Responsibility: This item identifies the entity that will monitor the required action.

Compliance Standards: This item identifies the specific actions that are required in each mitigation measure.

Timing: Each action must take place prior to the time at which a threshold could be exceeded. Implementation of the action must occur prior to or during some part of approval, project design or construction, or on an ongoing basis. The timing for each measure is identified.

Verification of Compliance: The individual assigned to assure compliance with identified mitigation measures will initial the form when the measure has been successfully implemented. The individual assigned to assure compliance will date the form when the measure has been successfully implemented.

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DATE ADOPTED: _____

Remarks: The individual assigned to assure compliance can include remarks concerning the implementation of the mitigation measure. At no time is it acceptable to remark that the implementation of the mitigation measure is/was unsuccessful.

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DATE ADOPTED: _____

MITIGATION REPORTING PLAN

Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials and Date)
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4.5 AIR QUALITY

CONSTRUCTION EMISSIONS

Phase I Construction

Applicant

City Planning and Building Department

Submittal of grading plans with measures identified.

Implementation of measures: prior to and during construction activities.

The applicant shall include the following measures on all grading plans (the City shall not approve any construction plans without them):

1. Maintain construction equipment (stationary and mobile) in optimum running condition;
2. Construction will be spanned out over two construction seasons.

Implementation of measures in the field during construction and operation.

Phase II Construction

3. Maintain construction equipment (stationary and mobile) in optimum running condition;
4. Construction will be spanned out over two construction seasons;
5. Use low VOC asphalt;
6. Use low VOC architectural coatings.

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DATE ADOPTED:

Mitigation Measure	Implementing Responsibility	Monitoring Responsibility	Compliance Standards	Timing	Verification of Compliance (Initials and Date)
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4.14 CULTURAL RESOURCES

BURIED PALEONTOLOGICAL RESOURCE

<p>a) If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work shall stop immediately and the County Coroner shall be contacted. If the remains are determined to be Native American, the Coroner shall notify the Native American Heritage Commission who shall notify the person it believes to be the most likely descendant. The most likely descendant shall work with the contractor to develop a program for reinterment of the human remains and any associated artifacts. No additional work is to take place within the immediate vicinity of the find until the identified appropriate actions have been carried out.</p>	<p>Applicant</p>	<p>City Planning and Building Department</p>	<p>Note shall be included within the Standard Construction Specifications.</p> <p>Measures shall be implemented in the field during construction activities.</p>	<p>Measures shall be reflected prior to receipt of building permit.</p> <p>Measures shall be implemented in field during construction activities.</p>	
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RESOLUTION NO.: _____

DATE ADOPTED: _____

C)

APPROVED
FEB 12 2002
OFFICE OF THE
CITY CLERK

ORDINANCE NO. 2002 - 003
ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

AN ORDINANCE RELATING TO THE APPROVAL OF A DEVELOPMENT AGREEMENT BETWEEN THE CITY OF SACRAMENTO AND LENNAR WINNCREST LLC FOR PROPERTY LOCATED IN NORTH NATOMAS, WEST SIDE OF NATOMAS BOULEVARD, 670 FEET NORTH OF CLUB CENTER DRIVE (APN#201-310-36 & 201-0310-37) (P00-048)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1

This Ordinance incorporates, and by this reference makes part hereof, that certain Development Agreement, by and between the City of Sacramento and Lennar Winncrest LLC, a copy of which is attached hereto.

SECTION 2

The City Council finds:

1. The agreement is consistent with the city general plan and the goals, policies, standards and objectives of any applicable specific or community plan;
2. The project should be encouraged in order to meet important economic, social, environmental or planning goals of any applicable specific or community plan;
3. The project would be unlikely to proceed in the manner proposed in the absence of a development agreement;
4. The landowner will incur substantial costs in order to provide public improvements, facilities or services from which the general public will benefit;
5. The landowner will participate in all programs established and/or required under the general plan or any applicable specific or community plan and all of its approving resolutions (including any mitigation monitoring plan), and has agreed to financial participation required under any applicable financing plan and its implementation measures, all of which will accrue to the benefit of the public;
6. The landowner has made commitments to a high standard of quality and has agreed to all applicable land use and development regulations.

SECTION 3

The Development Agreement attached hereto is hereby approved, and the Mayor is authorized to execute after the effective date of this Ordinance said Development Agreement on behalf of the City of Sacramento. This approval and authorization is based upon the Negative Declaration and Mitigation Monitoring Plan which is the subject of a separate resolution adopted by City Council prior to or concurrent with the adoption of this Ordinance.

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ORDINANCE NO: _____

DATE ADOPTED: _____

PASSED FOR PUBLICATION:

PASSED:

EFFECTIVE:

MAYOR

ATTEST:

CITY CLERK

P00-048

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ORDINANCE NO: _____

DATE ADOPTED: _____

EXHIBIT: DEVELOPMENT AGREEMENT

A copy of the Development Agreement
is available for Review at:

City of Sacramento
Planning Division
1231 I Street, Room 300
Sacramento, CA 95814
(916) 264-5894

or

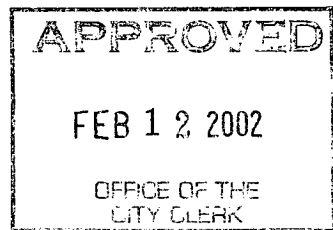
City Clerk's Office
915 I Street, Room 300
Sacramento, CA 95814
(916) 264-5799

8 a.m. - 5 p.m.
Monday through Friday

FOR CITY CLERK USE ONLY

ORDINANCE NO.: _____

DATE ADOPTED: _____



RESOLUTION NO. 2002-074

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

A RESOLUTION TO APPROVE THE DESIGNATION OF A PLANNED UNIT DEVELOPMENT ON 28.2± GROSS ACRES LOCATED IN NORTH NATOMAS, WEST SIDE OF NATOMAS BOULEVARD, APPROXIMATELY 670 FEET NORTH OF CLUB CENTER DRIVE TO BE KNOWN AS THE MEADOWS PUD AND ADOPTING A SCHEMATIC PLAN AND DEVELOPMENT GUIDELINES FOR THE PUD

(P00-048) (APNs:201-0310-036, 201-0310-037)

WHEREAS, the Planning Commission conducted a public hearing on January 10, 2002, and the City Council conducted a public hearing on February 12, 2002 to designate a Planned Unit Development (PUD) and to adopt a Schematic Plan and Development Guidelines for that project known as the Meadows PUD, the Council hereby finds:

1. The PUD conforms to the General Plan and the 1994 North Natomas Community Plan; and
2. The PUD meets the purposes and criteria stated in the City Zoning Ordinance in that the PUD facilitates mixed uses designed to assure that new development is healthy and of long-lasting benefit to the community and the City; and
3. Development of the PUD will not be injurious to the public welfare, nor to other property in the vicinity of the development and will be in harmony with the general purposes and intent of the Zoning Ordinance in that the PUD ensures that development will be well-designed, and that the employment center uses do not create a negative impact on adjacent uses.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sacramento, in accordance with the City Zoning Ordinance No. 99-015, as amended, that the Meadows PUD with Schematic Plan and Development Guidelines (as shown on the attached exhibits) is hereby approved subject to the following conditions:

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RESOLUTION NO.: _____

DATE ADOPTED: _____

1. The Schematic Plan for the Meadows PUD is established as attached hereto as Exhibit 1.
2. The PUD Development Guidelines is established as attached hereto as Exhibit 2.
3. This PUD is subject to an approved Inclusionary Housing Plan and executed and recorded Inclusionary Housing Agreement.
4. Conditions of Approval of the tentative map shall supercede any contradictory information shown on the tentative map or any contradictory provisions in the PUD Guidelines approved for this project.

MAYOR

ATTEST:

CITY CLERK

P00-048

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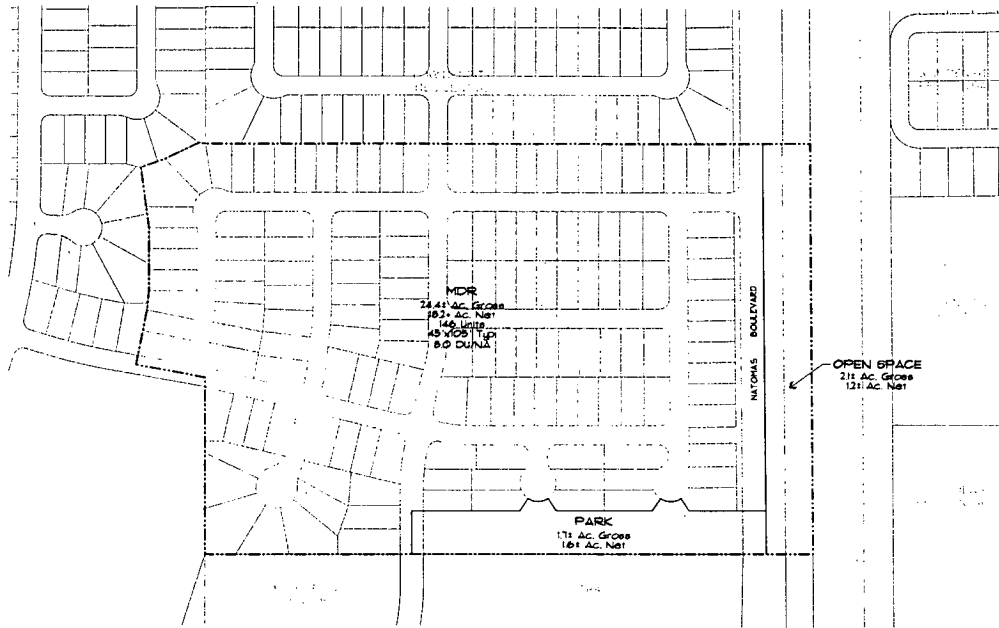
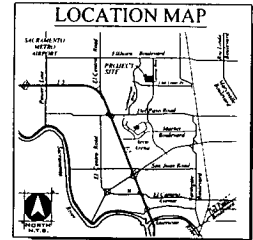
DATE ADOPTED: _____

P00-048

Revised 08/02/01

PUD SCHEMATIC PLAN THE MEADOWS

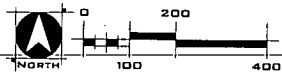
(APPLICATION CONTROL #P00-048)
CITY OF SACRAMENTO, CALIFORNIA
JULY 21, 2000
(REVISED: AUGUST 2, 2001)



LAND USE SUMMARY

LAND USE	GROSS ACRES	NET ACRES	UNITS
MEDIUM DENSITY RESIDENTIAL (7-2) (MUR)	24.4	20.2	146
PARK	17	16	-
OPEN SPACE	21	12	-
PUBLIC STREETS	-	7.2	-
TOTAL	62.4	55.4	146

* AREA EXCLUDES PUBLIC STREETS
** AREA INCLUDES LANDSCAPE LOTS @ 4' X 4'



WOOD RODGERS INC.

ENGINEERING, PLANNING, MAPPING, SURVEYING
3301 G STREET, BLDG. 1008 SACRAMENTO, CA 95816
PHONE: (916) 341-7760 FAX: (916) 341-7767

PUD SCHEMATIC PLAN

FOR CITY CLERK USE ONLY

RESOLUTION NO. _____

DATE ADOPTED: _____

EXHIBIT: PUD SCHEMATIC PLAN

CS 11 05/07/00 THE POSITIONING & SURVEYING DIVISION

EXHIBIT: PUD GUIDELINES

Development Guidelines

for

THE MEADOWS

North Natomas Community Plan

Project Applicant

LENNAR COMMUNITIES
(916) 783-3224

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DATE ADOPTED: _____

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DATE ADOPTED: _____

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SECTION 1: PLANNED UNIT DEVELOPMENT GUIDELINES

A. Objective and Executive Summary

These Guidelines provide a comprehensive approach, guidance and regulations of development of a single-family neighborhood defined by the City of Sacramento as a portion of the North Natomas Community Plan Neighborhood #9, and hereinafter referred to throughout this document as "The Meadows". The goal is to create a neighborhood on a human scale, with a friendly environment.

As a definition of terms used in this document, "Community" refers to North Natomas overall, "neighborhoods" refers to areas defined as neighborhoods by the City and in this document, "villages" refers to subdivisions within each neighborhood.

These Guidelines are meant to enhance the feeling of community, user convenience and identity. They will help implement the goals, objectives and policies of the City of Sacramento, providing an opportunity to plan, coordinate, and implement development over a large area in a comprehensive manner.

These guidelines are divided into sections which present the standards (subject to alternative or lesser standards referred to below) for development of The Meadows. Upon adoption of this document, the developer will form a three-member Design Review Committee (DRC), which may require more stringent standards. These Guidelines should be used in conjunction with *The Comprehensive Zoning Code of the City of Sacramento*, the *North Natomas Development Guidelines*, and the *North Natomas Community Plan*.

To the extent that the City approves other planned unit developments (PUDs) in North Natomas with alternative or lesser standards for like uses, the DRCs will be able to apply those standards, by reference, without amending these Guidelines. To list just a few examples, this document sets out standards including an average of two shade trees per lot, variation in unit design and material, and staining of fencing visible from public areas. These could be changed by reference, without amending these Guidelines, with alternative or lesser standards approved for other PUDs. Additionally, this document can be amended at the City Planning staff level, provided that the changes are within the original intent.

A Special Permit approved by the Planning Commission shall be required prior to issuance of a building permit for any multi-family residential project, with three or more units, or any commercial, office, or industrial development within the PUD. Civic or institutional uses, including but not limited to medical, educational, religious, social service, or childcare facilities, shall require a Special Permit from the Planning Commission prior to issuance of a building permit. A Planning Director's Special Permit shall be required prior to issuance of a building permit for any single-family, duplex or halfplex residential development with the PUD.

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RESOLUTION NO.: _____

DATE ADOPTED: _____

The Meadows, encompassing approximately 28 acres, is proposed as a single-family residential village. When completed, it will contain 146 residential dwelling units and a 1.6 acre park site that is a portion of a larger neighborhood park. The land uses are allocated as shown in Exhibit 1.

B. Design Review Process

The Guidelines encourage innovative neighborhood design and site planning. Architectural variety is important to the character of The Meadows. The Guidelines are not intended to limit the creativity of private development.

The DRCs serve in an informal advisory capacity to the City of Sacramento. For issues addressed in these Guidelines, the Guidelines shall prevail. For those issues not addressed, the City's regulations shall prevail. The City shall notify the appropriate DRC when a project has been submitted for The Meadows. These Guidelines and the role of the DRC may be further formalized in Covenants, Conditions, and Restrictions (CC&Rs) to be recorded against the properties. Approval by the DRC is required prior to application to the City of Sacramento.

1.) Design Review Committee

Initially, applications within The Meadows will be reviewed by a three-member DRC, comprised of representatives of the developing entities, which may be subsequently replaced by a DRC for individual neighborhoods. Each three (3) member DRC will consist of members appointed pursuant to the terms of the Declaration of Covenants, Conditions and Restrictions, recorded by each developer, with the ultimate membership comprised fully of property owners. Any and all DRCs will be solely responsible to review compliance with these Guidelines and with any supplemental standards adopted.

Neither The Meadows Design Review Committee (DRCs) or their individual members shall be liable to any builder, owner or any third party, for damages, or prejudice suffered or claimed on account of the approval or disapproval of any plans, drawings and specifications. It is specifically understood that plans and specifications are not approved for engineering design, and that by approving such plans and specifications, neither the DRCs or the member thereof assume any liability therefor, nor for any defect in any structure from such plans and specifications.

2.) Submittal

Prior to submittal of an application to the City for approval of a planning entitlement, design review and/or issuance of a building permit for proposed construction, three (3) sets of plans may be required by the DRC. The submittal may include, but not limited to, the following:

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RESOLUTION NO.: _____

DATE ADOPTED: _____

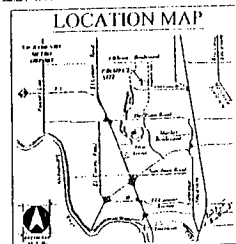
Exhibit 1 - Meadows Boundary & Land Use Allocation

THE MEADOWS

(APPLICATION CONTROL #P00-048)
CITY OF SACRAMENTO, CALIFORNIA

MARCH 31, 2000
(REVISED: JUNE 1, 2000)
(REVISED: APRIL 24, 2001)
(REVISED: JULY 13, 2001)
(REVISED: AUGUST 2, 2001)

□ DENOTES AREA OF REVISION TO P13-06G.
PORTION OF VILLAGE 5
(SUBSTANTIAL CONFORMANCE)



LAND USE	NET AREA*	DWELLING UNITS	NET DENSITY
PERMIT DENSITY RESIDENTIAL (125 UNITS PER LOT)	18.2**	146	8.0
PARK (LOT #3)	1.6	-	-
OPEN SPACE (LOT #1)	1.2	-	-
PUBLIC STREETS	7.2	-	-
TOTALS	28.2	146**	

*Area outside of boundary
**Area inside lots B & C.

PROJECT NOTES

APPLICATOR: S. FABER, INC.
2111 33RD AVENUE, SACRAMENTO, CA 95811
ATTORNEY: J. TELLEZ-GONZALEZ
GENERAL CONTRACTOR: J. J. JENSEN
7700 BUCKLE UP BOULEVARD, SUITE 100
SACRAMENTO, CA 95828
CONTACT: JIM JENSEN
PHONE: 916-753-3334

PLANNER/ENGINEER:
WOOD RODGERS, INC.
2300 G STREET, SUITE 200
SACRAMENTO, CA 95811
CONTACT: PAUL PETERSON/PAUL COLLIER
PHONE: 916-341-7410

DATA FOR PROPOSED REZONING, NEIGHBORHOOD PLAN:
24.2 ACRES 65000

PURPOSE OF LOTS:
1. 24.2 ACRES 65000
2. PARK LOT
3. LANDSCAPE LOTS
4. 1.6 ACRES LOT

EXISTING USE:
VACANT

PROPOSED USE:
PLANNED DEVELOPMENT

EXISTING ZONING:
R-1 (SINGLE-FAMILY RESIDENTIAL)

PROPOSED ZONING:
R-1 (SINGLE-FAMILY RESIDENTIAL)

PARK DESIGNER:
CITY OF SACRAMENTO

REZONING DESIGNER:
CITY OF SACRAMENTO

SCENIC DESIGNER:
MARTHA LLOYD SWANSON DESIGN

SEWER DESIGNER:
SANDERSON RECLAIM, SANDERSON DESIGN

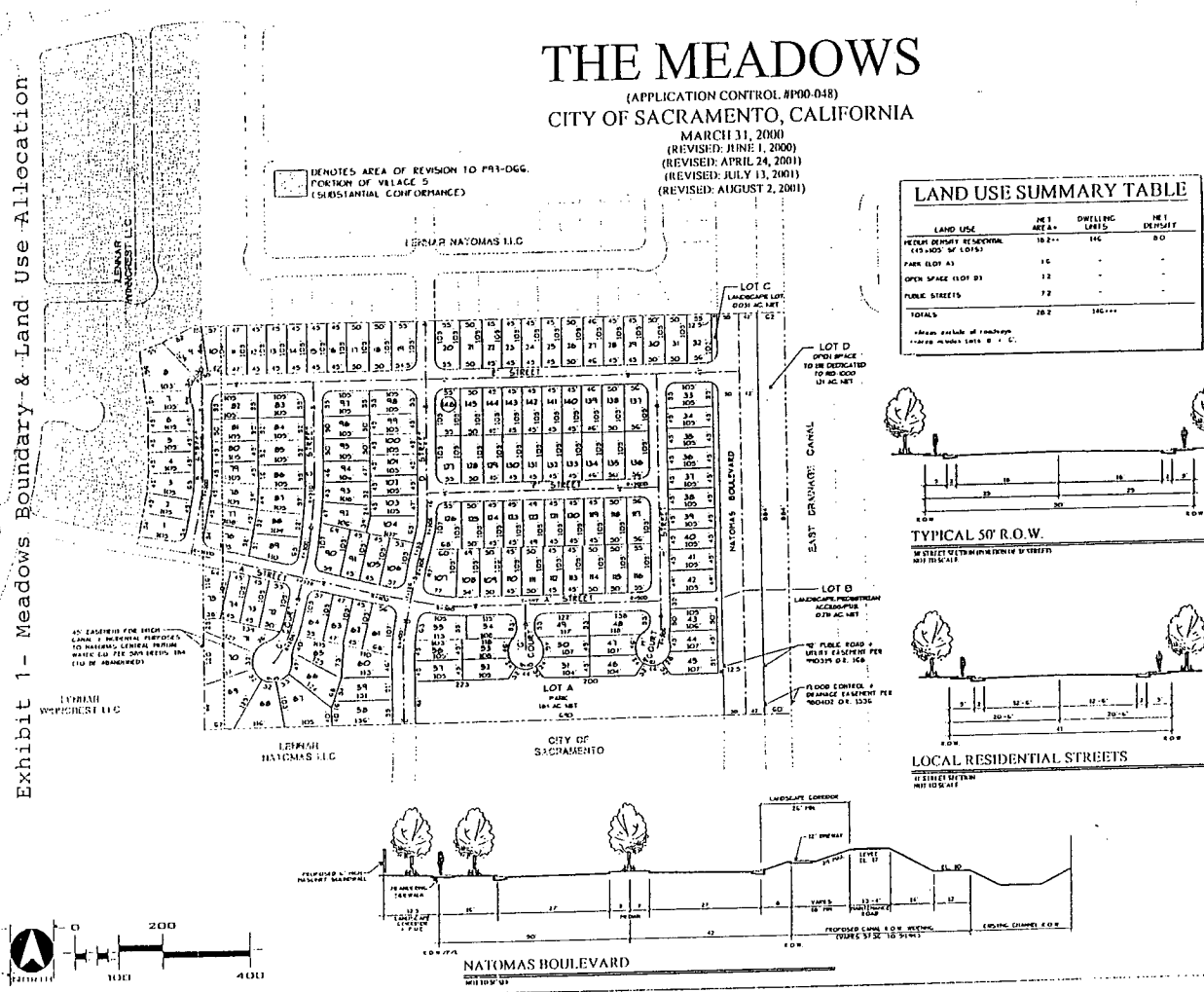
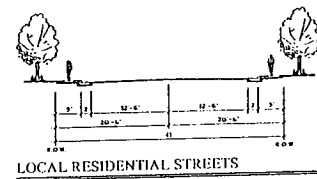
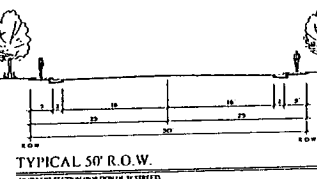
STREET DESIGN:
CITY OF SACRAMENTO

WATER DESIGN:
CITY OF SACRAMENTO

ELECTRIC DESIGN:
CITY OF SACRAMENTO

GPS FILE

NOTES:
1. SANDERSON RESERVES THE RIGHT TO FILE PUBLIC PLAN MAPS.
2. A 10' FIVE-FEET SHALL BE EXCLUDED ADJACENT TO ALL PUBLIC RIGHTS-OF-WAY.



WOOD RODGERS, INC.
PLANNING ENGINEER
2300 G STREET, SUITE 200
SACRAMENTO, CA 95811
PHONE: 916-341-7410

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- a.) a detailed plot plan showing building footprint(s), driveways and/or alley placement, parking areas, street trees, fence locations and heights, as well as any other structures and/or improvements.
- b.) Floor plans and elevations for all building sides.
- c.) Material board with samples of all exterior materials and colors; as well as a full-color architectural rendering of front elevation streetscape.
- d.) Landscape and irrigation plans indicating street tree species, size, location, and planting and fencing details.

2.) Schedule

Within 21 working days of receipt of a complete submittal, the DRC shall approve, approve with modifications or deny the application, and shall forward such decision to the applicant and to the City. Failure to approve is denial. The position of the DRC shall not infer City approval or denial of an application.

3.) Fees

Design review fees may be assessed at the time of submittal. The amount of the fees shall be determined by the DRC in an amount sufficient to cover costs. Upon review, additional fees may be required to cover additional expenses.

C.) Allowed or Permitted Uses

All uses within The Meadows will be per Land Use Allocation Map shown in Exhibit 1 and in accordance with these Guidelines, subject to land use changes and rezones which may take place over time.

D.) Street and Linkage Mater Plan

The circulation system is designed to provide for all transportation modes, allowing safe and efficient movement. The circulation system includes public streets, pedestrian paths and bikeways for convenient pedestrian connections.

The community is served by public streets organized in a hierarchy of function and size. Multi-land arterial streets carry traffic around the North Natomas area and the perimeter of The Meadows, and provide direct access to the major land uses and entry to the Meadows area. Collector streets are the next functional level of street providing access to the neighborhoods, schools and parks. Local residential streets provide access to individual residences and also schools, parks, and other open space amenities. See Exhibit 2 and Exhibit 3.

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E. Infrastructure, Community Facilities, Lake and Open Space Master Plan

1.) Street and Linkage Master Plan, Infrastructure and Community Components

The Meadows neighborhood is connected to the park by roads and walkways. See Exhibit 2.

1.) Utilities

All utilities shall be constructed in conformance with the established standards for water, sewer, storm drainage and lighting.

3.) Open Space

There will be approximately 1.6 acres of open space within The Meadows. Park design and construction will be by the City of Sacramento and will be financed by the North Natomas Financing Plan. The development team also reserves the ability to construct parks according to City plans and standards.

F. Air Quality Mitigation Strategy

In accordance with the North Natomas Community Plan (NNCP), The Meadows will include an air quality mitigation strategy. The NNCP requires that all residential development strive to meet the goal of reducing the levels of reactive organic gas (*ROG) emissions, chiefly carbon monoxide through reduction of single-occupancy vehicle levels for residential and non-residential development.

As ROG emissions are chiefly generated by the use of automobiles, The Meadows area's strategy is based, in part, on the reduction of the amount of time residents spend in their cars. As a result, the cornerstone of the air quality mitigation strategy is the Transportation Systems Management Strategy, outlined below.

Air quality is also affected by the types and quality of tree and other landscaping. Not only do trees contribute to the improvement of air quality through photosynthesis, they also make the streets far more pleasant and inviting—especially during Sacramento's hot summers. This encourages people to leave their cars at home and visit neighbors and run errands by foot or by bicycle. These Guidelines provide for the planting of a significant number of shade trees.

G. Transportation Systems Management Strategy

2.) Street System Design

The Meadows circulation system is designed for safety and to provide an attractive and pleasant streetscape. The hierarchy of streets are designed to

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diffuse traffic throughout the community by providing a choice of routes. The result of this system is to minimize traffic congestion during peak hours, and also to provide more logical direct routes for those traveling by car.

3.) Pedestrian/Bicycle System

The design of the street system also affects those who travel by bicycle or by foot. By diffusing traffic flows throughout the project. People are not forced to ride or walk along busy highways, but can take advantage of alternate, more peaceful streets which still get them where they want to go. This is further enhanced by a bike rail system throughout the community. See Exhibit 2.

4.) Shade Trees

Fast-growing, hearty shade trees will be required to be placed along all streets within The Meadows. As the tree mature, they will create an attractive shade canopy over both the sidewalks and the street, which will encourage people to walk and ride their bikes.

For those streets with attached sidewalk, the shade trees will be planted along the sidewalk, within the front yard setbacks of the properties, at 5' behind the back of walk, to create an attractive shade tree canopy. For those streets with split sidewalk (where a landscape strip separates the sidewalk and the curb), the shade trees will be planted in the landscape strip between the sidewalk and the curb.

Streets wider than four (4) lanes will have a landscaped median.

H. Landscape Master Plan and Plant Species List

The landscape plan plays an important role in identifying the fabric of The Meadows. The unifying theme is the repetitive planting of street trees in a formal pattern throughout all street corridors. By adhering to urban forestry design principles, these street trees provide shade as well as define each street. Trees have been selected for their track record of dependability in Natomas and North Sacramento, as well as their recommendation by the Sacramento Tree Foundation. Parks will provide areas for active and passive recreation. Landscaping shall be consistent with the North Natomas Development Guidelines adopted 11/22/94, and as may be amended.

1.) Tree Lined Streets

In addition to the trees selected as the major framework of the corridor right of ways trees have been carefully selected for a common ribbon throughout each of the streets within The Meadows. Street trees will be formally spaced at approximately 30' on center, in a linear pattern along the street (either 5' behind the walk, or with in the landscape area between the sidewalk and the curb), to create a shady tree canopy over time. Trees will also be utilized in informal

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masses for plantings set back from the sidewalk. The selected street trees can be found in Exhibits 4 and 5.

Landscape Corridors

Pedestrian-friendly landscape corridors are provided along Natomas Boulevard. Street trees will visually unify the right-of-way, and also shade the pedestrian walkways and street pavement. In a majority of the streets the public sidewalk is set back from the back of curb to ensure a separation between pedestrian and vehicle. This resulting traditional parkway will be planted with turf, while the back of the walk area features informal groves of trees, groundcovers and vines, where appropriate, along masonry walls. Additionally, an on-street parking lane separates travel lanes from pedestrians.

Major Landscape Plan

The Master Landscape Plan, shown in Exhibits 4 and 5, provides the framework for the overall community. Major arterials are identified by one species of tree which unifies The Meadows area in to the overall framework of North Natomas.

Plant Species List

The primary criteria for the selection of recommended plant materials is those which have performed well in this area. In addition, trees which provide the traditional shade framework and canopy were selected as street trees. The list shown on Exhibit 13 has been carefully created for use in the Meadows. This list shows the street trees as well as recommended shrubs and groundcovers. The DRC, in consultation with the City Arborist, reserves the right to add or delete trees.

I. Sign Master Plan for The Meadows

1.) Introduction

This section outlines the process and general requirements for sign approvals. Specifications for all signs listed in the appropriate land use sections. The goal is to provide adequate signage allowances for all residential and commercial builder within The Meadows area and to restrict the proliferation of signage; and to provide for a consistency in design quality of signage system. A signage master plan shall be prepared and submitted to the City of Sacramento for approval.

2.) Submittal Process

Prior to the installation or application of permits for any signage to the City of Sacramento, all designs shall be required to be submitted to the DRC for approval. DRC requirements may include a specific number of copies,

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DATE ADOPTED: _____

Street Tree Matrix

1	Platanus acerifolia (Bloodgood) & Sequoia sempervirens	Plane Tree Redwood
2	Pistacia chinensis	Chinese Pistache
3	Tilia americana	American Linden
4	Pyrus calleryana 'Aristocrat'	Aristocrat Pear
5	Liriodendron tulipifera	Tulip Tree
6	Quercus rubra	Red Oak

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professionally prepared scale drawings indicating location, size, copy, colors, materials, illumination and method of attachment. A design review fee may be determined by the DRC, to cover expenses.

All sign submittals shall be reviewed within 21 working days for conformance with these Guidelines and overall design quality. The DRC shall notify the applicant of approval, approval with modification, or disapproval of sign submittals. If a response is not given within 21 working days, submittal is considered to be denied.

Where conditions are not covered herein or by subsequent Guidelines, the DRC shall base its decision on compliance with the intent of this document or the subsequent Guidelines. Upon approval, all required permits for signs and their installation shall be obtained by the parcel general contractor or representative prior to installation. All signs must meet City visibility requirements.

3.) Permanent Village Monumentation

Permanent village monumentations (see Exhibit 6 for locations) will be comprised of signage pilasters and gateway pilasters, each utilizing a stone-type veneer and pre-cast concrete caps. Signage pilasters will be seven (7) feet in height and 40" square, with a signage plaque to be 30: square. Signage plaque lettering shall be a maximum height of 8" with a finish, style and color to be approved by the DRC. The gateway pilasters shall be four(4) feet in height and 36" square. See Exhibit 7 for design detail.

4.) Temporary Signs

The goal of temporary signs is to provide adequate direction to sales offices, model homes, employers, and commercial areas, while keeping visual "sign clutter" to a minimum.

All temporary promotional, leasing or advertising flags or signs must be removed by the appropriate party from the property within 30 days of the completion, sale, or lease of the advertised or promoted property, project or development.

5.) Removal

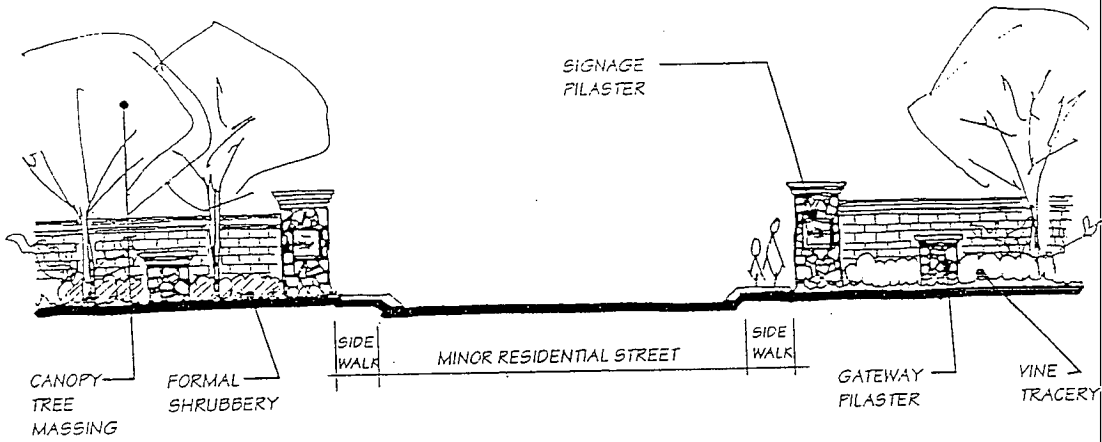
The DRC reserves the right to remove, upon seven days' notice, any flag or sign which is not in compliance with these Guidelines. The DRC also reserves the right of reimbursement for all costs related to the repair or removal of any such flag or sign.

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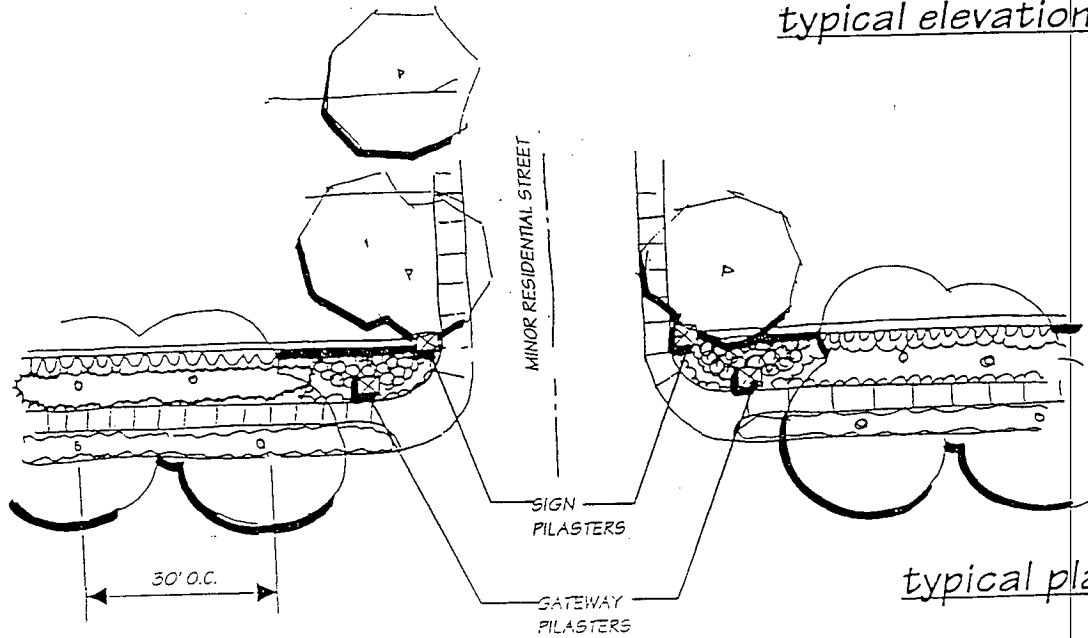
RESOLUTION NO.: _____

DATE ADOPTED: _____

Exhibit 7
Permanent Village Entries



typical elevation



typical plan

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DATE ADOPTED: _____

SECTION II: SITE DESIGN GUIDELINES

A. Building Orientation

For specific information, please see the single family building standards.

B. Landscaping and Setbacks

For specific information, please see the single family building setback standards.

C. Open Space

There will be approximately 1.6 acre portion of a park site at The Meadows. The plan allows for parks within convenient walking distance of local residents and provides a focal point for residential development. The locations follow a philosophy of dispersing parks and community amenities to the residential areas generating the demand for park space and allows green spaces to be enjoyed more conveniently by a greater number of people.

Park design and construction will be by the City of Sacramento and financed through the North Natomas Financing Plan, with the development team reserving the ability to construct parks consistent with City designs and standards. To the extent possible, the perimeter plantings of the parks will match the species on the opposite side of the street, in order to achieve a shady tree canopy.

Outdoor landscape elements such as benches, bollards, kiosks, clock towers, interpretive exhibits, trash receptacles, etc., should be compatible with the architecture of The Meadows area and the buildings to which they are associated. The use of treated or stained wood, brick, indigenous stone or rock, exposed aggregate concrete and painted steel are acceptable for the construction street furniture.

D. Parking

As a matter of policy, on-street parking is encouraged. To the extent that on-street parking is encouraged, off-street parking may be reduced on a site-by-site basis, at the discretion of the City. For specific information, please see the appropriate land use sections.

E. Air Quality Mitigation and Transportation Systems Management Strategies

1.) Air Quality Mitigation Strategy

See Sections F and G.

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2.) Transportation Systems Management Strategy

See Section G.

F. Lighting

Street lights to be installed throughout The Meadows will be per City of Sacramento standards, as will lights for public spaces. In certain locations, the DRC may require special street lighting and parking lot lighting, and/or may require the painting of City light standards.

1.) Exterior Lighting

Fixtures should be unobtrusive and complementary to the architectural design of the building. When lighting fixtures are viewed from the street or other public areas, there should not be observable glare. Exterior lighting plans will be subject to approval by the DRC.

2. Exterior Landscape Lighting

Limited to low, indirect sources. All fixtures should be placed in a manner to avoid glare when observed from the street or other public area. Fixture type, number and placement of lighting are subject to approval by the DRC.

a.) Up-Lighting

An above-grade shielded accent light is ideal if it doesn't produce glare and the fixture is concealed in landscaping. To prevent glare, fixtures should be aimed away from observers. Junction boxes must be placed below ground if they are readily visible from the street. Well lights shall not produce glare when the object being lit is viewed from any direction.

b.) Driveway and Path Lighting

Driveway and path lights should have high degree of light shielding to prevent glare, which inhibits full view of landscape.

c.) Spot lighting

If special architectural elements or landscape objects are spot lit, fixtures should be concealed and glare eliminated. Roof or post-mounted directional floodlights are not acceptable.

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d.) Security Lighting

Fixtures used exclusively for security lighting must be approved by the DRC.

G. Walls, Fences and Gates

1.) Walls

Walls are discouraged because they prevent movement between uses. Where walls must be provided, they shall follow a common design in order to create a consistent master-planned community character.

Walls shall be six (6) feet in height, comprised of split-face block unit (single-sided, split face) and pre-cast concrete cap, similar to that shown in Exhibit 8. Color shall be a light, natural earthen tone. Block shall be split-face finish and accented with cines planted a minimum of ten (10) feet on center. The wall cap shall be decorative cornice type. All color samples and identification will be provided by the DRC for future development consistency. An anti-graffiti sealer must be utilized to discourage graffiti.

Wall locations are shown in Exhibit 9. Other location may be added by the DRC as conditions warrant and may be suggested to the City by the DRC. City requirements for visibility shall be met.

2.) Fences

It is the intention of these Guidelines and the DRC to encourage varying fence patterns and types within a strong common street structure. Fence design, Finish and materials are to be approved by the DRC. Materials used in fence construction may be the type used in the architecture of the homes, such as wood, masonry, or wrought iron. No cyclone or wire fencing will be allowed. Fences shall be no higher than six (6') above lot grade.

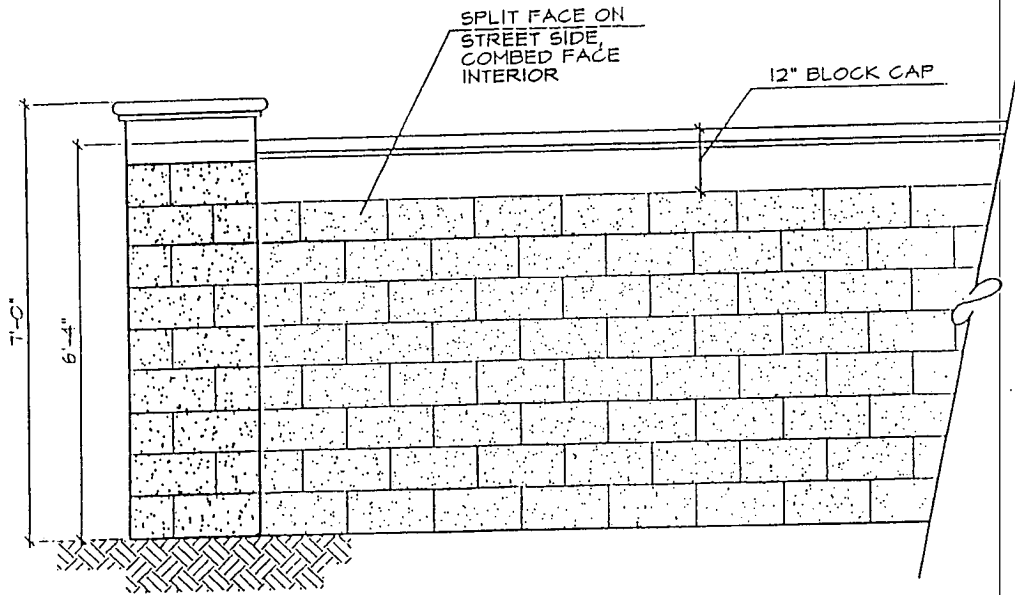
Wooden fences shall be constructed out of a minimum of 75% Western Red Cedar or Redwood. All wooden fencing visible from public area (as shown in Exhibit 10) shall be six (6) feet in height and shall have continuous top and bottom rails with split plan panels (see Exhibit 10). These fences may be stained with a semi-transparent stain in a neutral tone to be specified by the DRC.

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DATE ADOPTED: _____

Exhibit 8- Conceptual Wall Design

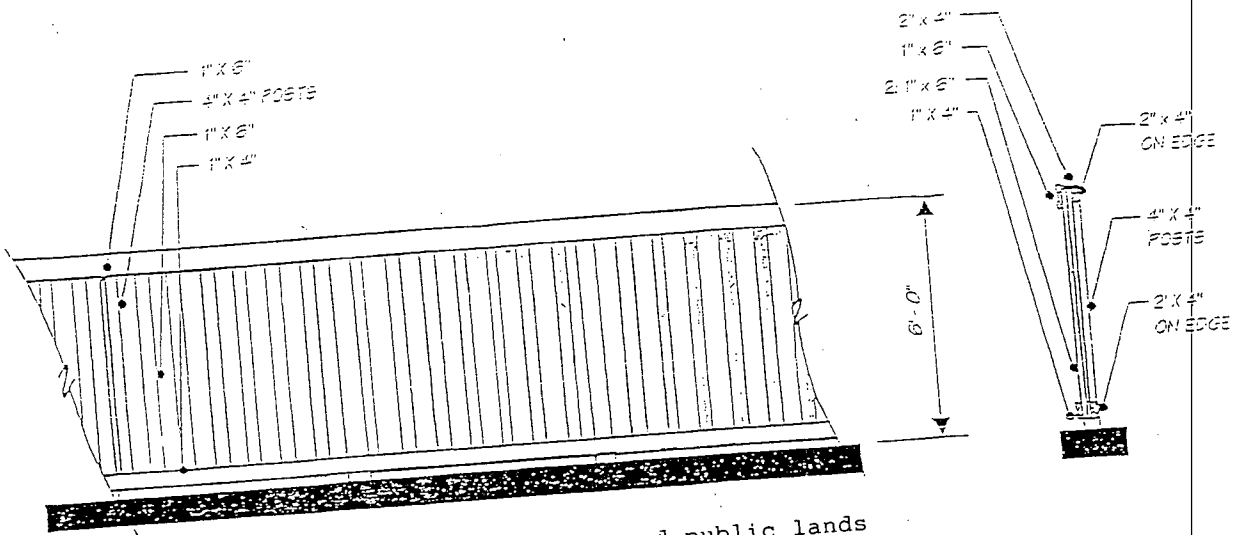


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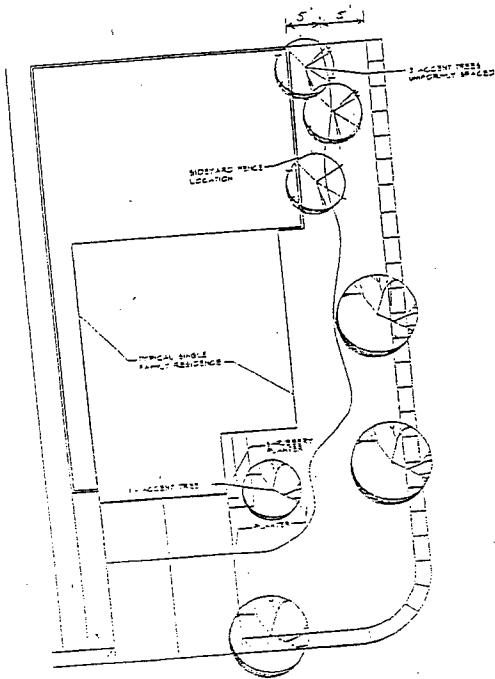
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DATE ADOPTED: _____

Exhibit 10- FENCING STANDARDS



Fencing facing streets and public lands



Corner Lot fencing

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DATE ADOPTED: _____

For fencing visible from streets or public areas, yet not shown on Exhibit 9, the DRC may utilize a semi-transparent stain, but will not require continuous top and bottom rails.

H. Temporary Project Identification and Detached Signs

This section focuses only on temporary signs. All temporary signs must be removed within 30 days of the lease, sale or completion of the subject property. For permanent project identification signage, please see the appropriate land use sections.

1.) Temporary Common Directional Signs

- a.) Function: to provide on-site directions and location for model home complexes, sales and leasing offices, commercial area, for circulation, safety and parking of motor vehicles, bicycles and pedestrian traffic.
- b.) Quantity: as reasonably needed to market the parcels and provide direction to sales offices, model homes, employers, and commercial centers, up to a maximum of 12 per neighborhood. The goal is to provide adequate direction while keeping visual "sign clutter" to a minimum.
- c.) Size: maximum of 40 square feet of copy area, inclusive of logo type header board and exclusive of base, maximum height of 10'0".
- d.) Design and Materials: coordinated among builders; must utilize common materials, typefaces and colors.
- e.) Copy: limited to name of builder and name of development or public amenity.
- f.) Location: all locations must be approved by the DRC. Signs must meet City setback and visibility requirements. Signs must maintain a 1'0" minimum setback, measured from any part of the sign to the nearest curb, or as needed to provide visibility at corners. Signs shall be no closer than 25'-0" from any other sign. If not on applicant's property, leasing of space must be arranged with parcel owner.

2.) Temporary Common Directional Signs

- a.) Function: to identify the location of a new home model complex and/or sales or leasing office.
- b.) Quantity: maximum of three (3) per village.
- c.) Size: maximum of 65 square feet, exclusive of base, with a total maximum height of 8'0" inclusive of base.

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d.) Design: no specific requirement, but would be compatible with builder and/or project logo.

e.) Materials: no specific requirement, but must be of high-quality, weather resistant materials.

f.) Copy: name of project and/or builder, telephone number, sales or leasing office days and hours. Only site-specific information is permitted.

g.) Location: City requirements for visibility shall be met. Signs cannot block stopping sight distanced or intersection clear zone, as required by the City.

3.) Temporary Common Directional Signs

a.) Function: exterior identification of model homes.

b.) Quantity: maximum of two (2) per model home.

c.) Size: maximum of four (4) square feet, exclusive of post or base.

d.) Design: no specific requirements.

e.) Materials: no specific requirement, but must be of high-quality, weather resistant materials.

f.) Copy: name of model and other relevant information, such as square footage, features, etc.

g.) Location: outside of model homes, either ground-mounted or on building.

4.) Temporary Banner, Flags, and Other Specialties

a.) Function: to identify each actively marketed residential and/or commercial project.

b.) Quantity: as reasonably needed, with a maximum of six (6) flags in each grouping, at key locations.

c.) Size: maximum height of 35'-0".

d.) Design: compatible with builder or project logo.

e.) Materials: nylon or similar weather-resistant fabric.

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f.) Copy: builder name and logo only.

g.) Location: on site. Banners must be attached at both ends and may be displayed from buildings, streetlight standards or freestanding poles.

5.) Temporary Site Signs

a.) Function: to identify the future use of a parcel of land and to provide on-site information about development and/or leasing.

b.) Quantity: maximum of two (2) per parcel and or street frontage.

c.) Size: signs shall be of a vertical or horizontal format, with copy area maximum of 32 square feet, inclusive of base 1'-0" in height.

d.) Design: must be approved by the DRC.

e.) Materials: wood or similar weather resistant construction, comparable to existing signs.

f.) Copy: specific copy regarding future facilities, site-leasing information, project contractor and subcontractor names, logos and telephone numbers.

g.) Location: on advertised site only, 10'-0" minimum setback, measured from any part of the sign to the nearest property line and/or driveway. City requirements for visibility shall be maintained.

h.) Timing: temporary signs must be removed from the property within 30 days of the lease, sale, or completion of the subject property.

I. Loading and Outdoor Storage

All loading and outdoor storage areas shall be screened from view to the extent possible, per City Zoning Ordinance, and with a wall design comparable with the design of the building.

J. Solid Waste and Recycling Enclosures

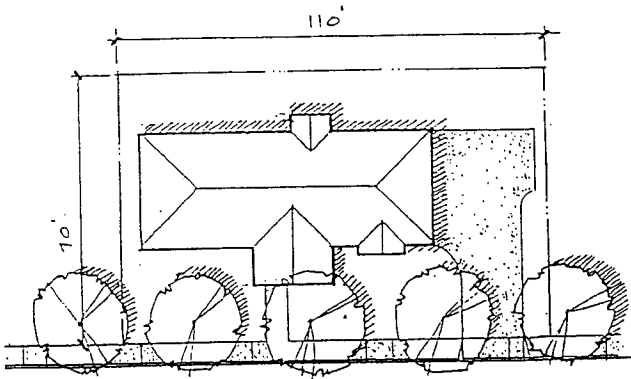
All solid waste and recycling enclosures shall be screened from view and shall comply with the City Zoning Ordinance.

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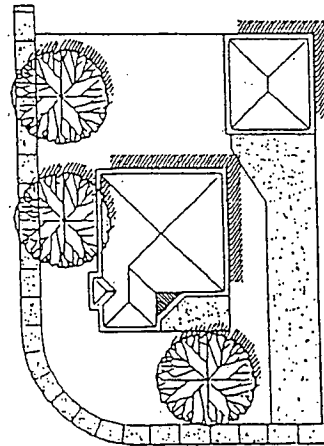
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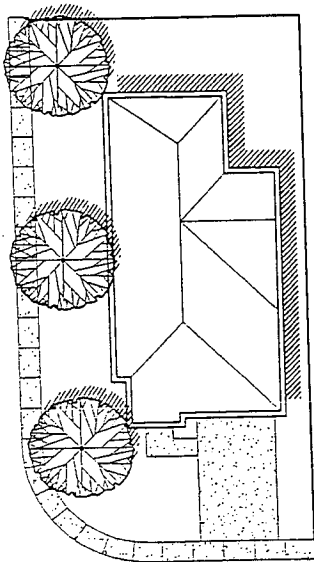
Exhibit 11-
EXAMPLES OF LOT TYPES



Wide and Shallow



Cottage



Patio

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DATE ADOPTED: _____

Accessory dwelling units such as “granny flat” are allowed to provide housing for extended families and rental opportunities within the single family area.

C. Lot Coverage

The lot coverage shall not exceed 45 percent for single story homes and 40 percent for two story homes, given the following allowances/incentives:

- Covered porches in the front or street side do not count toward the maximum lot coverage.
- Attached or detached garages that are recessed a minimum of four feet from the living area of the home (not the porch) count 50 percent toward the maximum lot coverage.
- At the homeowner’s discretion, an additional 100 square feet of accessory structure(s) may be built on the lot.
- A maximum of 50 percent of the lots within a village may exceed 40 percent lot coverage.
- A maximum of 10 percent of the lots within a village may have a lot coverage for single story homes not exceeding 48 percent with the applicable allowances for covered porch, recessed garage, and accessory structure.
- No more than 2 homes exceeding the lot coverage shall be located in a row along the street.

D. Setbacks and Building Orientation

Setbacks may vary for maximum flexibility, but with a goal of creating a comfortable street edge for pedestrians. Setbacks are designed so that porches can be encouraged – to bring the “social” part of the home closer to the sidewalk.

The goal of these Guidelines is to reduce the visual impact of garages on the streetscape, consistent with other goals such as diversity of housing types, and taking into account the special design considerations which may be required for various types of lots.

The above goals may be accomplished by a variety of means including but not limited to: garages which are detached or attached at or near the street of units or lots; garages which are set back equal to or behind the non-garage façade or porch; units with forward garages which also include courtyards, arbors, arches or other similar treatments to enhance the streetscape; or side-turned garages.

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It is recognized that there are special circumstances in which it may not be possible or desirable to design units with recessed garaged, in which case alternative treatments, including some listed above (i.e. courtyards, side-turned garages) shall be encouraged. It is also recognized that there can be diversity of designs on a street – i.e. some with garages recessed, some units with courtyards, some units with porches, and some units with garages forward.

1.) Conventional Shape Lots: The goal is to bring homes closer to the street while maintain a comfortable street edge. For conventional size lots (i.e. 45' X 100') the following minimum setbacks are required.

a.) Porch: On streets without split sidewalk, the recommended porch setback shall be 14' minimum from property line. On streets with split sidewalk, the setback may be reduced by 5'-0" consistent with public utility easement.

b.) Front of Building: On streets without split sidewalk, the recommended setback to the front of the home, excluding porch, shall be 16' minimum from property line; on streets with split sidewalk, 12'6" minimum from property line.

c.) Side Yard: 5'0" minimum on each side, with the exception of zero-lot line conditions, which shall be 5'-0" and 0". Garages and/or accessory dwelling units which are with detached and/or recessed a minimum of 50' from the street may have a 0'-0" side yard setback, subject to Building Code. Architectural pop-outs such as bay windows, fireplaces, and entertainment centers may encroach into the side yard setback by 2'-0", subject to Building Code. Street side setbacks shall be a minimum of 12'-6". For lots that side on to Natomas Boulevard, the side yard setback shall be 5' as measured from the back of the 12.5' landscape corridor located adjacent to Natomas Boulevard.

d.) Rear Yard: The setback is 15' minimum, or zero for detached garages, subject to Building Code. Rear yard balconies are subject to the rear yard setback of 15'. Architectural pop-outs such as bay windows, fireplaces and entertainment centers may encroach into the rear yard setback by 2'-0", subject to building code. For lots that back up to Natomas Boulevard, the rear yard setback shall be measured from the back of the 12.5' landscape corridor located adjacent to Natomas Boulevard.

e.) Garage Setbacks: The goal is to reduce the impact of the garage and driveway on the streetscape, while providing adequate off-street parking. For front drives or street side, the minimum setback is 20'.

f.) Accessory Dwelling Units: allowed and encouraged, subject to Building Code and any relevant setbacks listed above.

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2.) Non-Conventional Shape Lots:

In addition to conventionally shaped lots, it is recognized that innovative designs for higher density homes in single-family areas are allowed. For non-conventional shape lots, the following minimum setbacks are required.

- a.) Porch: On streets without split sidewalk, the recommended porch setback shall be 10' minimum from property line. On streets with split sidewalk, the setback may be reduced by 2'-6" consistent with the public utility easement.
- b.) Front of Building: On streets without split sidewalk, the recommended setback to the front of the home shall be 10'-0" minimum from property line, to the extent consistent with the public utility easement.
- c.) Side Yard: 4'-0" on each side, subject to Building Code, with the exception of zero-lot line conditions, which shall be 5'-0" and 0'. Garages and/or accessory dwelling units which are either detached and/or recessed a minimum of 50' from the street may have a 0'-0" side yard setback. Architectural pop-outs such as bay windows, fireplaces and entertainment centers may encroach into the side yard setback by 2'-0". Street side setbacks are a minimum of 12'-6". For lots that side on to Natomas Boulevard, the side yard setback shall be 5' as measured from the back of the 12.5' landscape corridor located adjacent to Natomas Boulevard.
- d.) Rear Yard: No minimum setback. The recommended setback is 10'-0" minimum, or zero for detached garages with an average setback of 15'-0" with the individual lot. Subject to Building Code. Rear yard balconies are subject to the rear yard setback of 10', with an average setback of 15'. Architectural pop-outs such as bay windows, fireplaces and entertainment center may encroach into the rear yard setback by 2'-0", subject to building code. For lots that back up to Natomas Boulevard, the rear yard setback shall be measured from the back of the 12.5' landscape corridor located adjacent to Natomas Boulevard.
- e.) Garage Setbacks: The goal is to reduce the impact of the garage and driveway on the streetscape, while providing adequate off-street parking. For front drives or street side drives, the minimum setback is 20'-0" or more from the property line. When located on an alley, the minimum garage setback is 5'-0" from the alley.
- f.) Accessory Dwelling Units: allowed and encouraged, subject to Building Code and any relevant setbacks listed above.

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E. Landscaping and Fencing

1.) General Conditions

All landscaping and fencing must be maintained according to the master *Convenants, Conditions and Restrictions* of The Meadows.

2.) Landscaping on Private Property

The goal is to regulate only that landscaping which is visible from streets and from other public areas. It does not include landscaping in private yards. The primary goal is to provide a framework of street trees (see Exhibits 3 and 4) within which individual single-family homeowners can exhibit variety and creativity.

Maintenance of private property landscape materials and irrigation systems are the responsibility of the homeowner and shall meet generally accepted community standards.

The Meadows shall be defined by its comfortable, tree-lined streets. All single-family residential streets shall be lined with shade trees, planted in a linear pattern along the sidewalk, to provide a cool and comfortable environment for resident. Particularly in the current era of production hosing, the consistent use of shade trees, with species pre-selected for each street, will provide a cohesive appearance to the community while improving the aesthetic environment and air quality... Single-family homes will serve as a "backdrop" to the tree-lined streets.

With this intent to provide a shady tree canopy over the sidewalk, the parcel builder shall provide and install an average of two 15-galloon size trees per lot frontage, with the trees specified on the Street Tree Matrix in Exhibits 3 and 4. These trees shall have an average spacing of 30,' on center, as measured long the entire length of the street.

Street trees shall be located 5'-0" in distance behind the back of sidewalk, except for streets with split sidewalk (sidewalks not abutting the back of curb), where they will be planted between the sidewalk and the curb.

Where there are split sidewalks, there shall be a 5'-wide continuous planter, interior dimension, on designated streets between the sidewalk and the curb.

For corner lots, the exposed sideyard facing the street shall also be planted with trees planted approximately 30'-0" on center, as per the Street Tree Matrix in Exhibit 3. If spacing is interrupted by streetlights or driveways, the trees shall be re-spaced to accommodate required clearance while maintain the required quantity of trees on average. Under street trees in split sidewalks and non-split

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sidewalk, turf or low-growing ground cover shall be planted. All plating shall conform to City standards for sight line requirements at intersections and driveways.

3.) Front Yard Fencing.

The goal is to create a harmonious streetscape while allowing diversity. Fence and hedge heights and locations unify diverse elements of the streetscape. If front yard hedges are installed, they shall be maintained at a maximum of 36 tall. The hedge may be set back and ground cover installed in front, though the hedge may be installed at back of sidewalk and returned along the side yard property line.

A fence may be erected behind hedge, if desired, with a maximum height of 3'-6". The fence's top rail shall be broken horizontally across the width of the lot, and the fence and the hedge top shall be a consistent horizontal height along the width of each lot. Fence shall be a minimum of 50 percent open to provide visibility between the front yard and the public street.

Allowed fencing materials include wood, and wrought iron, with brick and masonry posts. No chain link fencing is permitted. All fencing along front yard and street sides shall be required to have a minimum of 3'-0" in front for landscaping.

4.) Side Yard Fencing

Fences up to six feet (6'-0") from lot grade are allowed except within the front setback. Within this setback the fence shall be no greater than 3'-6" in height. Side yard fences shall be consistent with adjacent front and back fence height, material and colors.

Exposed side yard fences must be softened with hedges or other plantings, of one-gallon minimum size, planted 5' on center along the entire length of fence.

5.) Rear Yard Fencing

Rear yard fences of up to six feet (6'-0") in height from lot grade are allowed. For areas visible form public streets and parks, requirements are detailed below. The goal is to create privacy while keeping open the public view corridor.

6.) Fencing Visible from Public Areas

Fencing visible from public areas shall be no higher than six feet (6'0") above street grade, and may be stained with semi-transparent stain in a neutral tone to be specified by the DRC, intended as a unifying element of the streetscape. Other architectural materials may be incorporated, upon DRC approval.

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Side and rear yard fences visible from the parks and public areas which are composed of wood shall have continuous top and bottom rails. This applies only to those locations indicated in Exhibit 9.

7.) Gates

The DRC can determine when and where individual gated access may be required and/or allowed. Wrought iron or quality wood gates may be provided to allow access from rear yards to public areas such as parks and open spaces. Gates shall be designed to accommodate emergency access.

8.) Landscape Structures in Public View

Generally, all additional residential accessory structures such as gazebos, arbors, and storage sheds shall conform to pertinent City standards and these Guidelines for setbacks and materials. All structures shall be approved by the DRC.

F. Building Height

Single-family residences shall be limited to two stories in height, excluding basements, which are permitted.

G. Building Design

1.) Architectural Standards

While the overall goal is one of architectural harmony, variety is important and is strongly encouraged. The use of different "styles" and materials is intended to add variety to the buildings.

To balance this diversity, the public design features – street landscaping, visible fencing, arcades, entries, esplanades, and public buildings – will be treated with any eye to unity and consistency. These architectural parameters apply to all lots, but are intended to control only those aspects which are directly viewed from the public areas.

2.) Model Variations

In order to prevent the appearance of discrete tracts and promote the sense of whole community, each homebuilder should promote as much variety in design as possible within each village, as well as between villages.

For 50-100 homes, at least three model and three elevations of each model shall be required. For fewer than 50 homes, this may be reduced to two models. For greater than 100 homes, this may be increased to at least four models. The different models should exploit the possibilities of variation in design, material and color as well as

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floor plan. It is recognized that for higher-density single-family area, it may be desirable to have greater design consistency.

Elevation variations within villages should include differing porch treatments, window design, exterior wall materials, roofing materials, and bay treatments. Between villages elevation variations should use different architectural styles, building massing and details, as well as different façade and roof designs.

3.) Porches and Entries

Porches are encouraged to create a buffer and human-scale layer between the sidewalk and the house, and a social edge to the private dwelling in which people can choose to "see and be seen" along the neighborhood streets. Front entries are encouraged to be visible from the street.

Setbacks have been adjusted to allow for porches and to encourage variety along the street. The porch should provide space for the primary entrance to the house and be covered by a roof. In order to be fully utilized, the recommended size for porches is 5'-0" deep, and 8'-0" in length. It is recommended that the porch be raised 8"-12" or at least one (1) step above adjacent ground. The porch can be integrated with second floor elements to provide balconies and decks./ Various types of roof supports are encouraged.

4.) Garages and Driveways

It is recommended the garage doors have a minimum of 12" recess from the frame, to create a shadow and further architectural interest.

"Hollywood-style" driveways are allowed. For single car driveways, this consists of two hard paved tire paths, 2'-0" to 3'-0" wide, separated by a landscaped strip at least 2'-6" wide. For double-car driveways, the "Hollywood" drive consists of a landscaped strip at least 2'-6" wide between the two driveways. Tandem garages are encouraged.

5.) Roofs

The pitch of the roof shall be at least five feet (5') in twelve feet (12'), provided that the DRC may permit a roof with a pitch of less than five in twelve if the roof is harmonious with the overall design of the proposed improvement and is aesthetically pleasing to the DRC. The porch should be the same pitch as the house, flat roofs are to be avoided.

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6.) Projections and Bays

In order to encourage variety and scale in the facades, bays and projections will be permitted to encroach up to 3'-0" into the front yard building setback, and up to 2'-0" into the side yard building setback and 3'-0" into the rear yard setback.

7.) Mechanical

All electric, gas, television and telephone lines shall be placed underground. No heating, cooling or air conditioning equipment, including fans or similar devices, shall be placed on the building roof. Large visible satellite dishes and telephone receiving equipment are not permitted or their appearance from the street or adjacent public areas must be minimized. Mechanical equipment will be installed in manner consistent with the Comprehensive Floodplain Management Plan.

8.) Floor Plans and Internal Design.

Floor plans and internal features shall be designed to facilitate recycling, including provisions for recycling enclosures.

H. Building Materials and Colors

1.) Exterior Materials

Variation in building facades should be achieved, in part, by using a variety of materials along each street, including, but not limited to, stucco, wood siding, stone and brick. Street elevations should be broken with reveals, recesses, trim elements and other architectural features to provide visual interest. Back lighted address numbers should be included on the exterior building façade.

In general, high quality materials are encouraged, and pre-fabricated inexpensive materials are discouraged; exterior plywood, such as T-1-11, is prohibited.

2.) Colors

Each home shall have a minimum of two exterior wall colors. Within each village of homes, there should be a minimum of five (5) palettes of colors.

3.) Material Changes

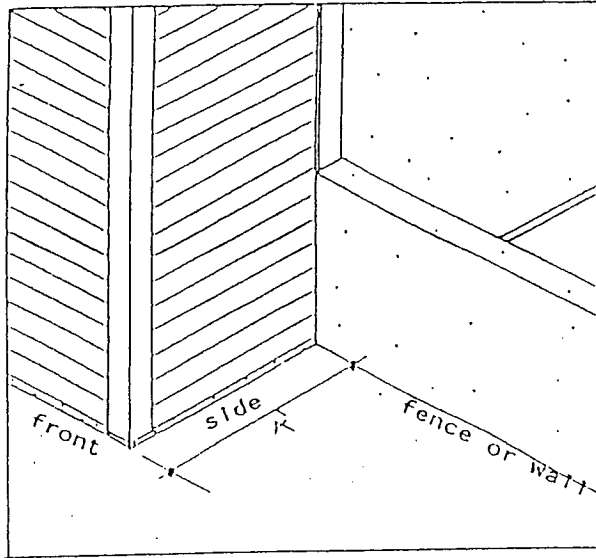
In order to avoid the appearance of a false applique, no material change is allowed at corners. Material changes must occur at reverse corners or must return on the side wall toward the privacy fence. In no case shall this return be less than 4'-0" for siding, or 2'-0" for non-stucco materials such as rock or brick. See Exhibit 12.

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Exhibit 12- Material Change at Corners



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4. Roofs

It is recommended that roofing materials vary in type – such as cedar shake, concrete tile, ceramic tile, and architectural –quality (minimum 25-year life expectancy) composition shingles – as well as configuration of design and construction technique.

I. Parking

1.) Off-Street Parking

A minimum of one (1) car attached or detached garage is required for each dwelling unit. Carports are prohibited unless located in the rear of the lot and not visible from the right-of-way.

2.) On-Street Parking

On-street parking is encouraged. A minimum of one (1) on-street space at curbside shall be provided for each residence. Where parking is limited to one side of the street, or prohibited due to reduced roadway sections, or where lot widths are less than 45', a 50 percent reduction in this requirement is allowed.

J. Air Quality Mitigation and Transportation System Management Strategies

Please see Sections F and G. In addition to the strategies outlined above, there are several aspects which are specific to single-family standards.

Builders are encouraged to design their homes to provide for innovations of the future. With the increasing use of electric cars, builder shall be encouraged to make their home and/or garaged flexible to accommodate on-site re-charging stations.

Builders are allowed to use split sidewalks within the villages, and these Guidelines make is more feasible to design homes with front porches. By enhancing the streetscape, more residents may be compelled to leave their care at home and travel by bicycle or on foot.

K. Toxic and Hazardous Material Handling

The City provides hazardous waste recycling and disposal opportunities for private households.

L. Signage

See Section II, "Project Identification and Detached Signs."

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M. Lighting

Street lights to be installed throughout The Meadows will be per City of Sacramento standards, as will lights for parking lots and other public spaces. In certain locations, the DRC may require special street lighting and parking lot lighting , and /or may require the painting of City light standards.

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Exhibit 13
Other Recommended Trees, Shrubs and Groundcovers

Botanical Name	Common Name	Water Reqmnts.
Abelia grandiflora	Glossy Abelia	H
Agapanthus "Queen Anne"	Lily-of-the-Nile	L
Agapanthus africanus	Lily-of-the-Nile	L
Agapanthus africanus "Peter Pan"	Lily-of-the-Nile	L
Arbutus unedo "Compacta"	Strawberry Tree	M
Arctostaphylos densiflora "Howard McMinn"	Manzanita	L
Choisya ternata	Mexican Mock Orange	H
Cistus purpureus	Orchid Rockrose	L
Cotoneaster horizontalis	Rock Cotoneaster	L
Dictes bicolor	Fortnight Lily	L
Escallonia "Fradesii"	Escallonia	M
Escallonia "Terri"	Dwarf Escallonia	M
Euonymus fortunei	Euonymus	M
Euryops pectinatis "Viridis"	Euryops	L
Grevillea "Noelii"	Grevillea	M
Hebe "Coed"	Hebe	M
Hemerocallis hybrida	Daylily	M
Juniperus chinensis "Mint Julep"	Mint Julep Juniper	L
Juniperus chinensis "San Jose"	San Joe Juniper	L
Juniperus chinensis "Sea Green"	Sea Green Juniper	L
Leptospermum scoparium	New Zealand Tea Tree	L
Ligustrum japonicum "Texanum"	Privet	H
Myrtus communis	Myrtle	L
Photinia fraseri	Photinia	M
Pittosporum tobira	Tobira	M
Pittosporum tobira "Wheeler's Dwarf"	Tobira	M
Pittosporum tobira "Variegata"	Tobira	M
Rhapiolepis "Majestic Beauty"	Majestic Beauty Rhapiolepis	L
Rhapiolepis indica "Clara"	India Hawthorn	L
Rhapiolepis indica "Ballerina"	India Hawthorn	L
Syringa vulgaris	Lilac	H
Viburnum tinus "Spring Bouquet"	Laurustinus	L
Viburnum tinus "Dwarf"	Dwarf Laurustinus	L
Xylosma congestum "Compacta"	Xylosma	L

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Exhibit 13
Other Recommended Trees, Shrubs and Groundcovers

Botanical Name	Common Name	Water Requirement
<i>Clematis armandii</i>	Clematis	H
<i>Clytostoma callistegioides</i>	Violet Trumpet Vine	M
<i>Ficus repens</i>	Creeping Fig	H
<i>Parthenocissus tricuspidata</i>	Boston Ivy	M
Rosa "Cecile Brunner"	Climbing Rose	M

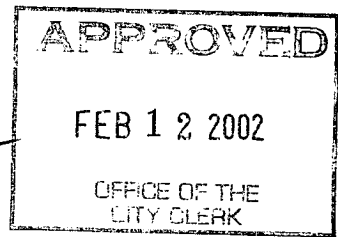
RECOMMENDED GROUNDCOVER

Botanical Name	Common Name	Water Requirement
<i>Acacia redolens</i>	Acacia	L
Annuals	Selected for Season	H
<i>Arctostaphylos "Emerald Carpet"</i>	Manzanita	L
<i>Baccharis pilularis "Twin Peak"</i>	Coyote Brush	L
<i>Ceanothus gloriosus</i>	Pt. Reyes Creeper	L
<i>Cotoneaster "Lowfast"</i>	Cotoneaster	L
<i>Hedera helix "Baltica"</i>	English Ivy	M
<i>Hypericum calycinum</i>	St. Johnswort	M
<i>Iberis sempervirens</i>	Evergreen Candytuft	M
<i>Juniperus chinensis "Alba"</i>	Variegated Prostrata Juniper	L
<i>Juniperus horizontalis "Bar Harbor"</i>	Bar Harbor Juniper	M
<i>Rosmarinus officianalis "Prostratus"</i>	Rosemary	L
<i>Trachelopernum asiaticum</i>	Asian Jasmine	M
<i>Trachelopernum jasminoides</i>	Star Jasmine	M
Turf	Dwarf Fescue Blends	H

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RESOLUTION NO.: _____

DATE ADOPTED: _____



RESOLUTION NO. 2002 - 075
ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

RESOLUTION ADOPTING AN INCLUSIONARY HOUSING PLAN FOR THE MEADOWS DEVELOPMENT PROJECT LOCATED IN NORTH NATOMAS, WEST SIDE OF NATOMAS BOULEVARD, APPROXIMATELY 670 FEET NORTH OF CLUB CENTER DRIVE, SACRAMENTO, CA

(P00-048) (APNs:201-0310-036, 201-0310-037)

WHEREAS, the Mixed Income Housing Policy adopted in the City of Sacramento Housing Element and required by the City's Mixed Income Housing Ordinance, requires that ten percent of the units in a residential development project be affordable to very low income households and five percent to low income households; and

WHEREAS, the City Council conducted a public hearing on February 12, 2002 concerning the above Inclusionary Housing Plan and based on documentary and oral evidence submitted at the public hearing, the Council hereby finds:

The proposed Plan is consistent with Chapter 17.190 of the City Code which requires an Inclusionary Housing Plan setting forth the number, unit mix, location, structure type, affordability and phasing of the Inclusionary Units in the residential development;

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Sacramento that:

The Inclusionary Housing Plan for Meadows Project is hereby adopted as attached hereto as Exhibit 1.

MAYOR

ATTEST:

CITY CLERK

P00-048

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RESOLUTION NO.: _____

DATE ADOPTED: _____

EXHIBIT: INCLUSIONARY HOUSING PLAN

INCLUSIONARY HOUSING PLAN THE MEADOWS PROPERTY

November 29, 2001

Introduction

Lennar Winncrest, LLC is the owner and developer (the "Developer") of certain real property in the City of Sacramento known as The Meadows property on which it proposes to construct an exclusively single family development (the "Development Project") including 146 single family homesites (the "Residential Project").

The Mixed Income Housing Ordinance, City of Sacramento Municipal Code Chapter Title 17 (Zoning), Chapter 17.190, requires that ten percent (10%) of the units in a residential development project be affordable to very low income households and five percent (5%) to low income households (the "Inclusionary Requirement" and "Inclusionary Units"). The developer proposes that this inclusionary obligation be met off-site, pursuant to Section 17.190.060 of the ordinance.

As part of the legislative entitlements for the Development Project, Chapter 17.190 of the City Code, section 17.190.110 (A) requires an Inclusionary Housing Plan setting forth the number, unit mix, location, structure type, affordability and phasing of the Inclusionary Units in the Residential Development. This document constitutes that Plan, and, as supplemented and amended from time to time, is intended to begin implementation of the Inclusionary Requirement. All future approvals for the Development Project, including final maps, subsequent tentative maps, planned development permits, special permits, site development plans, and plan reviews shall be consistent with this Inclusionary Housing Plan.

The Inclusionary Requirement for the Residential Project will be set forth in more detail in the Inclusionary Housing Agreement executed by the Developer and the Sacramento Housing and Redevelopment Agency ("SHRA") and recorded against the Meadows property and Northpointe Park Parcel 17 ("offsite location"). The Inclusionary Housing Agreement will describe with particularity the site and building schematics and financial arrangements for the construction and financing of the Inclusionary Units, pursuant to Section 17.190.110 C. The Inclusionary Housing Agreement shall be consistent with this Plan.

Residential Numbers

The Residential Project proposed by the Developer includes 146 single family homesites. Based on this submission, the inclusionary requirement is 15 units affordable

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to very low-income households and 7 units affordable to low income households. However, because the off-site affordable housing development that contains the Meadows' inclusionary housing obligation is advancing through the planning approval process ahead of the Meadows' legislative entitlements, the number of inclusionary housing units required will be based on the lower of the average target density or the actual number of units approved for the Meadows site. *The maximum potential inclusionary requirement for the Meadows property is therefore 22 units affordable to very low-income households and 11 units affordable to low income households. This obligation will be met on an off-site location, Northpointe Park Parcel 17.*

If the legislative entitlements and project approvals for the Meadows property decrease the number of residential units, this Plan will be amended to reflect a number equal to five percent (5%) Low Income Units and ten percent (10%) Very Low Income Units of the total residential units in the Meadows' entitlements; provided, however, that after a building permit has been issued for the multifamily housing on Northpointe Park Parcel 17, which contains inclusionary units, the number of required inclusionary units shall not exceed the maximum potential inclusionary requirement of 22 units affordable to very low income households and 11 units affordable to low income households.

Inclusionary Units by Type and Tenure

The 33 Inclusionary Housing units will be rental apartments constructed at a superior nearby off-site location (described below) as part of an apartment project with a mix of affordable and market-rate units. The Inclusionary Housing Units will be a mixture of one, two, and three bedroom units to accommodate diverse family sizes. The Inclusionary Housing Agreement will set forth the precise bedroom mix and unit size.

The 22 units affordable to very low income households will be restricted to occupancy by households with incomes that, at the time of occupancy, do not exceed fifty percent (50%) of the Sacramento area median income, adjusted for family size. Rents for these units shall not exceed one twelfth of thirty percent (30%) of fifty percent (50%) of the Sacramento area median income, adjusted for family size.

The 11 units affordable to low income households will be restricted to occupancy by households with incomes that, at the time of occupancy, do not exceed eighty percent (80%) of the Sacramento area median income, adjusted for family size. Rents for these units shall not exceed one twelfth of thirty percent (30%) of eighty percent (80%) of the Sacramento area median income, adjusted for family size.

The term of affordability for the Inclusionary Housing Units will be a minimum of 30 years from the date of recordation of the Inclusionary Housing Agreement.

Location of Off-Site Inclusionary Units

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The Inclusionary Units will be included in a mixed-income rental apartment community to be constructed on Northpointe Park Parcel 17, located near the southeast intersection of Club Center Drive and Danbrook Drive in the Northpointe Park subdivision (see attached site map.) The parcel is owned by Lennar Communities and will be transferred to an affordable housing developer.

Planning Director's Findings

The Planning Director has made the following findings with regard to this off-site location, and has determined that the proposal is in conformity with Section 17.190.060 of the Sacramento City Code.

Standard for Approval: More cost-effective solution or superior location. The location of Northpointe Park Parcel 17 is superior to an affordable development on the Meadows site because it is adjacent to a transit hub, elementary and middle schools, a community park, and future day care center. The Meadows property does not have this complement of features. The primary financing sources for the affordable development – the California Debt Limit Allocation Committee and the California Tax Credit Allocation Committee – also give priority to these location features.

Number of Inclusionary Units: The maximum potential inclusionary housing units to be required from the Meadows development, a figure derived from the average target density for the site, is 33 units, including 22 units affordable to very low-income households and 11 units affordable to low-income households, all of which can be accommodated on the Northpointe Park site. The number of required inclusionary units will be calculated based upon the lower of the average target density or the actual number of units approved for the Meadows site. The Northpointe Park development is proposed for 208 apartments in a mixed-income community. The site is zoned R-3 (PUD), is graded, and is improved with streets and utility services. It is not encumbered by Habitat Conservation Plan issues.

Site Suitability: The site is suitable and zoned for apartments, is located adjacent to parks, schools, and transit, and is graded and improved with streets and utility services, as described previously. The development of Parcel 17 as a mixed-income housing development does not trigger the over-concentration provisions of Section 17.190.110 because the site is surrounded by current and proposed development that is exempt from the inclusionary housing requirements and there are no existing nearby income-restricted projects.

Site Identification and Regulatory Status: The off-site location, Northpointe Park Parcel 17, has been identified. As part of the Northpointe Park PUD, it has received its legislative entitlements. With regard to the phasing requirements of the ordinance, the affordable housing developer has submitted an application for a Planning Director's Special Permit, which will precede the first final map for the single-family Meadows site. The inclusionary component is proceeding in advance of the linkage requirements of the ordinance.

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Planning Director Action: The Inclusionary Housing Plan will become a condition of approval of the applicable legislative entitlements for the Meadows property.

Implementation: The ordinance's requirement for timely, contemporaneous development has been met in part by Lennar Communities' ownership of the off-site location and its having entered into a contract for sale to an affordable housing developer, St. Anton Capital, LLC. The off-site developer is proposing that SHRA approve the issuance of tax-exempt mortgage revenue bonds and an application to the California Debt Limit Allocation Committee in its first round of funding in 2002. By that time, ownership of the land will have been transferred from Lennar Communities to St. Anton Capital LLC. Prior to transfer of title, Lennar Communities will record a covenant running with the land to ensure that no less than the required number of inclusionary housing units will be built and maintained on Northpointe Park Parcel 17. An Inclusionary Housing Agreement will also be recorded against the site.

Phasing / Linkages

1. Approval of legislative entitlements for the Meadows Residential Project will be contingent upon the approval of the Inclusionary Housing Plan. The Planning Director's approval of the inclusionary housing off-site location (Northpointe Park Parcel 17) will be contained in the Plan.
2. Approval of the first final map for the Meadows Residential Project will be subject to:
 - a. approval of the Planning Director's Special Permit for the Northpointe Park Parcel 17 multifamily development,
 - b. execution/recordation of the Inclusionary Housing Agreement, and
 - c. transfer of the Northpointe Park Parcel 17 to the affordable housing developer.
3. Issuance of building permits for the 3 acres South of "A" Street and West of "D" Street in the Southwest corner of the Meadows property (lots 58-75) will be contingent on the Northpointe Park Parcel 17 multifamily development obtaining an allocation from the California Debt Limit Allocation Committee, otherwise obtaining all external financing for its development, or the issuance of building permits for the multi-family development. The 3 acre site is intended to provide a back-up location for the inclusionary units until the above conditions are met.

Amendment and Administration of this Housing Plan

This Inclusionary Housing Plan shall be administered by the Planning Director with the advice of the Executive Director of SHRA. The Planning Director may make minor administrative amendments to the text of this Plan as provided in Sacramento City Code section 17.190.030.

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RESOLUTION NO.: _____

DATE ADOPTED: _____

**CITY PLANNING COMMISSION
CONSENT ITEMS**

CPC AGENDA DATE: Jan. 10, 2002

Item No.	Project No.	Title/Location	Action: Approved/ Denied/Cont'd
1.	P00-048	The Meadows located at West side of Natomas Blvd.	<i>Approved</i>
3.	P01-022	Arena Corp Center located on the West Side of Truxel Rd.	<i>Approved</i>
4.	P01-048	Cingular Wireless Telecommunications Site at 5301 F Street	<i>Approved</i>
5.	P01-125	Continental Plaza PUD Amendments located at 425 North 7 th Street	<i>cont. Feb 28</i>
6.	P01-135	Kempton Guest House located at 928 45 th Street	<i>hearing</i>
7	<i>M02-001</i>	<i>CPC meeting schedule</i>	<i>Approved</i>

VOTE OF THE PLANNING COMMISSION:

COMMISSIONER	Motion (M)/ Second (S)	YES	NO	ABSTAIN
Duruisseau	<i>M</i>	<input checked="" type="checkbox"/>		
Harvey		<input checked="" type="checkbox"/>		<i>3</i>
Waste		<input checked="" type="checkbox"/>		
Kennedy		<i>Absent</i>		
Jones		<i>Absent</i>		
Taylor-Carroll		<input checked="" type="checkbox"/>		
Valencia				
Bacchini		<input checked="" type="checkbox"/>		
Jacobs	<i>S</i>	<input checked="" type="checkbox"/>		

P00-048 - THE MEADOWS

- REQUEST:
- A. Environmental Determination: **Negative Declaration**
 - B. **Mitigation Monitoring Plan;**
 - C. **Development Agreement** between Lennar Winncrest LLC and the City of Sacramento;
 - D. **PUD designation** with Schematic Plan and Guidelines to be known as the Meadows PUD, and
 - E. **Tentative Map** to subdivide 28.2± gross acres into 146 single-family residential lots, 1 park lot, 2 landscape lots, and 1 RD-1000 lot.

LOCATION: West side of Natomas Boulevard approximately 670 feet north of Club Center Drive
APN: 201-0310-036, 201-0310-037, 201-0440-028 (portions)
(North Natomas Community Plan Area)
Natomas Unified School District
Council District 1

APPLICANT:	Don Barnett, Lennar Communities, 2240 Douglas Boulevard, Suite 200 Roseville, CA 95661 (916) 783-3224
OWNER:	Don Barnett, Lennar Communities, 2240 Douglas Boulevard, Suite 200 Roseville, CA 95661
PLANS BY	Woods-Rodgers c/o: Paul Meuser 3301 C Street Bldg. 100-B Sacramento, CA 95816
APPLICATION FILED:	April 3, 2000
STAFF CONTACT:	David Kwong, (916) 264-2691

66

SUMMARY:

The proposed project includes a Development Agreement between the City of Sacramento and Lennar Wincrest, LLC, the establishment of a Planned Unit Development by depicting a schematic plan and adopting guidelines for the development of an entirely single-family PUD. The project also includes a tentative map to subdivide the land into 146 single family lots, 28.2± gross acres into 146 single-family residential lots, 1 park lot, 2 landscape lots, and 1 RD-1000 lot. This PUD once establish will be incorporated into Neighborhood 9 or the Northborough area of the North Natomas Community Plan.

An important issue that staff identified and evaluated with this project is with the overall project density. The project site provides a net density of 8.0 units to the acre.

RECOMMENDATION:

Staff recommends approval of the project, based on findings of fact and subject to conditions.

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential Parks-Recreation Open Space
Community Plan Designation:	Medium Density Residential Parks/Open Space
Existing Land Use of Site:	Vacant
Existing Zoning of Site:	Single Family Alternative (R-1A) Planned Unit Development (PUD) and Agriculture-Open Space (A-OS) Planned Unit Development (PUD)

Surrounding Land Use and Zoning:

North: Vacant; Single Family Residential (R-1) Planned Unit Development (PUD) Zone
 South: Vacant; Agriculture-Open Space (A-OS) Planned Unit Development (PUD) Zone
 East: East Main Drainage Canal; Agriculture-Open Space (A-OS) Planned Unit
 Development Zone
 West: Vacant; Single Family Alternative (R-1A) Planned Unit Development Zone and Multi-
 Family (R-3) Planned Unit Development Zone

Property Dimensions:	880' x 1170'
Property Area:	28.2± gross acres 18.2 net acres
Density of Development:	8.0± dwelling units per net acre
Topography:	Flat

Street Improvements: Existing and to be constructed
 Utilities: Existing and to be constructed

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Planning Director's Special Permit	Planning Division
Transportation Management Plan	Public Works, Transportation Division
Final Map	Public Works, Development Services
Building Permit	Building Division

BACKGROUND INFORMATION:

On May 21, 1987, the City Council approved a Development Agreement, Planned Unit Development (PUD) designation, and Rezone (P87-044) of the subject site. The applicant is now requesting a new Development Agreement, establishing the Meadows PUD Schematic Plan and Guidelines, and a Tentative Map specific to the project being proposed today.

STAFF EVALUATION: Staff has the following comments:

A. General Plan

The General Plan designates the subject site as Low Density Residential (4-15 du/na) and Parks-Recreation Open Space. The project, at 8.0 dwelling units per net acre, is consistent and within the density ranges of the Low Density Residential general plan designation.

B. North Natomas Community Plan

The North Natomas Community Plan designates the subject site as Medium Density Residential (7-21 du/na) and Parks/Open Space. The proposed project, at 8.0 is at the lower range of this designation. The target density is 12 units to the acre. Although the project is short of the target, it is still considered to be consistent with the community plan as the project density is within the range allowed for medium density. Staff has also identified the following supportive reasons for the development of this medium density site with single family housing. The applicants have not requested general plan or community plan amendments and are applying for entitlements consistent with these designations originally granted in 1987. Second, the zoning is currently R-1A (which was also adopted in 1987) and is consistent with the general plan and community plan designations. The R-1A zoning provides for single-family alternative housing, which allows for low and medium density housing where lot sizes vary from standard single family housing and where the zone is intended to accommodate alternative single family housing which are determined to be compatible with standard single family areas. The lot sizes proposed in this project are typically 45' by 105', but will be patterned to contain typical single family houses. The entire development is adjacent to the north and west by proposed single family lots (North

Natomas Estates and the Northborough neighborhood) and is consider by considered by staff to be compatible as a standard single family area. Finally, the development of this PUD as an entirely single family PUD will allow for the opportunity of affordable housing development, particularly in an area previously exempt from the Mixed Income Housing Ordinance requirements. (See Mixed Income Housing section).

Staff worked with the developer to attempt to increase the overall density of this site. Ideas such as townhomes and cluster housing were presented to the developer. Given the surrounding land uses were primarily proposed as single family housing, this housing type was more desirable by the developer in their overall master planning. The developer remains agreeable to try recapture higher densities in other remaining low, medium and high density residential properties in their ownership.

It should also be noted that though the project is short of target, that the target is a permissive target and not a required target. As the land area of this PUD did not lend itself to provide for a more viable high density multi-family site of around 7-9 acres in combination with the single family housing to achieve the target density and rather than requiring an inferior multi-family site, particularly for affordable housing development, staff ultimately deemed the overall density for the proposed project acceptable and found that the project is consistent with the community plan.

Mixed Income Housing Ordinance

This project is subject to the Mixed Income Housing Ordinance. Originally the project included an onsite 3.4 acre multi-family site near the southwest quadrant of the site (lots 58-73). Provisions of the ordinance (17.190.060.A.2) allows for projects that are exclusively single family housing, such as this project to meet inclusionary housing requirements offsite. The original 3.4 acre multi-family site was considered a site to be insufficient to be zoned (which would needed a rezoning) for multi-family to accommodate the very low income portion of the inclusionary housing component. Another site, known as Northpointe Park Parcel 17, located south of Club Center Drive, 500' east of Danbrook, was designated as the off-site location. SHRA and city staff evaluated this site in the Northpointe Park PUD. The Northpointe Park PUD is not subject to the Mixed Income Housing Ordinance and staff was of the opinion that this off-site housing provided an additional opportunity to meet the Mixed Income Ordinance goals in an area previously exempt from its requirements. In addition, the site is currently zoned R-3 (PUD), is graded, and is improved with streets and utility services. **The site was also superior because it is adjacent to a transit hub, elementary and middle schools, a community park, and future day care center. The Meadows property does not have this complement of features.**

With regard to the off-site affordable housing site, it is presently owned by the same property owner (Lennar Wincrest) and has in fact proceed ahead of the Meadows project. An affordable housing developer submitted an application for a Planning Director's Special Permit (project-level approvals). The draft Inclusionary Housing Plan has been approved by SHRA, with the advice of the City and an Inclusionary Housing Agreement providing for 33 inclusionary housing units, 22 affordable to very low-income households and 11 affordable to low-income

households and also been executed between the property owner and SHRA as required by the Mixed Income Housing Ordinance. This agreement was recorded on December 26, 2001. With the agreement recorded, staff approved the PDSP on December 28, 2001.

The ordinance's requirement for timely, contemporaneous development has been met in part by Lennar Communities' ownership of the off-site location and its having entered into a contract for sale to an affordable housing developer. The off-site developer is proposing that SHRA approve the issuance of tax-exempt mortgage revenue bonds and an application to the California Debt Limit Allocation Committee in its first round of funding in 2002. By that time, ownership of the land will have been transferred from Lennar Communities to the St. Anton Development Company. Prior to transfer of title, Lennar Communities will record a covenant running with the land to ensure that no less than the inclusionary housing units will be built and maintained on Northpointe Park Parcel 17. An Inclusionary Housing Agreement will also be recorded against the site.

Natomas Basin Habitat Conservation Plan

The Community Plan requires development and implementation of a Habitat Conservation Plan as mitigation for development in North Natomas. In 1997, a Natomas Basin HCP was approved by the City of Sacramento, U. S. Fish & Wildlife Service (USFWS), and California Department of Fish & Game (CDFG). The Natomas Basin HCP is a conservation plan supporting application for a federal permit under Section 10(a)(1)(B) of the Endangered Species Act and a state Permit under Section 2081 of the California Fish and Game Code, i.e., an Incidental Take Permit (ITP). The purpose of the Natomas Basin HCP is to promote biological conservation along with economic development and continuation of agriculture within the basin. The HCP and ITP were subsequently challenged, and on August 15, 2000, the federal court ruled that the ITP should not have been issued, and an EIS was required for the project. Based on the federal court ruling, the ITP was invalidated.

Based on this ruling, the City of Sacramento, Sutter County, Reclamation District No. 1000 (RD 1000), and Natomas Central Mutual Water Co. are now jointly managing the preparation of an Environmental Impact Report/Environmental Impact Statement (EIR/EIS) on behalf of the USFWS. The USFWS is the lead federal agency for the preparation of the EIS and the City of Sacramento, Sutter County and RD1000 are co-lead agencies for the preparation of the EIR. The City of Sacramento and Sutter County will seek adoption of a revised NBHCP and the issuance of a new ITP by USFWS and CDFG for development within the Natomas Basin.

On May 15, 2001, the same court granted a motion modifying the Order of August 15, 2000, to allow incidental take protection for limited development within the City with the provision of mitigation land in specific areas of the Natomas Basin. The new order was based upon a settlement agreement entered into by all parties to the litigation.

The Settlement Agreement allows a maximum of 1,668 acres of development in North and South Natomas. Under the agreement the City can issue grading permits for up to 1,068 acres (phase

1) with these requirements in place: 1) HCP mitigation fees have been paid; 2) A biological pre-construction survey has been completed; and 3) grading must be accomplished during the grading season of May 1 to Sept 30th; 4) the developer must comply with all applicable mitigation measures; and, 5) the developer must sign a Grading Agreement that identifies requirements of the Settlement Agreement to which the project must comply. After grading permits have been issued for up to 1,068, the remaining 600 acres (phase 2) require: 1) ½ acre of mitigation land shall have been acquired for each acre authorized for disturbance under Phase 2, 2) City will replace the 200 acre "cushion"; and 3) development under the settlement agreement shall not exceed 1,360 acres until at least 250 acres of mitigation land have been acquired within Zone

In the Meadows, the acreage of 28.2 acres has been included in the 1,668 acres of the Agreement to Settle Litigation. Therefore, the project may proceed subject to compliance with the Agreement to Settle Litigation.

C. Development Agreement

The form Development Agreement has been used by the applicant and the exhibits have been provided for the specific project. The applicant has coordinated with the City Attorney's Office to complete the Development Agreement. The Development Agreement establishes certain rights and obligations of the parties relative to the property and assures the property owners commitment to the North Natomas Financing Plan while preserving development rights in affect at the time of the agreement. The development agreement specifies that development of the property is subject to all required discretionary approvals. Planning staff recommends the Planning Commission recommend approval of the Development Agreement and forward to the City Council.

D&E. PUD Guidelines and Schematic Plan

On May 21, 1987, the City Council approved a Planned Unit Development (PUD) designation for this site, however no land uses nor densities via a schematic plan/development guidelines were identified for the project area. All development in the North Natomas Community Plan area shall be designated as a Planned Unit Development (PUD) and shall include a Schematic Plan and Development Guidelines for each PUD. And, residential development in North Natomas shall be located within one of 14 planned neighborhoods. Each neighborhood in North Natomas has an elementary school as its focal point and includes a variety of housing densities and types, as well as commercial, transit, and park/ open space services. This PUD would be categorized in the Neighborhood #9 which consists of the Northborough, Parkway Plaza, North Natomas Estates and the proposed Meadows PUDs. The Meadows PUD is proposed as an entirely single family residential project. In 1997, the property owners (P97-043) sought to include the 28.2 acre Meadows site to be incorporated in the greater Northborough Neighborhood, however, for various reasons, the previous property owners at the time opted out of the entitlement process and the entitlements for the Northborough PUD was approved without including the Meadows project area. Although this PUD is entirely single family and only 28.2 acres, it will be a part of the Neighborhood #9 area and will be offer the same amenities as that of the other PUDs, i.e.

Northborough, Parkway Plaza, and North Natomas Estates PUDs contained within that Neighborhood. As proposed in the schematic plan, the site consists of 146 single family lots, 2 landscape lots, a park lot, and a RD 1000 lot. The proposed schematic plan and guidelines are consistent with the North Natomas Community Plan designation and policies.

F. Tentative Map

The applicant is proposing a Tentative Subdivision Map to subdivide 3 parcels of approximately 28.2 acres into 146 single family home lots, 2 landscape lots, 1 park lot and 1 RD1000 lot. The tentative map area covers and is coterminous with the boundaries of the entire PUD. The typical lot is 45 feet wide by 105 feet deep.

The main vehicular access point from an east/west orientation off of Natomas Boulevard is "E" Street. "D" Street, the main north/south vehicular access point provides access to the adjacent neighborhoods.

A 12' wide bikeway along the foot of the RD1000 Canal is proposed to connect the southern and norther alignments. This bikeway is depicted in the cross sections of the tentative map. Staff recommends the Planning Commission approve the proposed Tentative Map based on findings of fact and subject to conditions of approval in the Notice of Decision attached as Attachment 1.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The Environmental Services Manager has determined the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated mandatory mitigation measures into the project plans to avoid identified impacts or to mitigate such impacts to a point where clearly no significant impacts will occur. These mitigation measures address air quality and cultural resources. The mitigation measures are listed in the attached Mitigation Monitoring Plan (Exhibit 1A).

B. Public/Neighborhood/Business Association Comments

The project was routed to the Environmental Council of Sacramento (ECOS), Natomas Community Association (NCA), Natomas Journal, North Natomas Community Association (NNCA), North Natomas Study Group (NNSG). The following comments were received from the Natomas Community Association:

1. The project does not meet target density for medium density designation of 12 dwelling unit/acre and could meet target density by adding duplexes/townhouses or other housing types.

2. There is a need for a variety of housing in North Natomas. Meeting the target density is important in this area close to a transit center and required by the NNCP.
3. The Developer should construct the bikeway along the and ask for credit. Ed Cox should review application.
4. The Developer should not receive credit for lots A-C for open space or park as they are too small to meet the needs of 146 families.
5. The park should be much larger and centrally located within the community. Park should be turnkey.
6. What amenities will be in the park at the narrow southern strip of project? (Tennis courts alone are not adequate park facilities for 146 families.)
7. Sidewalk along Natomas Blvd should be wider than 6' and well-landscaped.

Staff worked with the developer to attempt to increase density, but the target is permissive and not required, although staff does strive for the goal of meeting target. See staff's analysis contained in the community plan policy analysis. Staff also found acceptable, the developer's proposal to create single family housing in this PUD to be compatible with the adjacent single family housing and the developer's master planning effort. More importantly, this project allowed for an opportunity to include a superior multi-family and affordable housing site which could not achieved on the Meadows site. Ed Cox was routed the application for review and comment. The developer is the same developer for Heritage and North Natomas Estates and has already planned for the construction of the bikeway adjacent to Heritage and North Natomas Estates and also includes the construction of the segment of bikeway contained within the Meadows project area. In regard to open space, a 26' wide landscape corridor inclusive of a bikeway provides a north/south link for overall bikeway and can be jointly used by RD1000 canal maintenance. The 1.6 acre park site is adjacent to the southern property of 3.4± acres slated for park use. The combination of the sites will provide for a 5.0 acre neighborhood park. The amenities of the park will be programmed at a later date. Although the sidewalk is 6', it is a meandering sidewalk contained within a 12'5 landscape corridor.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. Their comments have been incorporated as conditions of approval.

D. Subdivision Review Committee Recommendation

On December 19, 2001, the Subdivision Review Committee, by a vote of three ayes, voted to recommend approval of the proposed subdivision subject to the conditions in the attached Notice of Decision and Findings of Fact.

PROJECT APPROVAL PROCESS: Of the entitlements below, Planning Commission has the authority to approve or deny A (Negative Declaration), B (Mitigation Monitoring Plan), and E (Tentative Map). The Planning Commission action may be appealed to the City Council. The

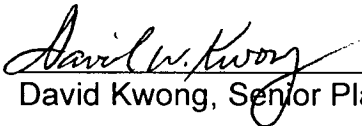
appeal must occur within 10 days of the Planning Commission action. Item C (Development Agreement) and D (PUD designation) requires City Council approval.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Adopt the attached Notice of Decision and Findings of Fact ratifying the Negative Declaration;
- B. Adopt the attached Notice of Decision and Findings of Fact approving the Mitigation Monitoring Plan;
- C. Recommend approval of the Development Agreement;
- D. Recommend approval of the PUD Designation with Schematic Plan and Guidelines to be known at the Meadows PUD;
- E. Adopt the attached Notice of Decision and Findings of Fact approving the Tentative Map to subdivide approximately 28.2 gross acres into 146 single-family lots, 2 landscape lots, 1 park lot, and 1 RD1000 lot.

Report Prepared By,

Report Reviewed By,


 David Kwong, Senior Planner


 Art Gee, Assistant Planning Director

Attachments

- Attachment 1 Notice of Decision & Findings of Fact
- Exhibit 1A Mitigation Monitoring Plan
- Exhibit 1B Tentative Map
- Attachment 2 Vicinity Map
- Attachment 3 Land Use & Zoning Map
- Attachment 4 Development Agreement
- Attachment 5 PUD Guidelines
- Attachment 6 PUD Schematic Plan



**OFFICE OF THE
CITY CLERK**

VALERIE A. BURROWES, MMC
CITY CLERK

VIRGINIA K. HENRY, CMC
ASSISTANT CITY CLERK

TERESA FAHNING
CHIEF DEPUTY CITY CLERK

**CITY OF SACRAMENTO
CALIFORNIA**

CITY HALL
915 I STREET
ROOM 304
SACRAMENTO, CA
95814-2671

FAX 916-264-7672

ADMINISTRATION
PH 916-264-5799

OPERATIONS SERVICES
PH 916-264-5427

SPECIALIZED SERVICES
PH 916-264-7200

WWW.CITYOFSACRAMENTO.ORG

February 19, 2002

Don Barnett
Lennar Communities
2240 Douglas Boulevard, Suite 200
Roseville, CA 95661

Dear Mr. Barnett:

On February 12, 2002, item 3.1 , the City Council took the following action(s) for property located at West side of Natomas Boulevard approximately 670 feet north of Club Center Drive APN: 201-0310-036, 201-0310-037, 201-0440-028 (portions) North Natomas Community Plan (P00-048) (D-1)

Adopted Resolutions 2002-073, 2002-074, 2002-075 and Ordinance 2002-003, approving Agreement 2002-029.

Enclosed, for your records, are certified copies of the above referenced documents.

Sincerely,

Angelina M. Resurreccion
Deputy City Clerk

Enclosure

cc: David Kwong



3.1

2.10

PLANNING AND BUILDING
DEPARTMENT

CITY OF SACRAMENTO
CALIFORNIA

1231 I STREET
ROOM 300
SACRAMENTO,
CA 95814-2998

PLANNING
916-264-2691
FAX 916-264-5328

**PASSED FOR
PUBLICATION
&**

January 23, 2002

CONTINUED

FROM 02-05-02

TO 02-12-02

City Council
Sacramento, California

Honorable Members in Session:

**SUBJECT: AN ORDINANCE RELATING TO THE APPROVAL OF A DEVELOPMENT AGREEMENT BETWEEN THE CITY OF SACRAMENTO AND LENNAR WINNCREST LLC, FOR PROPERTY LOCATED IN NORTH NATOMAS, WEST SIDE OF NATOMAS BOULEVARD, 670 FEET NORTH OF CLUB CENTER DRIVE (P00-048)
(APN#201-310-36 & 201-0310-37)**

LOCATION AND COUNCIL DISTRICT: west side of Natomas Boulevard, 670 feet north of Club Center Drive, District 1

RECOMMENDATION: It is recommended that the item be passed for publication of title and continued to February 12, 2002.

CONTACT PERSON: David Kwong, Senior Planner, 264-2691

FOR COUNCIL MEETING OF: February 5, 2002 (afternoon)

BACKGROUND INFORMATION:

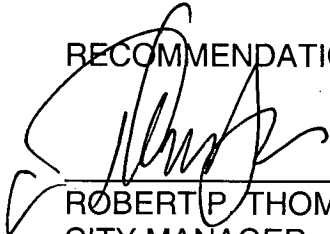
This item is presented at this time for approval of publication of title pursuant to City Charter, Section 32. Prior to publication of an item in a local paper to meet legal advertising requirements, the City Council must first pass the item for publication. The City Clerk then transmits the title of the item to the paper for publication and for advertising the meeting date.

Respectfully Submitted,



GARY STONEHOUSE
PLANNING DIRECTOR

RECOMMENDATION APPROVED:



ROBERT P. THOMAS
CITY MANAGER

ORDINANCE NO.

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

AN ORDINANCE RELATING TO THE APPROVAL OF A DEVELOPMENT AGREEMENT BETWEEN THE CITY OF SACRAMENTO AND LENNAR WINNCREST LLC FOR PROPERTY LOCATED IN NORTH NATOMAS, WEST SIDE OF NATOMAS BOULEVARD, 670 FEET NORTH OF CLUB CENTER DRIVE (APN#201-310-36 & 201-0310-37) (P00-048)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1

This Ordinance incorporates, and by this reference makes part hereof, that certain Development Agreement, by and between the City of Sacramento and Lennar Winncrest LLC, a copy of which is attached hereto.

SECTION 2

The Development Agreement attached hereto is hereby approved, and the Mayor is authorized to execute after the effective date of this Ordinance said Development Agreement on behalf of the City of Sacramento. This approval and authorization is based upon the Negative Declaration and Mitigation Monitoring Plan which is the subject of a separate resolution adopted by City Council prior to or concurrent with the adoption of this Ordinance.

PASSED FOR PUBLICATION:

PASSED:

EFFECTIVE:

MAYOR

ATTEST:

CITY CLERK

P00-048

FOR CITY CLERK USE ONLY

ORDINANCE NO.: _____

DATE ADOPTED: _____

A copy of the Development Agreement
is available for Review at:

City of Sacramento
Planning Division
1231 I Street, Room 300
Sacramento, CA 95814
(916) 264-5894

or

City Clerk's Office
915 I Street, Room 300
Sacramento, CA 95814
(916) 264-5799

8 a.m. - 5 p.m.
Monday through Friday

FOR CITY CLERK USE ONLY

ORDINANCE NO.:

DATE ADOPTED: