

DESIGN REVIEW & PRESERVATION BOARD

1231 "I" Street, Suite 200 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	Daniel McAuliffee, 2001 11th Street, Sacramento, CA 95818		
OWNER	Steven Wichard, 2233 Watt Avenue #150, Sacramento, CA 95825		
PLANS BY	McAuliffee Cuddy, 2001 11th Street, Sacramento, CA 95818		
FILING DATE	10-14-86	REPORT BY:	CMS:ds
NEGATIVE DEC.	EIR	ASSESSOR'S PCL. NO.	007-0143-01

LOCATION: 1215 - 19th Street

PROPOSAL: Rehabilitate firehouse (essential structure) into commercial office use.

PROJECT INFORMATION:

Existing Zoning of Site: C-2  
 Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Commercial (auto repair); C-2  
 South: Single family residential; C-2  
 East: Commercial (auto service); C-2  
 West: Office parking; C-2

Parking Required:	18 spaces
Parking Provided Off-site:	18 spaces
Parking Ratio:	Office 1 to 400
Property Dimensions:	80' x 80'
Property Area:	6,400 sq. ft.
Square Footage of Building:	7,300 sq. ft.
Height of Building:	Two story
Significant Features of Site:	Essential structure
Exterior Building Colors:	Natural red brick, white trim
Exterior Building Materials:	Brick, stone, terra cotta clay, anodized aluminum

BACKGROUND INFORMATION: On July 14, 1983, the Planning Commission heard a request to rehabilitate the firehouse to restaurant and office use, and to waive the required 37 off-site parking spaces (P86-165). The Planning Commission denied the request and it was appealed to the Council in September 1983. The Council did not support the appeal but approved the variance with conditions (provide 15 off-site parking spaces and bus passes). The project was not pursued.

The Design Review Preservation Board heard the above item on June 1, 1983 (PB83-007). The applicant proposed to return the facade to its original design. The 1983 plans are similar to the present design proposal except the two large front doors were to be double hinged and open during restaurant hours. The current proposal is to retain the original design and use the door openings as windows. Also, the previous application was to paint the building brick red and granite grey. Staff consulted with the State Office of Historic Preservation and the following changes were agreed upon:

1. Recreate original facade design.
2. New pedestrian doors to match original exactly.



3. Replace finials.
4. Retain downspouts.
5. No air ducts or vents to be placed on outside of exterior walls.

The off-site parking plan, shading and irrigation plan were to be reviewed at staff level. The landscaping plan, color board, and cupola drawings (Phase II of project), were to return to the Board for review and approval.

**STAFF EVALUATION:** The firehouse is a valued historic structure, and staff fully supports its rehabilitation. Staff is concerned that building materials and features - including their finishes - are not damaged during repair activities. Staff supports the applicant's proposal to remove exterior paint in order to expose the natural brick and its original paint coating. However, methods to remove paint which are destructive to masonry, such as sandblasting, application of caustic solutions and high pressure water blasting should not be allowed. The applicant should work closely with staff to determine a feasible method for paint removal. If, through preliminary testing, a feasible method can not be identified, the building should be cleaned and repainted with colors that are historically appropriate.

While trying to retain the original design as closely as possible, the applicant should focus on the following features:

1. Rusticated stone used in the arches, some sills, a horizontal banding beneath the frieze area, between the tops of upper story windows, and other areas of the facade, should be given special attention from damage because they protrude. They are also an essential part of the facade design.
2. The facade includes areas that are of a lighter shade in contrast to the rest of the facade. This creates an interesting effect and should be retained. Some of these areas include the two gables with fireman symbols, the "1893" and "F.D." signs, rusticated stone areas, and other areas.
3. Returning the building to its original design includes replacing the four smaller wood doors. The two larger double doors should be replicated. They may retain their paneled look by replacing the central panels with glass for use as windows. The double doors may be fixed in place.
4. The second level doorway (on south elevation) can be closed off but the original design or a compatible design to the front doors should be provided.
5. Staff recommends a brick sidewalk to be placed in front of the larger double doors which runs from the building to the curb. The width to match the openings of the building facade and create a driveway affect.
6. The applicant proposes to remove the Modesto Ash tree located on the park strip. Before removing the tree a landscape plan for the entire project should be submitted to staff for review and approval.
7. Replacing the cupola is not a condition of approval. However, the Board had required architectural drawings of the cupola in order that it may be replaced in the future as a Phase II project.

1. Replicate finishes.

2. Get in downspouts.

3. A set of stairs or ramps to be placed on top of exterior walls.

The objective of this program is to provide a means for the investigation and repair of exterior walls. The program is designed to be used by a contractor or a property owner. The program is designed to be used by a contractor or a property owner.

REPAIR EVALUATION: The purpose of this program is to provide a means for the investigation and repair of exterior walls. The program is designed to be used by a contractor or a property owner. The program is designed to be used by a contractor or a property owner.

While trying to repair the original design, the repair should focus on the following features:

1. Repaired stone used in the areas, and ellipses, horizontal slabs, and other areas of the facade. The repair should be done in a way that is consistent with the original design.
2. The repair should be done in a way that is consistent with the original design. The repair should be done in a way that is consistent with the original design.
3. Returning the building to its original condition. The repair should be done in a way that is consistent with the original design.
4. The repair should be done in a way that is consistent with the original design. The repair should be done in a way that is consistent with the original design.
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7. The repair should be done in a way that is consistent with the original design. The repair should be done in a way that is consistent with the original design.

8. The pedestrian doors should be matched exactly to original doors.

STAFF RECOMMENDATIONS: Staff recommends approval of the project with the following conditions:

1. Return the structure to its original design character. Retain or replicate all decorative features as shown in the circa 1900 photograph. Cupola to be a Phase II project.
2. Finials at the top corner of the facade to be replaced.
3. Downspouts to be retained.
4. No air ducts or vent ducts to be placed on outside exterior walls.
5. Work with City engineer for sidewalk and curb requirements.
6. Provide one bike stall on site.
7. Provide cupola drawings for future Phase II project.
8. Retain second floor south wall door design or rebuild to be compatible with front door design.
9. Wrought iron gate on trash enclosure to be placed against a metal sheet to block visibility inside trash enclosure.
10. A second entrance to trash enclosure to be provided for easy access from building.
11. If the applicant wishes to exceed the six foot height to provide an eight foot fence on the north and east property line, a variance must be applied for through the Planning Commission.
12. If concrete block is to be used for the walls of the trash enclosure and the east wall at the property line, all block must be same material and the color must match the building color.
13. Provide two brick pads at building front to run from face of building to curb line to be width of double door openings.
14. Applicant to work with staff on smaller design details.
15. Final landscaping, shading and irrigation plans to be reviewed and approved at staff level.
16. Color and materials board to be submitted to staff for review and approval.
17. Lifting hook above second floor door (south elevation) to remain.

8. The pedestrian doors should be matched exactly to original doors.
9. Return the structure to its original design character. Retain or replicate all decorative features as shown in the circa 1900 photograph. Update to be a Phase II project.
10. Finish at the top corner of the facade to be replaced.
11. Downspouts to be retained.
12. No air ducts or vent ducts to be placed on exterior walls.
13. Work with City engineer for sidewalk and curb requirements.
14. Provide one site plan on site.
15. Provide copies drawings for future Phase II project.
16. Permit second floor south wall door design or repair to be compatible with front door casing.
17. Wrought iron gate on trash enclosure to be placed against a metal screen or mesh visibility inside trash enclosure.
18. A second entrance to trash enclosure to be provided for easy access from parking.
19. If the applicant wishes to exceed the six foot height to provide an eight foot eave on the north and east property lines, a variance must be applied for through the Planning Commission.
20. If concrete block is to be used for the walls of the trash enclosure and the east wall at the property line, all block must be same material and the color must match the building color.
21. Provide two brick paths at building front to run from base of building to curb line to be width of double door openings.
22. Applicant to work with staff on smaller design details.
23. Landscaping, shading and irrigation plans to be reviewed and approved at staff level.
24. Color and material selections to be submitted to staff for review and approval.
25. Lighting load above second floor door (with elevator) to remain.

Approval is based on the following findings of fact:

1. The project, as conditioned, will meet the preservation guidelines for rehabilitation of Listed Structures.
2. The rehabilitation and reconstruction of this building will help to upgrade the blockface as well as to preserve an important City building.
3. The project is in compliance with the Department of Interiors Guidelines for Historic Preservation.

APPROVAL BY THE DESIGN REVIEW/PRESERVATION BOARD DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITIES TO MEET REQUIREMENTS OF ALL ZONING ORDINANCES AND BUILDING CODES.

THE APPLICANT IS RESPONSIBLE FOR ANY DELAYS RESULTING FROM NONCOMPLIANCE WITH CONDITIONS OF APPROVAL.

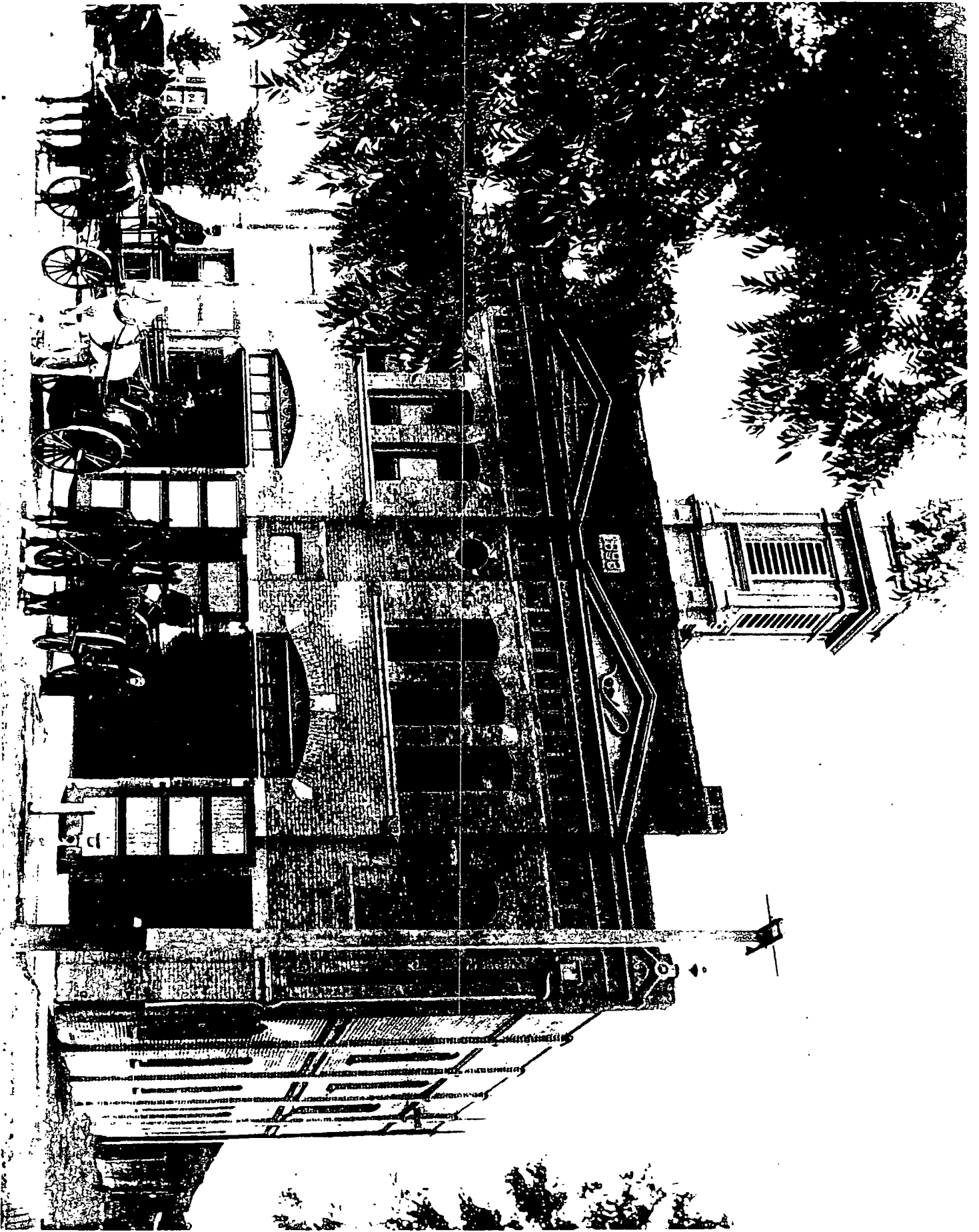
Approval is based on the following findings of fact:

1. The project, as conducted, will meet the preservation guidelines for rehabilitation of listed structures.
2. The rehabilitation and reconstruction of this building will help to upgrade the historic as well as to preserve an important city building.
3. The project is in compliance with the Department of Interior Guidelines for Historic Preservation.

APPROVAL BY THE BOARD OF HISTORIC PRESERVATION DOES NOT IMPLY THE APPLICANT'S RESPONSIBILITY TO MEET REQUIREMENTS OF ALL STATE AND FEDERAL BUILDING CODES.

THE APPLICANT IS RESPONSIBLE FOR ANY DELAYS RESULTING FROM NON-CONFORMANCE WITH CONDITIONS OF APPROVAL.

1215 19th St. (Circa 1900)

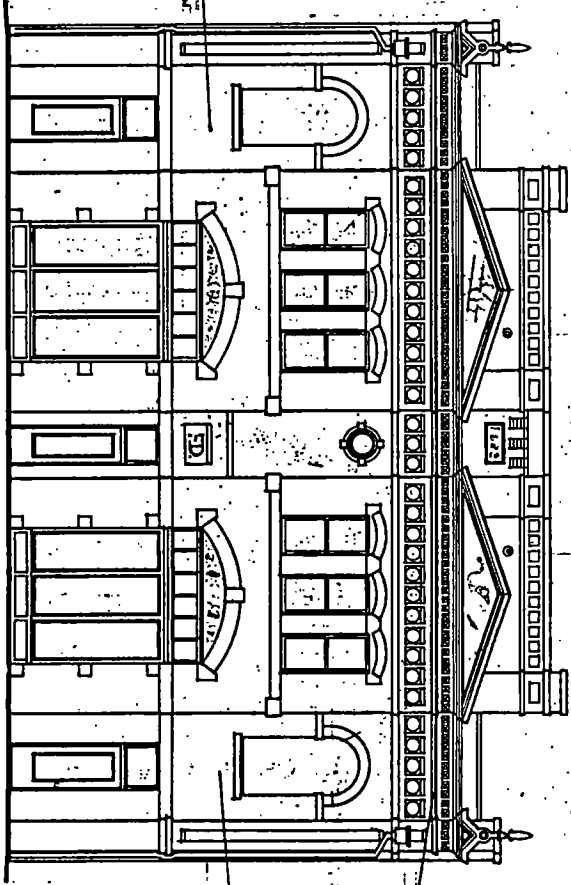


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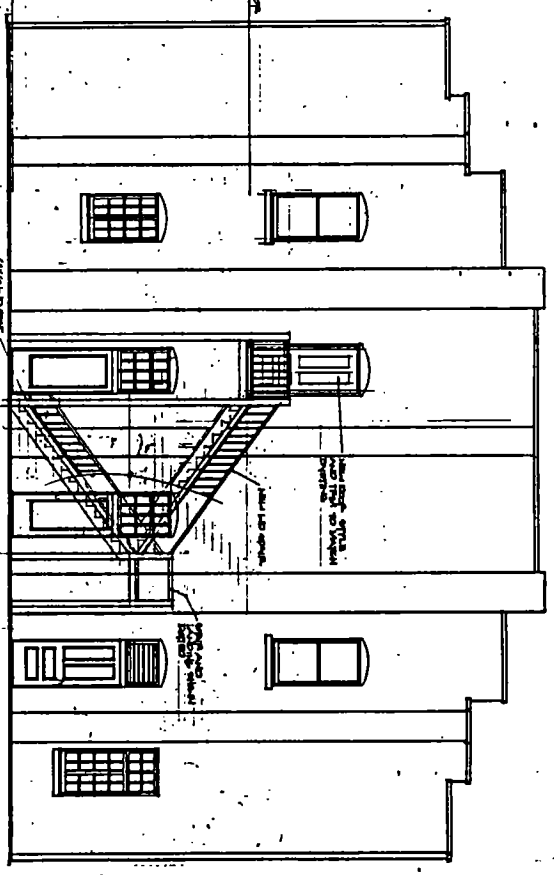
Nov. 19, 1986

Item 9

**WEST ELEVATION**



**EAST ELEVATION**



SHEET TITLE  
 ELEVATIONS  
 DATE  
 SHEET  
 PB 86-059

PROJECT  
**FIREHOUSE #3 RESTORATION**  
 1215 19th Street  
 Sacramento, California  
 OWNER  
 Prohouse #3 Investment Group  
 REVISIONS  
 Nov. 19, 1986

DANIEL S. BEAUMONT  
 ARCHITECT C-14881  
 STEPHEN R. GURDY  
 ARCHITECT C-18833

**McMILLIN  
 Cuddy**  
 ARCHITECTURE INTERIORS GRAPHICS  
 8001 ELEVENTH STREET  
 SACRAMENTO, CALIFORNIA 95818

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Ser. No. \_\_\_\_\_  
HABS \_\_\_\_\_ HAER \_\_\_\_\_ NR 3 SHL \_\_\_\_\_ Loc \_\_\_\_\_  
UTM: A 10-632320-4270430  
C \_\_\_\_\_ D \_\_\_\_\_

HISTORIC RESOURCES INVENTORY

IDENTIFICATION

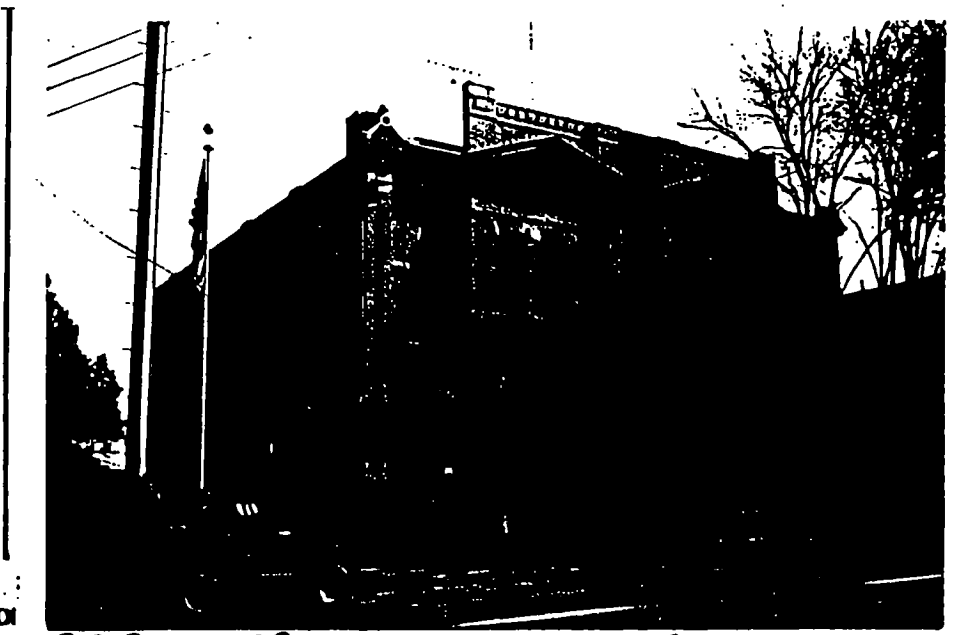
- Common name: Engine Company #3
- Historic name: Engine Company #3
- Street or rural address: 1215 19th Street  
City Sacramento Zip 95814 County Sacramento
- Parcel number: 007-143-01
- Present Owner: City of Sacramento Address: 915 I Street  
City Sacramento Zip 95814 Ownership is: Public  Private \_\_\_\_\_
- Present Use: fire station Original use: fire station

DESCRIPTION

- Architectural style: Classical Revival with some Romanesque Revival detailing
- Briefly describe the present physical description of the site or structure and describe any major alterations from its original condition:

The brick fire house structure is almost square in form and over two stories in height. The facade is composed of two slightly projecting pedimented bays surmounted and joined by a false parapet, and flanked by the blind arches and gabled corner piers of the building's surface. Each of the bays contains three arched windows on the second floor above a projecting belt course. A series of small recessed ornamented panels extend across the facade beneath a figured frieze and cornice molding. Small gables decorate the tops of the piers and the parapet is banded with square panels. Large fire truck doors and rectangular windows have been inserted into the ground floor. Other elevations contain arched windows in vertically and horizontally divided surfaces. Rusticated stone is used in the arches, some sills, a horizontal banding beneath the frieze area, and as a parapet cornice capping.

The current truck entrances are not original and the southern bay appears to have been filled in around the existing window, suggesting the original doors may have been placed side by side in the bay.



- Construction date:  
Estimated \_\_\_\_\_ Factual 1893
- Architect: Unknown
- Builder: Unknown
- Approx. property size (in feet)  
Frontage: 80 Depth: 80  
or approx. acreage \_\_\_\_\_
- Date(s) of enclosed photograph(s)  
1981

PB86-0591 Nov. 19, 1986

3. Condition: Excellent \_\_\_ Good X Fair \_\_\_ Deteriorated \_\_\_ No longer in existence \_\_\_
14. Alterations: changes to entrances
15. Surroundings: (Check more than one if necessary) Open land \_\_\_ Scattered buildings \_\_\_ Densely built-up \_\_\_  
Residential X Industrial \_\_\_ Commercial X Other: \_\_\_\_\_
16. Threats to site: None known X Private development \_\_\_ Zoning \_\_\_ Vandalism \_\_\_  
Public Works project \_\_\_ Other: \_\_\_\_\_
17. Is the structure: On its original site? X Moved? \_\_\_ Unknown? \_\_\_
18. Related features: none

**SIGNIFICANCE**

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

Engine Company Number 3 was organized and placed in service April 1, 1888 and at that time had a new Clapp & Jones engine and a new hose cart. By 1923 all the equipment of the department was motor-driven with the latest type of hose and ladder trucks, nozzle hoist derricks, high-power pumps and other apparatus. The building that remains today dates to 1893 and is the oldest fire station in Sacramento still in operation.

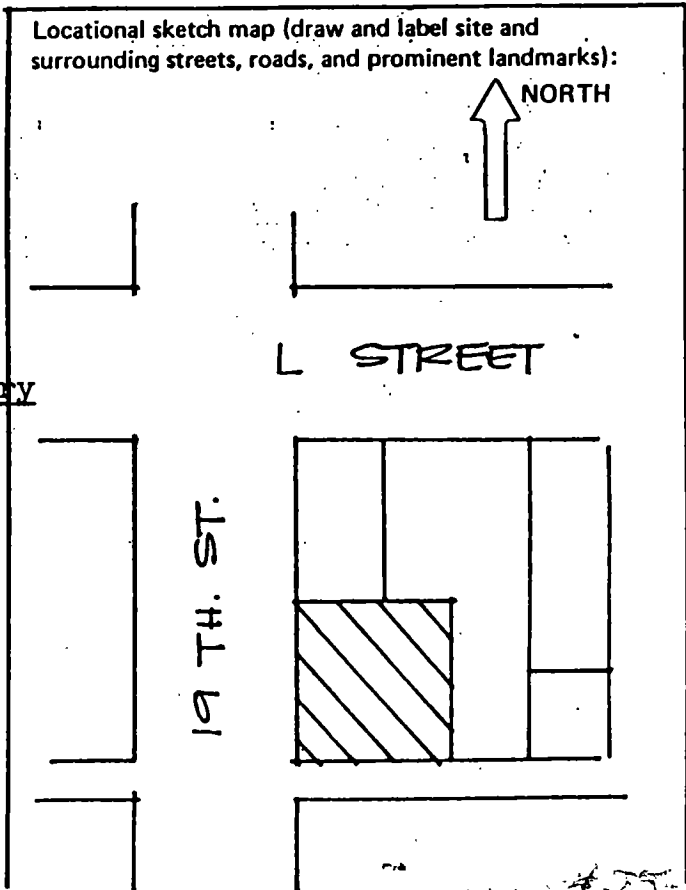
The eclectic structure is an unusually handsome design for so functional a building. The Classically inspired pediments with the fire department symbols and the finely decorated frieze areas are among the city's better small-scaled examples of such detailing. The rusticated stone-work details suggest Romanesque Revival themes. This mixture of modes is representative of this era although these types of interpretations of Classical motifs are not widely represented in Sacramento until after the turn of the century.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)  
Architecture 1 Arts & Leisure \_\_\_  
Economic/Industrial \_\_\_ Exploration/Settlement \_\_\_  
Government 2 Military \_\_\_  
Religion \_\_\_ Social/Education \_\_\_

21. Sources (List books, documents, surveys, personal interviews and their dates).

Davis, Winfield. An Illustrated History of Sacramento County, CA, 1890  
Reed, Walter. History of Sacto County CA with Biographical Sketches, 1923

22. Date form prepared 1981  
By (name) HEC  
Organization S.C.P.L.D.  
Address: 915 T Street  
City Sacramento Zip 95814  
Phone: 449-5381

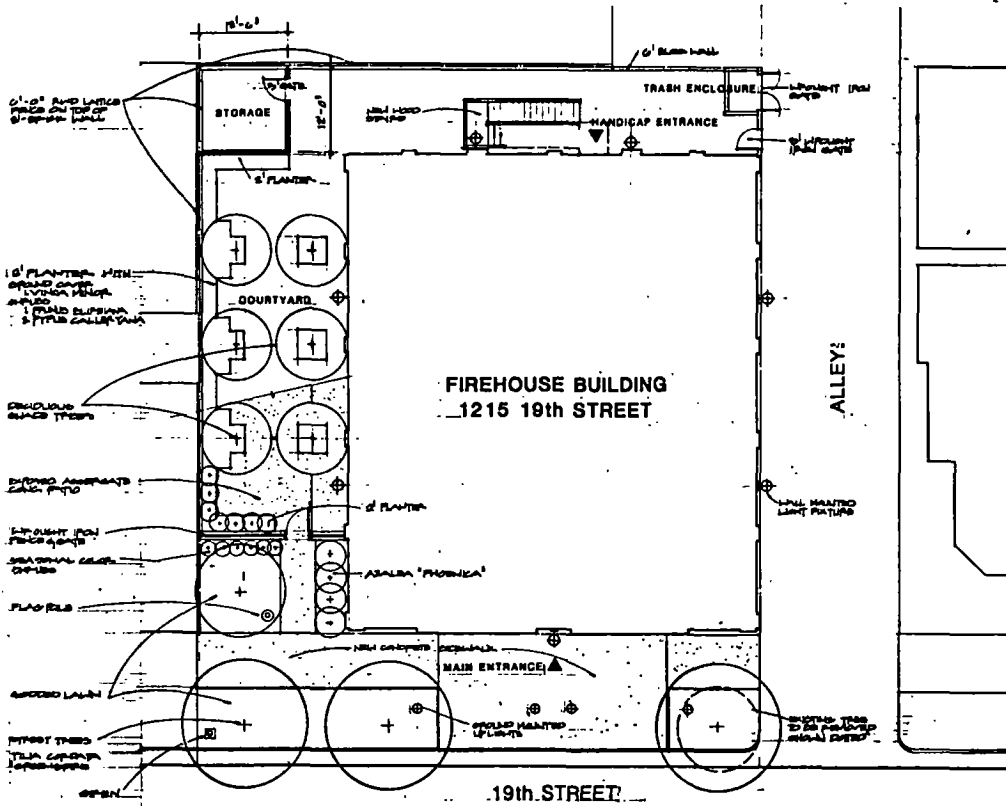


PB 86-059

NOV. 19, 1986

#9





**SITE / LANDSCAPE PLAN**  
1/4" = 1'-0"

**McAuliffe Cuddy**  
ARCHITECTURE INTERIORS LANDSCAPES  
3001 KLEIN STREET  
SACRAMENTO CALIFORNIA 95816  
(916) 482-0110

DANIEL B. McAULIFFE  
ARCHITECT C-148374  
STEPHEN R. CUDDY  
ARCHITECT C-12888

**PROJECT**  
**FIREHOUSE #3 RESTORATION**  
1216 19th Street  
Sacramento, California

**OWNER**  
Theodore #3 Investment Group

Nov. 13 1986

**REVISIONS**

**SHEET TITLE**

**DATE**

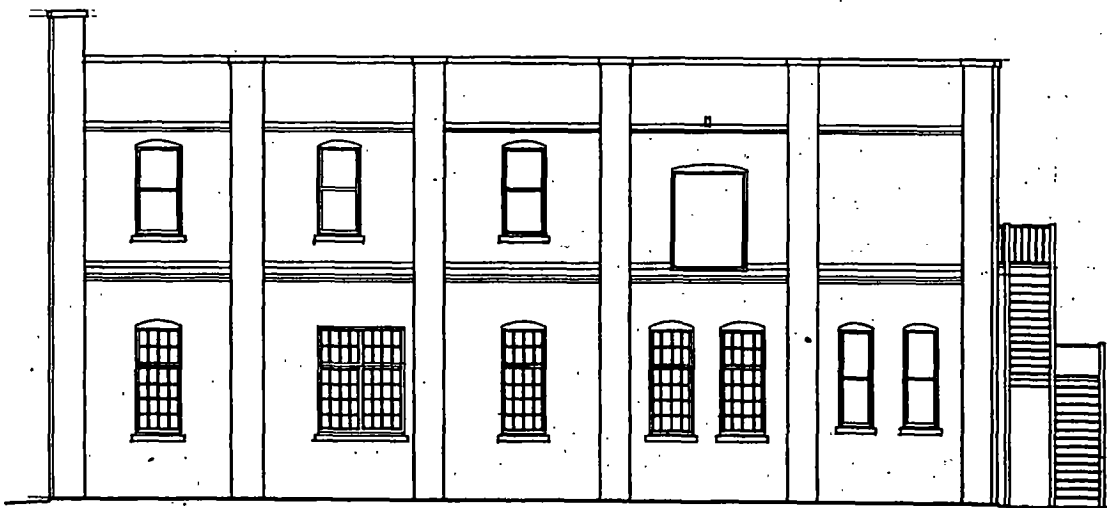
**SHEET**

DS PB886-059

69 #9



**NORTH ELEVATION**



**SOUTH ELEVATION**

**ARCHITECTURE**  
**INTERIORS**  
**GRAPHICS**

DANIEL S. MAULIFF  
 ARCHITECT C-14874

STEPHEN R. CUDDY  
 ARCHITECT C-12833

**PROJECT**  
**FIREHOUSE #3 RESTORATION**  
 1215 18th Street  
 Sacramento, California

**OWNER**  
 Phoenix of Investment Group

**REVISIONS**

**SHEET TITLE**

**DATE**

**SHEET**

#19

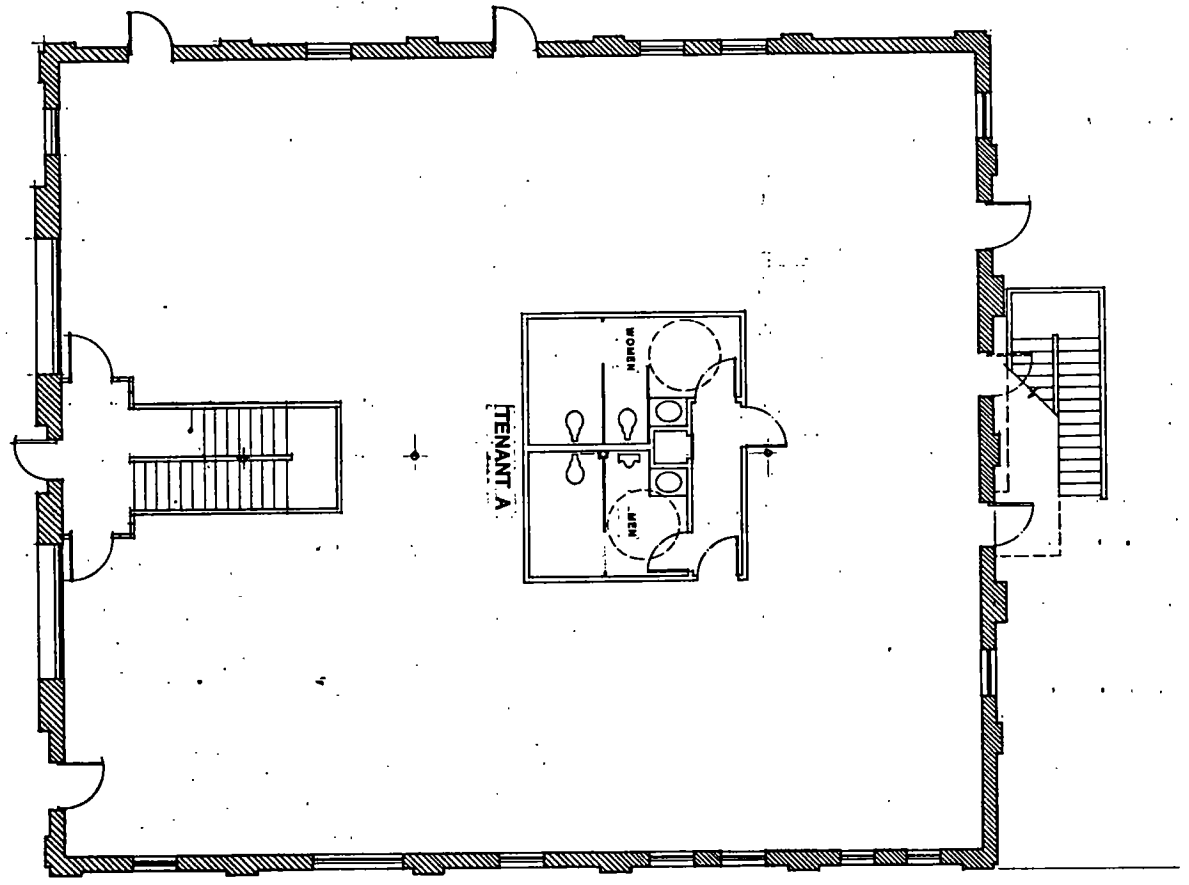
NOV. 19, 1986

Go PB86-059



FIRST FLOOR PLAN

3,950 s.f.



DATE \_\_\_\_\_  
 SHEET TITLE \_\_\_\_\_  
 SHEET \_\_\_\_\_

**PR86-059**

PROJECT  
**FIREHOUSE #3 RESTORATION**  
 1215 19th Street  
 Sacramento, California

OWNER  
 Firehouse #3 Investment Group

NOV. 19, 1986

DANIEL E. WEAVER  
 ARCHITECT C-15829

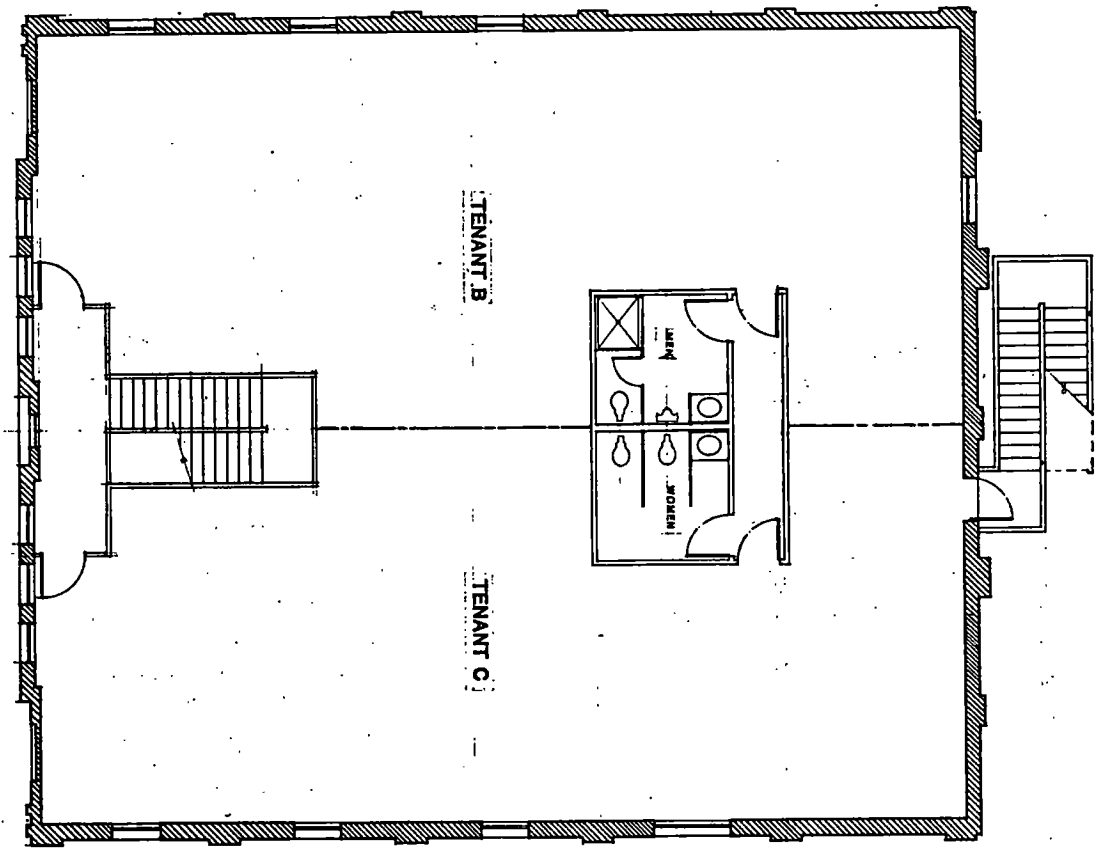
STEPHEN R. GUDDY  
 ARCHITECT C-15823


**ARADUOLUPPH**  
**GUDDY**

ARCHITECTURE INTERIORS GRAPHICS  
 2001 ELEVENTH STREET  
 SACRAMENTO CALIFORNIA 95818  
 (916) 448-2170

Handwritten initials or signature.


**SECOND FLOOR PLAN**  
 3,850 S.F.



	SHEET <b>PB86-059</b>	DATE <b>Nov. 19, 1984</b>	SHEET TITLE <b>FIREHOUSE #3 RESTORATION</b> 1215 19th Street Sacramento, California	PROJECT <b>FIREHOUSE #3 RESTORATION</b> 1215 19th Street Sacramento, California	ARCHITECT <b>STEPHEN M. CROFT</b> ARCHITECT C-18833	OWNER Firehouse #3 Investment Group	ARCHITECT & MANAGER <b>ADOLPHUS GUBBY</b> ARCHITECT C-14524	ARCHITECTURE INTERIORS GRAPHICS 1501 ELEVENTH STREET SACRAMENTO CALIFORNIA 95816 (916) 448-0110
	REVISIONS							

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