



18

DEPARTMENT OF
PLANNING AND DEVELOPMENT

CITY OF SACRAMENTO
CALIFORNIA

1231 I STREET
ROOM 200
SACRAMENTO, CA
95814-2998

May 10, 1988

City Council
Sacramento, California

APPROVED
BY THE CITY COUNCIL

MAY 17 1988

OFFICE OF THE
CITY CLERK

BUILDING INSPECTIONS
916-449-5716

PLANNING
916-449-5604

Honorable Members in Session:

- SUBJECT: 1. Environmental Determination
2. Tentative Map (P88-072)
3. Special Permit to Develop 78 Condominium Units

LOCATION: Southeast Corner of Windbridge and Rush River Drives

SUMMARY

The application is for entitlements to convert an approved apartment complex currently under construction to condominium units. The Planning Commission and staff recommend approval of the request with conditions.

BACKGROUND INFORMATION

The subject site is zoned R-2B-R for Multi-Family residential use. On April 23, 1987, the applicant was granted plan review approval for a 78 unit apartment complex which is currently under construction. The applicant is seeking approval to convert the project to condominium units.

Planning staff reviewed the project to determine if proper amenities were being provided to encourage owner occupancy. These amenities include enclosed parking garages, washer and dryer space in the units and a sufficient size recreation room for association meetings. Staff found that these amenities were being provided among others and staff supports the request with conditions.

VOTE OF THE PLANNING COMMISSION

On February 25, 1988, the Commission voted six ayes, three absent, to recommend approval of the request.

RECOMMENDATION

The Planning Commission and staff recommend the following action by the City Council:

- 1. Ratify the Negative Declaration;
- 2. Adopt the attached Resolution which adopts findings and approves the Tentative Map with conditions;
- 3. Approve the Special Permit subject to the attached findings and conditions.

Respectfully submitted,



Michael M. Davis
Director of Planning and Development

FOR CITY COUNCIL INFORMATION
WALTER J. SLIPE
CITY MANAGER

MMD:AG:rt
attachments

District No. 8
May 17, 1988

P88-072

MAY 17 1988

OFFICE OF THE
CITY CLERK
88-399

RESOLUTION No.

Adopted by The Sacramento City Council on date of

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A TENTATIVE MAP FOR PROPERTY LOCATED AT THE SOUTHEAST CORNER OF WINDBRIDGE AND RUSH RIVER DRIVES

(~~P88-072~~) (APN: 031-1170-002)

WHEREAS, the City Council on May 17, 1988, held a public hearing on the request for approval of a tentative map for property located at the southeast corner of Windbridge and Rush River Drives;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the City Planning Commission has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan, and Chapter 40 of the City Code, which is a Specific Plan of the City. Both the City General Plan and the Pocket Community Plan designate the subject site for residential use(s).

4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
 - a. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required Parkland Dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map (.6864 ac.).
 - b. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.
 - c. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80 percent south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code.
 - d. Pay Pocket Bridge fees, if necessary.
 - e. Minimum lot pad grade shall be +4.0 feet.

MAYOR

ATTEST:

CITY CLERK

P88-072

Special Permit to Develop
78-Condominium Units at the Southeast
Corner of Windbridge and Rush River Drives
in the R-2B-R zone (P88-072)

Notice of Decision
and
Findings of Fact

At its regular meeting of May 17, 1988, the City Council heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Council approved the Special Permit based on the following findings and conditions.

Conditions

1. The recreation building shall have a sink, stove and refrigerator installed for the use of residents.
2. No recreational vehicles, boats, trailers, etc. shall be parked on-site.
3. The applicant remains obligated to satisfy conditions 1-4, 6-9 and 11-15 of the previous approval (P87-149).
4. Prior to final inspection approval by building inspectors, inspections there shall be an on-site inspection by the Planning Director.
5. The applicant shall submit plans for revisions as recommended by staff to Building Inspections for approval prior to final inspection of the project.
6. The project shall be constructed per the submitted plans; and garages shall be constructed as part of the condo construction.

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed condominium is compatible with surrounding single and multi-family uses.
2. The project, as conditioned, will not be injurious to public health, safety or welfare nor to surrounding properties in that:
 - a. adequate landscaping and parking are provided; and
 - b. the units contain amenities of standard single family units.
3. The project is consistent with the 1988 Pocket Community Plan designation of 16 to 29 units per acre.

Anne Ruder
MAYOR

ATTEST:

Anne J. Mason
Assistant CITY CLERK

**Sacramento City Planning Commission
VOTING RECORD**

18

MEETING DATE
February 25, 1988

ITEM NUMBER
19-B

PERMIT NUMBER
P88-072

ENTITLEMENTS

- GENERAL PLAN AMENDMENT
- TENTATIVE MAP
- COMMUNITY PLAN AMENDMENT
- SUBDIVISION MODIFICATION
- REZONING
- LOT LINE ADJUSTMENT
- SPECIAL PERMIT
- ENVIRONMENTAL DET.
- VARIANCE
- OTHER _____

STAFF RECOMMENDATION

Favorable Unfavorable

Wilson

Correspondence

Petition

LOCATION
Southeast corner of Windbridge Dr. & Rush River Dr.

**P
R
O
P
O
N
E
N
T
S**

NAME	ADDRESS

**O
P
P
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N
E
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S**

NAME	ADDRESS

MOTION # _____

Yes No Motion Second

GASTON	X		
HOLLICK		Absent	
HOLLOWAY		Absent	
ISHMAEL	X		X
NOTESTINE	X		
OTTO	X		
RAMIREZ	X		X
WALTON		Absent	
CHINN	X		

PLANNING AND DEVELOPMENT

MOTION

- TO APPROVE
- TO DENY
- TO APPROVE SUBJECT TO COND. & BASED ON FINDINGS OF FACT IN STAFF REPORT
- TO APPROVE/DENY BASED ON FINDINGS OF FACT IN STAFF REPORT
- INTENT TO APPROVE/DENY SUBJECT TO COND. & BASED ON FIND. OF FACT DUE
- TO RECOMMEND APPROVAL & FORWARD TO CITY COUNCIL
- TO RECOMMEND APPROVAL SUBJECT TO COND. & FORWARD TO CITY COUNCIL
- TO RATIFY NEGATIVE DECLARATION
- TO CONTINUE TO _____ MEETING
- OTHER _____

REPORT AMENDED BY STAFF 2-25-88
CITY PLANNING COMMISSION

18

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Richard W. Faulkner, Architect - 4825 J St., Ste. 220, Sacramento 95817		
OWNER	Reynen, Bardis & Winn - 9985 Folsom Road, Sacramento 95827		
PLANS BY	Richard W. Faulkner, Architect - 4825 J St., Ste. 220, Sacramento 95817		
FILING DATE	1-21-88	ENVIR. DET.	2-15-88
ASSESSOR'S-PCL. NO.	031-1170-002		
		REPORT BY	SD:sq

- APPLICATION:**
- A. Environmental Determination
 - B. Tentative Map
 - C. Special Permit to develop 78 condominium units

LOCATION: Southeast corner of Windbridge and Rush River Drives

PROPOSAL: The applicant is requesting the necessary entitlements to develop a 78-unit condominium project on 4.5 acres in the R-2B-R zone.

PROJECT INFORMATION:

General Plan Designation: Medium Density Residential 11-29 du/net ac.
 1988 Pocket Community
 Plan Designation: Medium Density Residential 16-29 du/ac.
 Existing Zoning of Site: R-2B-R
 Existing Land Use of Site: Units under construction

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Shopping center; SC-R	Front:	25'	25'
South: Single family; R-1	Side(Int):	5'	15'
East: Vacant; R-2B(PUD)	Side(St):	25'	25'
West: Multi family; R-2B-R	Rear:	15'	5'

Parking Required: 123 spaces
 Parking Provided: 125 spaces
 Property Dimensions: Irregular
 Property Area: 4.5+ acres
 Density of Development: 17.3 d.u. per acre
 Height of Building: 33', two-stories
 Topography: Flat
 Street Improvements: Existing
 Utilities: Existing
 Exterior Building Materials: Grooved plywood with wood trim
 Roof Material: Wood shake

Square Footage of Units:

Unit	Sq. Ft.	Bed/Bath	Floor
A-1	729	1/1	1st
A-2	746	1/1	2nd
B-1	1,014	2/2	1st
B-2	1,030	2/2	2nd

APPLC. NO. P88-072 **MEETING DATE** February 25, 1988 **ITEM NO** 19

BACKGROUND INFORMATION: On April 23, 1987 the Planning Commission approved plans to develop a 78-unit apartment complex on the subject site under an R-review application (P87-149). Construction of the apartments has begun.

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On February 10, 1988, by a vote of five ayes, four absent, the Subdivision Review Committee voted to recommend approval of the tentative map subject to the attached conditions.

PROJECT EVALUATION: Staff has made the following findings:

A. Land Use

The subject site is a 4.5+ acre parcel zoned Multi-Family-Review zone (R-2B-R, 2,000 sq. ft. of land/unit). The site is designated Medium Density Residential 11-29 du/ac. in the General Plan and in the 1988 Pocket Community Plan for 16-29 du/ac. Multi-family units in the R-2B-R zone are located to the west and are under construction to the north. Vacant land zoned R-2B(PUD) is located to the east. Single family residential is under construction to the south.

B. Design

The applicant proposes 78 condominium units consisting of 24 one-bedroom, one bath units and 54 two-bedroom, two bath units. Building materials are grooved plywood siding and wood shake shingles. Building materials were reviewed under the R-review application. Staff expressed concerns with the use of T-111 siding. The applicant submitted plans which indicated additional trim which meet with staff approval. Had staff known these units would ultimately become condominiums, an alternate building material would have been recommended. There are 24 "A" floor plans. These have one bedroom and one bath. The downstairs units have 687 square feet of living area and 42 square feet of storage and equipment area. The upstairs unit has 704 square feet of living area and 42 square feet of storage and equipment area. There are 54 "B" floor plans. These have two bedrooms and two baths. The downstairs unit has 954 square feet of living area and 60 square feet of storage and equipment area. The upstairs units have 970 square feet of living area and 60 square feet of storage and equipment. Each unit has an area for a washer and dryer, an enclosed storage area, private outdoor areas and a fireplace.

The parking area has access from Windbridge and Rush River Drive. One hundred twenty-three spaces are required and 125 are provided. Seventy-eight enclosed garages are located conveniently throughout the site but are not attached to the living unit. Garages are four or five stalls long. In order to discourage people from parking on the street, staff requests that a four foot high wrought iron fence be placed on the 25 foot setback line. In addition, these garages should be constructed as part of the condo construction; and not constructed at a later date.

Two trash enclosures are located along the east property line. These comply with the design criteria for multi-family projects. The northernmost units have to walk 320+ to the nearest trash enclosure. Staff therefore requests an additional enclosure be located in the northern portion of the site.

A pool, spa and recreation building are located in the south-central portion of the site. The recreation building is 755 square feet. It contains showers, rest room facilities and pool equipment. Staff finds the facilities furnished inadequately for parties and other recreational uses. Staff, therefore recommends that a sink, stove and refrigerator be included in the building. A sales office will be located in the structure. When the units have sold, this will be converted to recreational uses. Staff recommends the pool/spa area be surrounded with six foot high wrought iron fencing.

No common storage area is provided on-site. Staff recommends that parking or storage of RV's, trailers, boats, etc. be prohibited.

Detailed landscaping and irrigation plans were not included with the present application. These were approved with the previous R-review application.

C. Tentative Map

The applicant is requesting a tentative map for a one-lot subdivision to allow individual ownership of each unit with the land in common ownership. The Subdivision Review Committee recommended approval.

The Planning and Community Services Divisions have determined that parkland dedication in-lieu fees are appropriate. Fees will be based upon .6864 acre of land multiplied by the per acre value established by the applicant's appraiser.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project will not have a significant impact on the environment and has filed a negative declaration.

RECOMMENDATION: Staff recommends the Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Recommend approval of the Tentative Map based upon conditions which follow; and
- C. Approve the Special Permit subject to conditions and based upon findings of fact which follow.

Conditions - Tentative Map - The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- 1. Pursuant to City Code Section 40.1302 (parkland dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map (.6864 ac.).
- 2. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service.

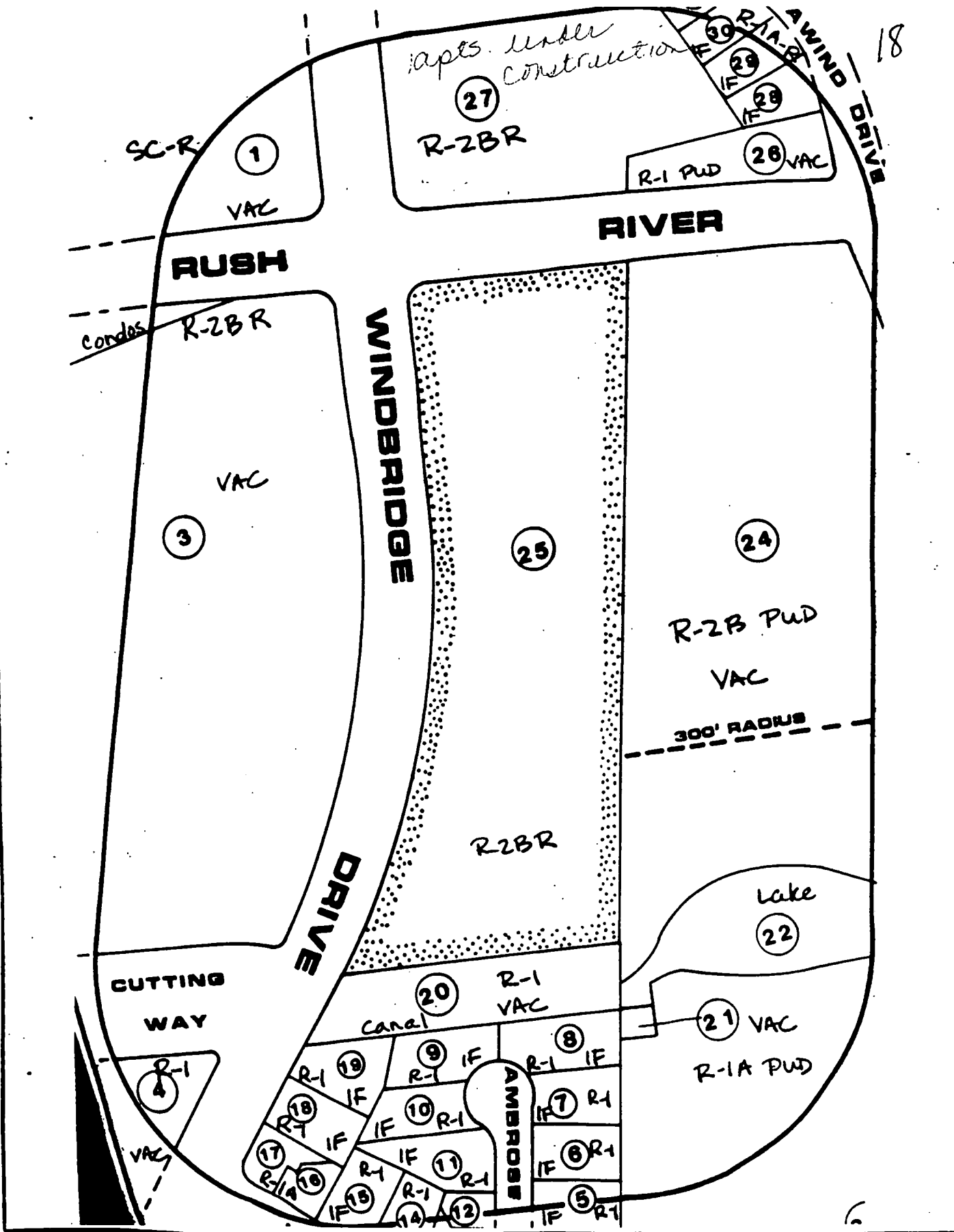
- 3. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with Title 24 requirements of the Uniform Building Code.
- 4. Pay Pocket Bridge fees, if necessary.
- 5. Minimum lot pad grade shall be +4.0 feet.

Conditions - Special Permit

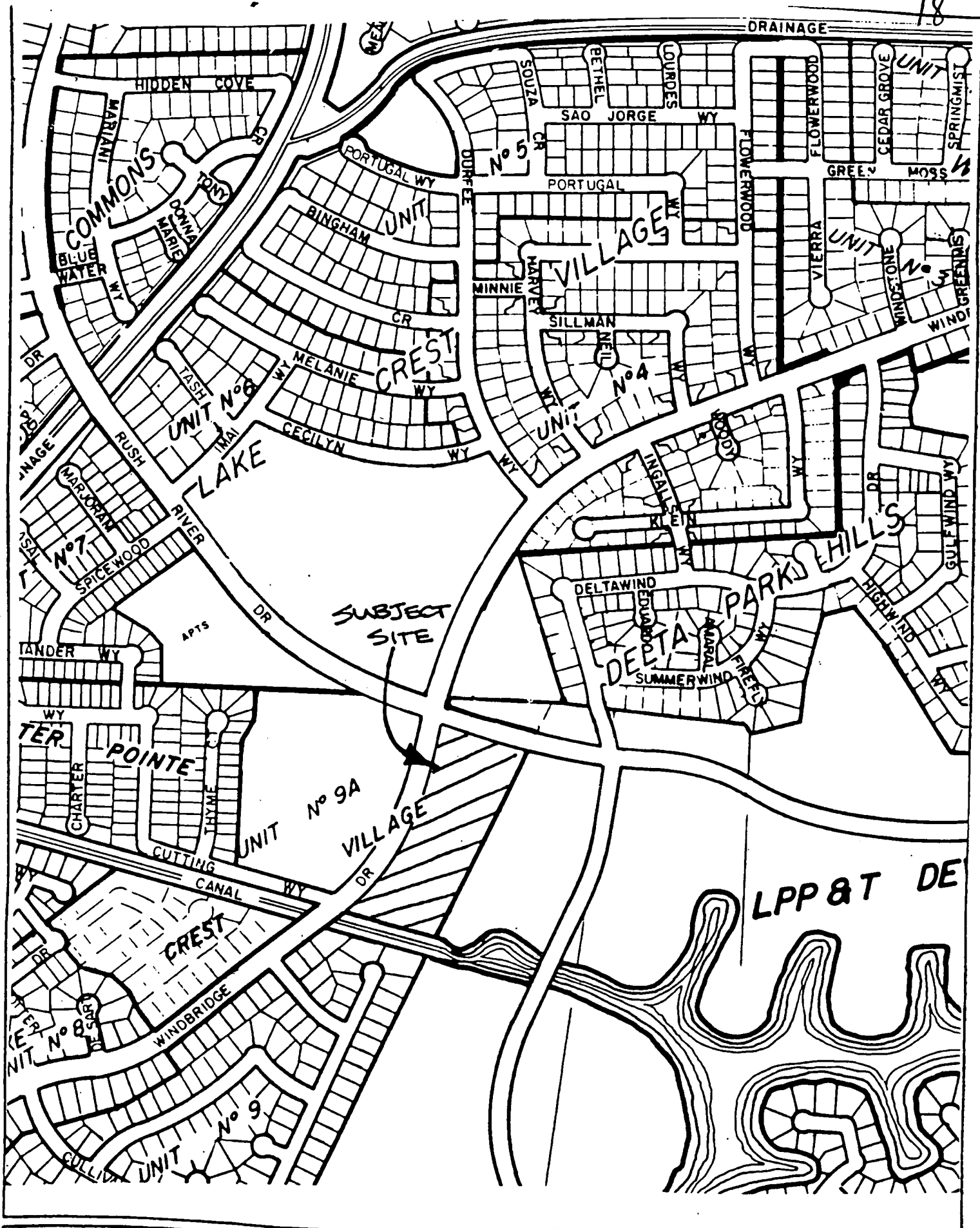
- 1. ~~An additional trash enclosure shall be located on the northern portion of the project (staff deleted)~~
- 2. The recreation building shall have a sink, stove and refrigerator installed for the use of the residents.
- 3. No recreational vehicles, boats, trailers, etc. shall be parked on-site.
- 4. The applicant remains obligated to satisfy conditions 1-4, 6-9, and 11-15 of the previous approval (P87-149).
- 5. Prior to final inspection approval by Building Inspectors, inspection there shall be an on-site inspection by the Planning Director.
- 6. The applicant shall submit plans for revisions as recommended by staff to Building Inspections for approval prior to final inspection of the project.
- 7. The project shall be constructed per the submitted plans; and garages shall be constructed as part of the condo construction.

Findings of Fact - Special Permit

- 1. The project, as conditioned, is based upon sound principles of land use in that the proposed condominium is compatible with surrounding single and multi-family uses.
- 2. The project, as conditioned, will not be injurious to public health, safety or welfare nor to surrounding properties in that:
 - a. adequate landscaping and parking are provided; and
 - b. the units contain amenities of standard single family units.
- 3. The project is consistent with the 1988 Pocket Community Plan designation of 16 to 29 units per acre.



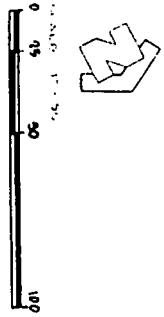
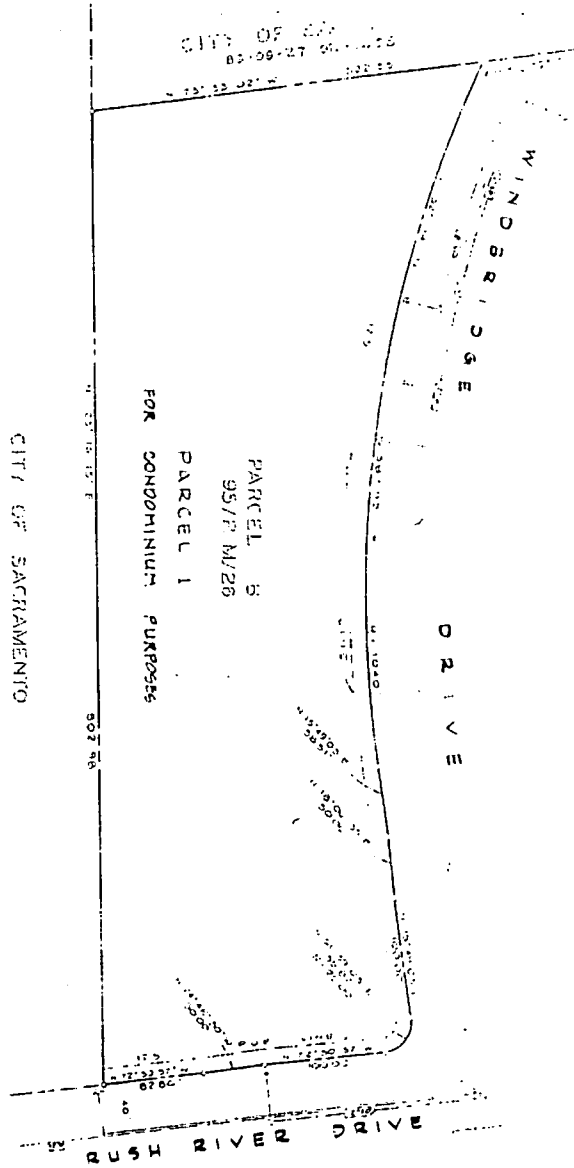
LAND USE & ZONING MAP



VICINITY MAP

TENTATIVE MAP

18



CITY OF SACRAMENTO

PARCEL B
95/P M/26
PARCEL 1
FOR CONDOMINIUM PURPOSES

WINDSOR DRIVE

RUSH RIVER DRIVE

OWNER/DEVELOPER
ERWIN BROWN & ASSOCIATES
1985 PLYMOUTH DRIVE
SACRAMENTO, CA

ENGINEER
COOPER, TROBORG & ASSOCIATES, INC.
3723 MONTE CREST DRIVE
SACRAMENTO, CALIF. 95821

REGISTERED SURVEYOR
JAMES W. BROWN
1000 J STREET
SACRAMENTO, CALIF. 95811

AREA
4,000 SQUARE FEET



VICINITY MAP

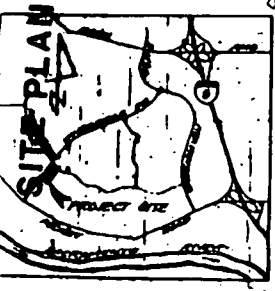
<p>PROJECT NO. 95-101</p> <p>RECORD NO. 95-101</p> <p>DATE 11-19-88</p>	<p>CONTRACT NUMBER 95-101</p> <p>DATE 11-19-88</p>	<p>DATE 11-19-88</p>	<p>DATE 11-19-88</p>	<p>DATE 11-19-88</p>	<p>DATE 11-19-88</p>
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TENTATIVE MAP
FOR CONDOMINIUM PURPOSES
PARCEL B OF "LAKECREST VILLAGE UNIT NO. 9A"
95 P.M. 26
APN 021-17-02
CITY OF SACRAMENTO
CALIFORNIA

P88-012

2.25.88 13

Item 19



VICINITY MAP

SITE DATA

Site Address: 7627 Windbridge Dr.
 Carpet Address: 7647 Windbridge Dr.

(Windbridge Drive) ADDRESSES

(Rush River Drive) ADDRESSES

NOTES: SEE LANDSCAPING PLAN FOR POOL, FENCE LOCATION AND DETAIL SIGN.

POOL AND SPA BY OTHERS

RECREATION AND POOL BUILDING

LEATHERED CONCRETE WINDBRIDGE

RECREATION

PARKING REQUIRED

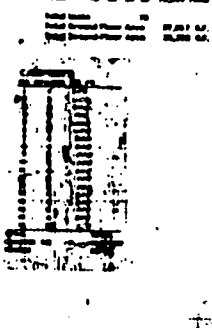
78 UNITS x 1.5 SPACES/UNIT = 117 SPACES

VISIBILITY AT DRIVE SPACES = 8 SPACES

PARKING REQUIRED: 125 SPACES

PARKING PROVIDED: 125 SPACES

(INCLUDES 9 HANDICAPPED SPACES WHERE SPECIFIED)

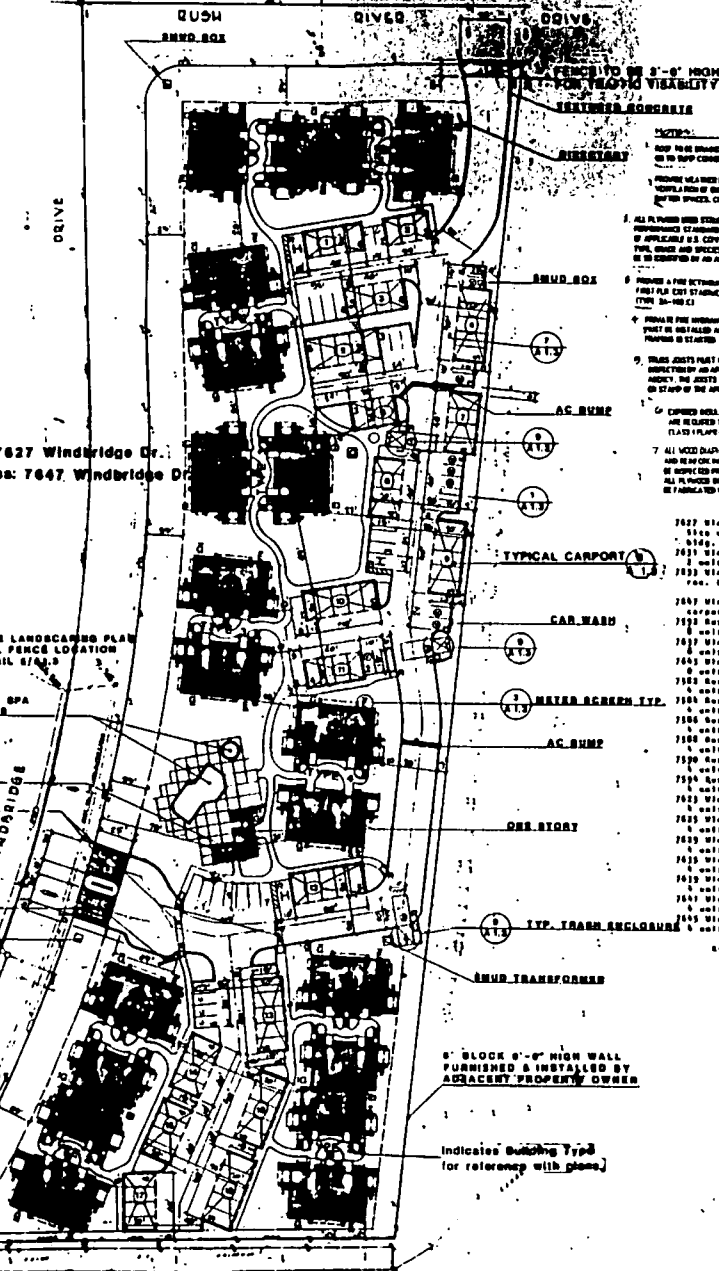


76-9' HIGH WOOD FENCE 1' TO 6'-6" W/ 2'-0" W/ 2'-0" VISIBILITY

6' BLOCK 6"-6" HIGH WALL FURNISHED & INSTALLED BY ADJACENT PROPERTY OWNER

Indicates Building Type (for reference with plans)

SCALE: 1/8" = 1'-0"



BUILDING DATA

BUILDING NO.	APARTMENT	RETAIL/POOL BUILDING (CARPORTS)
1	1-1	1
2	2-1	2
3	3-1	3
4	4-1	4
5	5-1	5
6	6-1	6
7	7-1	7
8	8-1	8
9	9-1	9
10	10-1	10
11	11-1	11
12	12-1	12
13	13-1	13
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95	95-1	95
96	96-1	96
97	97-1	97
98	98-1	98
99	99-1	99
100	100-1	100

TITLE 24

Lake View Apartment Project

DATE: 02-26-88

DRAWN BY: [Name]

CHECKED BY: [Name]

PROJECT NO. PC#3482

GENERAL REQUIREMENTS

The Architect will not be responsible for any changes, additions or omissions of materials or methods without the proper written approval.

All materials are to be new, unless otherwise noted. Do not derive from other details, and of good quality.

The Contractor will provide and install all materials, equipment, and labor necessary for the completion of the work shown on the drawings, including but not limited to: excavation, foundation, framing, masonry, electrical, plumbing, mechanical, and finishing.

The Contractor will be responsible for providing adequate temporary protection of adjacent properties and existing structures during construction.

All materials shall be installed in accordance with the latest edition of the U.S.C. Chapter 16.

SHEET INDEX

SHEET NO.	TITLE
1	SITE PLAN
2	FOUNDATION
3	FRAMING
4	ELECTRICAL
5	PLUMBING
6	MECHANICAL
7	INTERIORS
8	EXTERIORS

Building Information

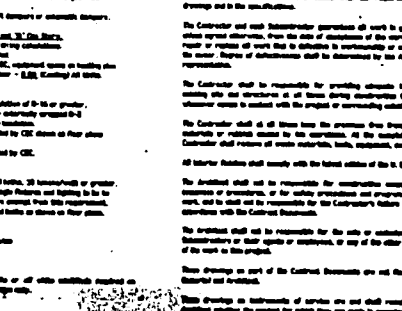
Project Name: 7627 Windbridge Dr., Sacramento, CA

Address: 7627 Windbridge Dr., Sacramento, CA 95819

Owner: [Name]

Architect: [Name]

Contract No.: [Number]



FAULKNER
 Architectural Company

1025 J Street, Suite 200, Sacramento, CA 95819
 (916) 454-2841

LAKEVIEW APARTMENTS
 7627 WINDBRIDGE DRIVE
 SACRAMENTO, CA

Issues

1-37-87 PLASTER CK

6-15-87 00/OWNER CHECK

8-8-87 000 BACKS CHECK

3-5-87 OWNER CK #37/4

11-17-87 BLC #2-SUB

1-17-88 PLINTY

Title _____

SITE PLAN

Sheet

A.1.1

11/15/88 CONSTRUCTION PRINTS 10/29/87

2.26.88

FLOOR 19

P88.072

2.25.88.15

Item 19

UNIT 'A' INTERIOR ROOM FINISH SCHEDULE

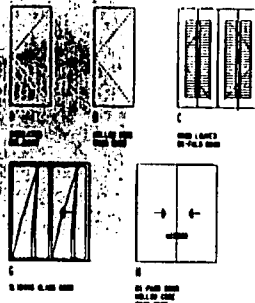
Room	Finish	Notes
Living Room	Carpet	
Dining Room	Carpet	
Kitchen	Carpet	
Bedroom	Carpet	
Bath	Carpet	
Vanity	Carpet	
Deck	Deck	
Storage	Storage	
Mech	Mech	
Entry	Entry	

DOOR SCHEDULE

No.	Size	Type	Notes
1	3'-0" x 7'-0"	Sliding	Living Room
2	3'-0" x 7'-0"	Sliding	Dining Room
3	3'-0" x 7'-0"	Sliding	Kitchen
4	3'-0" x 7'-0"	Sliding	Bedroom
5	3'-0" x 7'-0"	Sliding	Bath
6	3'-0" x 7'-0"	Sliding	Vanity
7	3'-0" x 7'-0"	Sliding	Deck
8	3'-0" x 7'-0"	Sliding	Storage
9	3'-0" x 7'-0"	Sliding	Mech
10	3'-0" x 7'-0"	Sliding	Entry

WINDOW SCHEDULE

No.	Size	Type	Notes
1	3'-0" x 7'-0"	Sliding	Living Room
2	3'-0" x 7'-0"	Sliding	Dining Room
3	3'-0" x 7'-0"	Sliding	Kitchen
4	3'-0" x 7'-0"	Sliding	Bedroom
5	3'-0" x 7'-0"	Sliding	Bath
6	3'-0" x 7'-0"	Sliding	Vanity



GENERAL APPLICABLE NOTES

1. Working for 200 hours 14' 0" x 14' 0" x 14' 0" long on slab projecting 24" to front of slab.
2. Not hung vertically.
3. Sliding doors shall be hung on rollers and shall be equipped with rollers.
4. Sliding doors shall be hung on rollers and shall be equipped with rollers.
5. Sliding doors shall be hung on rollers and shall be equipped with rollers.
6. Sliding doors shall be hung on rollers and shall be equipped with rollers.

DOOR SCHEDULE

1. All entry doors shall be of solid core type and be equipped with a strike of heavy duty type locking. The following minimum standards shall apply:

1. The door shall have a thickness of at least one inch and be constructed to be rigid cutting tool attack.
2. The cylinder of the lock shall be engaged at the edge of the door to the full depth of the lock.
3. The door shall be of the type which is not subject to a wedge of the door.
4. Sliding doors shall have a minimum of one inch of clearance between the door and the frame.

2. Each entry door shall be equipped with a minimum of one inch of clearance between the door and the frame.

3. Sliding doors shall be equipped with a minimum of one inch of clearance between the door and the frame.

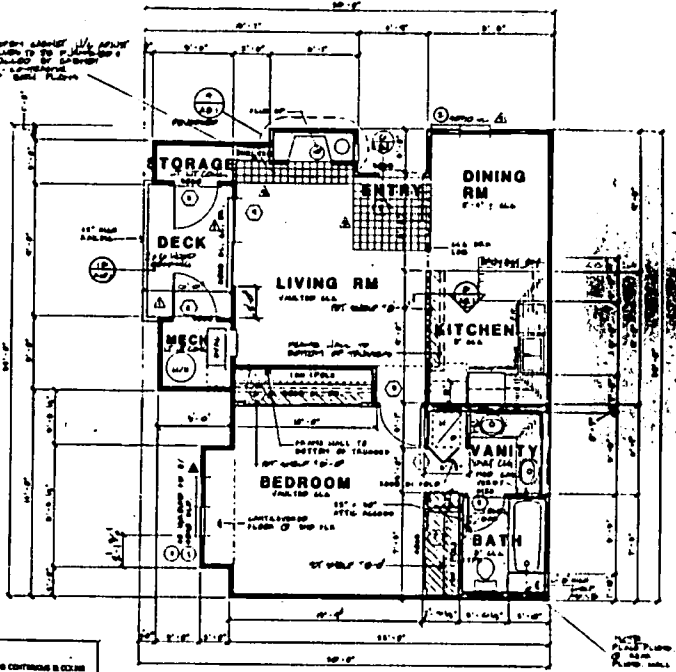
4. Sliding doors shall be equipped with a minimum of one inch of clearance between the door and the frame.

5. Sliding doors shall be equipped with a minimum of one inch of clearance between the door and the frame.

6. Sliding doors shall be equipped with a minimum of one inch of clearance between the door and the frame.

CABINETRY NOTES:

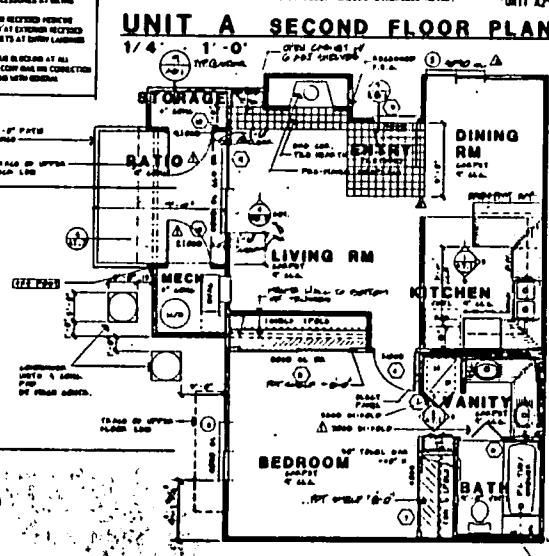
- REFER TO FINISH SCHEDULE FOR NOTES ON CABINETRY.
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UNIT A2

UNIT A2

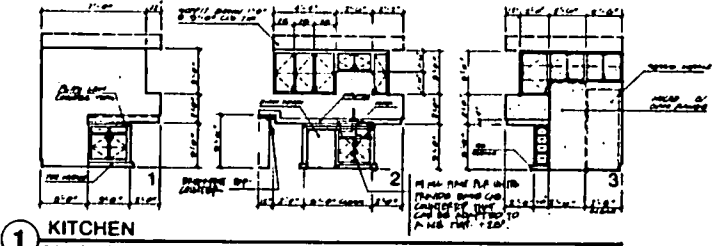
UNIT A2



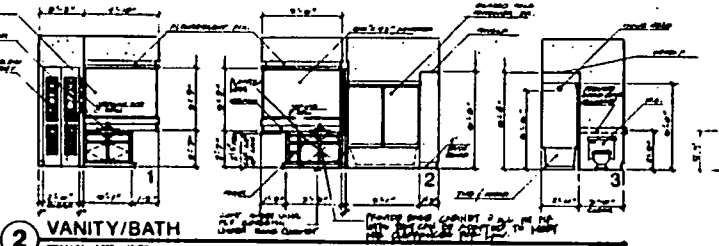
UNIT A1

UNIT A1

UNIT A1



1 KITCHEN



2 VANITY/BATH

UNIT A TYP. INTERIOR ELEVATIONS

1/4" = 1'-0"

FAULKNER
Architectural Company
4825 J Street, #220
Sacramento, CA 95819
(916) 484-2841

Project

LAKEVIEW APARTMENTS
7827 WINDBRIDGE DRIVE
SACRAMENTO, CA

Issues

9-14-87 BLDG. RE-NOV.
9-30-87 BLDG. RE-NOV.
10-27-87 BLDG. RE-NOV.

Title

UNIT 'A' FLOOR PLANS
& INTER. ELEVATIONS
NOTES/SCHEDULE

Sheet

A7.1

FLOOR PLANS

9-14-87 REVISED FOR CONDO PLAN
9-14-87 REVISED FOR CONDO PLAN

DOOR SCHEDULE

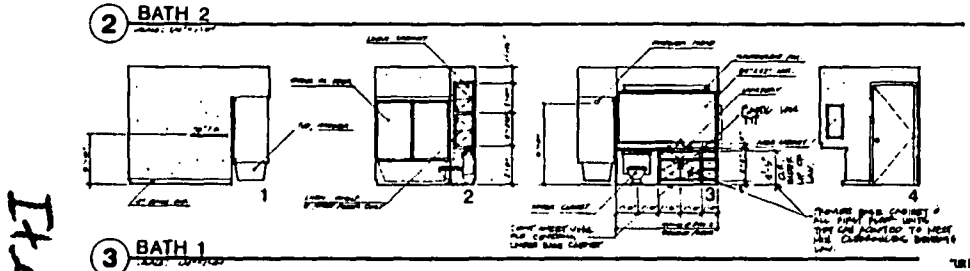
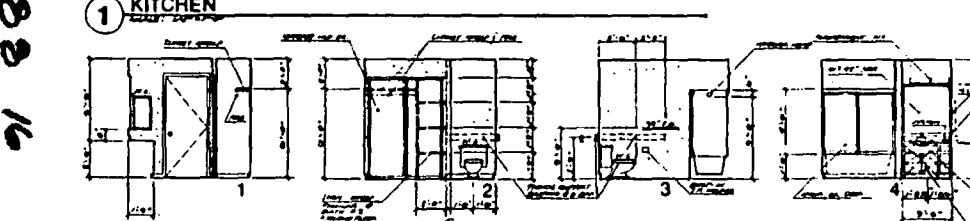
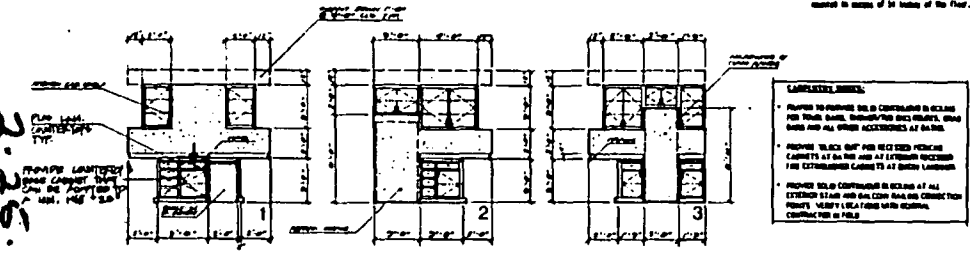
No.	Type	Size	Finish	Notes
1	6'0" x 2'0"	6'0" x 2'0"	01	Living Room
2	6'0" x 2'0"	6'0" x 2'0"	01	Dining Room
3	6'0" x 2'0"	6'0" x 2'0"	01	Kitchen
4	6'0" x 2'0"	6'0" x 2'0"	01	Master Bedroom
5	6'0" x 2'0"	6'0" x 2'0"	01	Bedroom
6	6'0" x 2'0"	6'0" x 2'0"	01	Bath #1
7	6'0" x 2'0"	6'0" x 2'0"	01	Bath #2
8	6'0" x 2'0"	6'0" x 2'0"	01	Entry
9	6'0" x 2'0"	6'0" x 2'0"	01	Hall
10	6'0" x 2'0"	6'0" x 2'0"	01	Storage
11	6'0" x 2'0"	6'0" x 2'0"	01	Deck
12	6'0" x 2'0"	6'0" x 2'0"	01	Mechanical

WINDOW SCHEDULE

No.	Type	Size	Finish	Notes
1	6'0" x 2'0"	6'0" x 2'0"	01	Living Room
2	6'0" x 2'0"	6'0" x 2'0"	01	Dining Room
3	6'0" x 2'0"	6'0" x 2'0"	01	Kitchen
4	6'0" x 2'0"	6'0" x 2'0"	01	Master Bedroom
5	6'0" x 2'0"	6'0" x 2'0"	01	Bedroom
6	6'0" x 2'0"	6'0" x 2'0"	01	Bath #1
7	6'0" x 2'0"	6'0" x 2'0"	01	Bath #2
8	6'0" x 2'0"	6'0" x 2'0"	01	Entry
9	6'0" x 2'0"	6'0" x 2'0"	01	Hall
10	6'0" x 2'0"	6'0" x 2'0"	01	Storage
11	6'0" x 2'0"	6'0" x 2'0"	01	Deck
12	6'0" x 2'0"	6'0" x 2'0"	01	Mechanical

UNIT "B" INTERIOR ROOM FINISH SCHEDULE

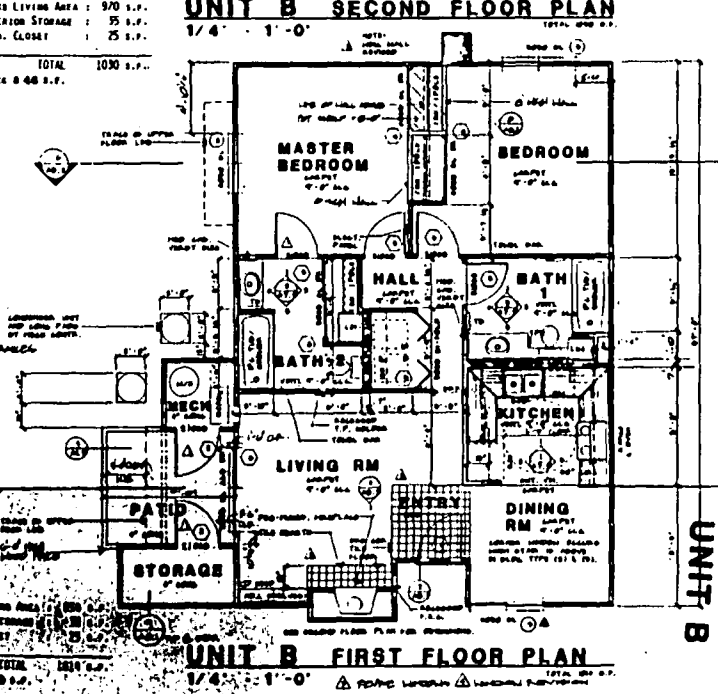
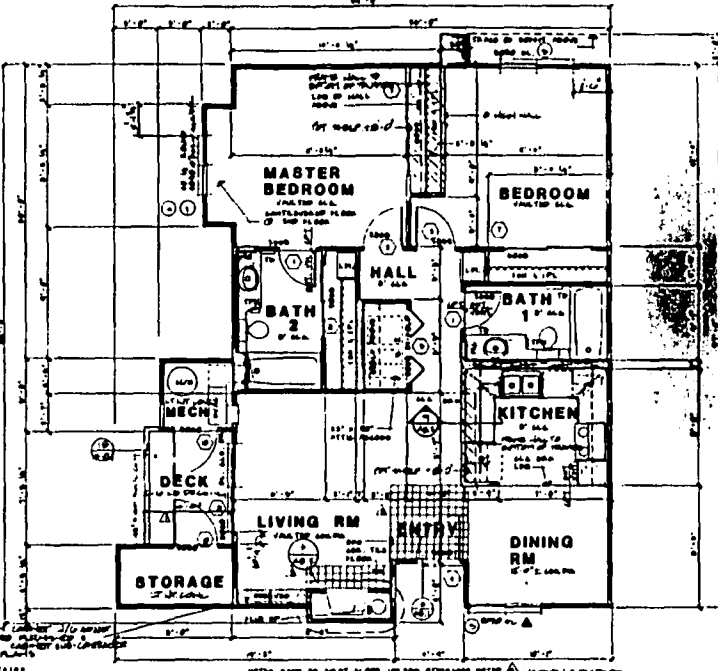
Room	Finish	Notes
Living Room	01	
Dining Room	01	
Kitchen	01	
Master Bedroom	01	
Bedroom	01	
Bath #1	01	
Bath #2	01	
Entry	01	
Hall	01	
Storage	01	
Deck	01	
Mechanical	01	



UNIT B TYP. INTERIOR ELEVATIONS
1/4" = 1'-0"

- EXTERIOR WALL SYSTEMS**
1. Slab on grade or 4" or 6" of concrete.
 2. 6" of Insulation.
 3. 4" of concrete.
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- EXTERIOR WALL SYSTEMS**
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FLOOR PLANS

9-14-87 REVISED FOR CONDO PLAN
FINAL/FINAL CONSTRUCTION PERMITS (10/26/87)

PAULKNER
 ARCHITECTS & INTERIORS
 4533 Street 2320
 Sacramento CA 95818
 (916) 454-2001

Project

LAKVIEW APARTMENTS
 7627 WINDBRIDGE DRIVE
 SACRAMENTO, CA

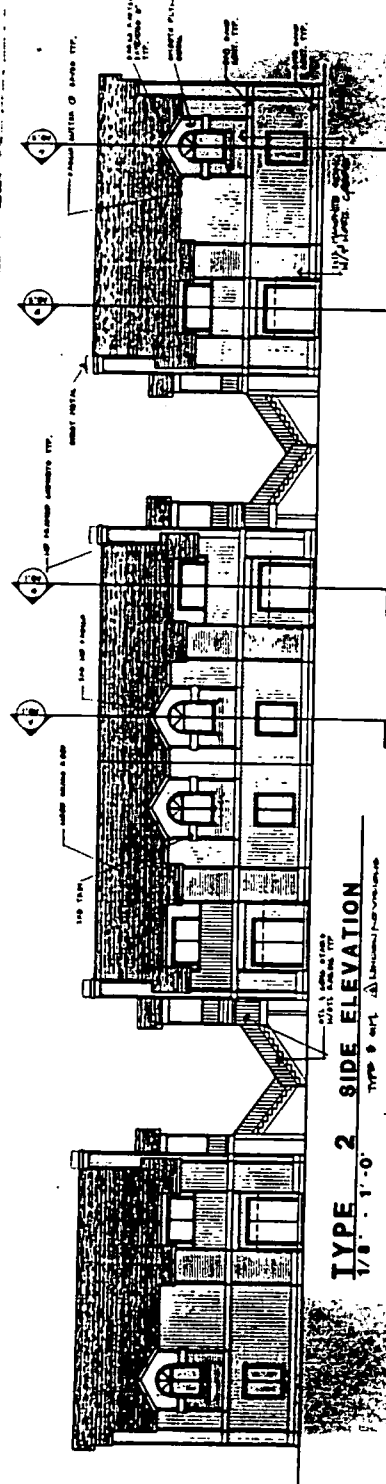
Issues
 9-14-87 REVISION #1-NO
 10-27-87 REVISION #2
 ALL DIMENSIONS IN FEET

Title
 EXTERIOR ELEVATIONS

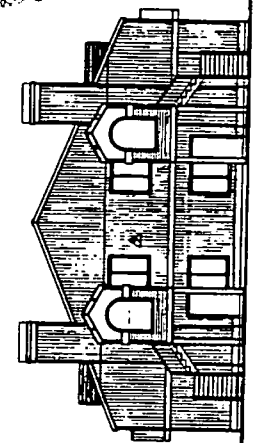
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9-14-87 REVISED FOR CONDO PLAN
 10/27/87 FINAL CORRECTED FOR PRINTING (10/27/87)

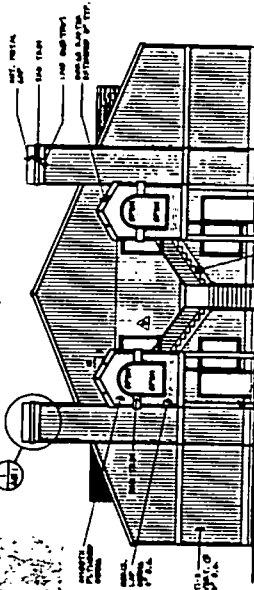
ELEVATIONS



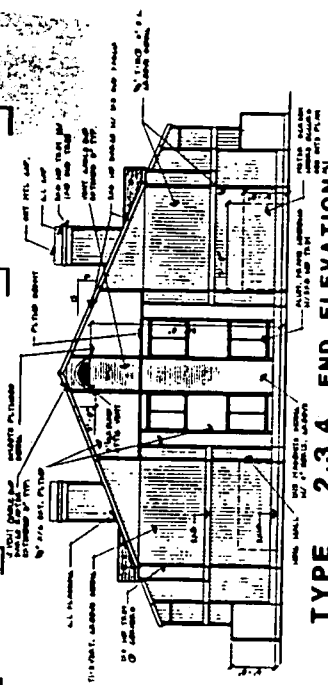
TYPE 2 SIDE ELEVATION
 1/8" = 1'-0"



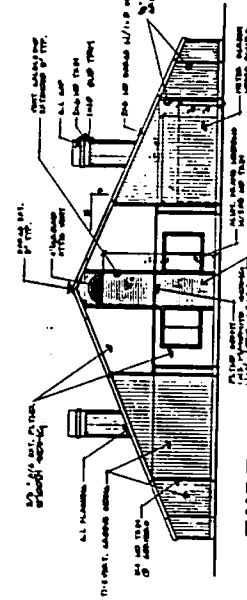
UNIT A BREEZEWAY ELEVATION
 1/8" = 1'-0"



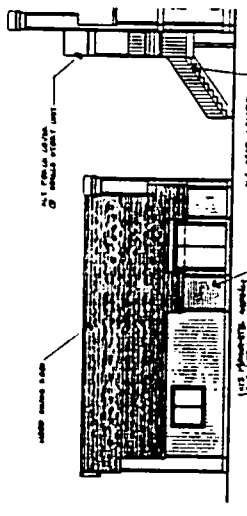
UNIT B BREEZEWAY ELEVATION
 1/8" = 1'-0"



TYPE 2,3,4 END ELEVATION
 1/8" = 1'-0"



TYPE 4 END ELEVATION
 1/8" = 1'-0"



TYPE 4 SIDE ELEVATION
 1/8" = 1'-0"

P88-012

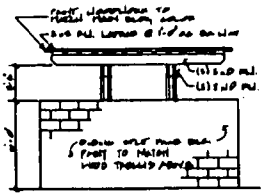
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Item 19

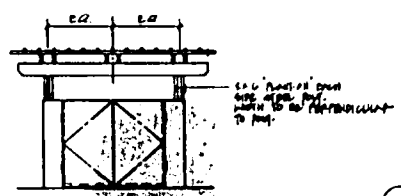
P88-072

2.25.88 18

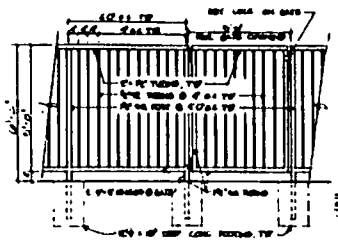
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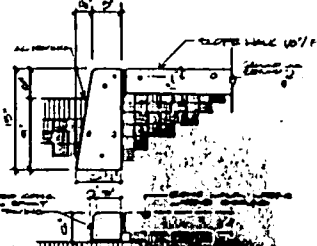
ELEVATION
1/4" = 1'-0"



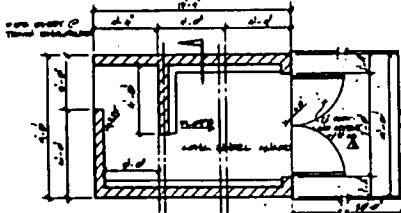
10 HINGE C TRASH ENCLOSURE
3/4" = 1'-0"



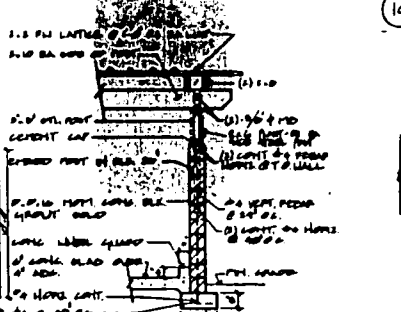
5 TYPICAL POOL FENCE & GATE
1/2" = 1'-0"



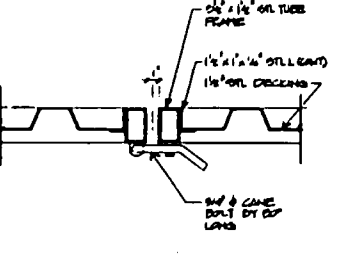
1 TYP. CONCRETE CURB
1/2" = 1'-0"



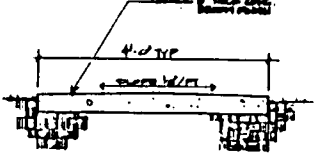
8 MASONRY TRASH ENCLOSURE
1/4" = 1'-0"



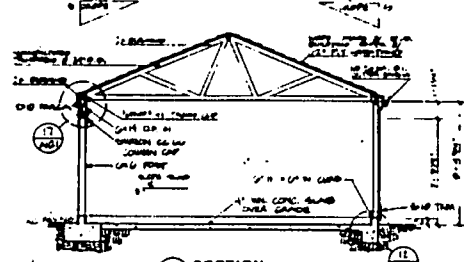
11 GATE C TRASH ENCLOSURE
3/4" = 1'-0"



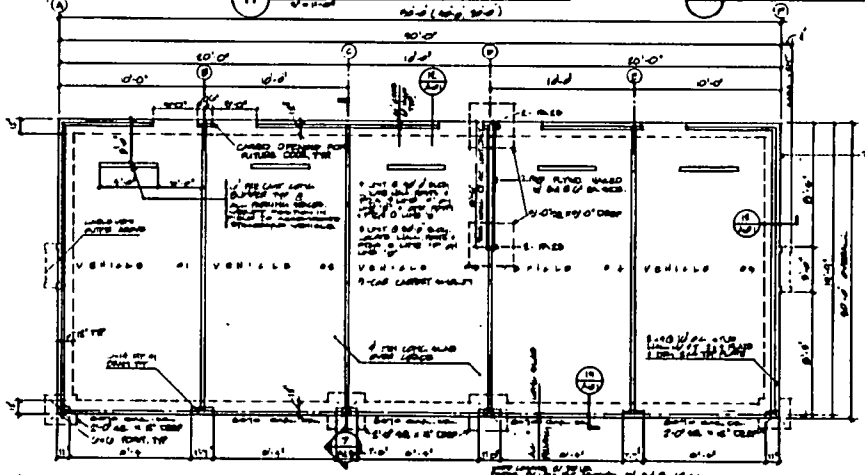
12 TYP. HANDICAPPED PARKING
1/2" = 1'-0"



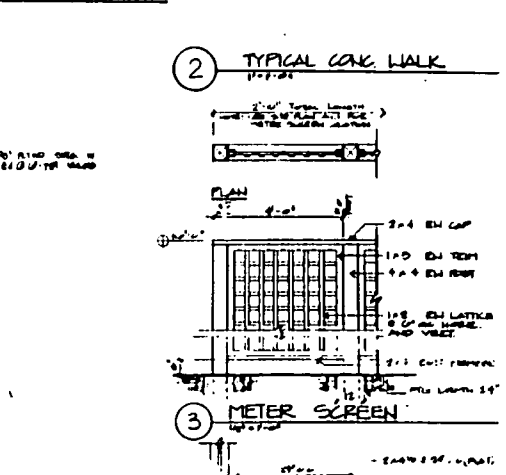
2 TYPICAL CONC. WALK
1/2" = 1'-0"



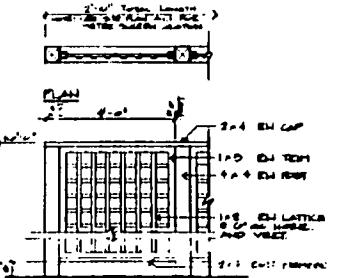
7 SECTION
SCALE: 1/4" = 1'-0"



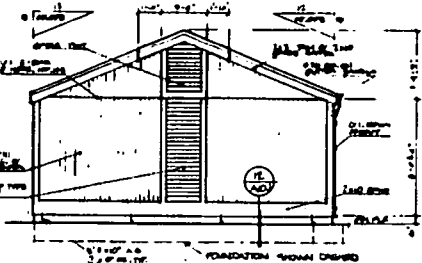
FRONT OR REAR ELEVATION
SCALE: 1/4" = 1'-0"



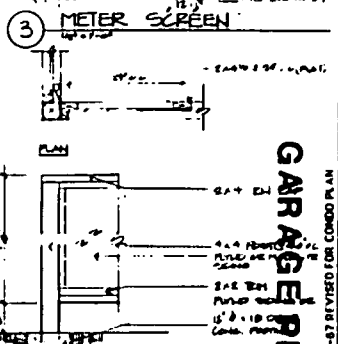
9 TYPICAL CARPORT
1/2" = 1'-0"



3 METER SCREEN
1/2" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 PATIO FENCE
1/2" = 1'-0"

FAULKNER
Architectural Group
4525 J Street, #220
Sacramento, CA 95819
(916) 484-2841

Project
LAKEVIEW APARTMENTS
7627 WINDBRIDGE DRIVE
SACRAMENTO, CA

Issues
 1. 12-87
 2. 12-87
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Site Details
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CARAGE PLANS

18