

REPORT AMENDED BY STAFF 3-23-89
CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Gabriel Carrillo Architectural Group Inc. - 1321 Howe Ave. #202, Sacto. 95825
OWNER ARC Properties, Inc. - P.O. Box 60729, Sacramento, CA 95860
PLANS BY Gabriel Carrillo - 1321 Howe Ave., Suite 202, Sacramento, CA 95825
FILING DATE 2-9-89 ENVIR. DET. Negative Declaration REPORT BY BW;sq
ASSESSOR'S PCL. NO. 237-0092-005, 026 and 029

- APPLICATION:**
- A. Negative Declaration
 - B. Plan Review to develop a 44,110 sq. ft. retail/showroom and office/warehouse on 3.94+ vacant ac. in the Light Industrial-Review (M-1(S))-R zone
 - C. Lot Line Adjustment to merge 3 lots into one on 3.94+ vacant ac. in the M-1(S)-R zone

LOCATION: Northwest corner of Raley Boulevard and Bell Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to develop retail and office warehouse development.

PROJECT INFORMATION:

General Plan Designation: Heavy Commercial/Warehouse
1984 North Sacramento Community
Plan Designation: Industrial
Existing Zoning of Site: M-1(S)-R
Existing Land Use of Site: Vacant

| Surrounding Land Use and Zoning: | Setbacks: | Required | Provided |
|----------------------------------|------------|----------|----------|
| North: Vacant; M-1(S)-R | Front: | 25' | 140' |
| South: Commercial; C-2-R | Side(Int): | 0 | 25' |
| East: Vacant; M-1(S)-R | Side(St): | 50' | 50' |
| West: Vacant; M-1(S)-R | Rear: | 0' | 7' |

Parking Required: 135 spaces
Parking Provided: 137 spaces
Property Dimensions: Irregular
Property Area: 3.94+ acres
Square Footage of Building: 44,110 sq. ft
Height of Building: 21' (1 story)
Topography: Flat
Street Improvements: Existing
Utilities: Existing
Exterior Building Materials: Concrete tilt-up walls
Roof Material: 4-ply built up roof

BACKGROUND INFORMATION: On October 27, 1988, the City Planning Commission approved a lot line adjustment to merge three lots into one (P88-389).

APPLC. NO. P89-085 MEETING DATE March 23, 1989 ITEM NO. 26

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of three vacant parcels totaling 3.94+ acres in the Light Industrial-Review (M-1{S}-R) zone. The review designation allows the City to review the project's site plan and building design prior to City Planning Commission approval and issuance of building permits. The General Plan and 1984 North Sacramento Community Plan designate the site for Heavy Commercial/Warehouse and Industrial, respectively. Surrounding land uses and zoning include a vacant lot to the north, east and west, zoned M-1(S)-R and a convenience market to the south, zoned C-2-R.

B. Applicant's Proposal

The applicant is proposing to develop a 44,110 sq. ft. office/warehouse and retail/showroom development on 3.94+ vacant acres. The development will consist of 28,246 sq. ft. of retail/showroom space, 3,966 sq. ft. of office space and 11,898 sq. ft. of warehouse. The Zoning Ordinance allows 25% of office space in a Light-Industrial zone. The applicant is requesting 25% of office space. The applicant is requesting a plan review to construct the 44,110 sq. ft. retail/office and warehouse development.

C. Site Plan Design

The submitted site plan indicates two entrances off of Raley Boulevard. Four individual buildings are proposed on the site. Staff felt that restaurant uses on the subject site would generate more traffic than any other retail type use. Parking spaces required for restaurant type uses are based on the number of seats proposed in the building (1:3). At this location parking spaces are calculated for retail square footage only and not seating capacity. All proposed restaurants on the site shall be reviewed and approved by the Planning Director prior to issuance of an occupancy permit. In addition, the subject site shall not exceed the total square footage indicated for retail space. The Building Division shall not issue any permits for tenant improvements for retail square footage that will cause an excess of 28,246 sq. ft., thereby creating a parking deficiency.

The site plan indicates a 50 ft. building setback along Raley Boulevard. A landscape plan has been submitted. The landscape plan indicates a 25' and 50' landscape setback with 3' architectural berms and 15 and 5 gallon trees are proposed along the side yard and front yard property lines between the buildings. Lawn material is also shown on the site plan. The applicant shall provide 3-1/2' undulating berms with 15 gallon trees and 5 gallon shrubs along Raley Boulevard. The landscape and irrigation plans shall be submitted to the planning Director for review and approval prior to issuance of building permits. The subject site shall be required to meet the Zoning Ordinance 50% shading requirement.

Two trash enclosures are indicated on the site plan. The proposed enclosures shall conform with the City's Trash Enclosure Ordinance. Three bicycle lockers and five bicycle racks are shown on the site plan.

D. Parking and Circulation

As previously noted, there are two driveway entrances off of Raley Boulevard. The site plan indicates 112 standard size parking spaces, 21 compact spaces and 4 handicapped spaces (total 137). One-hundred and thirty-five (135) spaces are required for the subject site based on the square footage of each type of use. The applicant has met the parking required for the site.

The Building Division has indicated that a minimum 3" concrete base shall be provided underneath the concrete paves shown on the site plan. In addition, an 8' walkway with no wheel stops shall be provided between the building and the parking spaces.

E. Building Design

The site plan indicates a total of four buildings on the site (see Exhibit A). The proposed building material will consist of painted concrete tilt-up walls. Roofing material will consist of 4-ply built up roof. The buildings will provide canvas awnings. A painted accent border will also be provided on the buildings. The Design Review Coordinator has indicated that the building's elevations are acceptable.

Proposed signage is indicated on the site plan. A sign program for the complex shall be subject to review and approval by the Planning Director prior to issuance of a sign permit.

The applicant should be aware that the proposed project may be subject to compliance with the recently adopted Housing Trust Fund Ordinance requirements.

F. Agency Comments

The proposal was routed to the City's Traffic Engineer, Engineering, Building Inspections, and City Water and Sewer. The following comments were received.

Building Division

1. A minimum 3" concrete base shall be provided underneath the concrete paves.
2. An 8' walkway with no wheel stops shall be provided between the building and the parking spaces.

Engineering Division

1. Right-of-way along Raley Boulevard will have to be dedicated to 55' half-section - Bell Avenue to a 40' half-section.
2. Driveway permits shall be required.
3. Applicant to join either Bell Avenue Assessment District or Fee District to utilize sewer, drainage and water in public right-of-way.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the Negative Declaration;
- B. Approve the Plan Review for a 44,110+ sq. ft. retail/showroom and office/warehouse subject to conditions and based on findings of fact which follow; and
- C. Lot Line Adjustment to merge 3 lots into one (withdrawn by staff).

Conditions

1. Restaurants with seating on the subject site shall be reviewed and approved by the Planning Director and Building Division to determine sufficient parking, prior to issuance of an occupancy permit.
2. ~~The proposed building square footage indicated for retail space shall not exceed the total square footage indicated for retail space on the submitted site plan. The Building division shall not issue any permits for tenant improvements for retail square footage that will cause an excess of 28,246 sq. ft., thereby creating a parking deficiency.~~
The proposed building square footage indicated for retail space shall not exceed 28,246 sq. ft., unless prior to issuance of a building permit the applicant submits a revised site plan demonstrating to the Planning Director that adequate parking is available. (staff amended)
3. The applicant shall provide 3-1/2' undulating berms with 15 gallon trees and 5 gallon shrubs along Raley Boulevard.
4. Final landscape and irrigation plans shall be submitted to the Planning Director for review and approval prior to issuance of building permits.
5. The subject site shall be required to meet the Zoning Ordinance 50% shading requirement.

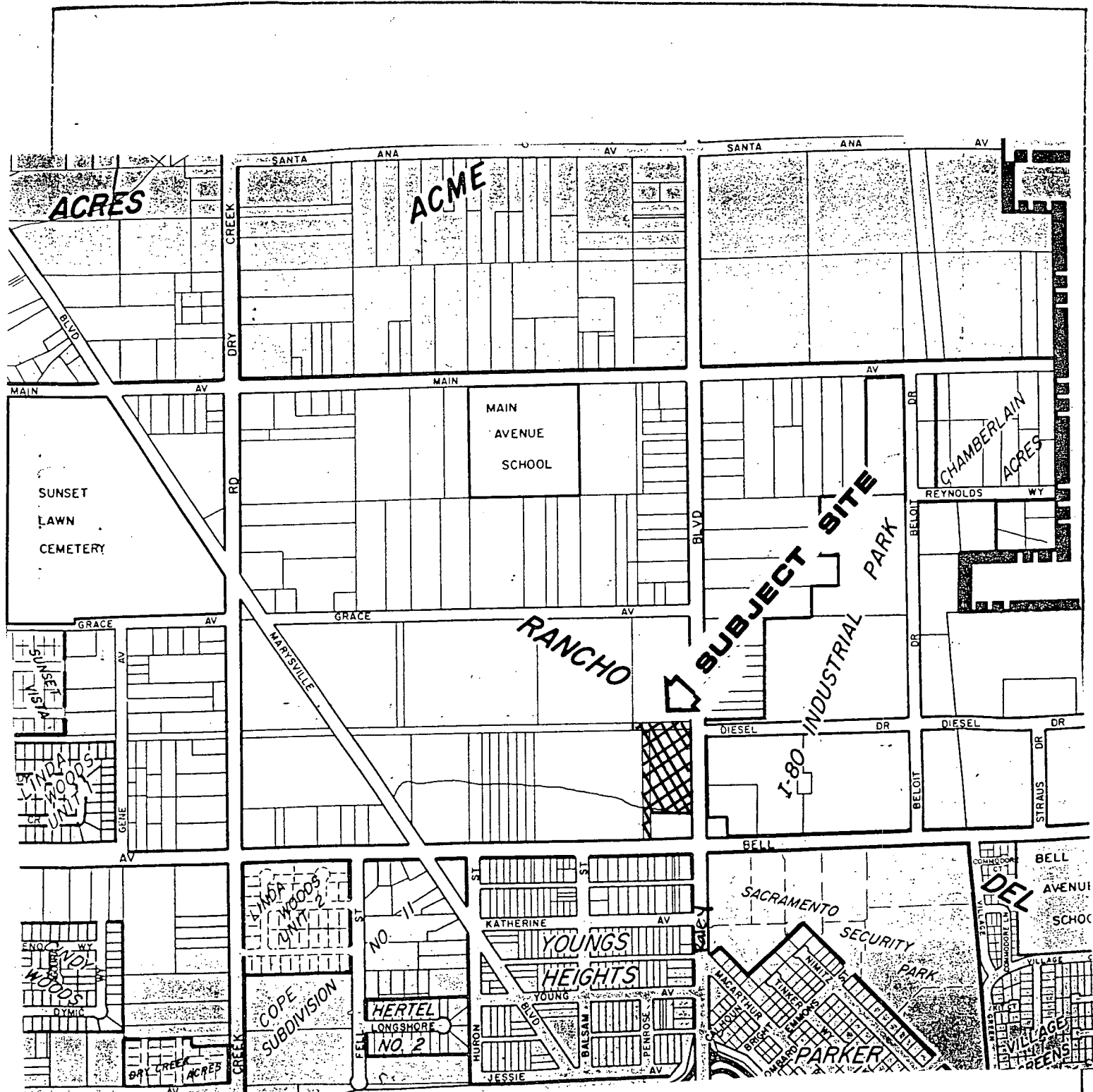
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6. Trash enclosures shall conform with the City's Trash Enclosure Ordinance.
7. A minimum 3" concrete base shall be provided underneath the concrete paves.
8. An 8' walkway with no wheel stops shall be provided between the building and parking spaces.
9. The applicant shall submit a sign program for the proposed complex for review and approval by the Planning Director prior to issuance of a sign permit.
10. The right-of-way along Raley Boulevard shall be dedicated to a 55' half-section and Bell avenue to a 40' half-section.
11. The applicant shall obtain driveway permits prior to issuance of building permits.
12. The applicant shall join either the Bell Avenue Assessment District or Fee District to utilize sewer, drainage and water in the public right-of-way

Findings of Fact

1. The project, as conditioned, is based upon sound principles of land use in that the proposed office, retail and warehouse development is compatible with surrounding commercial and light industrial uses and zones.
2. The project, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that adequate parking, building setbacks and landscaping will be provided.
3. The project is consistent with the General Plan in that the site is designated for light industrial type uses which allow retail and 25% of office.

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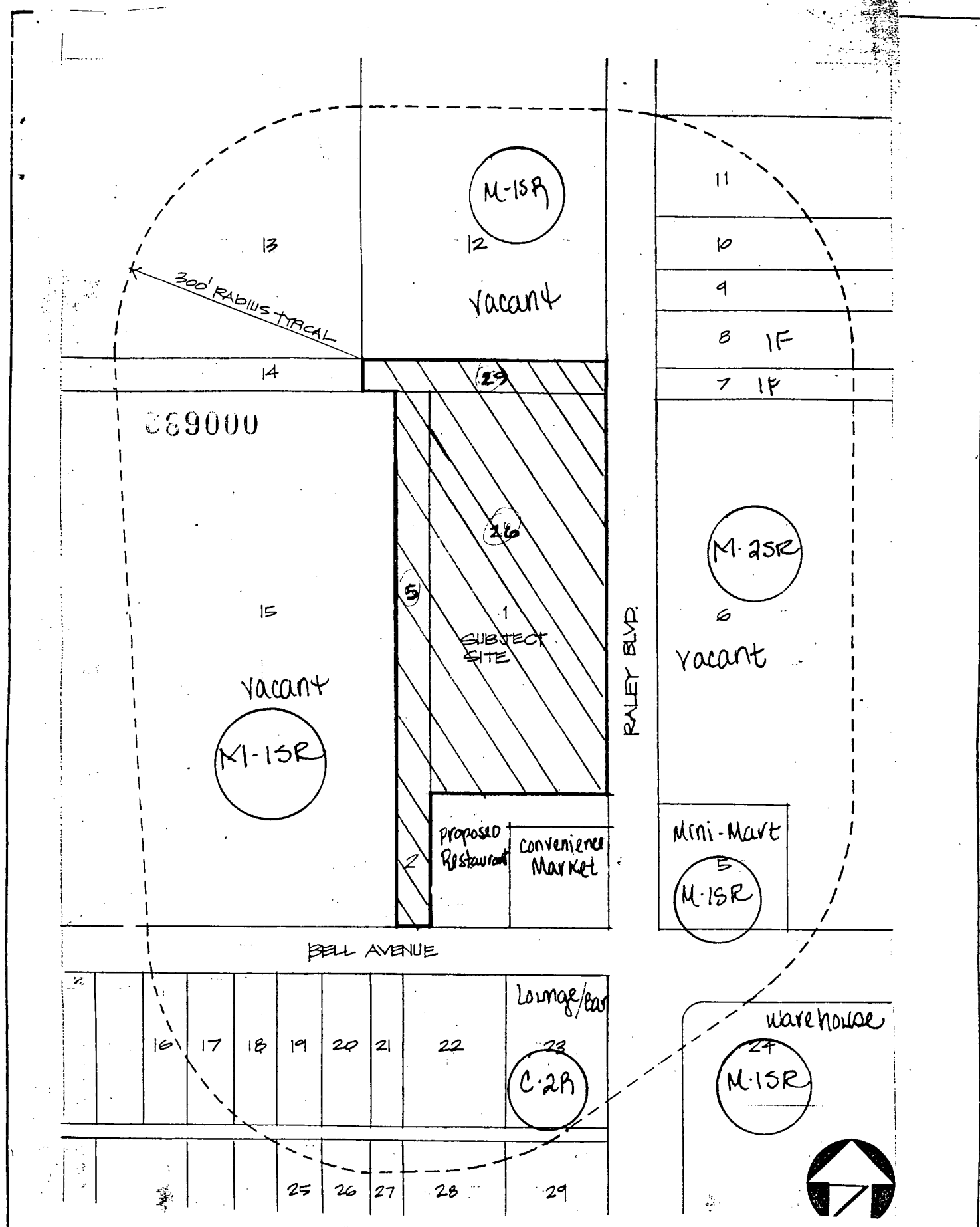
VICINITY MAP



P87 085

3-23-89

WLMJ26



LAND USE & ZONING MAP

P89-085

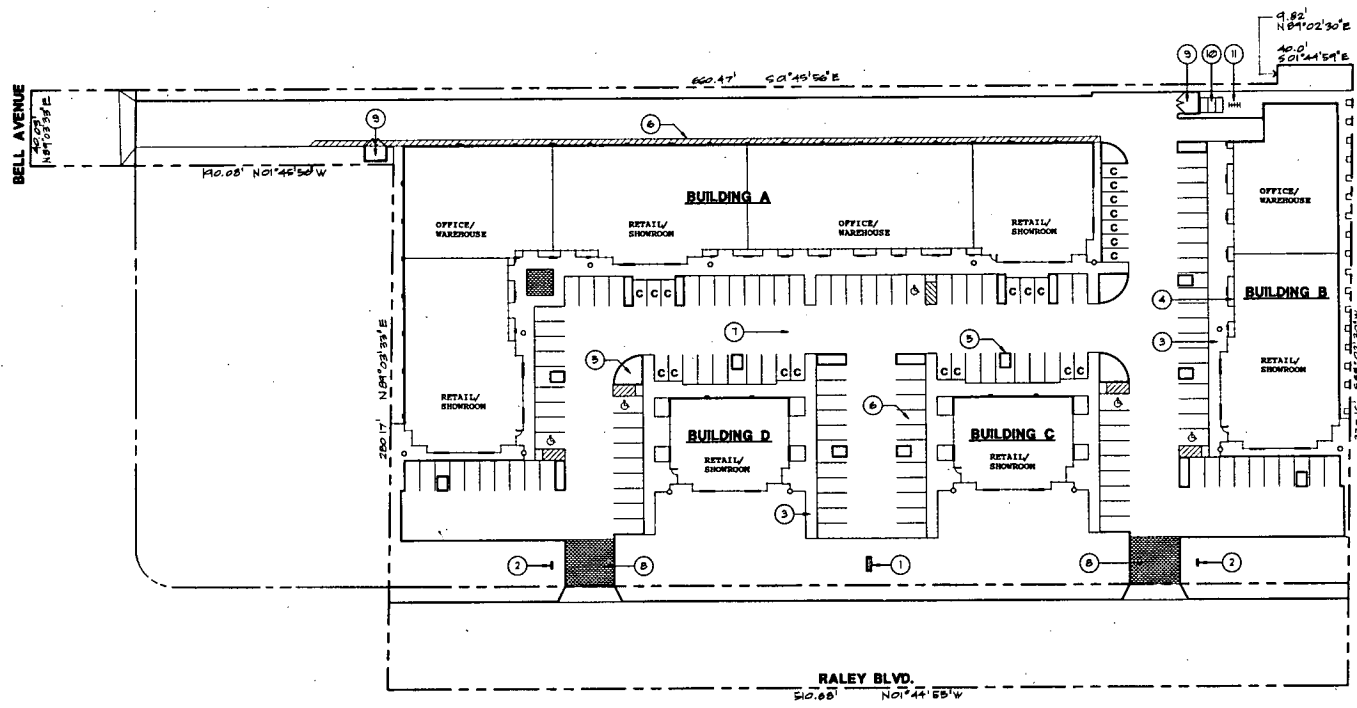
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3-8-88

14 JUN 88



SITE PLAN



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KEYNOTE

1. MONUMENT HIGH. CONCRETE BASE WITH ELECTRICAL FOR FUTURE SIGN.
2. ADDRESS SIGN. CONCRETE BASE WITH CAST ALUMINUM LETTERS ON BOTH SIDES.
3. 4" CONCRETE WALKS. SMOOTH FINISH. SMOOTH CONCRETE ACCENT PATTERNS.
4. PLANTERS.
5. PLANTERS WITH 6" CONCRETE CURB.
6. PARKING LOT STRIPING.
7. ASPHALTIC CONCRETE PAVING.
8. CONCRETE PAVERS OVER CONCRETE BASE.
9. TRASH ENCLOSURE. 6'-0" CONCRETE TILTUP WITH METAL GATES.
10. BIKE LOCKERS. 3 CLASS "A".
11. BIKE RACKS. 5 SPACES.

SITE DATA

| BUILDING SQUARE FOOTAGE (NET) | |
|-------------------------------|--------|
| A | 27,746 |
| B | 10,288 |
| C | 3,038 |
| D | 3,018 |
| TOTAL | 44,110 |

| SQUARE FOOTAGE BREAKDOWN | |
|---------------------------|--------|
| RETAIL/SHOWROOM | 28,246 |
| OFFICE/WAREHOUSE | |
| OFFICE 258 | 3,966 |
| WAREHOUSE 758 | 11,898 |
| PARKING REQUIRED | |
| RETAIL | 113 |
| OFFICE | 10 |
| WAREHOUSE | 12 |
| TOTAL | 135 |
| PARKING PROVIDED | |
| FULL SIZE | 112 |
| COMPACT | 21 |
| HANDICAPPED | 4 |
| TOTAL | 137 |
| BICYCLE LOCKERS AND RACKS | |
| LOCKERS CLASS A | 3 |
| RACKS | 5 |

| ZONE | W-1 SR |
|----------------------|------------------|
| SITE AREA | 3.938 ACRES ± |
| | 171,539 SF |
| BUILDING COVERAGE: | |
| | 44,110 SF 25.7% |
| LANDSCAPE COVERAGE: | |
| | 25,413 SF 15.0% |
| PAVED AREA COVERAGE: | |
| | 101,814 SF 59.3% |



Larry Gabriel, AIA C11, 177
J. Steven Carrillo, AIA C11, 222

RALEY & BELL PROJECT

ARC PROPERTIES INC.

Drawing Status

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Date
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EXHIBIT A
SITE PLAN

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KEYNOTE

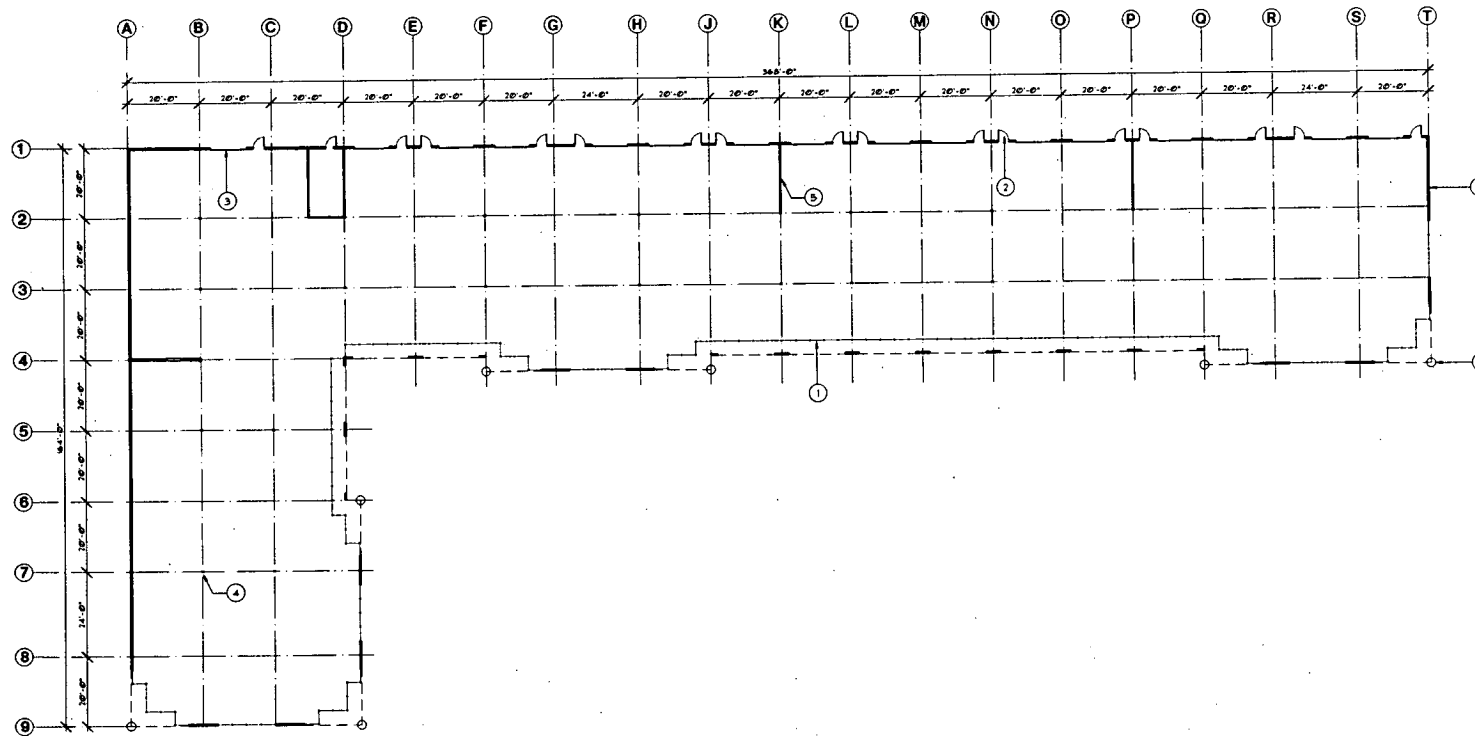
1. ALUMINUM STOREFRONT SYSTEM.
2. HOLLOW METAL DOORS WITH PRESSED METAL FRAMES.
3. 10' X 12' ROLLUP DOOR.
4. STRUCTURAL COLUMN WITH PANELIZED ROOF SYSTEM.
5. STRUCTURAL "K" BRACE.
6. ELECTRICAL ROOM.
7. CONCRETE 30" DIAMETER COLUMN.
8. CONCRETE TILT UP PANEL.



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FLOOR PLAN BUILDING A

GROSS AREA 29,269
 NET AREA 27,146

GROSS AREA INCLUDES AREA UNDER SOFFIT



1/16" = 1'-0"

Drawing Status

Date
 2/2/81
 2/9/81

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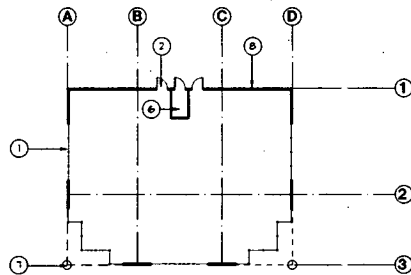
EXHIBIT B
FLOOR PLANS

189-085

3-23-89

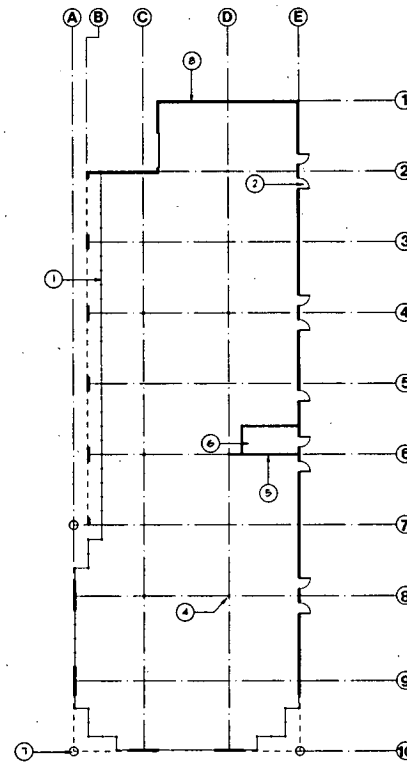
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FLOOR PLAN BUILDING C & D

GROSS AREA INCLUDES AREA UNDER SOFFIT 1/16" = 1'-0"
GROSS AREA 3,200
NET AREA 3,030



FLOOR PLAN BUILDING B

GROSS AREA INCLUDES AREA UNDER SOFFIT 1/16" = 1'-0"
GROSS AREA 10,896
NET AREA 10,788

KEYNOTE

1. ALUMINUM STOREFRONT SYSTEM.
2. HOLLOW METAL DOORS WITH PRESSED METAL FRAMES.
3. 10' X 12' ROLLUP DOOR.
4. STRUCTURAL COLLUMS WITH PANELIZED ROOF SYSTEM.
5. STRUCTURAL "K" BRACE.
6. ELECTRICAL ROOM.
7. CONCRETE 10" DIAMETER COLUMN.
8. CONCRETE TILT UP PANEL.



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J Steven Carrillo AIA CII, 222

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Drawing Status.

| Date | Issues | Revisions |
|--------|--------|-------------|
| 2/2/89 | | PRELIMINARY |
| 2/9/89 | | |

Drawn By AEJ

Checked By LAG/JBC

Job No 88128.00

Sheet Title

FLOOR PLAN

Sheet No

A-3

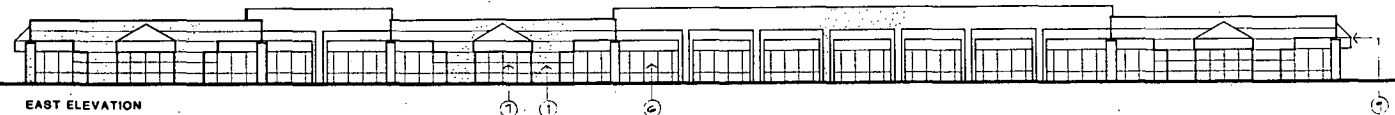
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EXHIBIT B / FLOOR PLANS

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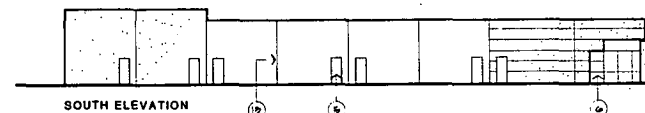
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EAST ELEVATION

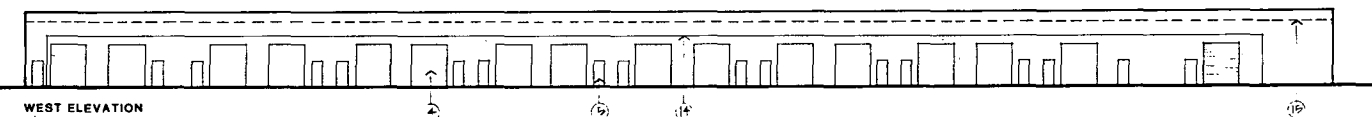


NORTH ELEVATION



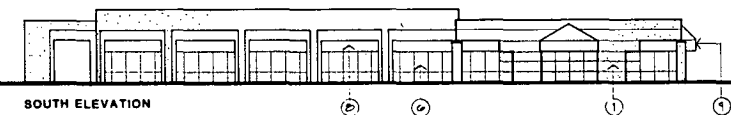
SOUTH ELEVATION

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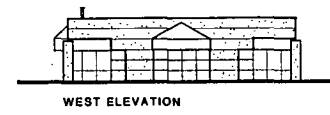


WEST ELEVATION
BUILDING A

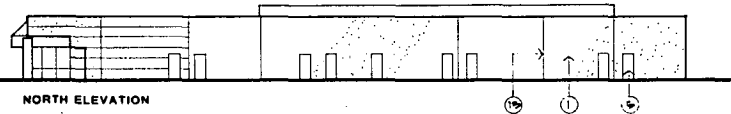
1/16" = 1'-0"



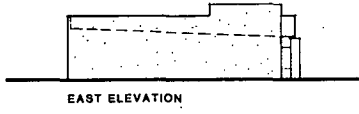
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION
BUILDING B



EAST ELEVATION

1/16" = 1'-0"



WEST ELEVATION
BUILDINGS C & D



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

1/16" = 1'-0"

KEYNOTE

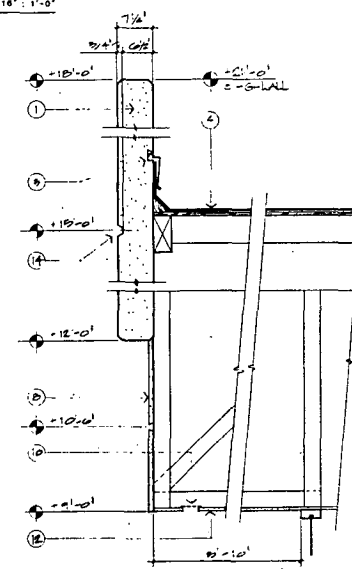
1. CONCRETE TILT UP WALLS. SMOOTH TEXTURE. PAINTED.
2. 4 PLY BUILT UP ROOF.
3. 24 GAUGE SHEETMETAL FLASHING IN CONTINUOUS CAST IN PLACE REGLET.
4. 10' X 12' ROLLUP DOORS, PRIMED.
5. 3'-0" X 7'-0" 16 GA. HOLLOW METAL DOORS. LOCKSET AND DEADBOLT. PAINT.
6. 9'-0" ALUMINUM STOREFRONT. WHITE THERMOSETTING ACRYLIC FINISH.
7. SINGLE GLAZED. PPG SOLARGREY #41.
8. PLASTER. INTEGRAL COLOR.
9. CARVILS ANNNINGS.
10. CONTINUOUS SOFFIT VENT.
11. SIGN RACEMAY.
12. GYPSUM WALLBOARD.
13. TILTUP PANEL JOINTS.
14. PAINTED ACCENT BORDER.
15. ROOF LINE.



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J Steven Carrillo AIA C11, 222

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PROJECT**

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SPANDREL SECTION

1" = 1'-0"

Drawing Status

Date
2/2/89
2/10/89

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Sheet 11
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Sheet N

**EXHIBIT C
ELEVATIONS**