

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Wednesday, August 26, 1998, the Zoning Administrator approved a lot line adjustment (File Z98-090) by adopting the attached resolution (ZA98-029).

Project Information

Request: Zoning Administrator Lot Line Adjustment to relocate the common property lines between two vacant parcels totaling $10\pm$ acres in the Rural Estates (RE 1/4) zone.

Location: East side of Bruceville Road, 570 feet north of Sheldon Road (D7, Area 2)

Assessor's Parcel Number: 117-0212-012, 013

Applicant: Mark Skreden Commercial Real Estate (Mark Skreden)
935 University Avenue
Sacramento, CA 95825

Property Owner:	Gloria Equity Partners and LeGrand Uffens Trust 2045 Indian Trail 18 Saint Peter Court Cool, CA 95614 Sacramento, CA 95823
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General Plan Designation: Parks, Recreation, and Open Space; and Residential (4-20 du/na)

South Sacramento

Community Plan Designation: Parks and Open Space; and Residential (6-12 du/na)

Existing Land Use of Site: Vacant

Existing Zoning of Site: Rural Estates (RE 1/4)

Surrounding Land Use and Zoning:

North: RE 1/4; Vacant

South: RE 1/4; Vacant

East: RE 1/4; Vacant

West: RE 1/4; Vacant

Property Dimensions: Irregular

Property Area: $3.76\pm$ acres

Topography: Flat

Street Improvements: Partially Developed
Utilities: Existing

Project Plans: Exhibit A

Legal Description: Exhibits B-1 and B-2

Previous Files: None

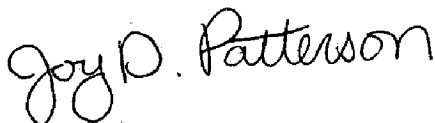
Additional Information The applicant proposes to relocate the common property lines between two parcels to realign the parcels in order to align the property lines to the land use designations, to provide street frontage for each parcel, and for future development. Both parcels are vacant and the east parcel is currently landlocked. The Zoning Ordinance and Building Code do not permit structures to cross property lines. All parcels will meet all minimum lot size requirements after the proposed adjustment.

Agency Comments

The proposed project has been reviewed by the City Utilities Department, the Building Division, and the Public Works - Transportation and Engineering Planning Divisions. The comments received pertaining to the lot line adjustment have been included as conditions in the attached resolution.

Environmental Determination

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15305(a)}.

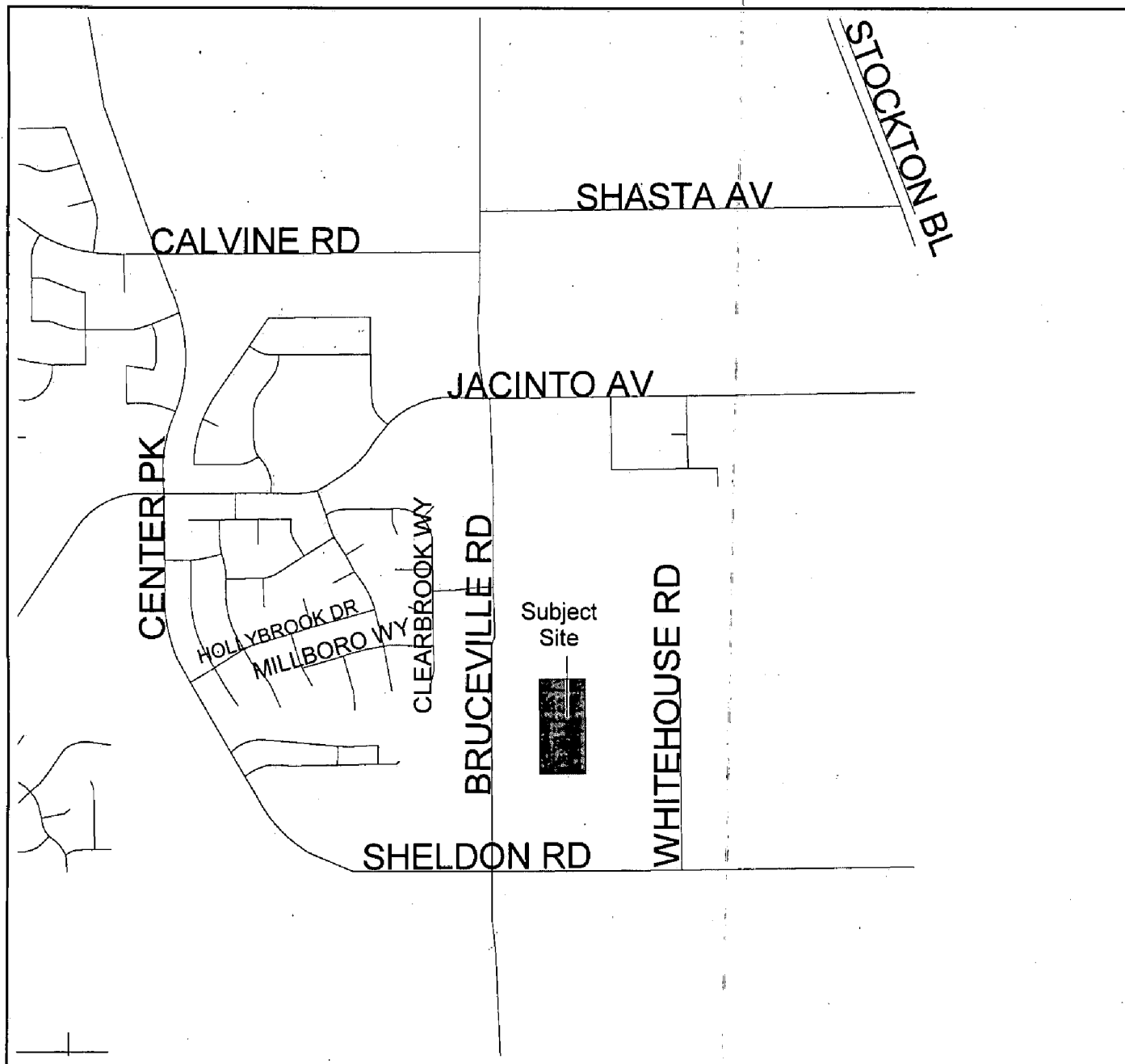


Joy D. Patterson
Zoning Administrator

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

Note: The applicant will need to contact the Public Works Department (Jerry Lovato, 264-7918) after the appeal period is over to record a certificate of compliance to complete the parcel merger.

cc: File (original)
ZA Resolution Book
ZA Log Book
Applicant
Owner
Public Works (Anwar Ali)

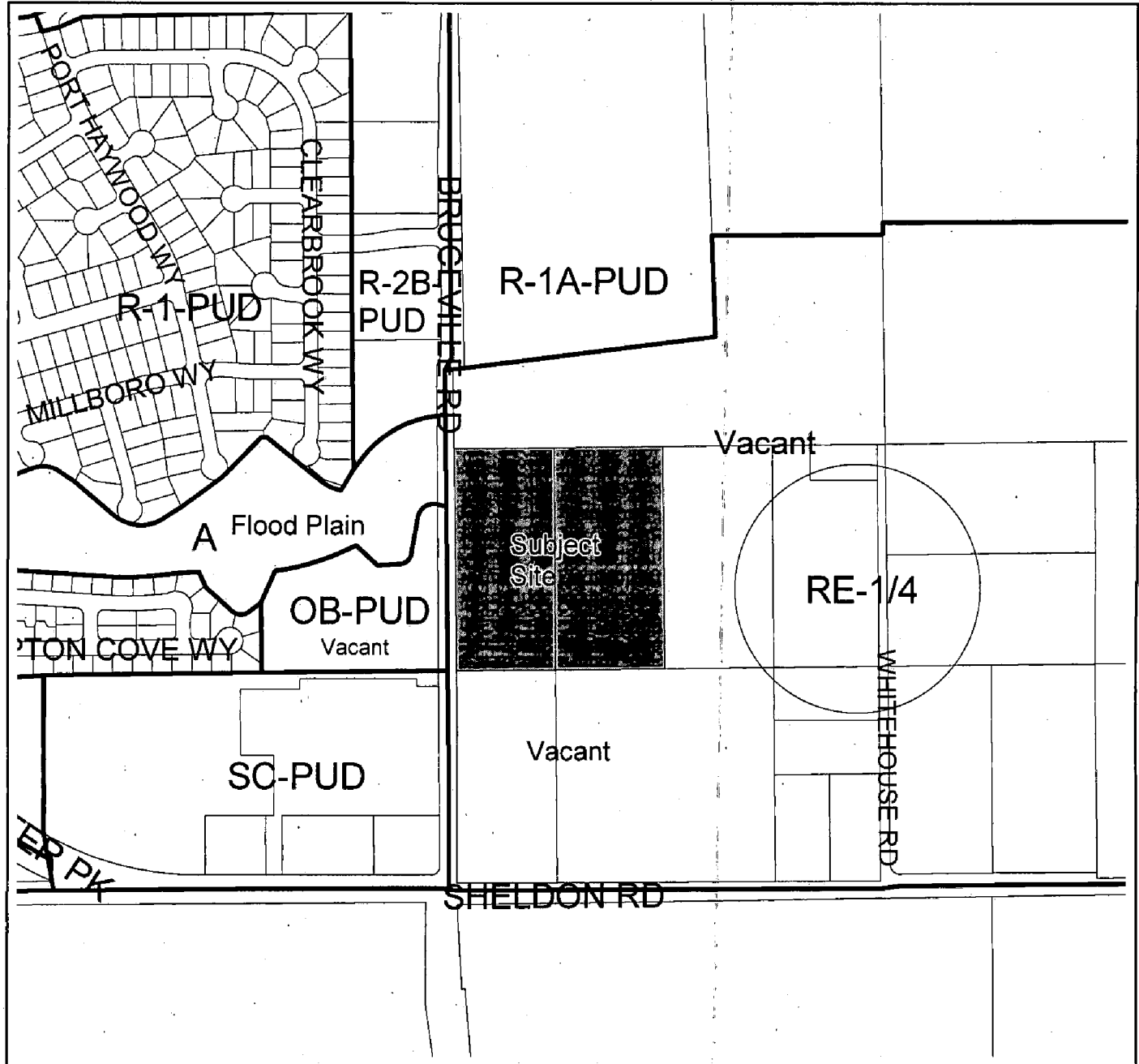


Neighborhoods, Planning
And Development Services
Department

Geographic
Information
System

VICINITY MAP





300 0 300 600 Feet



Neighborhoods, Planning
And Development Services
Department

Geographic
Information
System

LAND USE AND ZONING



ITEM



EXHIBIT A**DESCRIPTION OF
ASSESSOR'S PARCEL 117-212-012
LANDS OF GLORIA EQUITY PARTNERS
AFTER ADJUSTMENT**

All that certain real property situate in the Southeast One-Quarter (1/4) of Section 22, Township 7 North, Range 5 East, Mount Diablo Meridian, City and County of Sacramento, State of California, being a portion of Assessor's Parcel 117-212-012 together with a portion of Assessor's Parcel 117-212-013 further described as being a portion of Lot 6 as said Lot is shown and so designated on that Plat entitled "Hewitt Subdivision No. 1" filed for record in Book 13 of Maps at Page 43 of the Official Records of Sacramento County, and being more particularly described as follows:

Beginning at the Southwest corner of said Lot 6; thence from said **Point of Beginning**, along the westerly line of said Lot, North 00°28'00" West a distance of 330.00 feet; thence leaving said westerly line, North 89°32'00" East a distance of 660.00 feet; thence South 00°28'00" East a distance of 330.00 feet to a point on the southerly line of said Lot 6; thence westerly thereon, South 89°32'00" West a distance of 660.00 feet to the Point of Beginning and containing 5.000 acres of land, more or less.

The Basis of Bearings for this description is Book 13 of Maps, Page 43, Sacramento County Records.

Carl R. C.de Baca P.L.S. 5854
Expires December 31, 2000



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SACRAMENTO, CALIFORNIA

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COUNTY CLERK'S OFFICE

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EXHIBIT B -2

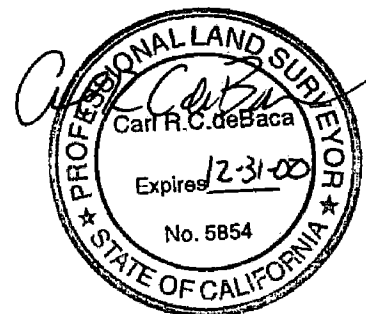
**DESCRIPTION OF
ASSESSOR'S PARCEL 117-212-013
LANDS OF UFFENS, ET AL
AFTER ADJUSTMENT**

All that certain real property situate in the Southeast One-Quarter (1/4) of Section 22, Township 7 North, Range 5 East, Mount Diablo Meridian, City and County of Sacramento, State of California, being a portion of Assessor's Parcel 117-212-013 together with a portion of Assessor's Parcel 117-212-012 further described as being a portion of Lot 6 as said Lot is shown and so designated on that Plat entitled "Hewitt Subdivision No. 1" filed for record in Book 13 of Maps at Page 43 of the Official Records of Sacramento County, and being more particularly described as follows:

Beginning at the Northwest corner of said Lot 6; thence from said **Point of Beginning**, along the westerly line of said Lot, South 00°28'00" East a distance of 330.00 feet; thence leaving said westerly line, North 89°32'00" East a distance of 660.00 feet; thence North 00°28'00" West a distance of 330.00 feet to a point on the northerly line of said Lot 6; thence westerly thereon, South 89°32'00" West a distance of 660.00 feet to the Point of Beginning and containing 5.000 acres of land, more or less.

The Basis of Bearings for this description is Book 13 of Maps, Page 43, Sacramento County Records.

Carl R. C.de Baca P.L.S. 5854
Expires December 31, 2000



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ENGINEERING DIVISION

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298-090

EXHIBIT C

DESCRIPTION OF ASSESSOR'S PARCEL 117-212-012 LANDS OF GLORIA EQUITY PARTNERS BEFORE ADJUSTMENT

All that certain real property situate in the Southeast One-Quarter (1/4) of Section 22, Township 7 North, Range 5 East, Mount Diablo Meridian, City and County of Sacramento, State of California, being Assessor's Parcel 117-212-012 further described as being a portion of Lot 6 as said Lot is shown and so designated on that Plat entitled "Hewitt Subdivision No. 1" filed for record in Book 13 of Maps at Page 43 of the Official Records of Sacramento County, and being more particularly described as follows:

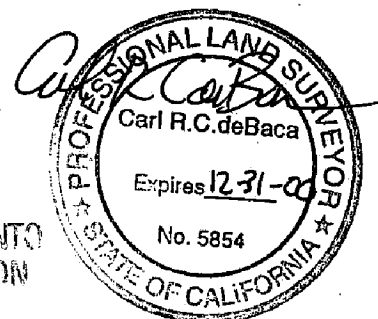
All of Lot 3 and those portions of Lots 5, 6 and 7 as shown on the aforementioned Official Plat of Hewitt Subdivision No. 1, more particularly described as follows:

BEGINNING at the Southwesterly corner of said Lot 5 in the center of the 60 foot roadway extending along the southerly line of said subdivision; thence along the Westerly line of said Lots 5, 6 and 7, North 00°28' West 1560.35 feet; thence North 83°21' East 830.46 feet; thence North 01°48' West 294.47 feet to a point located on the Westerly line of said Lot 7, said point is located South 01°48' East 688.13 feet from the Northwest corner of said Lot 7; thence North 89°20'30" East 501.23 feet to a point in the East line of said Lot 7, which point is in the center of a 40 foot County Road and is located South 00°28' East 688 feet from the Northeast corner of said Lot 7; thence South 00°28' East 625.87 feet to the Southeasterly corner of said Lot 7; thence South 89°32' West 990 feet along the South line of said Lot 7 to a point located North 89°32' East 330 feet from the Southwest corner of said Lot 7; thence South 00°28' East 1320 feet to the South line of said Lot 5 in the center of said County Road extending along the Southerly line of said subdivision; thence South 89°32' West 330 feet to the point of beginning.

EXCEPTING THEREFROM all of Lot 3 and all that portion lying in Lots 5 and 7 of said Hewitt Subdivision No. 1.

Carl R. C.de Baca P.L.S. 5854
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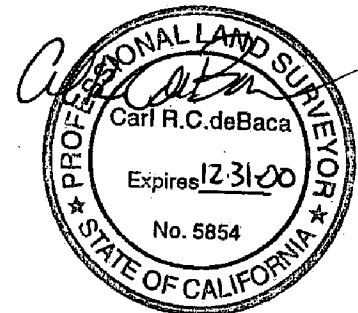
EXHIBIT D

DESCRIPTION OF ASSESSOR'S PARCEL 117-212-013 LANDS OF UFFENS, ET AL BEFORE ADJUSTMENT

All that certain real property situate in the Southeast One-Quarter (1/4) of Section 22, Township 7 North, Range 5 East, Mount Diablo Meridian, City and County of Sacramento, State of California, being Assessor's Parcel 117-212-013 further described as being a portion of Lot 6 as said Lot is shown and so designated on that Plat entitled "Hewitt Subdivision No. 1" filed for record in Book 13 of Maps at Page 43 of the Official Records of Sacramento County, and being more particularly described as follows:

The East 5 acres of the West 10 acres of said Lot 6 of the aforementioned Hewitt Subdivision No. 1.

Carl R. C.de Baca P.L.S. 5854
Expires December 31, 2000



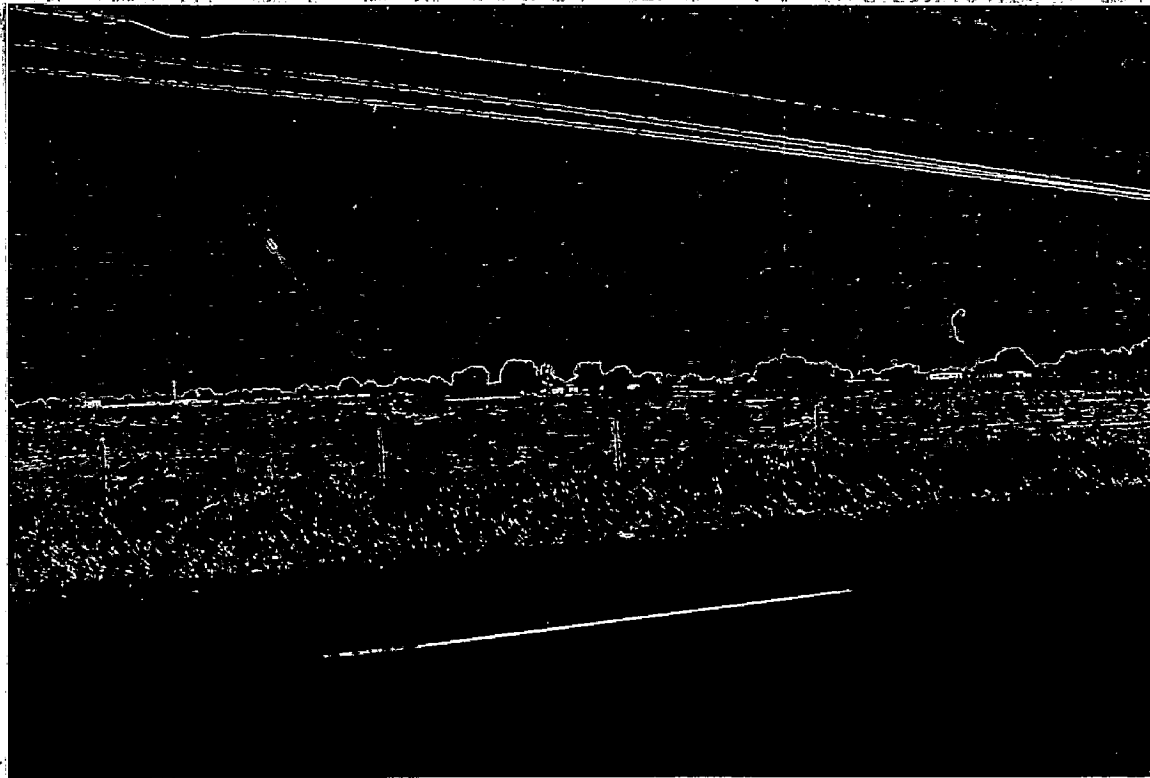
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CITY OF SACRAMENTO
PLANNING DIVISION

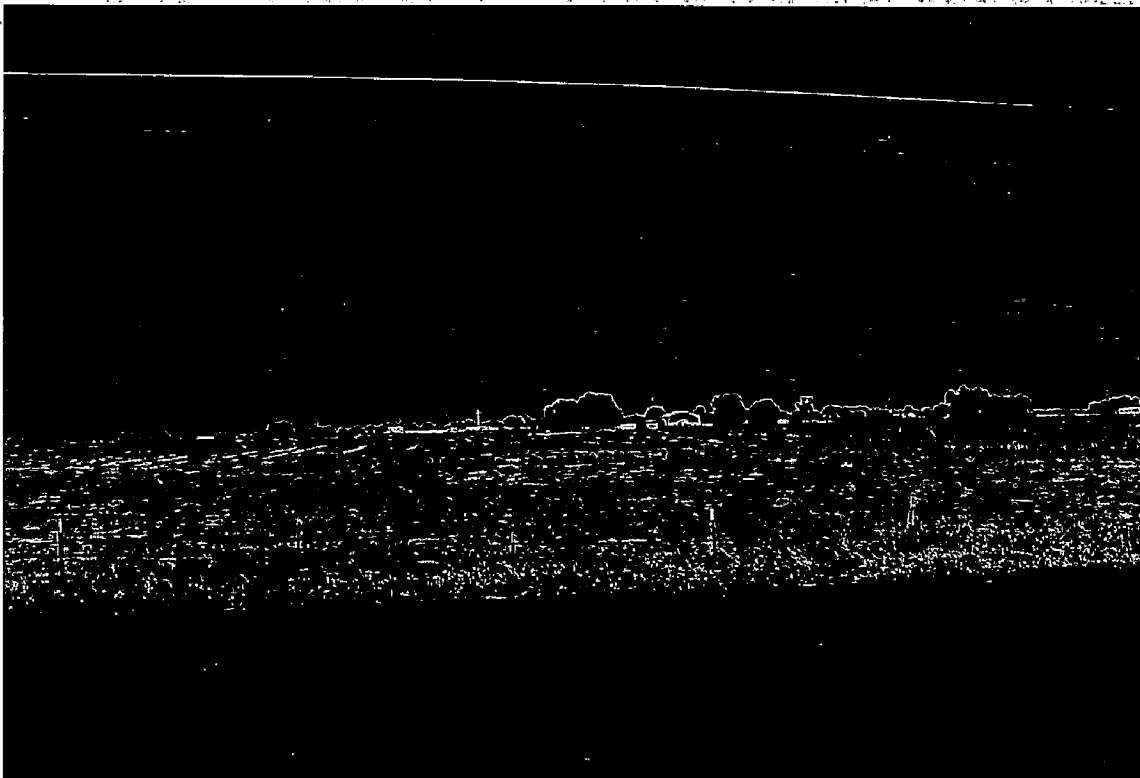
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Site Photos



Subject Property

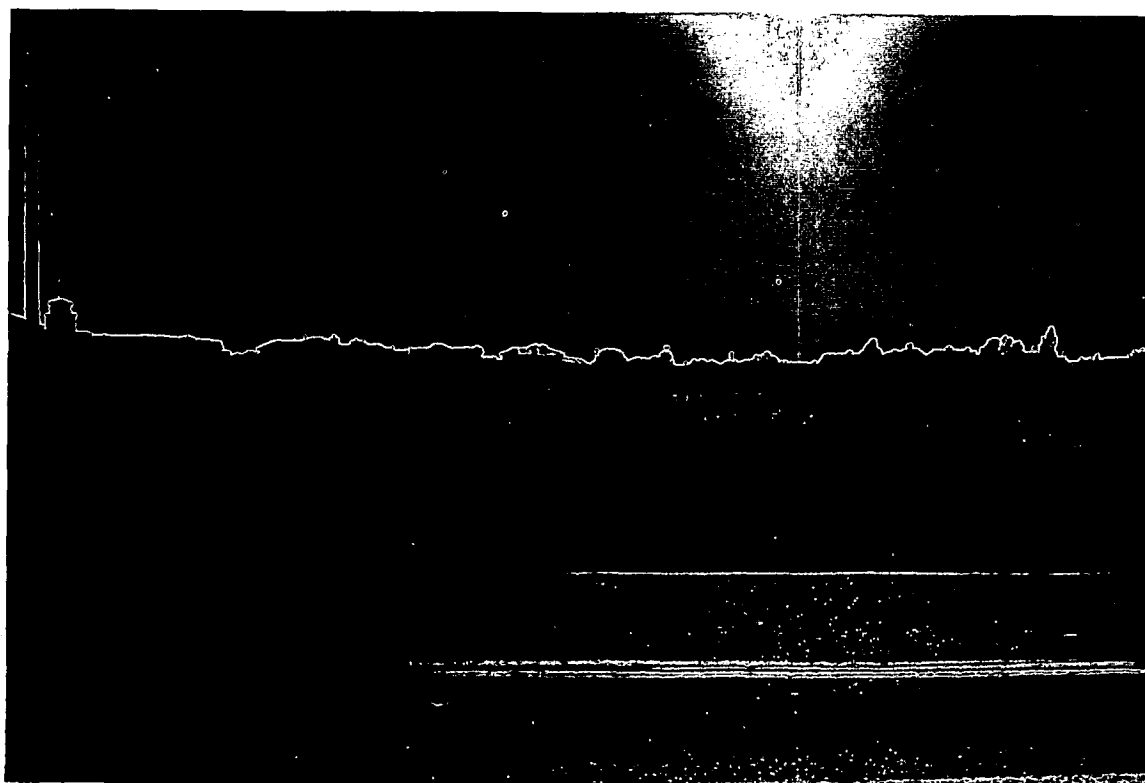


Adjacent Property to North

Z 98 - 090



Adjacent Property to South



Property Directly Across Bruceville

Z 98 - 090



Property Across Bruceville to South



Property Across Bruceville to North