



# REPORT TO PLANNING COMMISSION City of Sacramento

915 I Street, Sacramento, CA 95814-2671

**PUBLIC HEARING**  
June 26, 2008

To: Members of the Planning Commission

**Subject: Divine Mercy Catholic Church (P07-122)**

A request to construct a new approximately 11,545 square foot church and to designate the site for church and school uses, on an approximately 7.6 acre site, in the Employment Center 30, Planned Unit Development (EC-30-PUD) zone.

- A. Environmental Determination: Previously Adopted Negative Declaration;
- B. Previously Adopted Mitigation Monitoring Plan;
- C. Special Permit to construct a new approximately 11,545 square foot church;
- D. Schematic Plan Amendment to depict a church and school use in the Northborough PUD.

**Location/Council District:**

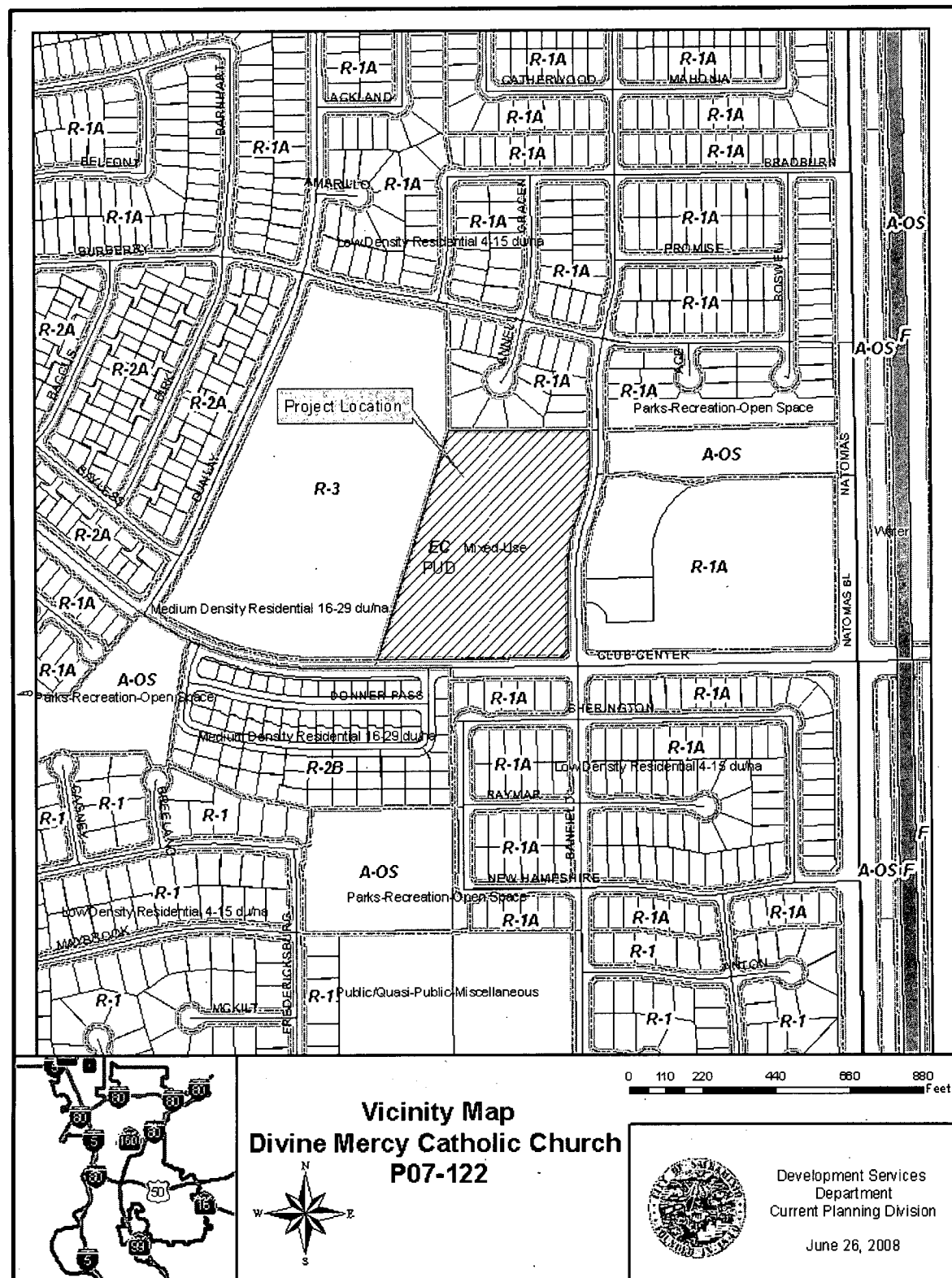
5301 Banfield Drive, Sacramento, CA 95835  
APN: 201-0440-032  
Council District 1

**Recommendation:** Staff recommends the Commission approve the request based on the findings and subject to the conditions listed in Attachment 1. The Commission has final approval authority over items A-D above, and its decision is appealable to City Council. There were no outstanding issues or opposition toward the project at the time this staff report was written.

**Contact:** Stephanie Hockman, Junior Planner, 808-7497  
Lindsey Alagozian, Senior Planner, 808-2659

**Applicant:** Duane Johnson, Comstock Johnson Architects, 10520 Armstrong Avenue, Mather, CA 95655, 916-362-6303

**Owner:** Roman Catholic Bishop of Sacramento, A Corp. Sole  
2110 Broadway, Sacramento, CA 95818, 916-733-0277



**Summary:** The applicant is requesting approval of the necessary entitlements to construct a new, approximately 11,545 square foot church. The specific entitlements requested are a Special Permit for the church use and Schematic Plan Amendment to designate the site for a church and school. The Schematic Plan (Exhibit 1C) shows the proposed project as well as two future phases, which include a new church that will be approximately 21,800 square feet and have approximately 950-1000 seats (Phase 2), and an approximately 24,500 square foot, Kindergarten through eighth grade, two-story school (Phase 3). The building originally used for a church (which is the proposed project discussed above) will be converted into a multi-purpose room after Phase 2 is constructed. The applicant is seeking entitlements for the new, approximately 11,545 square foot church at this time. The applicant is also seeking approval of the size and location of the final church and school as shown on the Schematic Plan.

The church will come back to the City for approval of Phase 2 in approximately ten to twelve years and about twelve to fifteen years for Phase 3 (please see Attachment 3 for more information). Staff notified all property owners within 500 feet of the site for this public hearing and received no opposition from the surrounding neighborhood. This item is non-controversial as staff is not aware of any neighborhood concerns.

Table 1: Project Information
<b>General Plan designation:</b> Mixed Use
<b>North Natomas Community Plan Designation:</b> Employment Center Mixed Use
<b>PUD:</b> Northborough
<b>Existing zoning of site:</b> EC-30 PUD (Employment Center 30, Planned Unit Development)
<b>Existing use of site:</b> Vacant
<b>Property area:</b> 7.6 acres

**Background Information:** The Northborough Planned Unit Development (PUD) was established on October 24, 1996 by the City Council, which also approved a Development Agreement, Tentative Map, Master Parcel Map, General Plan and North Natomas Community Plan Amendments, a Rezone, a PUD Schematic Plan and PUD Guidelines (Ordinance 96-066).

The subject property was designated as an employment center site, with a density of 30 employees per net acre. The applicant is requesting a Schematic Plan Amendment to re-designate approximately 7.6 acres from employment center to a church and school use. The applicant is not proposing to construct the larger church, which will replace the proposed church (Phase 2) or the school (Phase 3) at this time.

**Public/Neighborhood Outreach and Comments:** The project was routed to the following neighborhood groups and associations: Natomas Community Association, Creekside Natomas Neighborhood Association, North Natomas Alliance, North Natomas Community Association, Regency Park Neighborhood Association, Valley

View Acres Community Association, Terrace Park Neighborhood Association, West Natomas Community Association, Natomas Park Master Association, Sundance Lake Homeowners Association, Heritage Park Owners Association, Syrah Homeowners Association (HOA), Natomas Chapter of the Partnership for Active Communities, Natomas Park Master Association HOA, and Walk Sacramento. Additionally, all property owners within five hundred (500) feet of the proposed site received a public hearing notice. City staff received comments from the Natomas Community Association, which are described in more detail below.

**The Natomas Community Association**

On April 15, 2008, staff received the following comments from Ken Stevenson, a representative from the association:

"Our primary concern is with the parking. 174 spaces are proposed for services that are projected to have up to 450 attendees. Considering staff needs, this means the average number of people per vehicle would have to be about 3 to be accommodated in 174 spaces. This seems to be an excessive assumption. While the plan shows space has been allotted for additional parking (for when the Phase III church building is built), we think the applicant should be required to increase the initial amount of parking. Parking in the area is already a problem (adjacent Syrah condos), and we are concerned that parking will spill over into adjacent areas. This seems to be a common problem with churches. This is a particular risk to the Natomas Park clubhouse, whose parking lot is immediately adjacent to the church on the other side of Banfield.

Although it is always difficult to tell from black-and-white line drawings, it appears the building in the Phase 1 proposal does not have an attractive appearance along the Club Center frontage. It is essentially the back of the building. There appears to be very little of architectural interest along that side of the building. It has no windows, little if any ornamentation or articulation, and appears that it may be a single color (beige) of plaster. Possibly there is detail missing in the line drawings we have, and color renderings would present it in a better light."

In response to these comments, staff forwarded the Natomas Community Association color, three-dimensional renderings provided by the applicant. After reviewing the color, three-dimensional renderings, the Natomas Community Association stated that it still had concerns about the architectural quality of the proposed church.

The applicant continued to work on the design and layout of the site and on Monday, May 12<sup>th</sup>, they met with and presented their revised project to the Natomas Community Association. On June 2, 2008, Ken Stevenson sent staff the following comments:

"Based on the changes he [the applicant] made to the project, and the more detailed information (especially renderings) he [the applicant] was able to provide, our concerns about the architectural quality of the project were alleviated. We felt the realignment of the future church building, and the addition of the front patio, greatly improved the project's public face. Also, we saw that they intended to use a variety of materials on the building, and added some trellises, which didn't come through in the original materials.

We do still remain concerned about the amount of parking that will be provided, as noted in our initial comments. We hope the city will be more flexible in allowing the proponent to provide additional spaces to ensure no overflow into adjacent neighborhoods (particularly the Natomas Park clubhouse) occurs."

**Community Outreach:** On April 8, 2008, the applicant held a community meeting to discuss the project. The applicant noticed owners within a 1,000 feet of the proposed project site as well as community groups in the area. Approximately twenty people attended the meeting, including planning staff and members of the applicant team. Members of the community had several questions about the project, including: the location and lighting of the play fields, hours of operation and who would have access to them, how many students would be at the proposed school, the estimated construction time for phase one, the spacing between phases, what type of wall would be between the proposed project site and adjacent residential properties, traffic in the area, the driveway location at Club Center Drive, not enough parking at the site (which people fear may cause parishioners to park across the street at the Natomas Park Clubhouse and along Banfield Drive), lighting of the parking lot, and the design and orientation of the building.

**Environmental Considerations:** On June 24, 2003, the City Council approved the Mitigated Negative Declaration and Mitigation Monitoring Plan for the JMA North Natomas/Northborough Planned Unit Development (PUD), (P99-117 & 118). An Initial Study was prepared for the proposed construction of a new approximately 11,545 square foot church. The proposal is consistent with the land use designation and applicable policies of the General Plan and the North Natomas Community Plan, and is allowed in the EC zone with a special permit. The Initial Study showed that the proposed project will not result in impacts over and above what was previously evaluated.

Section 15162 of the California Environmental Quality Act (CEQA) Guidelines provides that additional environmental review need not be prepared unless substantial changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. As none of the conditions listed above relating to Section 15162 exist, additional environmental review is not required.

A Mitigation Monitoring Plan was prepared for the mitigation measures identified in the previous Negative Declaration. The applicant shall comply with the Mitigation Monitoring Plan when applicable to the proposed project.

**Policy Considerations:** The proposed project is consistent with the land use designations and applicable policies of the General Plan and North Natomas Community Plan. The project does require a Special Permit to construct a new, approximately 11,545 square foot church. This item is discussed in subsequent sections of this staff report. Although the project requires entitlements, staff finds that generally, the proposed project complies with the General Plan, the North Natomas Community Plan policies, and Zoning Code requirements.

General Plan

Sacramento's General Plan is a policy guide for physical, economic, and environmental growth and renewal of the city. It is comprised of goals, policies, programs and actions which are based on an assessment of current and future needs and available resources.

The General Plan designation for this site is Mixed Use. The General Plan indicates that Mixed Use includes a mixture of office, commercial, open space, and medium and high density residential uses. In some larger, more intense development, light manufacturing and research oriented activities may be appropriate. Staff feels that the proposed uses of a church and a school are appropriate in this designation. The applicable guiding principles that this proposal complies with include:

- Provide adequate off-street parking for new development and reduce the impact of on street parking in established areas (Parking, Goal A, Sec 5-26).
- It is the policy of the City to enhance and maintain the quality of life by adhering to high standards for project and plan evaluation (Sec 1-30, Policy 1).
- Approve development in the City's new growth areas that promotes efficient growth patterns and public service extensions, and is compatible with adjacent developments (Sec. 1-32).

The proposed project complies with the above guiding principles and is not contrary to any of the proposed policies.

General Plan Update Vision and Guiding Principles: While the City's General Plan is being updated, the City Council has adopted a vision for the future of the City as well as several guiding principles to help achieve this vision. This was done to ensure that new developments submitted during the ongoing update comply with the goals and policies that are being incorporated into the General Plan through the update. The applicable guiding principles that this proposal complies with include:

- The project helps provide a diversity of neighborhood environments (pg. 2).

The proposed project complies with the above guiding principle and is not contrary to any of the proposed policies.

Sacramento General Plan Smart Growth Principles: The proposed project will be located at a vacant parcel which is zoned Employment Center 30, Planned Unit Development (EC-30-PUD). The proposed project will provide uses and services that are compatible with the existing uses that surround the site. The project promotes a number of the General Plan Smart Growth Principles in that the project enhances an existing site in a manner that is compatible with existing uses near the project site.

North Natomas Community Plan: The North Natomas Community Plan designates the project site as Employment Center: 30 employees per net acre. The North Natomas Community Plan encourages social functions like child care, conference/meeting rooms, and public/private plaza areas, which the proposed project will provide.

PUD Schematic Plan Amendment

The applicant is requesting a PUD Schematic Plan Amendment to depict a church and school use on 7.6 acres in the Northborough PUD. Currently, the Schematic Plan designates the site as Employment Center: 30 Employees per Net Acre (EC-30). According to the PUD Guidelines and the Zoning Code, a church is an allowed use within the EC-30 zoned portions of the PUD subject to approval of a Special Permit. A PUD Schematic Plan Amendment is required to clearly distinguish the project site as a church use. The project is required to meet the following findings:

1. The PUD amendments conform to the General Plan and the North Natomas Community Plan;

The proposed project is consistent with the General Plan and the North Natomas Community Plan goals and policies to enhance and maintain the quality of life in the City.

2. The PUD amendments do not change the intensity of land use for the subject property;

The proposed church is allowed on the site subject to the approval of a Special Permit.

3. The PUD amendments will not be injurious to the public welfare, nor to other property in the vicinity of the development;

The proposed project will be subject to all applicable development standards within the Zoning and Building codes.

**Table 2: Existing and Proposed Schematic Plan**

Lot	Existing Designation	Existing Acreage	Proposed Designation	Proposed Use
18	N/A	7.6	Church, school, and multi-purpose building	Church, school, and multi-purpose building

Staff recommends approval of the proposed Schematic Plan Amendment because it is consistent with the community plan designation, the zoning designation and the PUD Guidelines.

## Project Design

### Land Use

The applicant proposes to construct a new, approximately 11,545 square foot church, in the Employment Center 30, Planned Unit Development (EC-30-PUD) zone. The Schematic Plan (Exhibit 1C) shows the proposed project as well as two future phases, which include a new church that will be approximately 21,800 square feet and have approximately 950-1000 seats (Phase 2), and an approximately 24,500 square foot, Kindergarten through eighth grade, two-story school (Phase 3). The building originally used for a church (which is the proposed project discussed above) will be converted into a multi-purpose room after Phase 2 is constructed. The applicant is seeking entitlements for the new, approximately 11,545 square foot church at this time. The applicant is also seeking approval of the size and location of the final church and school as shown on the Schematic Plan Amendment. Any future expansion of the church will require a Special Permit modification and the school use will require a Special Permit. Therefore, the applicant will have to seek additional entitlements to construct Phases 2 and 3.

The proposed project requires the approval of a **Special Permit**. In evaluating special permit proposals of this type, the Commission is required to make the following findings:

- A. A special permit shall be granted upon sound principles of land use.

In this case, staff finds that the proposed project is appropriate because it is consistent with the land use designations and applicable policies of the General Plan and North Natomas Community Plan and it is appropriate for the zone it is located in.

- B. A special permit shall not be granted if it will be detrimental to the public health, safety or welfare, or if it results in the creation of a nuisance.

Similar projects have been approved in other areas of the city, such as North and South Sacramento. Staff finds the proposed project has adequate design to accommodate standard setbacks which will protect the privacy of neighbors and ensure adequate open space and access to light and air.

- C. A special permit use must comply with the objectives of the general or specific plan for the area in which it is to be located.

The proposed project is consistent with the land use policies of the General Plan and the North Natomas Community Plan.

The applicant's revised statement of proposed activities (Attachment 2) shows the uses of each phase of the project and the estimated number of attendees for each activity. It originally indicated a weekly food locker for the poor (every Saturday from 10-11:30 a.m.). The applicant was notified on April 4, 2008 that this activity (food storage and distribution) is not allowed in the Employment Center 30, Planned Unit Development

(EC-30-PUD) zone. Consequently, the applicant revised the statement of proposed activities to remove this item.

### Access, Circulation and Parking

The proposed project includes driveway access points on Banfield Drive and Club Center Drive. The zoning code requires the proposed project to have 150 parking spaces and eight bike spaces.

Table 3: Parking			
Use	Required Parking	Proposed Parking	Difference
Church	(1 space per 4 seats) 600 seats /4 seats per parking space=150 spaces	186	+36

Table 3a: Bicycle Parking			
Total required parking	Required bicycle parking	Provided bicycle parking	Difference
150	(1 space per every 20 parking spaces) 7.5 spaces=8 spaces	16	+8

As indicated above, the project exceeds parking requirements and bicycle parking requirements. The applicant feels this additional parking is necessary to accommodate all the proposed activities which will take place at the site (please see Attachment 2) and to address the concerns expressed at the community meeting by several attendees and the Natomas Community Association about parishioners parking in the neighborhood and the Natomas Park Clubhouse. Staff believes that the proposed number of parking spaces is adequate given the proposed activity schedule of the church and based on the community's concerns.

The applicant is also proposing to provide 16 bicycle parking spaces to help promote alternative modes of travel.

### Height, Bulk and Setbacks

The following table shows required and proposed height and setbacks and whether there are any deviations.

**Table 4: Height and area standards**

Standard	Required	Proposed	Deviation?
Height	35'	35'	no
Front setback	25'	25'	no
Side setback (west)	5'	140'	no
Side setback (east)	5'	240'	no
Rear setback	15'	500'	no
Courtyard	N/A	N/A	N/A
Lot coverage	40% max.	3.5%	no

As indicated above, the project meets or exceeds all applicable height and area requirements.

#### **Building Design, Signage and Landscaping**

The proposed project includes entitlements to construct a new, approximately 11,545 square foot church located at 5301 Banfield Drive. The proposed exterior building material is parged cement plaster over sump block and will be painted in beige, terra cotta, and bronze with a clay tile roof. These colors were chosen to match the existing buildings in the neighborhood.

The project site includes a service yard, which will be located to the west of the proposed church and will be screened with a six foot high CMU wall. The Northborough PUD states that fences should be used to screen areas that contain such items as mechanical equipment and trash enclosures. Therefore, staff is supportive of a wall at this location. In addition, the Zoning Code requires that any development, improvement or use of a site for other than residential purposes shall provide a minimum six foot high solid wall of masonry, brick or similar material along all property lines which abut a residential zone or residence. There is an existing CMU wall that ranges from approximately six to eight feet in height that starts approximately 159 feet from Club Center Drive and runs the entire length of the west property line. The applicant has been conditioned to extend the existing CMU wall an additional approximately 108 feet to further screen the adjacent residential properties from the proposed project. Staff felt that the first fifty feet of fencing should remain wrought iron to allow for visibility for drivers and to enhance the appearance of the property.

Staff was concerned with the elevation plans originally submitted for the project. Specifically, staff indicated concern regarding the lack of detail and articulation on the facades of the south and east elevations. Staff suggested flipping the building so that the front elevation faced the street or enhancing the south and east elevations to make them look more like front elevations.

The applicant indicated that rotating the building so that the front of it faced the street was not in keeping with the vision the church had for the site, so that was not an option. Instead, the applicant revised the east elevation so that the door moved from the

southeast edge of the wall to the middle of the wall and added additional windows. The applicant added a covered walkway and a path with planters leading to the front of the building. In addition, the shed type roof form over the tabernacle was replaced with a pitched gable end type roof.

Changes were also made to the layout of the site plan in response to comments made by staff and the community. The applicant shifted the buildings so that they have a better connection to the street and each other by widening and extending the plaza area between the proposed church and the Phase 2 church and Club Center Drive. The school, which is scheduled to be developed in Phase 3, was also rotated so that the building is further away from adjacent residential properties.

These improvements help make the site more inviting to pedestrians, enhance the overall layout of the project, and responds well to the comments made by community members and staff. Given the enhancements provided by the applicant, staff is supportive of the design and feels that the building provides adequate articulation and detail.

Currently, the plans indicate signage location, but no details, such as square footage, colors, or type of signage have been provided. Therefore, the signage for the building has yet to be determined. Staff has conditioned the project to comply with the existing sign regulations for any future signage.

The applicant has submitted a landscape plan for the proposed project. Staff has determined that the landscape plan meets the City's Parking Lot Tree Shading Design and Maintenance Guidelines.

#### Summary

Staff finds the proposed project is an appropriate use for the subject site. The site has been designed to provide the appropriate setbacks and landscaped screening along the shared property lines. The project is consistent with all applicable policies of the North Natomas Community Plan and the General Plan. For these reasons, staff recommends that the Planning Commission approve the request based on the findings of fact and subject to the conditions of approval listed in Attachment 1.

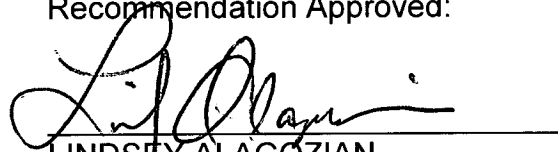
June 26, 2008

Respectfully submitted by:



STEPHANIE HOCKMAN  
Junior Planner

Recommendation Approved:



LINDSEY ALAGOZIAN  
Senior Planner

Recommendation Approved:



JOY PATTERSON  
Principal Planner

Attachments:

Attachment 1	Recommended Findings of Fact and Conditions of Approval
Exhibit 1A	Site Plan
Exhibit 1B	Site Plan with Landscaping
Exhibit 1C	Schematic Plan
Exhibit 1D	Floor Plan
Exhibit 1E	Building Elevations
Exhibit 1F	Landscape Plan
Exhibit 1G	Preliminary Utility Plan
Exhibit 1H	Preliminary Grading Plan
Attachment 2	Proposed Activities
Attachment 3	Revised Project Description
Attachment 4	Land Use and Zoning Map
Attachment 5	List of Matrix Team Members

**Attachment 1  
Recommended Findings of Fact and Conditions of Approval  
Divine Mercy Catholic Church (P07-122)  
5301 Banfield Drive**

**Findings Of Fact**

**A and B. Environmental Determination: Previously Adopted Mitigated Negative Declaration and Mitigation Monitoring Plan**

**1. The Planning Commission of the City of Sacramento finds as follows:**

a. On June 5, 2003, pursuant to the California Environmental Quality Act (Public Resources Code §21000 *et seq.* ("CEQA"), the CEQA Guidelines (14 California Code of Regulations §15000 *et seq.*), and the City of Sacramento environmental guidelines, the Planning Commission adopted a mitigated negative declaration (MND) and a mitigation monitoring program and approved JMA North Natomas/Northborough Planned Unit Development (PUD) (P99-117 & 118).

b. The Initial Study on the Divine Mercy Catholic Church Project (P07-122) ("Project") determined that the Project is consistent with the land use designation, applicable policies of the General Plan, and the North Natomas Community Plan, and is appropriate for the zone it is located in, within the JMA North Natomas/Northborough PUD Mitigated Negative Declaration and did not require the preparation of a subsequent environmental impact report or negative declaration.

**2. The Planning Commission has reviewed and considered the information contained in the previously adopted MND and all oral and documentary evidence received during the hearing on the project. The Planning Commission has determined that the previously adopted MND constitutes an adequate, accurate, objective, and complete review is required based on the reasons set forth below:**

a. No substantial changes are proposed by the Project that will require major revisions of the previously adopted MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;

b. No substantial changes have occurred with respect to the circumstances under which the Project will be undertaken which will require major revisions to the previously adopted MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;

- c. No new information of substantial importance has been found that shows any of the following:
  - i. The Project will have one or more significant effects not discussed in the previously adopted MND;
  - ii. Significant effects previously examined will be substantially more severe than shown in the previously adopted MND;
  - iii. Mitigation measures previously found to be infeasible would in fact be feasible and would substantially reduce one or more significant effects of the Project; or
  - iv. Mitigation measures which are considerably different from those analyzed in the previously adopted MND would substantially reduce one or more significant effects on the environment.
- 3. Based on its review of the previously adopted MND for the Project and all oral and documentary evidence received during the hearing on the Project, the Planning Commission finds that the MND reflects the Planning Commission's independent judgment and analysis and readopts the MND for the Project and readopts the findings of fact in support of the MND.
- 4. The previously adopted mitigation monitoring program is adopted for the Project, and the mitigation measures shall be implemented and monitored as set forth in the program, based on the following findings of fact;
  - a. The mitigation monitoring program has been adopted and implemented as part of the Project;
  - b. The mitigation monitoring plan meets the requirements of CEQA Section 21081.6 and CEQA Guidelines Section number 15074.
- 5. Upon approval of the Project, the City's Environmental Planning Services shall file or cause to be filed a Notice of Determination with the Sacramento County Clerk and, if the Project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to section 21152(a) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.
- 6. The documents and other materials that constitute the record of proceedings upon which the Planning Commission has based its decision are located in the City of Sacramento Development Services Department, Environmental Planning Services, 300 Richards Boulevard, 3<sup>rd</sup> Floor, Sacramento, CA 95811. The custodian of these documents and other

materials is the Development Services Department, Environmental Planning Services.

**C. The Special Permit** to construct a new approximately 11,545 square foot church is approved subject to the following Findings of Fact:

1. The project is based upon sound principles of land use in that the proposed use is allowed in the Employment Center 30, Planned Unit Development (EC-30-PUD) zone and includes conditions addressing building and site design.
2. The proposed use will be consistent with the objectives of the City of Sacramento General Plan.
3. The proposed use would not be detrimental to the public health, safety and welfare, not result in a public nuisance in that the building and landscaping have been designed so as to be compatible with the existing character of the general vicinity and shall not change the essential character of the project area.
4. The design and location of the facility will not contribute to increased congestion on Banfield or Club Center Drive in that Development Engineering has reviewed the project and has determined that the site will not generate enough traffic to impact adjacent streets.
5. The design and location of the facility will not create a nuisance for adjacent properties in that the design and location of the building is compatible with the existing area.

**D. The Schematic Plan Amendment** to depict the church and school use in the Northborough PUD Schematic Plan is approved subject to the following Findings of Fact:

1. The PUD amendment conforms to the General Plan and North Natomas Community Plan;
2. The PUD amendment does not change the intensity of land use for the subject property;
3. The PUD amendment will not be injurious to the public welfare, nor to other property in the vicinity of the development in that the proposed project will be subject to all applicable development standards within the Zoning and Building codes.

**Conditions Of Approval**

**C.** The **Special Permit** to construct a new approximately 11,545 square foot church is hereby approved subject to the following conditions:

**General**

- C1.** The applicant shall obtain all necessary building and/or encroachment permits prior to commencing construction.
- C2.** The project shall be constructed in substantial conformance to the approved plans.
- C3.** Any modification to the project shall be subject to review and approval by Planning Department staff prior to the issuance of building permits.
- C4.** All rooftop mechanical equipment shall be screened from all views.
- C5.** All building materials and color schemes shall be consistent with approved plans.
- C6.** The applicant shall obtain all necessary sign permits.
- C7.** Final landscaping plans shall be submitted to the Building Division - Site Conditions Unit for review and approval. The scope of the review shall include plant species selection, landscape materials, irrigation system, and calculation to ensure that the 50% shading requirement is met. The irrigation system and landscaping shall be maintained in good condition during the life of the project.
- C8.** At least one hundred eighty-six (186) parking spaces shall be provided at the site.
- C9.** A six foot high CMU wall shall be constructed along the west property line starting approximately fifty feet from Club Center Drive and extending to and connecting with the existing CMU wall.

**Utilities**

- C10.** Any new domestic water services shall be metered. Excess water services shall be abandoned to the satisfaction of the Department of Utilities.
- C11.** Multiple fire services are allowed per parcel and may be required.
- C12.** All water connections shall comply with the City of Sacramento's Cross Connection Control Policy.

**C13.** A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.

**C14.** This project is greater than 1 acre, therefore the project is required to comply with the State "NPDES General Permit for Stormwater Discharges Associated with Construction Activity" (State Permit). To comply with the State Permit, the applicant will need to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) prior to construction. A copy of the State Permit and NOI may be obtained from [www.swrcb.ca.gov/stormstr/construction.html](http://www.swrcb.ca.gov/stormstr/construction.html). The SWPPP will be reviewed by the Department of Utilities prior to issuing a grading permit. The following items shall be included in the SWPPP: (1) vicinity map, (2) site map, (3) list of potential pollutant sources, (4) type and location of erosion and sediment BMP's, (5) name and phone number of person responsible for SWPPP and (6) certification by property owner or authorized representative.

**C15.** The lot shall be graded so that drainage does not cross property lines or private reciprocal drainage easements shall be obtained.

**C16.** An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. The storm drain service taps shall drain onsite shed areas which are in general conformance with the master drainage shed map for the area. An on-site drainage study and shed map is required. This study and shed map shall be approved by the Department of Utilities. The onsite system shall be designed so the 10-year HGL is a minimum of 6-inches below the onsite drain inlets. The 10-year HGL shall be determined using the Sacramento Charts for Zone 2. Finished floor elevations shall be a minimum of 1.50 above the 100-year HGL and 1.80 feet above the controlling overland release elevation. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual). Refer to the previous condition for the beginning HGL for the drainage study.

**C17.** The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.

**C18.** Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is served by a regional water quality control facility, only source control measures are required. Specific source controls are required for (1) commercial/industrial material storage, (2) commercial/industrial outdoor loading/unloading of materials, (3) commercial/industrial vehicle and equipment fueling, (4) commercial/industrial vehicle and equipment maintenance,

repair and washing, (5) commercial/industrial outdoor process equipment operations and maintenance and (6) commercial/industrial waste handling. Storm drain message is required at all drain inlets. Improvement plans must include the source controls measures selected for the site. Refer to the latest edition of the "Guidance Manual for On Site Stormwater Quality Control Measures", for appropriate source control measures.

**C19.** The proposed development is located within County Sanitation District No.1 (CSD1). The applicant shall comply with all CSD-1 requirements.

**C20.** Show all existing easements on the site plan.

### **Fire**

**C21.** All turning radii for fire access shall be designed as 35' inside and 55' outside.

**C22.** Roads used for Fire Department access shall have an unobstructed width of not less than 20' and unobstructed vertical clearance of 13'6" or more.

**C23.** Provide the required fire hydrants in accordance with CFC 903.4.2 and Appendix III-B, Section 5. Hydrants

**C24.** Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.

**C25.** Provide a water flow test. (Make arrangements at the Downtown Permit Center's walk-in counter: New City Hall, 3rd Flr, 915 I St. OR the North Permit Center's walk-in counter: 2101 Arena Blvd., Suite 200, Sacramento, CA 95834)

**C26.** The furthest projection of the exterior wall of a building shall be accessible from within 150 ft of an approved Fire Department access road and water supply as measured by an unobstructed route around the exterior of the building. (CFC 902.2.1)

**C27.** Provide appropriate Knox access for site.

**C28.** Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.

**C29.** An automatic fire sprinkler system shall be installed in any portion of a building when the floor area of the building exceeds 4,999 square feet. Refer to City Code 15.36.1003, Amendment of Article 10, Section 1003, for exceptions.

**C30.** Locate and identify Fire Department Connections (FDCs) on address side of building no further than 40 feet and no closer than 5 feet from a fire hydrant. Hydrants connected to mains other than the main supplying the sprinkler system.

#### **Development Engineering**

**C31.** Repair or replace/reconstruct any existing deteriorated/damaged curb, gutter and sidewalk per City standards to the satisfaction of the Development Engineering Division.

**C32.** All new driveways shall be designed and constructed to City Standards to the satisfaction of the Development Engineering Division. More specifically round corners are not to City Standard for driveways. Also one of the following must be done to the driveway on Club Center Drive:

a. The driveway shall be redesigned to align centerline to centerline with Martis Valley Drive.

**C33.** The minimum throat distance for all site driveways shall be 40' (throat distance is that distance a vehicle can move from the public right-of-way into a given site before encountering a conflict with parking stalls, aisles, etc).

**C34.** The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Development Engineering Division.

#### **Urban Forest Services**

**C35.** All trees shall be irrigated on a non-turf station by a minimum of two pop-up heads w/3' radius nozzles installed 30" to 40" from center trunk line. Other irrigation designs may be approved pending City Landscape Architecture department and UFS review.

**C36.** All trees shall be planted in a gradual mound 2" to 3" above the surrounding grade and mulched with wood chips (playground fiber or coarser) to a depth of approximately 3". Revise plans to show turf, groundcover or shrubs planted within 4' of any parking lot or City tree trunk.

#### **Sacramento Area Sewer District (Formerly County Sanitation District 1)**

**C37.** Connection to the District's sewer system shall be required to the satisfaction of the District. District Design Standards apply to sewer construction.

**C38.** Each parcel with a sewage source shall have a separate connection to the District public sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel shall have a separate connection to a private on-site sewer line or District public sewer line.

### **Advisory Notes**

#### **Utilities**

1. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the on-site fire suppression system.

#### **Urban Forest Services**

2. Staff recommends planting two trees south of sidewalk along SW section of parking lot to improve shade coverage of stalls and walkway.
3. Try to keep Platanus planting to a minimum (4 shown are okay). Platanus is over planted and susceptible to anthracnose, canker stain and powdery mildew.
4. Please eliminate Ulmus parvifolia. These trees have a high rate of limb failure and are susceptible to DED. Staff suggests that you replace it with one of the following: Acer rubrum (October Glory or Red Sunset Maple), or Tilia euchlora (Crimean Linden).
5. Please eliminate Quercus virginiana. Large evergreen trees have a higher rate of limb failure during winter storms than deciduous trees and tend to keep areas dark and wet during fall, winter and early spring. Please replace with one of the following: Quercus cerris (Turkey Oak), or Quercus shumardii (Shumared Oak).
6. Please eliminate Pyrus species trees. Please replace them with columnar/semi columnar trees from the following: Carpinus betulus fastigiata (European Hornbeam), Ginkgo biloba ('Autumn Gold' or 'Magyar' Ginkgo), or Tilia x flavescens (Glenleven Linden).
7. Please replace Pyrus trees along south edge of parking lot with trees that can provide more shade such as Pistacia chinensis 'Keith Davey.'

#### **Parks**

8. As per City Code, the applicant will be responsible to meet his/her obligations regarding Title 18, 18.44 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee due for this project is estimated at \$3925.30. This is based on 11,545 square feet at the

commercial rate of \$.34 per square foot. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.

**Development Engineering**

9. Because this is phase 1 of a larger project a Traffic Study is not needed at this time. However, a Traffic Study will be required for the complete project at the time of submittal of phase 2.

**Sacramento Area Sewer District (Formerly County Sanitation District 1)**

10. Developing this property may require the payment of sewer impact fees. The applicant should contact the Fee Quote Desk at 876-6100 for sewer impact fee information.

## Exhibit 1A – Site Plan



June 26, 2008

## Exhibit 1B – Site Plan with Landscaping

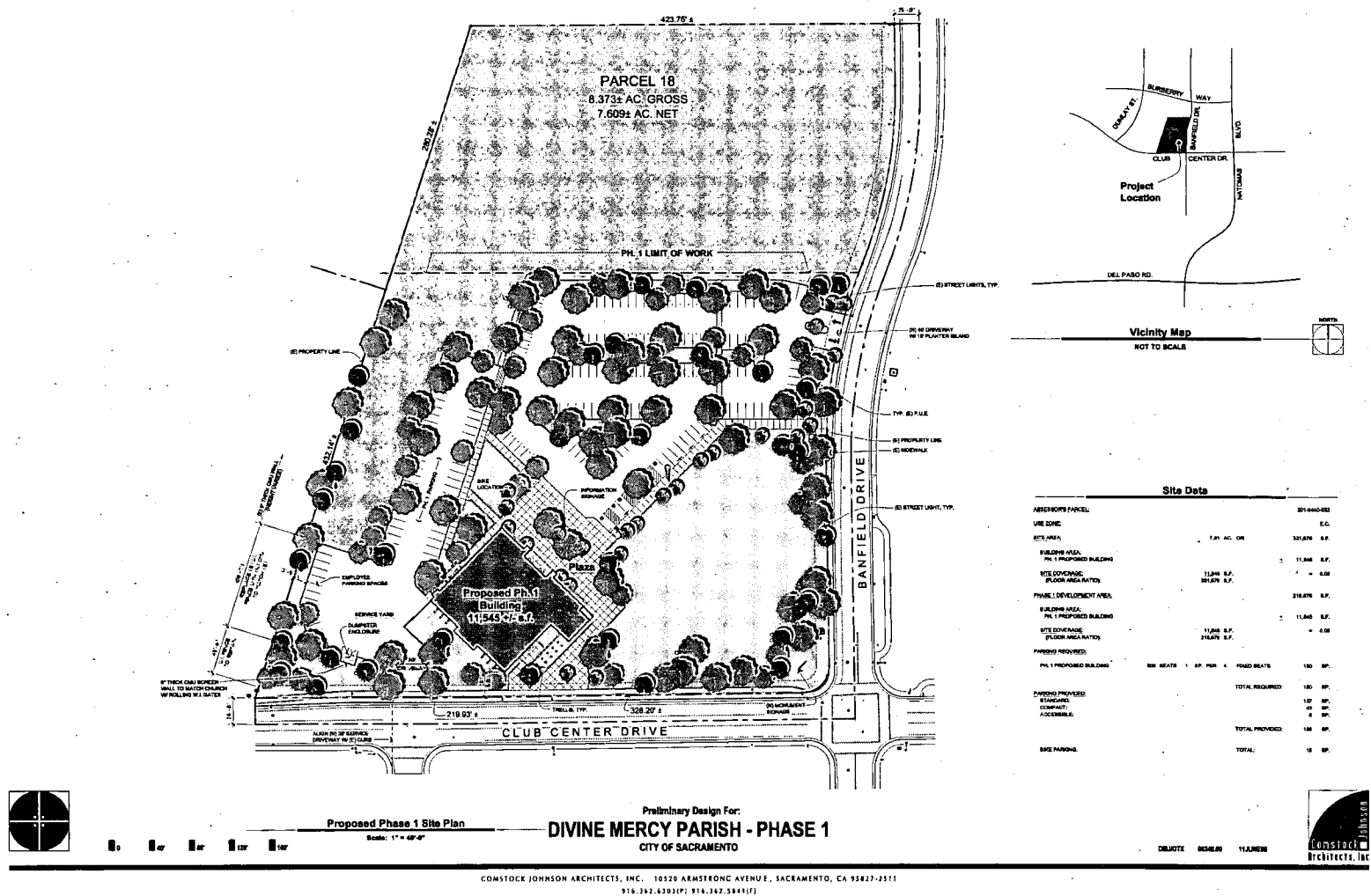
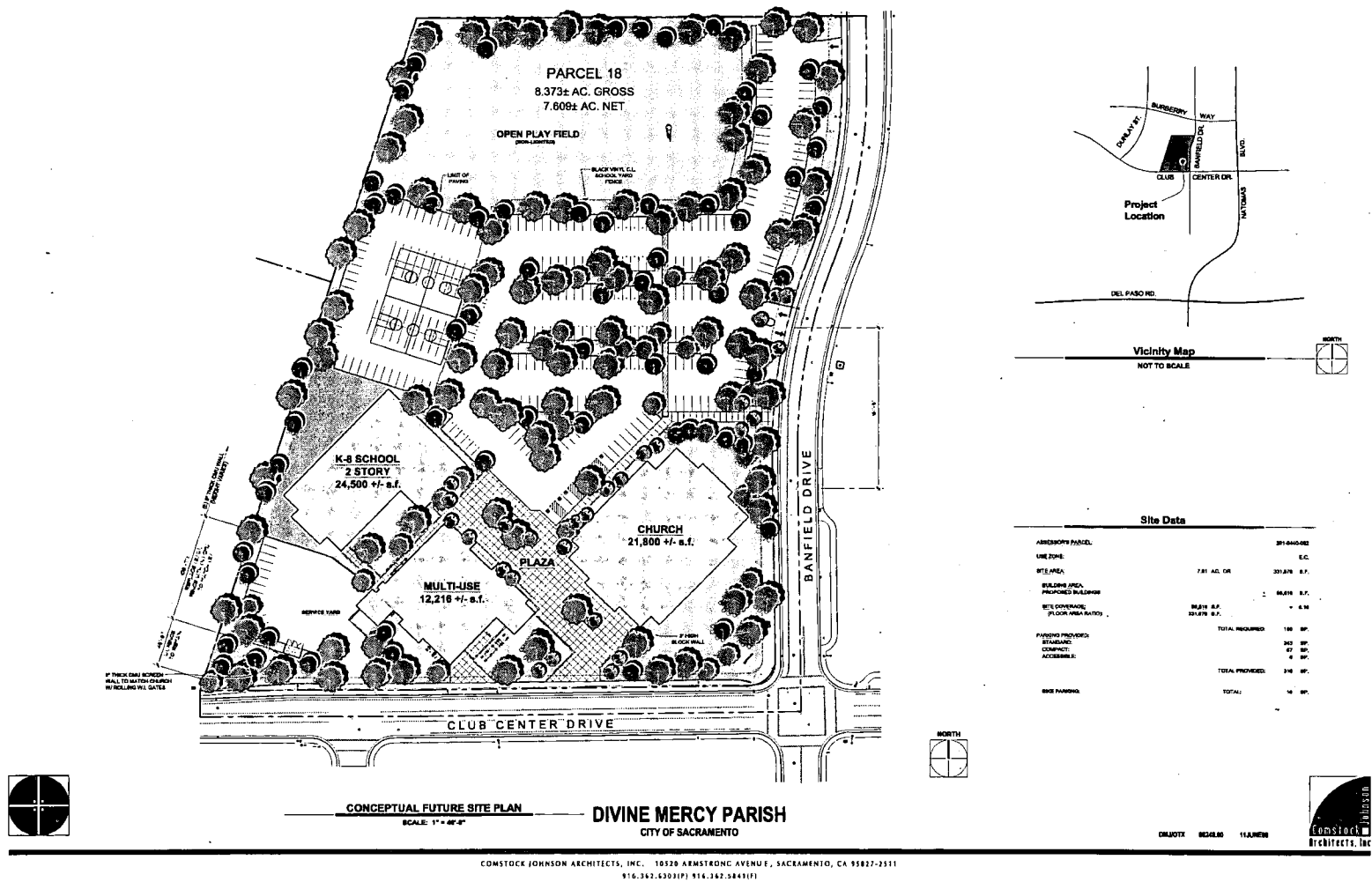


Exhibit 1C – Schematic Plan



June 26, 2008

Divine Mercy Catholic Church (P07-122)

Exhibit 1D – Floor Plan

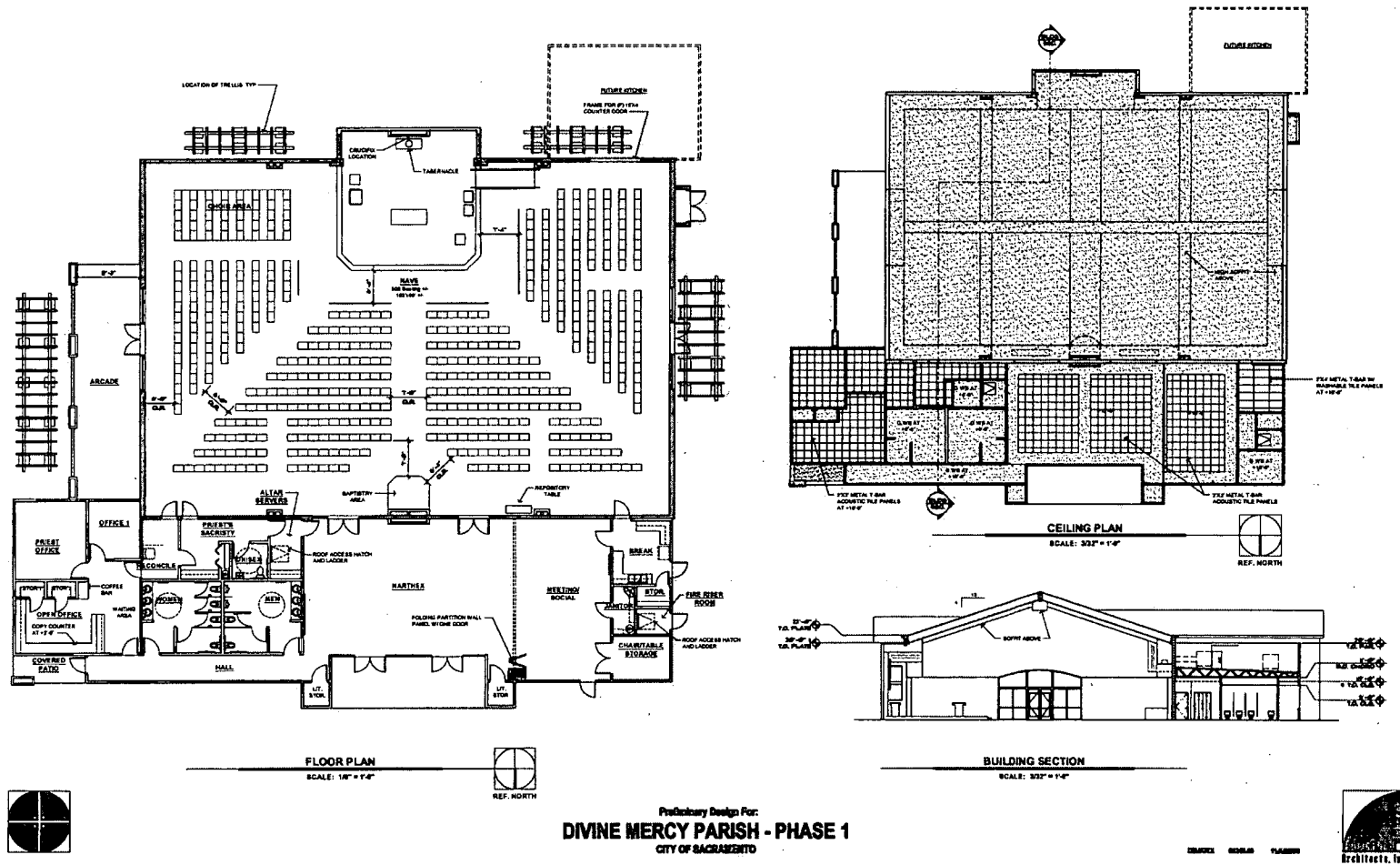


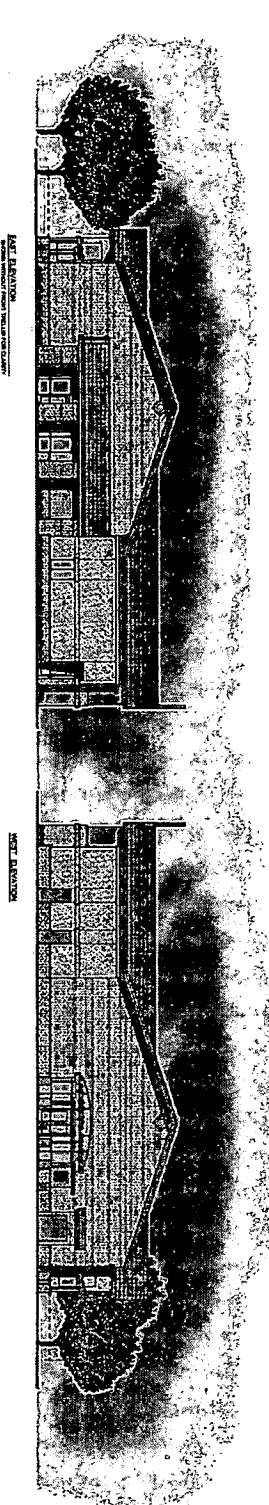
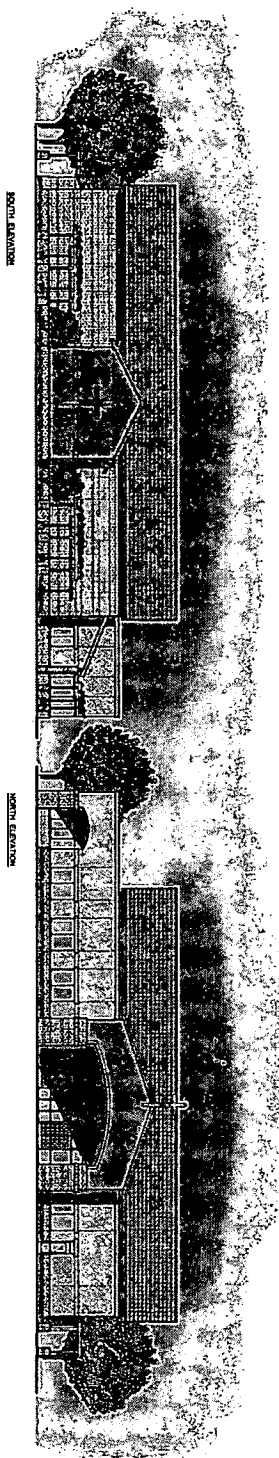
Exhibit 1E – Building Elevations



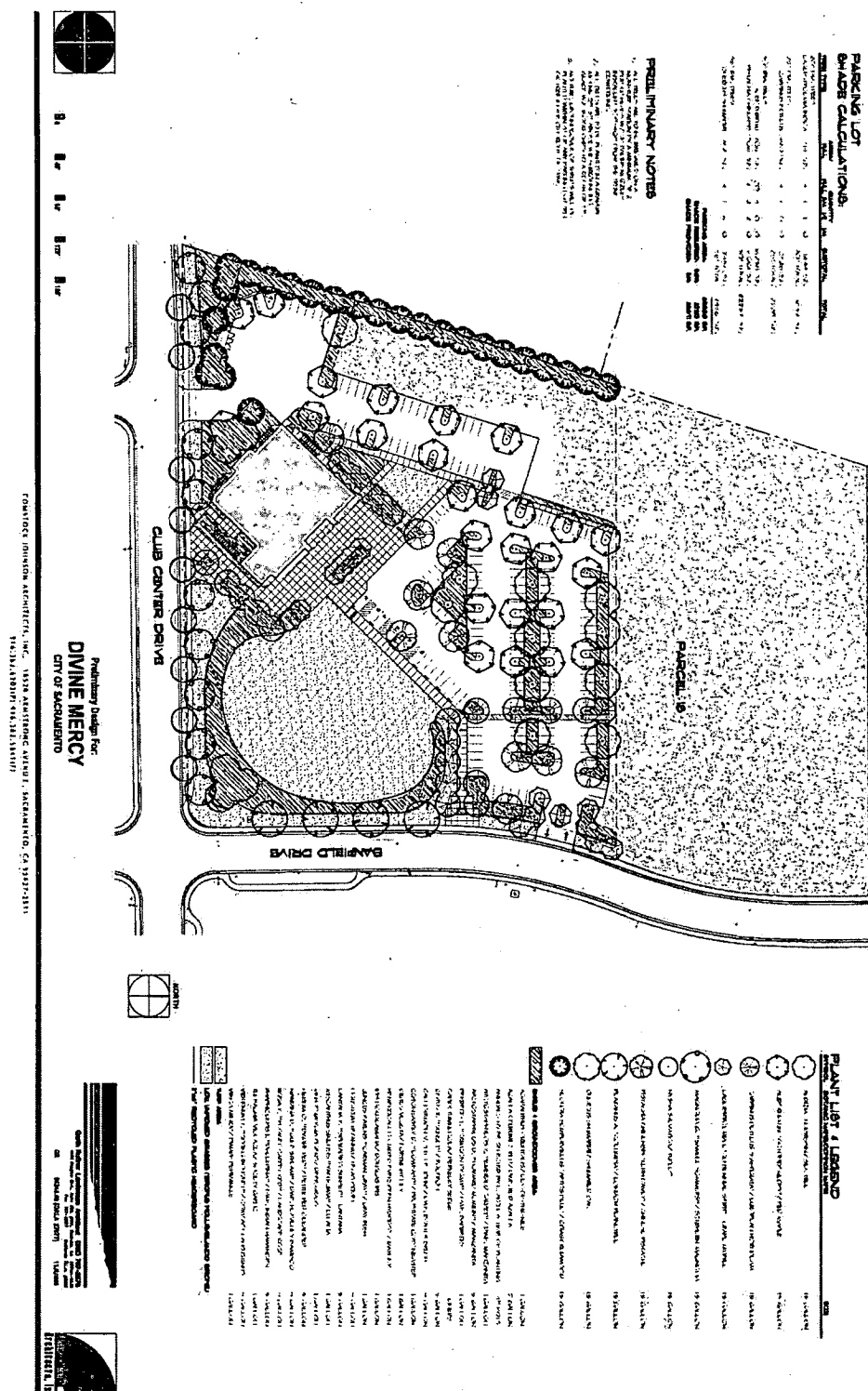
**Preliminary Design for:**  
**DIVINE MERCY PARISH - PHASE 1**  
**CITY OF SACRAMENTO**

COMPTON JOHNSON ARCHITECTS, INC. 1615 KANTERBURY AVENUE, SACRAMENTO, CA 95817-2511  
916.421.5810 FAX 916.421.4411

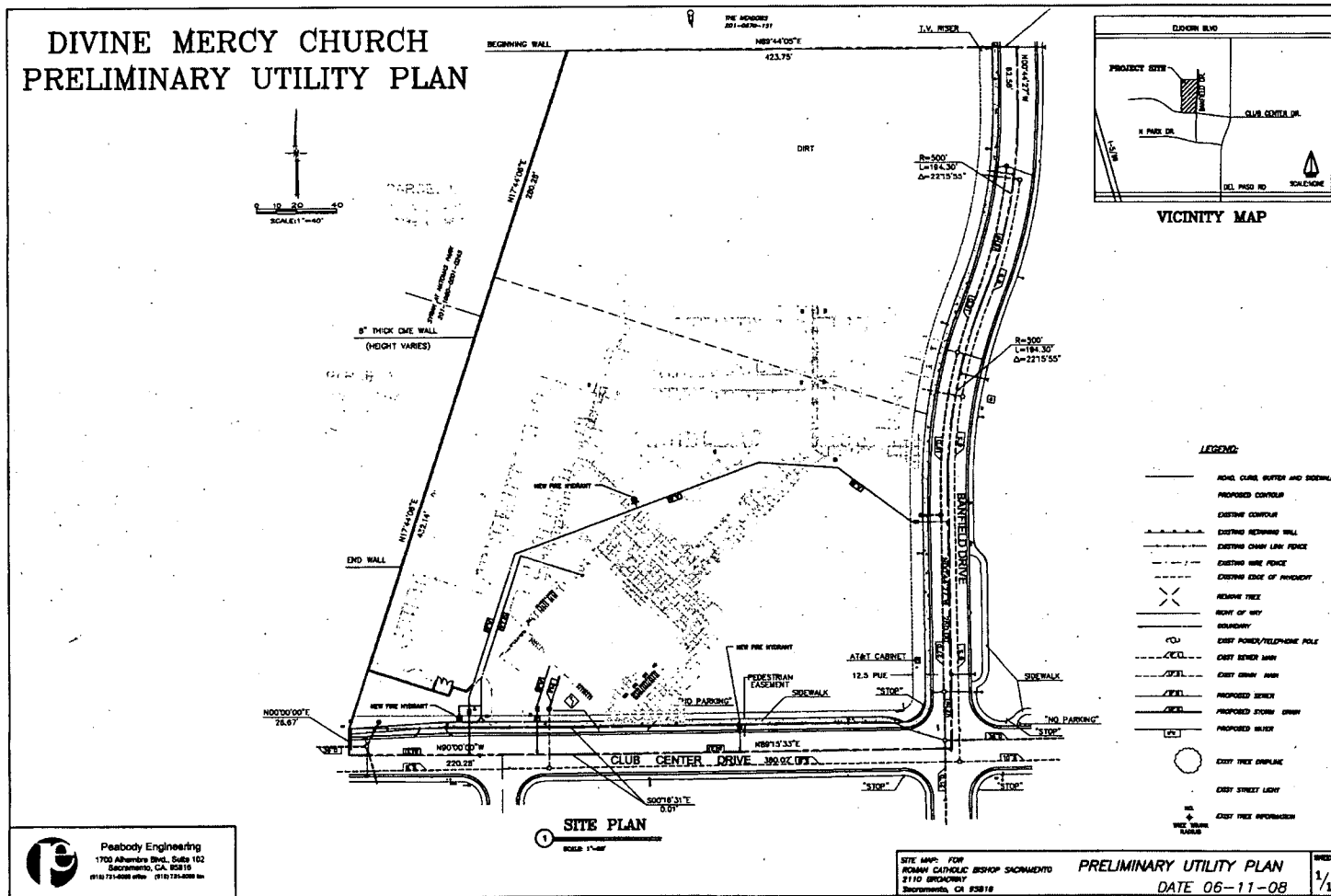
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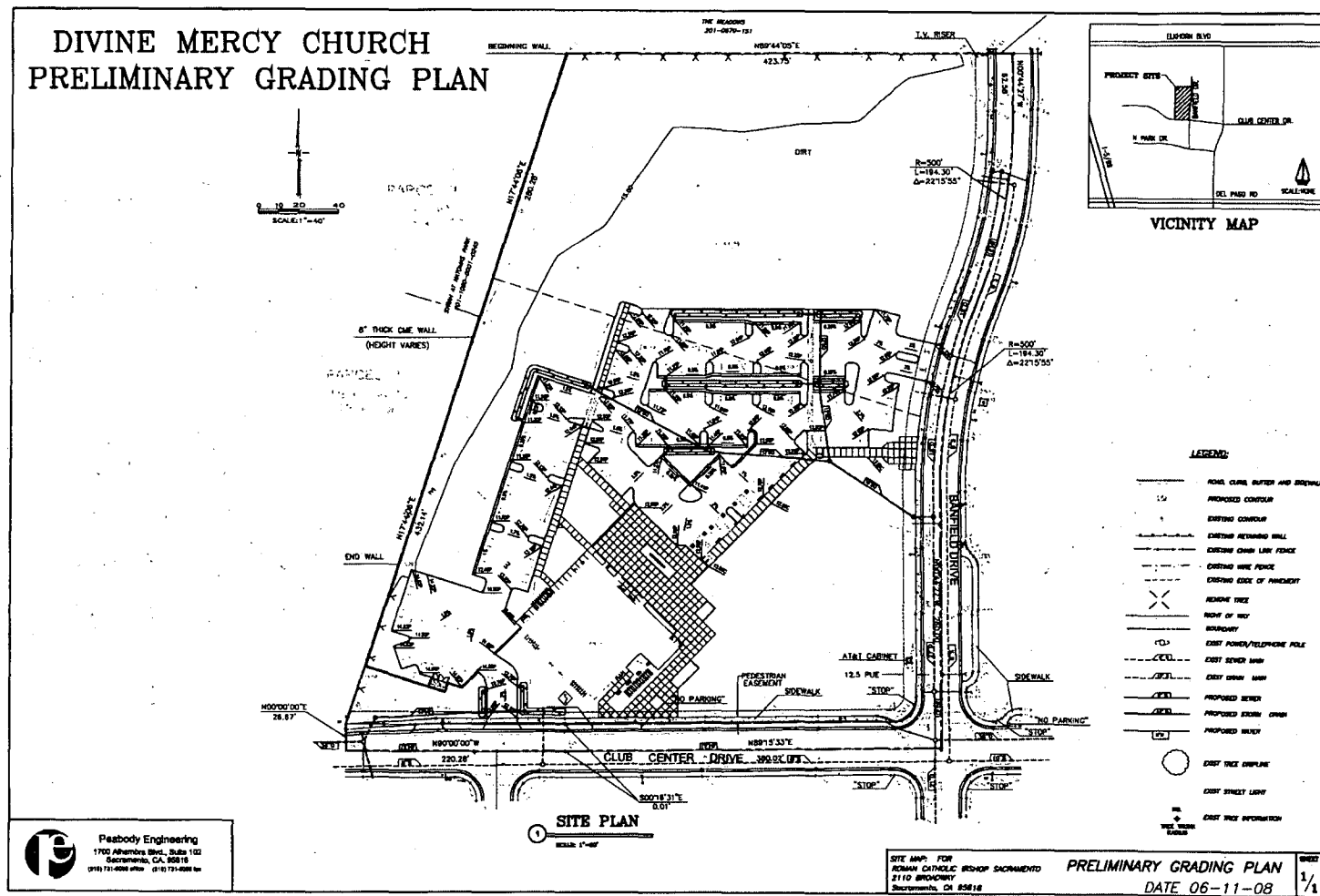


## Exhibit 1F – Landscape Plan



## Exhibit 1G – Preliminary Utility Plan





## Attachment 2 – Proposed Activities

DIVINE MERCY PARISH  
5301 Club Center Drive  
City of Sacramento, CA  
#P07-122

I. First Church As Multi-Purpose Center

<u>Proposed Masses:</u>		<u>Number of Attendees</u>
A. Weekdays:	Monday to Saturday – 8:30am to 9:15	45
B. Weekends:	Saturday – 5:00pm to 6:00pm	150
	Sunday – 8:00am to 9:00am	400
	10:00am to 11:00 am	450
	5:00pm to 6:00 pm	300
C. Holy Days:	Vigil – 7:00pm to 8:00 pm	150
	Day – 10:00am to 11:00 am	300
	5:00pm to 6:00 pm	250

Proposed Events:

## A. Weekly:

- Children's Religion Classes: Saturday – 9:30am to 10:45am 150
- Sunday – 3:00pm to 4:15 pm 100
- Bible Study (Adult): Thursday – 7:00pm to 8:30pm 35
- (Youth): Sunday – 7:00pm to 9:30pm 35
- Choir Practice (Adult): Friday – 7:00pm to 9:30pm 40
- (Youth): Sunday – 7:00pm to 9:30pm 30
- (Children): Tuesday – 6:30pm to 8:30 30

## B. Occasional:

- Weddings: Saturday 10:00am to 11:30 am 200
- 2:00pm to 3:30pm 200
- Funerals: Monday to Saturday – 10:00 am to 11:00am 200
- Workshops: Seasonal – weeknight – 7:00pm to 8:30pm 100

## C. Monthly:

- Pre-Baptism Seminar: Second Monday – 7:00pm to 8:00 30
- Baptism: Third Saturday – 10:00am to 11:00am 75
- Every Friday Adoration: 9:00am to 10:00 am 30
- 10:00 to 4:00 (each hour) 2
- 4:00 to 5:00 (children's hour) 20
- 5:00 to 6:00 30
- Benediction: 6:00pm to 6:15pm 50
- Councils, Ministries, Committees Sessions/Meetings 7:00 pm to 8:30 pm 20
- Knights of Columbus Officers & Members Meetings 7:00 pm to 8:30pm 40

## D. Annual:

- Crab Feed Fundraiser: February (Church property) (Saturday evening from 7:00 to 9:30) 400
- Divine Mercy Feast Day (Sunday 11:00am to 1:30pm): 400
- First Communion: April (Saturday 9:00 am to 10:30am) 100
- Confirmation: May (Evening 7:00 to 8:30 pm) 75

- Fireworks Fundraiser: June 27<sup>th</sup> to July 4<sup>th</sup> (Church property) (noon to 7:00 pm) (volunteer staff 5 to 15 people plus customers coming at different times with an expected maximum of 20 at any given moment)
- Three Day Parish October Festival: (Church property)
  - i. Friday evening, 7:00pm to 9:30 pm 150
  - ii. Saturday, 9:00am to 9:00pm 200
  - iii. Sunday, 1:00 pm to 5:00pm 200
- Christmas Party: (Saturday, December, 7:00pm to 9:30 pm) 400
- Religious Concerts (Friday, December, 7:00 to 9:30pm) 350

II. When 1,150 Seat Church Is Constructed and First Church Becomes a Parish Hall

- A. Masses and events that are liturgical in nature will now be celebrated in the new church accommodating a larger number of attendees. Basically, the same schedule of Masses and other liturgical celebrations that took place in the first church will be followed.
- B. Parish Hall: Addition and Expansion
  - With a new Church a kitchen will be added to the Parish Hall. The Three Day Parish October Festival and the Crab feed Fundraiser will be celebrated in the Parish Hall.
  - Parish Hall will be available for public use for rental such as wedding receptions and other events to generate income for the parish, accommodating 200 people.
  - The Parish Hall will also be used as a basketball court. Games will be held on weeknights from 7:00 to 10:00pm with 200 people.
  - There will be Parish Fellowship in the hall after every weekend Mass with 150 people.

III. When School Is Constructed

- A. Classes: 7:30am to 3:00pm, 250 students, 30 faculty/staff.  
Extended Care: Parish School will also provide extended care to 20 students prior to and after classes.
- B. Parents & Teachers Meeting:
  - 1. Annual whole assembly, 300 people, weeknight, 7:00 pm to 8:00
  - 2. Semiannual private meeting, 15 minute intervals, 9:00 am to 9:00 pm, 30 people
- C. Faculty & Staff Meeting:  
Monthly 30 people, 3:00 to 4:30 pm
- D. Children's Religion Classes will be in the school, Monday, Tuesday, Thursday evenings, 6:30pm to 7:30) accommodating 100 people/night.

E. School Events:

- Sports League: weeknight evenings, 7:00pm to 9:30pm, Saturday: 9:00am to 11:30 am, 2:00pm to 4:30, 7:00 pm to 9:30pm (basketball, volleyball, soccer) 150/activity
- Science Fair: 75 additional people during the school day
- Graduation Program: June, Saturday 9:00am to 11:00 am, 400 people
- Christmas Program: Saturday 7:00pm to 9:30pm, 350 people
- School Board Meeting: Friday evening, 7:00pm to 8:00 pm, 20 people

## Attachment 3 – Revised Project Description



5-28-08 (Revised)

**DIVINE MERCY PARISH – Project Description**

5301 Club Center Drive  
City of Sacramento, CA  
#P07-122

To serve the expanding Catholic population in the northern portion of the city, the Diocese proposes this new parish complex developed in three phases. Although, we are applying for specific approval for only the Phase 1 work, we are also applying for "conceptual" approval of the Final Church and Parish K-8 School of the size and general locations shown. We realize that specific detailed approval for these future two buildings and grounds will require formal modification to this application at a later date.

The project will begin with a 550-600 seat Phase 1 building containing the Church, Parish Offices, and Meeting Rooms. This building will ultimately become the Parish Hall/Gym when the final 950-1000 seat church is built (phase 2). Phase 3 will be a 2-story, K-8 elementary school with one classroom per grade and non-lighted playfields. The time frame for phase 2 is 10-12 years after occupancy of phase 1. Phase 3 school is 12-15 years away. The upcoming building moratorium will have an unknown effect on this timeline due to the delay in full residential build-out for the area.

**Principals:**

Duane M. Johnson  
Architect

Daniel P. Eriksson  
Architect

Kevin L. Wilcox  
Architect

The building design is "Mediterranean" style with "parged" slump block and plaster walls in keeping with the "theme" building at Club Center. Main exposed roofs will be clay tile. Mechanical equipment will be hidden in roof wells. Buildings are pulled to the south corner for a better street presence and staggered for varying setbacks. All buildings will be grouped around a central plaza, visible from the main street intersection but allowing controlled access between all 3 buildings by the future school children away from the busy streets. This Plaza will also serve as a transition space to help prepare spiritually to enter the worship spaces and to promote fellowship before and after masses.

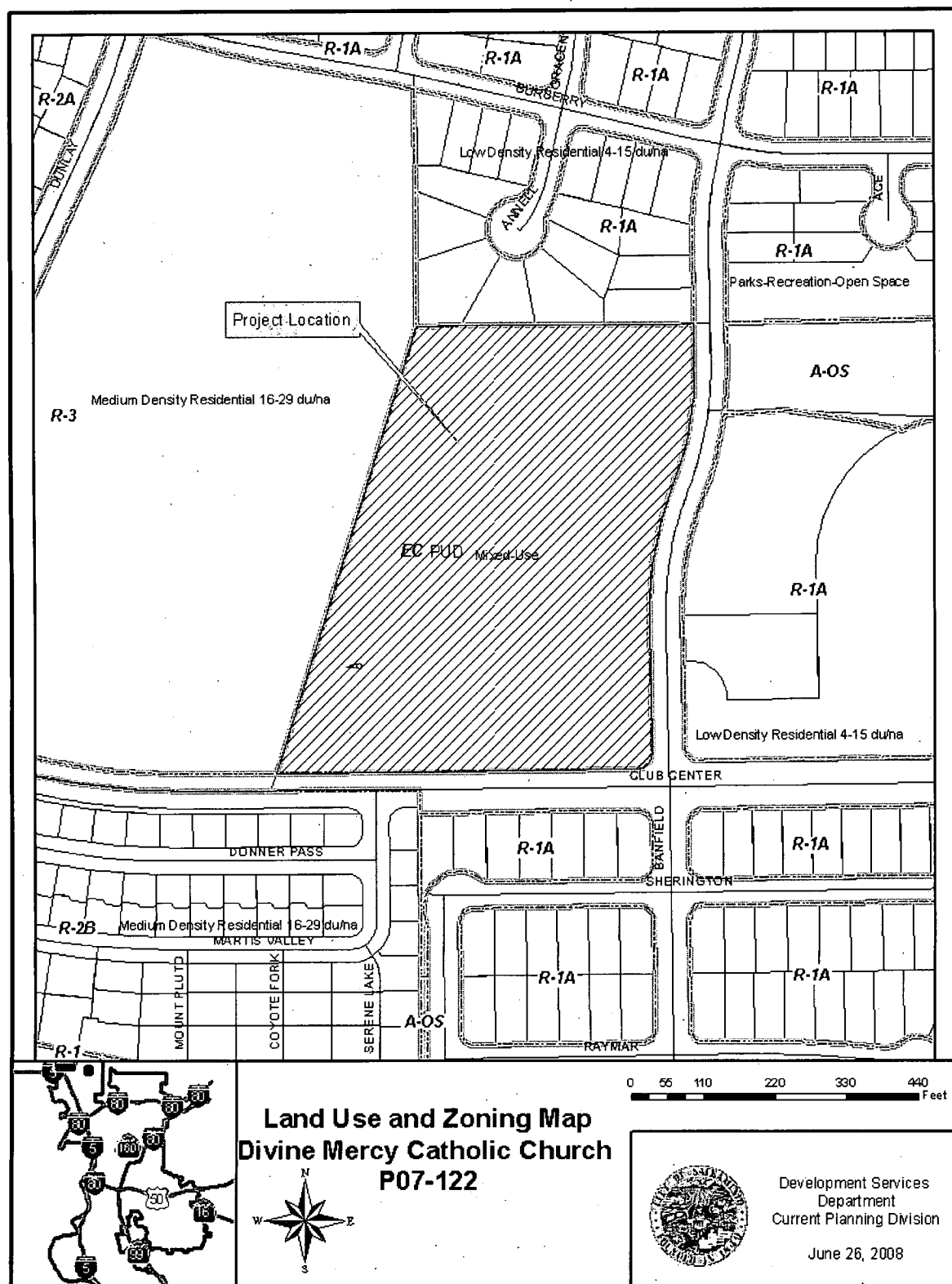
The parking is located in the center of the lot and rotated to not dominate the street frontage. Until the School is constructed, there will remain a connecting drive to Club Center Drive. At full build-out, this drive will only serve the Service Yard and staff parking needs. The Service Yard will be screened from the street by a matching parged slump block wall with wrought iron motorized gates and generous landscaping.

The Phase 1 Limit of Work line is shown just north of the parking lot. The area to the north of this line will remain bare ground until the playfield is developed. The Rectory (Priest's residence) will remain one block north at Banfield and Burberry and not be located on this site.

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10520 Armstrong Avenue • Mather, CA 95655 • Phone: 916.362.6303 • Fax: 916.362.5841 • www.cja-architects.com

Attachment 4 – Land Use & Zoning Map



## Attachment 5 – List of Matrix Team Members

Department	Contact Person	Telephone	Email
Current Planning	Stephanie Hockman	808-7497	shockman@cityofsacramento.org
Team Leader	Ron Yasui	808-1937	ryasui@cityofsacramento.org
Parks	Dana Allen	808-2762	dallen@cityofsacramento.org
Fire	King Tunson	808-1358	ktunson@sfd.cityofsacramento.org
Development Engineering	Scott Tobey	808-8307	stobey@cityofsacramento.org
Utilities	Mark Dilley	808-7492	mdilley@cityofsacramento.org
Urban Forest	Duane Goosen	808-4996	dgoosen@cityofsacramento.org
Building	Luba Vlasenko	808-8799	lvlasenko@cityofsacramento.org