

**CITY PLANNING COMMISSION**  
 1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

<b>APPLICANT</b>	Donald Joseph Inc., 2555 3rd St., Suite 215, Sacramento, CA 95818
<b>OWNER</b>	Robert Delponte, 6371 Riverside Blvd., Sacramento, CA 95831
<b>PLANS BY</b>	Donald Joseph Inc., 2555 3rd St., Suite 215, Sacramento, CA 95818
<b>FILING DATE</b>	4/14/89
<b>ENVIR. DET.</b>	Negative Declaration
<b>REPORT BY</b>	CL:kjr
<b>ASSESSOR'S PCL. NO.</b>	036-0063-011 and 012

- APPLICATION:**
- A. Negative Declaration
  - B. Lot Line Adjustment to merge two undeveloped parcels
  - C. Plan Review for a six unit apartment complex on 0.3+ acres in the Multi-Family Review [R-3R(EA-4)] zone

**LOCATION:** 2601 47th Avenue

**PROPOSAL:** The applicant is requesting the necessary entitlements to merge two parcels into one and develop a six unit apartment complex

**PROJECT INFORMATION:**

General Plan Designation: Medium Density Residential (16-29 du/na)  
 1984 Airport/Meadowview Community  
 Plan Designation: Residential (11-21 du/na)  
 Existing Zoning of Site: R-3-R (EA-4)  
 Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Single Family Residential; R-1 (EA-4)	Front:	25'	25'
South: Single & Multi-Family Residential; R-1(EA-4)	Side(Int):	5'	8'
East: Single Family Residential; R-1(EA-4)	Side(St):	25'	31'
West: Vacant; R-3(EA-4)	Rear:	15'	52'8"

Parking Required: 9 Spaces  
 Parking Provided: 9 Spaces  
 Property Dimensions: 90' x 150'  
 Property Area: 0.3+ acres  
 Density of Development: 20 d.u. per acre  
 Square Footage of Building: 912.5 sq. ft. per unit  
 Height of Building: 26 ft., 2 stories  
 Topography: Flat  
 Street Improvements: Existing  
 Utilities: Existing  
 Exterior Building Materials: Stucco, lap siding  
 Roof Material: Composition

**02499**

PROJECT EVALUATION: Staff has the following comments:A. Land Use/Zoning

The subject site consists of 0.3+ vacant acres in the Multi-Family Review [R-3R(EA-4)] zone. The General Plan designates the site Medium Density Residential (16-29 du/na). The 1984 Airport/Meadowview Community Plan designates the site Residential (11-21 du/na). The surrounding land use and zoning includes Single Family Residential, zoned R-1(EA-4), to the north; Single and Multi-Family Residential, zoned R-1(EA-4), to the south; Single Family Residential, zoned R-1(EA-4), to the east; and Vacant, zoned R-3(EA-4), to the west.

B. Applicant's Proposal

The applicant proposes to merge two lots into one in order to construct a six unit apartment complex. The units are two bedroom and two bathroom containing 912.5 square feet each. The structure is two stories with three units on each level. These apartments require Planning Commission review and approval. The applicant also proposes to build the same six units on the adjacent property across the alley. These units across the alley, however, are zoned R-3 and require no Planning Commission review.

C. Building Design

The building is constructed using stucco and hardboard lap siding. The structure is two story with a composition shingle roof.

Staff recommends the following modifications to improve the overall project:

1. The applicant should reverse the building orientation so that the side of unit number 1 is facing Ventura Street and unit 3 is near the parking area. This is to better allow the enhancement of the elevation facing Ventura Street. This enhancement can be achieved by wrapping the second story balconies around facing Ventura Street. Staff also suggests a window be placed on the wall facing the balcony. These balconies can project 2 feet into the front yard setback without requiring a variance.
2. The portion of the sidewalk which extends from the apartments toward the public right-of-way of 47th Avenue should be removed to minimize on-street parking.
3. Staff suggests the redesign of the stairs with the toe of the stairs directed toward the parking lot such as an L-shaped stairway with an intermediate landing.
4. The windows should be trimmed using the standard window trim treatment as shown in Exhibit C.
5. The applicant should provide a raised planter or large shrubs along the stucco walls facing 47th Avenue in order to break up the bare wall.

D. Parking and Circulation

The six unit apartment complex requires nine parking spaces. The applicant proposes nine spaces located with access from the alley. The parking lot and alley shall be paved to City standards. The alley shall line up with the existing alley and not be offset as shown on proposed site plan.

To improve the design, staff suggests the following modifications:

1. The parking stall directly adjacent to the wall of the building shall be an oversized compact stall in order to allow easier maneuverability.
2. The parking lot should be screened from view from 47th Avenue by a low stucco wall. The wall should look similar to the building and be located directly adjacent to the parking area. There should also be landscaping in front of this wall.
3. The applicant shall also provide a 6 foot solid masonry wall along the property line between the parking area and the adjacent single family residential lot.

E. Landscaping

The applicant shall landscape the 25 foot setback areas including the area fronting the parking lot with a combination of berming, shrubs, and trees.

The parking area shall meet the 50 percent shade requirements of the Zoning Ordinance.

F. Lighting

The lighting on the site must meet the requirements of the Personal Safety Ordinance and should be shielded from adjacent residential properties.

G. Trash Enclosure

The trash enclosure is located with its access off the alley. There needs to be an opening for pedestrian access from the interior of the site and the access gates should not face the alley. The trash enclosure shall be built to the requirements of the Zoning Ordinance.

H. Agency Comments

The proposed project was reviewed by Engineering Development Section, Traffic Engineering, Fire, and Building Inspections. The following comments were received:

Engineering Development Section

1. The applicant shall complete the following at the Public Works Department, Development Services Division, prior to a lot line adjustment being recorded:

**02501**

- a. File a Certificate of Compliance, submit all required documents according to the submittal requirements checklist, and pay necessary fees (presently \$500).
  - b. File a waiver of Parcel Map.
  - c. Pay off or segregate any existing assessments.
  - d. Coordinate with County Sanitation District
2. Dumpsters should be accessible from site without going into alley.
  3. Parking spaces adjacent to masonry wall and in NE corner appear to have access problems for maneuvering.

Traffic Engineering

1. The main access for the units will be from Hermosa Street and Ventura Street.
2. The full right-of-way of the alley shall be improved with no obstructions.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project as proposed will not have a significant impact to the environment and has filed a Negative Declaration.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration.
- B. Approve the Lot Line Adjustment to merge two lots into one by adopting the attached resolution.
- C. Approve the Plan Review of a six unit apartment building subject to conditions and based upon findings of fact which follow.

Conditions - Plan Review

1. The building orientation shall be reversed so Unit 1 is facing Ventura Street and Unit 3 is near the parking area.
2. The second story balconies shall wrap around the building to the Ventura Street side.
3. The portion of the sidewalk extending from the apartments toward the public right-of-way of 47th Avenue shall be removed.
4. The stairs shall be redesigned so the toe of the stairways points toward the parking lot.

5. The windows shall be trimmed using the standard window trim treatment per Exhibit C.
6. The applicant shall provide a raised planter or large shrubs along the stucco walls facing 47th Avenue.
7. The parking lot and alley shall be paved to City standards.
8. The alley shall line up with the existing right-of-way. The full right-of-way shall be improved, with no obstructions, to the satisfaction of the Public Works Department.
9. The parking lot shall be screened from view by a low stucco wall similar to the building.
10. The applicant shall provide a 6 foot masonry wall along the property line between the parking area and the adjacent single family lot.
11. The applicant shall landscape the 25 foot setback areas with a combination of berming shrubs and trees.
12. Revised plans indicating modified elevations and site plan shall be submitted to the Planning Director for review and approval prior to issuance of building permits.
13. A detailed landscape plan shall be submitted to the Planning Director for review and approval prior to issuance of building permit.
14. The trash enclosure shall have an opening for pedestrian access and be built to the requirements of the Zoning Ordinance. Access gates shall not open into the alley.

Findings of Fact - Plan Review

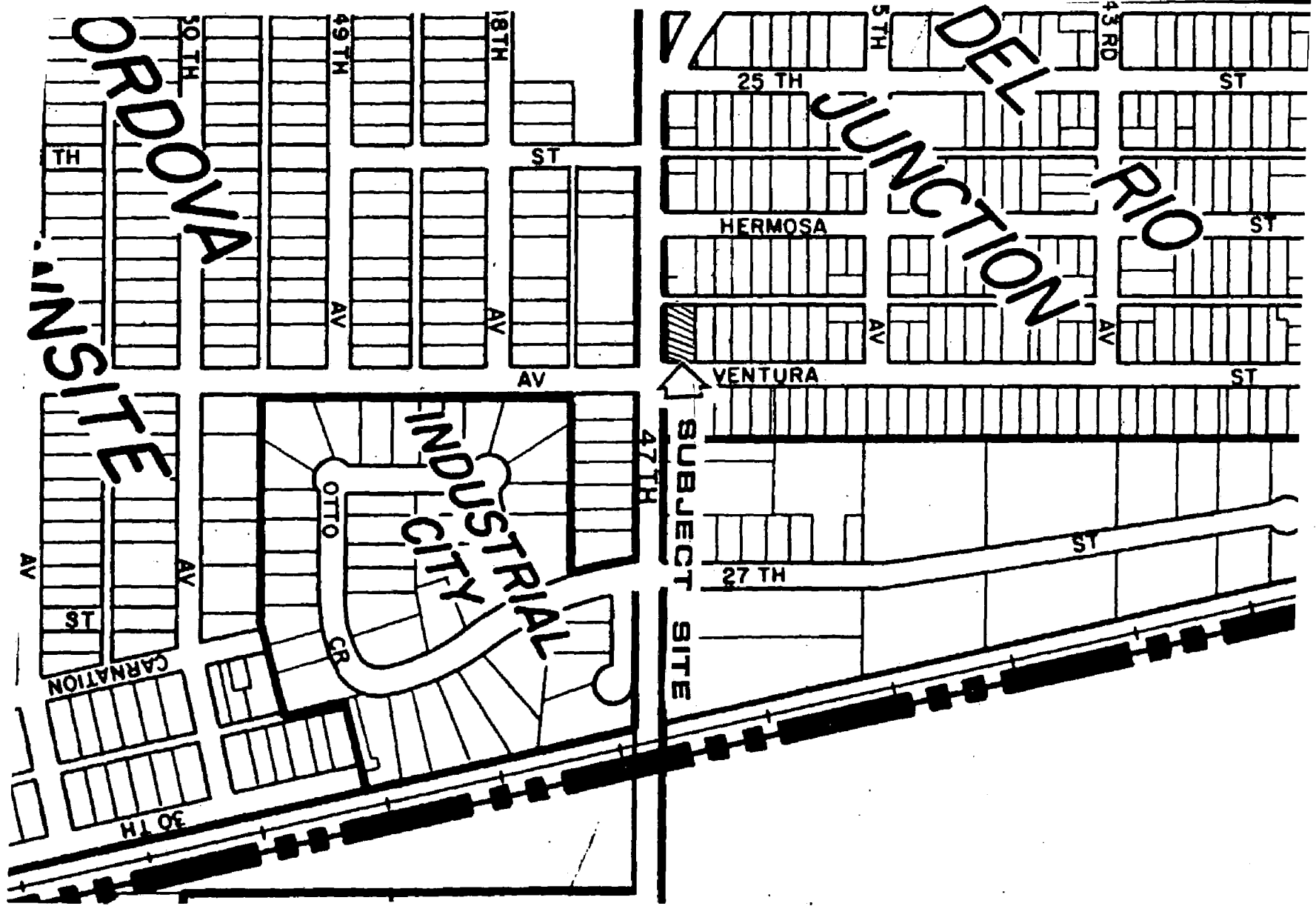
1. The project, as conditioned, is based upon sound principles of land use, in that the design and number of proposed units are compatible with the surrounding uses.
2. The project, as conditioned, will not be detrimental to the public health, safety, or welfare, nor result in the creation of a nuisance, in that:
  - a. adequate on-site parking and landscaping is provided;  
and
  - b. the project adheres to the multi-family design criteria.

02503

3. The project is consistent with the General Plan and the 1984 Airport/Meadowview Community Plan which designates the site for a maximum density of 21 du/na, in that the proposed apartment complex conforms with the plan designation.

02504

02504

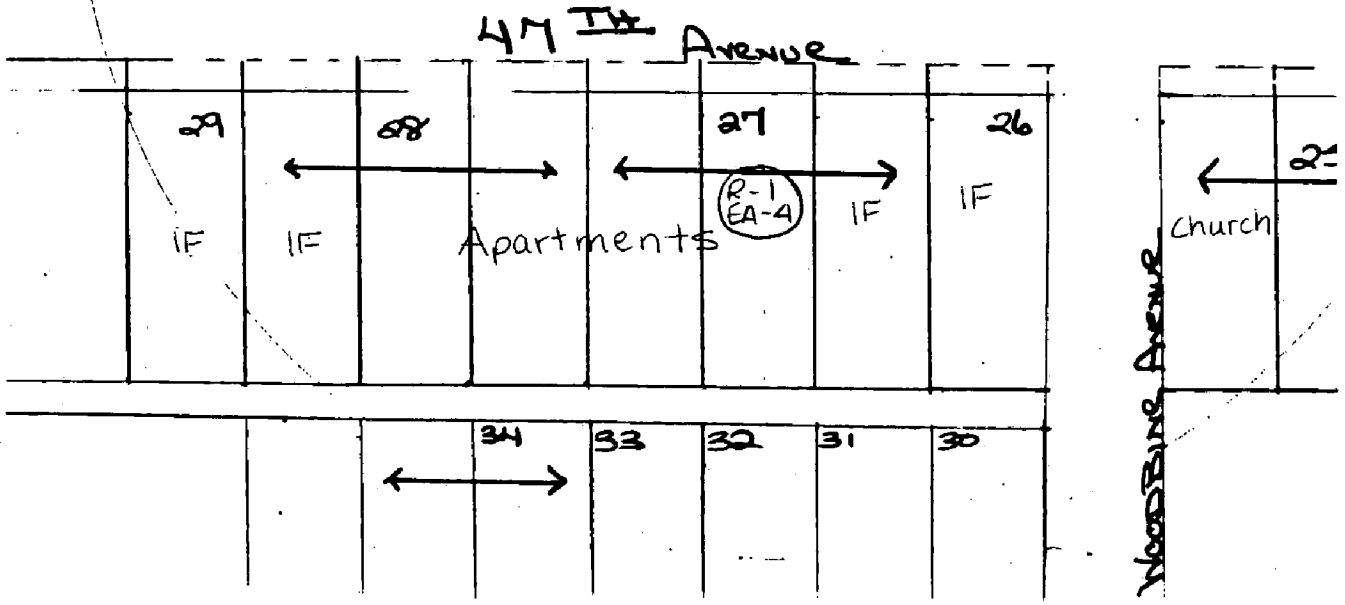
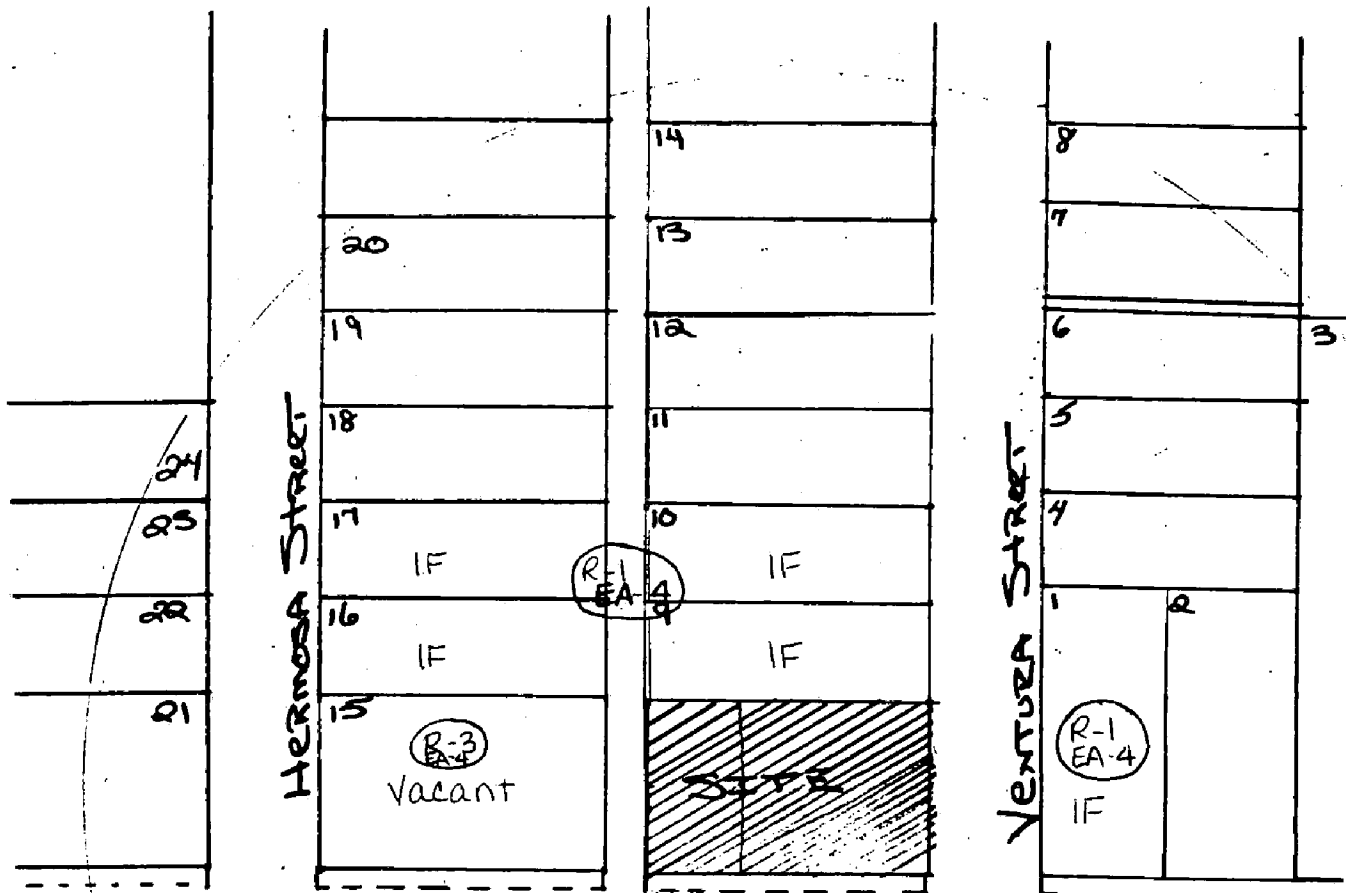


VICINITY MAP

P89-182

5-25-89

Item #

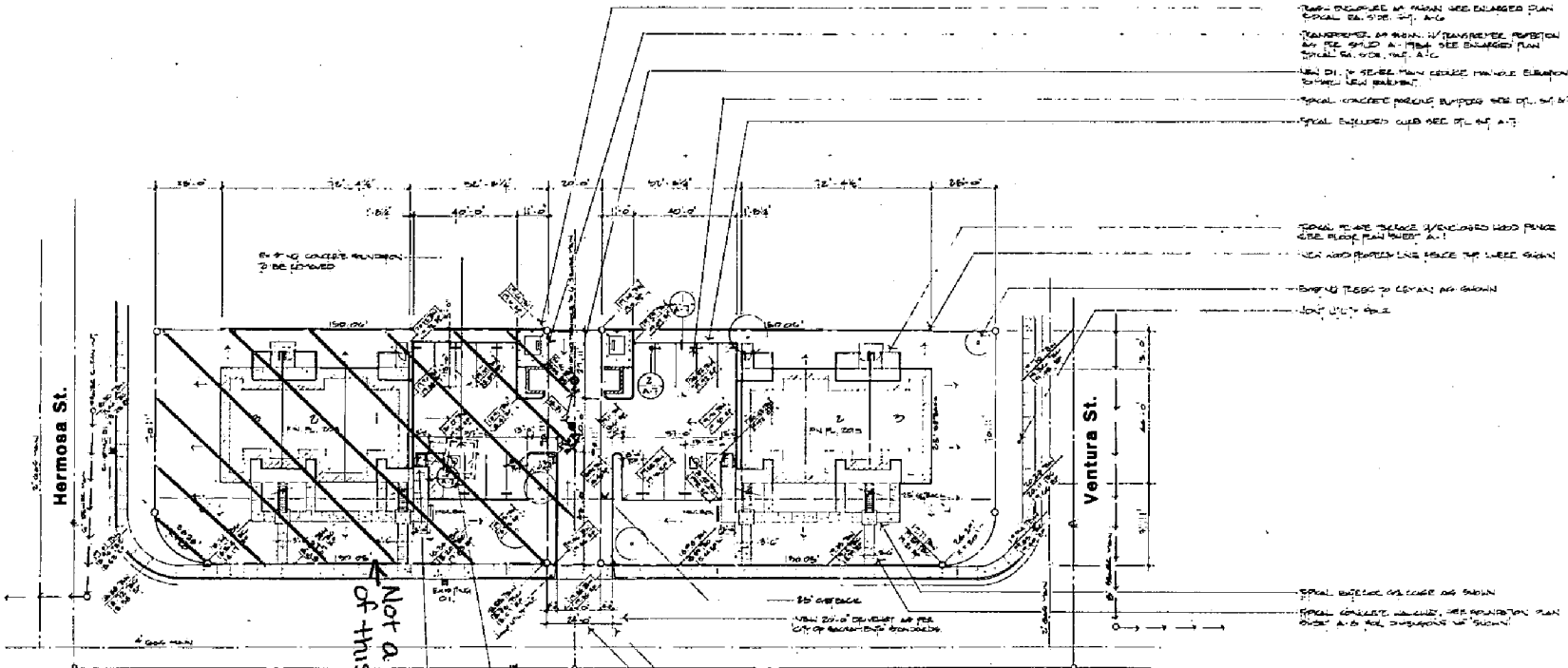


# LAND USE & ZONING MAP

189-182

5-25-89

Item # 17



THIS INCLUDES A MAIN AND ENLARGED PLAN  
 (SCALE 1/8" = 1'-0") AND  
 TRANSPARENT APPLICABLE TRANSPARENT PORTION  
 ON THE SPICAL A-1 PLAN SEE ENLARGED PLAN  
 SHOULD BE FOR THE A-1  
 THE D-1 TO BE SET FROM GRADE TO HAVE ELEVATION  
 SHOULD BE FOR THE A-1  
 SPICAL CONCRETE FACING BUMPERS SEE D-1, A-1  
 SPICAL ENCLOSED CURB SEE D-1, A-1

SPICAL REINFORCED CONCRETE WALLS SEE PLAN  
 SEE BLOCK PLAN SHEET A-1  
 NEW LANDSCAPING LINE SEE THE LAYOUT PLAN  
 REMOVED TREES TO BE REPLACED AS SHOWN  
 NEW UTILITY POLES

SPICAL WALLS AS SHOWN AS SHOWN  
 SPICAL CONCRETE WALLS SEE REVISION PLAN  
 D-1 AND SEE ENLARGED PLAN SHEET A-1

LANDSCAPING SHALL BE COMPLETED BY PERMANENTLY STABLE PLANTING ON SPICAL GRADED TO BE BOUND, INCLUDING THE INTERIOR SPACES OF A COURTYARD OR LAWN. SPICAL SHALL BE COMPLETED AND GRADED ON THE WALLS AND FOR THE FACING SHALL BE 18" FROM THE GRADE OF FACING SHALL IN ADDITION THE SURFACE OF THE WALL SHALL HAVE CONTRASTING COLORING THE INTERIOR COURTYARD. A 2" HIGH UNLAPPEDED ACCESS RAMP AS SHOWN SEE ENLARGED PLAN SHEET A-1, D-1, A-1.

**Legend**

- NEW ACCESS POINT
- NEW CONCRETE WALKWAY AND TERRACE
- NEW BUILDING FOOT
- BUILDING ELEVATION
- NEW ELEVATION
- TOP BACK OF CURB
- TOP BACK OF CURB
- PLAN LINE
- EDGE OF PAVEMENT
- DRAINAGE INLET
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- DIRECTION OF DRIVE

**SITE PLAN**  
 SCALE: 1" = 20'-0"

**DONALD JOSEPH CO**  
*an design studio*  
 1988-1989

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JOB: \_\_\_\_\_  
 DATE: 10-15-89  
 DRAWN BY: \_\_\_\_\_  
 REVISIONS:

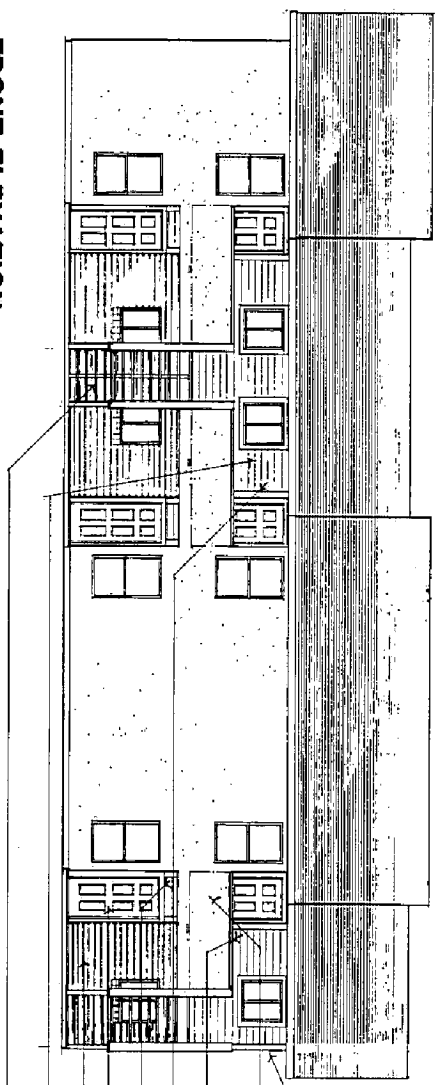
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**Site Plan**  
**Ventura Garden Apartments**  
 Sacramento, Ca.

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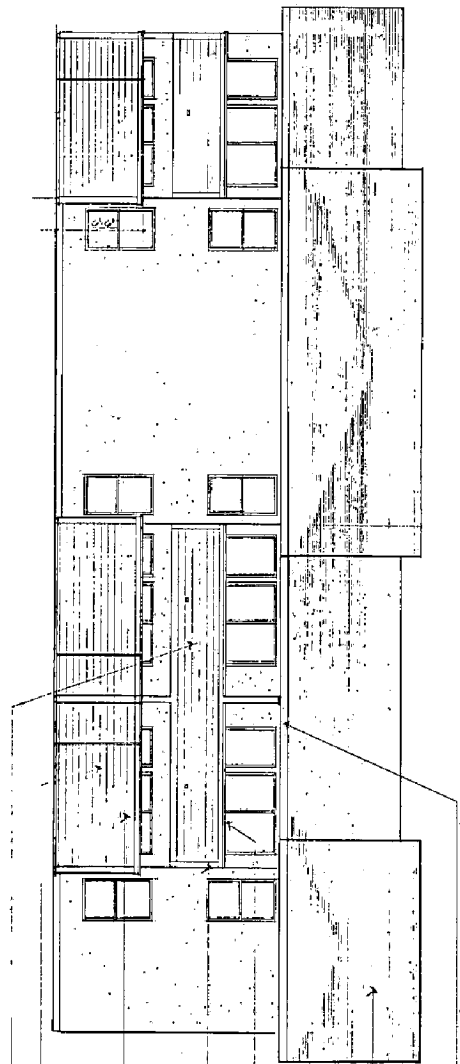
**S-1**

**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 SEE PLAN AND SECTION FOR DIMENSIONS AND DETAILS.  
 TYPICAL



- 1. 3/4" x 3/4" x 3/4" PORTLAND CEMENT CONCRETE
- 2. 2" x 4" x 8" JOIST
- 3. 1/2" x 1/2" x 1/2" JOIST
- 4. 1/2" x 1/2" x 1/2" JOIST
- 5. 1/2" x 1/2" x 1/2" JOIST
- 6. 1/2" x 1/2" x 1/2" JOIST
- 7. 1/2" x 1/2" x 1/2" JOIST
- 8. 1/2" x 1/2" x 1/2" JOIST
- 9. 1/2" x 1/2" x 1/2" JOIST
- 10. 1/2" x 1/2" x 1/2" JOIST
- 11. 1/2" x 1/2" x 1/2" JOIST
- 12. 1/2" x 1/2" x 1/2" JOIST
- 13. 1/2" x 1/2" x 1/2" JOIST
- 14. 1/2" x 1/2" x 1/2" JOIST
- 15. 1/2" x 1/2" x 1/2" JOIST
- 16. 1/2" x 1/2" x 1/2" JOIST
- 17. 1/2" x 1/2" x 1/2" JOIST
- 18. 1/2" x 1/2" x 1/2" JOIST
- 19. 1/2" x 1/2" x 1/2" JOIST
- 20. 1/2" x 1/2" x 1/2" JOIST

**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 SEE PLAN AND SECTION FOR DIMENSIONS AND DETAILS.  
 TYPICAL



- 1. 3/4" x 3/4" x 3/4" PORTLAND CEMENT CONCRETE
- 2. 2" x 4" x 8" JOIST
- 3. 1/2" x 1/2" x 1/2" JOIST
- 4. 1/2" x 1/2" x 1/2" JOIST
- 5. 1/2" x 1/2" x 1/2" JOIST
- 6. 1/2" x 1/2" x 1/2" JOIST
- 7. 1/2" x 1/2" x 1/2" JOIST
- 8. 1/2" x 1/2" x 1/2" JOIST
- 9. 1/2" x 1/2" x 1/2" JOIST
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- 12. 1/2" x 1/2" x 1/2" JOIST
- 13. 1/2" x 1/2" x 1/2" JOIST
- 14. 1/2" x 1/2" x 1/2" JOIST
- 15. 1/2" x 1/2" x 1/2" JOIST
- 16. 1/2" x 1/2" x 1/2" JOIST
- 17. 1/2" x 1/2" x 1/2" JOIST
- 18. 1/2" x 1/2" x 1/2" JOIST
- 19. 1/2" x 1/2" x 1/2" JOIST
- 20. 1/2" x 1/2" x 1/2" JOIST

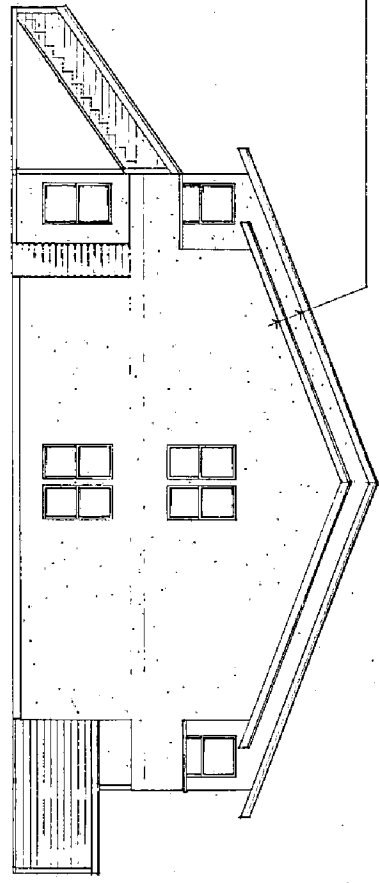
<b>A-3</b>	<p><b>Front &amp; Rear Elevations</b>  <b>Ventura Garden Apartments</b>          Sacramento, Ca.</p>	<p><b>DONALD JOSEPH CO</b>          Architect</p>
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2x8 STUDS, BRIDGE PLATE, 2x12 RAFTERS  
ON 16" CENTERS, 1/2" SHEATHING

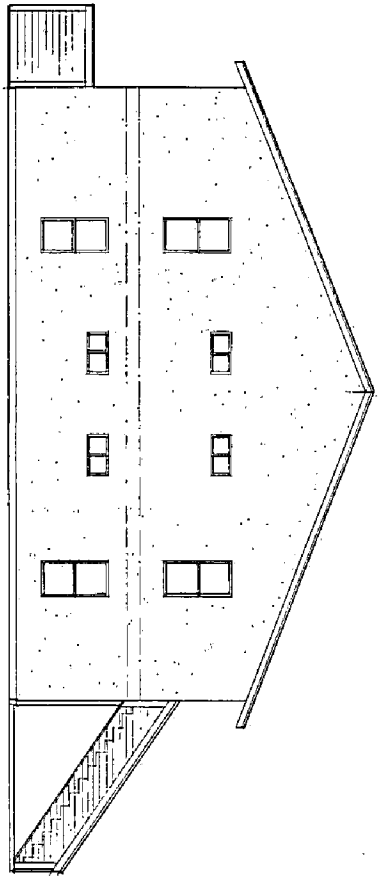
1"12" 2x4 PORTLAND CEMENT PLASTER

1"12" 2x4 SMALL PANEL STUCCO FINISH  
1"12" 2x4 1/2" GYPSUM BOARD

1"12" 2x4 SMALL PANEL STUCCO FINISH



**RIGHT ELEVATION**  
SHOWS THE  
GENERAL APPEARANCE OF THE BUILDING  
TYPICAL



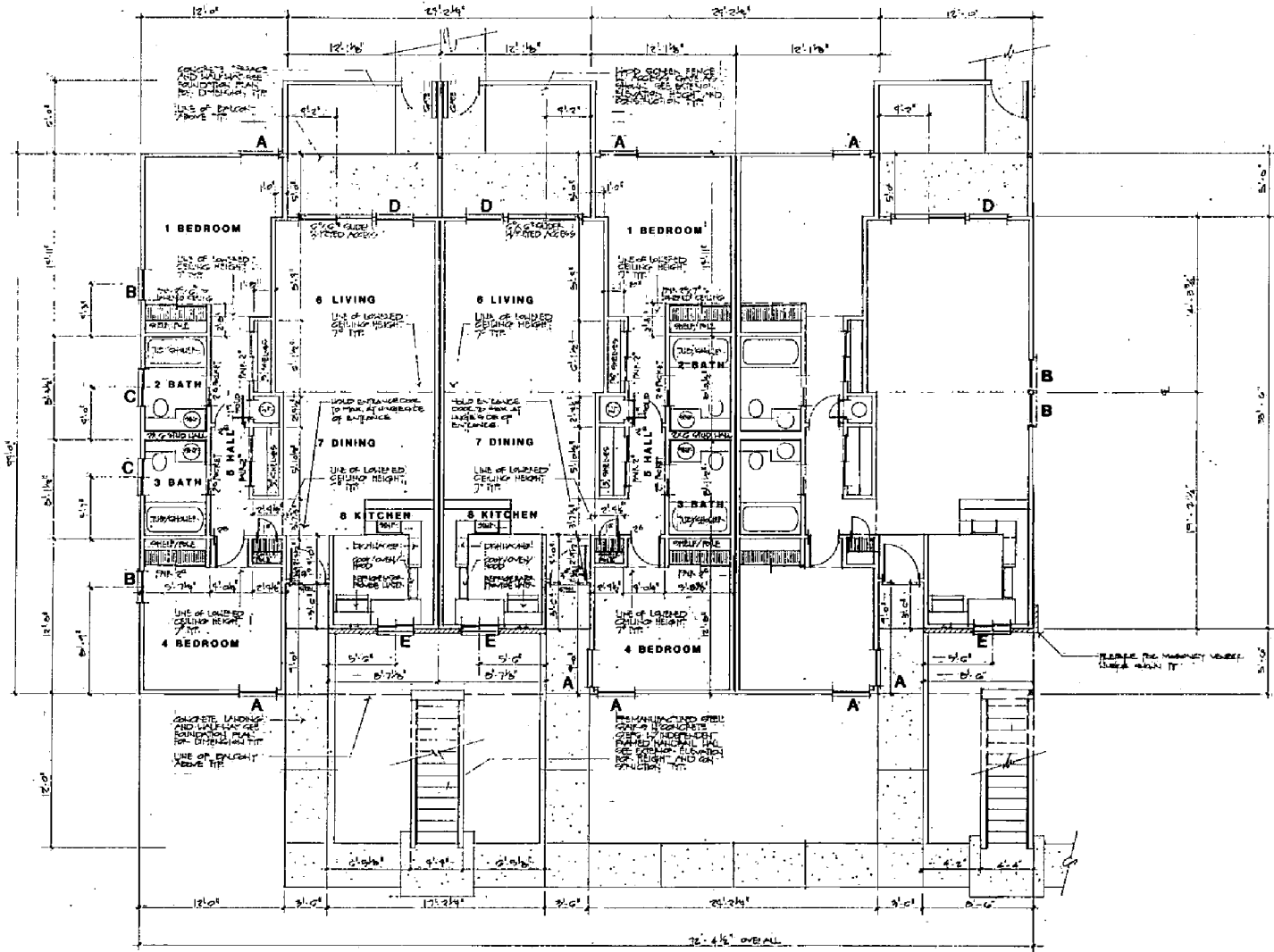
**LEFT ELEVATION**  
SHOWS THE  
GENERAL APPEARANCE OF THE BUILDING  
TYPICAL

<b>A-4</b>	<b>Right &amp; Left Elevations</b> <b>Ventura Garden Apartments</b> <b>Sacramento, Ca.</b>	<small>DATE BY CHECKED APPROVED</small>	<b>DONALD JOSEPH CO</b> <i>an design studio</i> <small>440 - 2840 2210 3216 ST. SACRAMENTO, CA</small>
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**GROUND FLOOR PLAN**  
 Typical

**General Notes**  
 1. ALL ROOMS FINISH EACH UNIT: 2"x2" VINYL TILE FLOOR, 2" TYP. HALL, ONE COAT OF WHITE PLYMOUTH SHEET ROOF BASE FINISHES. FLOOR PLANS, WINDS AND OVERLAPPED TYPICAL FINISHES. TWO SET SECOND FLOOR PLAN FOR ADDITIONAL NOTES AND DIMENSIONS. SEE TYPICAL FLOOR FINISH SCHEDULE UNITS, LIFT AND LIFT-FLOOR, FIN. FINISH NOTES AND DIMENSIONS.

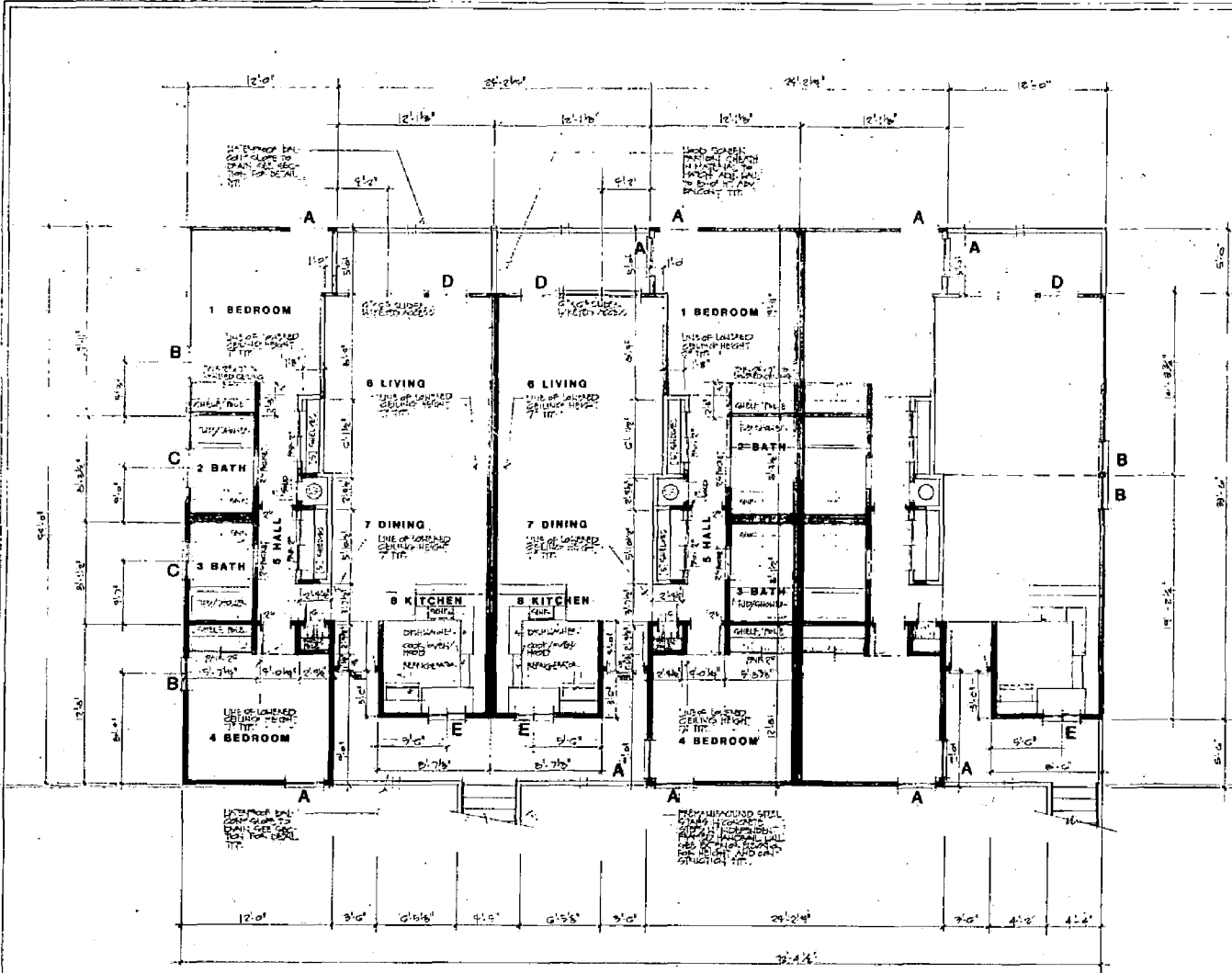
**Windows**

TYPE	SIZE - DESCRIPTION	QUANTITY
1	3'0" SINGLE HUNG	10
2	3'0" SINGLE HUNG	4
3	3'0" SINGLE HUNG	2
4	3'0" SINGLE HUNG	3
5	3'0" SINGLE HUNG	3

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Mem # 17



**SECOND FLOOR PLAN**  
 SCALE 1/8" = 1'-0"  
 Typical

**Windows**

TYPE	SIZE-DESCRIPTION	QUANTITY
A	24" x 36" SINGLE HUNG UP DOWN	10
B	24" x 36" SINGLE HUNG UP DOWN	4
C	36" x 48" GLIDER OPERABLE	2
D	36" x 48" SINGLE HUNG UP DOWN	3
E	36" x 48" GLIDER OPERABLE	5

**DONALD JOSEPH CO**  
 ARCHITECTS  
 2310 16TH ST. SACRAMENTO, CA 95811

**Second Floor Plan**  
**Ventura Garden Apartments**  
 Sacramento, Ca.

**A-2**



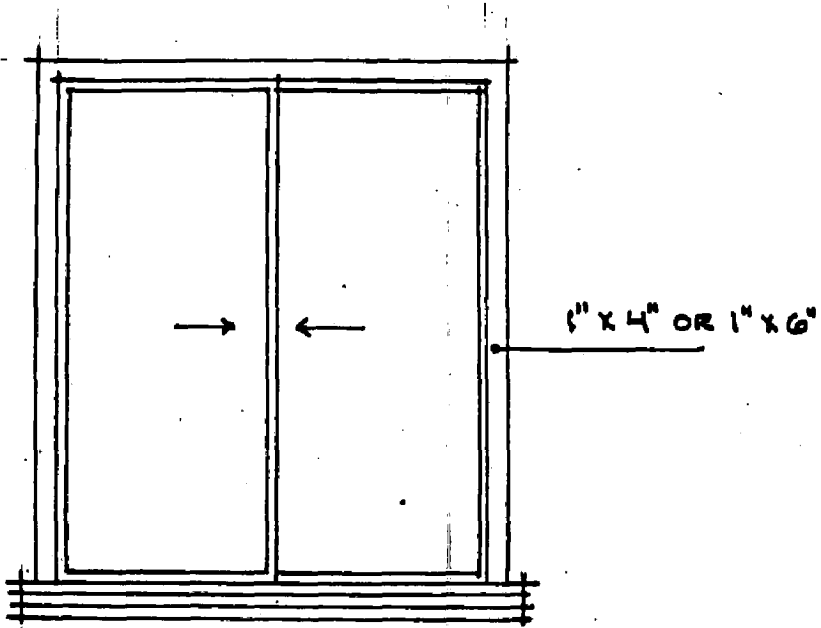
**EXHIBIT B**

## LEGAL DESCRIPTION - P89182

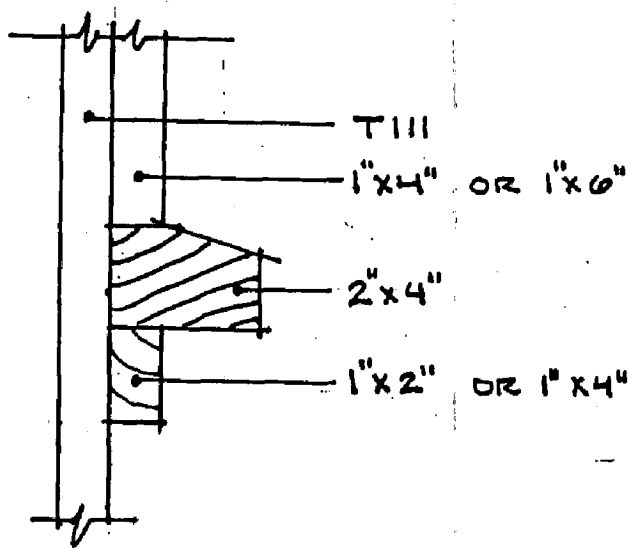
THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SACRAMENTO, CITY OF SACRAMENTO, LOT 62 OF DEL RIO JUNCTION, FILED IN BOOK 8 OF MAPS, MAP NO 38, SACRAMENTO COUNTY RECORDS; EXCEPTING THEREFROM THE SOUTH 10 FEET OF LOT 62 AND ALSO EXCEPTING THEREFROM THAT PORTION OF LOT 62 LYING EASTERLY AND SOUTHEASTERLY OF A CURVE OF 20 FEET RADIUS CONNECTING THE EAST LINE OF SAID LOT 62 WITH THE NORTH LINE OF THE SOUTH 10 FEET OF LOT 62.

LOT LINE ADJUSTMENT P89182

EXHIBIT C



WINDOW & TRIM 1/4" = 1'-0"



SILL TRIM 3" = 1'-0"