



CITY OF SACRAMENTO
CALIFORNIA

NEIGHBORHOODS, PLANNING
AND DEVELOPMENT SERVICES

1231 I STREET
ROOM 300
SACRAMENTO, CA
95814-2998

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD**

FILE: P00-065

PREVIOUS FILE NUMBER(S): P96-106 (Gateway West Planned Unit Development)

PROJECT NAME: JMC Homes in Gateway West Villages 1 & 3

ASSESSOR'S PARCEL NUMBER(S): 225-1160-004 thru -009
225-1170-004 and -072 thru -102
225-1180-001 thru -006 and -041 thru -042
225-1300-001 thru -042

APPLICANT'S NAME/ADDRESS: JMC Homes (Daryle Hassler)
1830 Vernon Street, #9
Roseville, CA 95678
(916) 969-2892 ext. 233

APPROVAL: This Planning Director's Special Permit (PDSP) approval is for **88 lots** in Gateway West Village 3 and a portion of Village 1, within the Gateway West Planned Unit Development (PUD). Additional PDSP will be required for future development of other villages. After approval of the PDSP, the following entitlements are required, prior to construction of the residential development: 1) Zoning Administrator's Model Home Special Permit; 2) Building Permits.

PROJECT INFORMATION:

Zoning:	R-1/R-1A PUD	Range in House Size:	1785 to 2791 sq. ft.
Typical Lot Size:	60' x 105'	Range in Price:	Not Available
Number of Lots:	88	Number of Models:	5
Gross Acres:	17.24	Number of Elevations:	3
Net Acres:	14.28	Number of Color Palettes:	7
Net Density:	6.03		

BACKGROUND: The Gateway West Planned Unit Development (PUD) was approved by City Council on August 26, 1997 (P96-106). Previous entitlements included a Development Agreement, General Plan and 1994 North Natomas Community Plan amendments, Rezoning, PUD Designation with Development

Guidelines and Schematic Plan, a Tentative Master Parcel Map, and a Tentative Subdivision Map with Subdivision Modifications related to street standards in order to accommodate the proposal. In approving the PUD Guidelines, the Council determined that a Planning Director's Special Permit (PDSP), in lieu of a Planning Commission Special Permit, would be the appropriate means of review and approval for single family / two family residential development with the PUD, provided that the PDSP application was consistent with PUD Guidelines. The Gateway West PUD was subsequently amended on January 21, 1999 (P98-129) to increase the required garage setback to 20 feet and to establish a maximum lot coverage of up to 45%, and as much as 48% in some cases, in the Single Family and Single Family - Alternative PUD residential zones (R-1 and R-1-A PUD) for the entire PUD.

The applicant is requesting approval of a Planning Director's Special Permit for five single family house plans on 88 lots within Gateway West Village 3 and a portion of Village 1, of the Gateway West PUD (North Natomas Neighborhood #3) (see vicinity map).

PROJECT DETAILS:

House Plans: Please see Table 1 below for information regarding each house plan. The square footage given is the total living space as provided by the applicant. Also note that a negative value under Garage Recess indicates that the garage projects out in front of the house instead of being recessed; and a negative value under Porch Projection indicates that the porch (or covered entry, as the case may be) is recessed behind the forward most living space rather than projecting out in front.

**Table 1
HOUSE PLANS**

	House Plan Model Number	Square Footage	No. of Stories	No. of Bedrms	Garage Stalls	Max House Dims		Garage Recess	Porch Projection
						(width)	(depth)		
1	1785	1785	1	3	3	45.00	63.16	-2.00	-15.40
2a	1913	1913	1	3	3	49.00	65.33	-12.16	-14.67
2b	2128	2128	1	4	2	49.00	65.33	10.33	-26.83
3a	2385	2385	2	4/5	2	49.00	66.33	35.83	1.60
3b	2606	2606	2	4/5	2	49.00	66.33	35.83	1.60
4	2653	2653	2	4	3	49.00	43.50	2.50	-2.00
5	2791	2791	2	3/4/5	3	50.66	52.50	-12.16	0

Other features and options of the house plans include:

- 1 - 1785:** Smallest single story home; Two car garage with an additional one car tandem space, which faces the street, projects in front of bedroom 3. There is a covered porch area between the garage and the hallway leading to bedroom 3.
- 2a - 1913:** Largest single story home; The two car garage faces front and there is also a side-entry single car garage, which projects in front of bedroom 3. There is a courtyard area surrounded by the two garages, bedroom 3, and the dining room. There is also a covered entry.
- 2b - 2128:** Same plan as 1913 with the option that the single car garage is converted into a guest/bedroom. With this option, the garage is recessed from the guest/bedroom.

- 3a - 2385:** Smallest two story home; Two car garage faces front and is recessed to the rear of the home. There is a covered porch at the front of the house, located by the library and the parlor. Option: There is a bedroom option for the library on the first floor.
- 3b - 2606:** Same plan as 2385 with the option that the space above the parlor is converted into a bonus room.
-
- 4 - 2653:** Two story home; Two car garage, with an additional one car tandem space, faces the street. The garage is recessed from the living room. There is a covered porch located at the front of the home, between the garage and living room.
- 5 - 2791:** Largest two story home; Two car garage, which is flush with the parlor, faces front while a separate side-entry single car garage projects in front of the parlor. There is a covered entry located between the parlor and the two car garage. Option: There is a library option for bedroom 5, on the first floor, and a master retreat option for bedroom 2, on the second floor.

Models: The home builder intends to model four of the five plans in their model home complex, specifically Plan 2a - 1913, Plan 3a - 2385, Plan 4 - 2653, and Plan 5 - 2791, located on lots 2, 3, 4, and 5 of Gateway West Village 1, on Flora Way, near Stemmler Drive.

Height, Setbacks, and Lot Coverage: One and two story homes are proposed for all lots in the subdivision, which is in compliance with the maximum of two stories allowed by the amended PUD Guidelines. The minimum setbacks required by the PUD Guidelines are shown in Table 2 below:

**Table 2
SETBACKS**

Minimum Setbacks	Front	Rear	Side	Street Side
Living Area	17.5	15	5	12.5
Porch	12.5	15	5	12.5
Garage*	20	15	5	N/A

* Minimum driveway length for front-entry garages is 20 feet, but side-entry garages may be at minimum setback for living area.

The typical lot size for Gateway West Villages 1 and 3 is 60 feet wide by 105 feet deep, or 6300 square feet. All of the plans submitted will fit on any lot in the subdivision except for a few, with respect to setbacks. However, the following lots may only be able to house Plan 1785: Lot 1 of Village 1 and Lots 15, 20, 29, 42-43, 46, 56 and 73 of Village 3. To locate any other plan on the previous lots, the home builder may need to submit a plot plan to the Planning Staff, to verify that the plan meets all setbacks. And Plan 2791 may not meet setback requirements on Lots 6 and 42 of Village 1 and Lots 6, 8-10, 17, 26, 44, 54, and 72 of Village 3. To locate this plan on the previous lots, the home builder may need to submit a plot plan for each lot to the Planning Staff, to verify that the plan meets all setbacks.

In addition, it appears that several other lots may have setbacks issues (due to the irregular shape of the lots), which could cause future problems. To resolve these potential issues, the project will be conditioned to require that the home builder submit a plot plan to Planning Staff as well as to the Building Division prior to the issuance of the building permits, demonstrating compliance with setback requirements, for the following lots: Village 3 - Lots 1, 16, 21, 23-27, 29, 35-36, 47, 55, and 64-65.

Finally, there are additional lots which may not be able house all of the plans proposed. Table 3 shows which plans may/may not fit on particular lots. For those that show a "Maybe", the plan may or may not fit on the particular lot and a plot plan will need to be submitted to Planning Staff to verify that particular plan will meet all setbacks on this lot.

**Table 3
SPECIFIC LOT/PLAN COMBINATIONS**

Village Number	Lot Numbers	Plan 1785	Plan 1913/2128	Plan 2385/2606	Plan 2653	Plan 2791
1	62	No	No	Yes	Yes	Yes
1	82	Yes	No	Maybe	No	No
3	1	Maybe	No	No	No	No
3	47	Yes	No	No	Maybe	No

The lot coverages shown in Table 4 below were calculated based on the minimum lot size of 5,888 square feet: first using the total footprint area, which includes all first floor living space, garage, and front porch areas; and secondly, taking allowances into consideration, which consist of all front porch area, plus 50% of all garage area for plans on which the garage is recessed a minimum of four feet behind the forward most living area.

**Table 4
LOT COVERAGE**

		GROUND FLOOR AREAS (SF)					% Lot Coverage	% with Allowance
	House Plan Model Number	Living Space	Garage Area	Front Porch	Total Footprint	Allowance Area		
1	1785	1785	629	69	2484	69	42%	41%
2a	1913	1913	600	53	2575	53	44%	43%
2b	2128	2128	376	53	2575	241	44%	40%
3a	2385*	2385	624	102	2076	414	35%	28%
3b	2606*	2606	624	102	2076	414	35%	28%
4	2653*	2653	578	116	1815	116	31%	29%
5	2791*	2791	616	54	2052	54	35%	34%

* two story homes

With Planning Director Special Permit allowances, the maximum lot coverage is as follows: 40% for two story homes, 45% for one-story homes (up to 50% of the lot count, per PDSP), and 48% for one story homes (up to 10% of the count, per PDSP). As shown in Table 3, all of the proposed plans comply with the maximum lot coverage without the allowances.

Corner Lots: There are 19 corner lots in Gateway West Village 1 & 3 (see exhibit 1). The home builder intends to offer Plan 1785 only on corner lots. However, Staff sees no reason to restrict this plan only to corner lots. The home builder also intends not to offer Plans 1913 and 2128 on corner lots. Staff feels that Plan 1913 and also Plan 2791 are less appropriate on a corner lot, due to the third-car side-entry

garage that would be located on the corner. Plans with side entry garages are generally not appropriate for corner lots because of the requirement that on corner lots the driveway must be located away from the intersection of streets; and likewise, locating the garage towards the corner on a corner lot is also generally undesirable. However, staff would recommend that Plan 2128 would be acceptable if placed on a corner lot, because the side-entry garage will be replaced with a guest/bedroom.

Elevations, Materials, and Colors: In general, three elevations are proposed for each house plan, as follows: A - Spanish - stucco; B - California Mission - stucco/masonry; C - French - stucco/masonry.

In addition to the material differences between elevations described above, variations in other architectural elements are also provided. These include the use of different distinctive treatments on porch columns and entry structures from one elevation to another; the use of arched windows versus squared windows; arched soffits on porch entries and over doors versus squared soffits; hipped roofs versus gabled roofs; different styles of vents; and variations on the use of shutters from one elevation to another.

A variety of eight different types of LedgeStone material will be offered: three types of drystack, three types of country, and two types of southern. Five color palettes will be offered for each house plan. Two additional color palettes will only be offered for elevations B & C. All roofing will be concrete tile; flat or S-tile (barrel tile). Three color choices are provided: Antique Red Blend (S-tile), El Toro Brown (S-tile), and Charcoal (flat). A minimum 6:12 roof pitch is shown on all plans except Plan 2385/2606 Elevation "C", which has a 7:12 roof pitch.

Enhanced side and rear elevations are required whenever either of those elevations of a home face a public street, park, canal, or other public space. Nineteen corner lots are included in these villages that will require such treatments, and fifteen lots which back onto major streets. Enhanced elevations shall include, at a minimum, trim around windows and doors, with shutter treatments and veneer materials continued from front elevations where visible to the public, and a four foot return of materials on the side or rear elevation, as appropriate. On enhanced side and rear elevations, window treatments, roof lines, and materials should match the front facade in appearance and quality.

Landscaping: The home builder will provide street trees along all lot frontage, including the street side of corner lots, in accordance with the conditions of approval and the Street Tree Matrix in the PUD Guidelines. Front and street side yard landscaping materials also will be provided, as conditioned and as shown on the conceptual landscape plans submitted (Exhibit 3), with plant materials selected from the plant list in the PUD Guidelines or the North Natomas Community Plan Development Guidelines.

Fences and Walls: Fence design, finish, and materials are to be approved by the Gateway West Design Review Committee (GWDRC). Fencing visible from public areas shall be no higher than six feet (6'-0") above street grade. Wooden fences shall be constructed out of a minimum of 75 percent Western Red Cedar or Redwood. All wooden fencing visible from public areas shall have continuous top and bottom rails with vertical plank panels and shall be stained with semi-transparent stain in a neutral tone to be specified by the GWDRC. Other architectural materials may be incorporated, upon GWDRC approval, subject to the approval of the Planning Director.

Side yard fences up to six feet (6'-0") from house grade are allowed except within the front yard setback. Within this setback, the fence shall be no greater than 3'-6" in height and all fencing shall be required to have a minimum of 3'-0" in front for landscaping. Side yard fences shall be consistent with adjacent front and back fence for material and colors. Exposed side yard fences must be softened with hedges or other plantings, of one-gallon minimum size, planted 5' on center along the entire length of fence. Rear yard

fences of up to six feet (6'-0") in height from street grade are allowed; for areas visible from public streets and parks. The goal is to create privacy, while keeping open the public view corridor.

Air Quality Mitigation Strategy: The master developer of Gateway West, which includes these villages, has submitted an Air Quality Mitigation Plan. The Plan was adopted by Planning and Public Works. Pursuant to the plan, the homebuilder of these villages is responsible for the following mitigation measures: 1) Water Heaters - install low nitrogen-oxide emitting, and/or high-efficiency water heaters; 2) Natural gas lines/electrical outlets - install natural gas lines or electrical outlets to all back yards to encourage the use of natural gas or electric barbecues, and 3) Windows - install energy efficient dual-pane windows.

COMMENTS:

Public Notice was mailed to adjacent property owners by the applicant on June 7, 2000. No comments have been received in response to the public notice. Review of the project plans was completed by the Gateway West Design Review Committee (GWDRC) on March 31, 2000, with no comments or conditions provided in the letter from Brian Vail of River West Investments (attached as Exhibit 13). The project plans were presented by the applicant to the Natomas Community Association on May 23, 2000, where they were well received.

On August 26, 1997, the City Council ratified a Negative Declaration for the original project (P96-106). Potentially significant environmental issues regarding Water, Air Quality, Plant/Animal Life, Noise, Transportation and Circulation, Human Health, and Cultural resources were discussed and mitigated in this document. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. Section 15162 of the California Environmental Quality Act Guidelines provides that an additional Negative Declaration (or Environmental Impact Report) need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan has been prepared for the mitigation measures that were identified in the previous Negative Declaration that are applicable to the proposed project.

Staff finds that the proposed house plans comply with all applicable General Plan, Community Plan, and Zoning Ordinance requirements, and are consistent with the Gateway West PUD Guidelines and Schematic Plan.

ACTION: The Planning Director approves the requested Planning Director's Special Permit based on the following findings and subject to the following conditions:

Findings:

1. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
 - o the project is consistent with the General Plan land use designations;
 - o the project is consistent with the 1994 North Natomas Community Plan land use designations;
 - o the project is consistent with policies related to land use, including residential densities and open space proximity;

- the project begins to develop planned North Natomas neighborhoods each focused on an elementary school, with a variety of housing densities and types, and commercial, civic, transit, and park uses close by; and
- the project advances City transportation management and air quality goals.

2. The proposed residential development is consistent with the adopted PUD Guidelines and Schematic Plan for the Gateway West PUD in that the housing designs provided meet the purposes and criteria stated in the City Zoning Ordinance Sections 8A and 8B in that the PUD facilitates mixed residential uses designed to assure that new development is health and of long lasting benefit to the North Natomas community and the City; and
3. The proposed residential development will not be detrimental to the public health, safety or welfare in that the single family residential development will be in harmony with the general purposes and intent of the Zoning Ordinance in that the approved elevations are well-designed; and that the proposed uses will not create a negative impact on any nearby sensitive uses.

Conditions:

1. The design of the proposed house plans shall substantially conform to the plans as shown on **Exhibits 5 through 12**, and specifically:
 - a. On corner lots, the driveway shall be located away from the intersection of streets;
 - b. None of the house plans may be placed on more than two adjacent/consecutive lots, and shall be different elevations when adjacent;
 - c. Five color palettes options shall be offered for all elevations and two additional color palette options shall be offered for elevations B and C;
 - d. Roof pitch shall be no less than 6 to 12 pitch.
 - e. All roofing shall include end and ridge caps.
 - f. Plan 1913 shall not be allowed on corner lots. However, Plan 2128, with the guest/bedroom in place of the side entry, single car garage, is acceptable on corner lots.
 - g. Any proposal to locate plan 2791, which features the side entry garage, on a corner lot will be subjected to additional review and approval by the Planning Director, including submittal of a plot plan to Planning Staff illustrating the proposal in detail.
 - h. Three (3) different elevations shall be offered for each house plan, as shown on the attached Exhibits 5 thru 10.
 - i. Applicant must submit a plot plan to Planning Staff as well as to the Building Division prior to issuance of the building permit, demonstrating compliance with setback requirements for the following lots: Village 3 - Lots 1, 16, 21, 23-27, 29, 35-36, 47, 55, and 64-65. Any encroachment into setback areas will require application for a Zoning Administrator's Variance.
 - j. The following lots may only be able to house Plan 1785: Lot 1 of Village 1 and Lots 15, 20, 29, 42-43, 46, 56 and 73 of Village 3. To locate any other plan on the these lots, the

home builder shall submit a plot plan to Planning Staff, to verify that the plan meets all setbacks.

- k. Plan 2791 may not meet setback requirements on Lots 6 and 42 of Village 1 and Lots 6, 8-10, 17, 26, 44, 54, and 72 of Village 3. To locate this plan on the previous lots, the home builder shall submit a plot plan for each lot to Planning Staff, to verify that the plan meets all setbacks.

Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.

2. Prior to development of any model homes, the applicant shall obtain a Zoning Administrator's Model Home Special Permit.
3. The applicant shall obtain all necessary building permits prior to commencement of construction.
4. The applicant shall comply with the originally approved Mitigation Monitoring Plan (P96-106) on file at the Planning Division.
5. Expiration - this PDSP shall expire two years from date of issue, on **June 28, 2002**.
6. Air Quality Mitigation: The applicant shall comply with the Gateway West PUD Air Quality Mitigation Strategy for residential development, but not limited to the following:
 1. Water Heaters - install low nitrogen oxide emitting, and/or high efficiency water heaters.
 2. Natural gas lines/electrical outlets - install natural gas lines or electrical outlets to all back yards to encourage the use of natural gas or electric barbecues.
 3. Windows - install energy efficient dual-pane windows.
7. Landscaping: Landscaping shall be consistent with the North Natomas Community Plan Development Guidelines and the Gateway West PUD Guidelines. The parcel builder shall provide and install an average of two 15-gallon size trees per lot frontage, with the trees specified in the Street Tree Matrix of the Gateway West PUD Development Guidelines (Exhibit 4). These trees shall have an average spacing of 20' to 30' on center, as measured along the entire length of the street. For corner lots, the exposed side yard facing the street shall also be planted with trees planted approximately 20-30' on center, as per the Street Tree Matrix on Exhibit 4. If spacing is interrupted by street lights or driveways, the trees shall be re-spaced to accommodate required clearances while maintaining the required quantity of trees on average. All plantings shall conform to City standards for sight line requirements at intersections and driveways.
8. Fencing and Walls: Fence design, finish, and materials are to be approved by the Gateway West Design Review Committee (GWDRC). Fencing visible from public areas shall be no higher than six feet (6'-0") above street grade. Wooden fences shall be constructed out of a minimum of 75 percent Western Red Cedar or Redwood. All wooden fencing visible from public areas shall have continuous top and bottom rails with vertical plank panels and shall be stained with semi-transparent stain in a neutral tone to be specified by the GWDRC. Other architectural materials may be incorporated, upon GWDRC approval, subject to the approval of the Planning Director.

Side yard fences up to six feet (6'-0") from house grade are allowed except within the front yard setback. Within this setback, the fence shall be no greater than 3'-6" in height, and all fencing in front yard and street side yard setbacks shall be required to have a minimum of 3'-0" in front for

landscaping. Side yard fences shall be consistent with adjacent front and back fence for materials and colors. Exposed side yard fences must be softened with hedges or other plantings, of one-gallon minimum size, planted 5' on center along the entire length of fence.

Rear yard fences of up to six feet (6'-0") in height from street grade are allowed; for areas visible from public streets and parks. The goal is to create privacy, while keeping open the public view corridor.

9. **Lot Coverage:** The lot coverage shall not exceed 40 percent* for any lot with a two story structure. The lot coverage shall not exceed 45 percent* for any lot with a single story structure, for up to 50 percent of the lot count for the PDSP. The lot coverage shall not exceed 48 percent* for up to 10 percent of the lot count per PDSP for lots with single story structures. (* with PDSP allowances).
10. **Driveways:** Driveways shall have a pattern of score lines that will create a pleasing texture compatible with the architecture and minimize the expanse of concrete. "Hollywood style" driveways are encouraged with a minimum 2 foot 6 inch planter strip between the two driveways.
11. **Design Enhancements on Visible Elevations:** Enhanced side and rear elevations shall be required whenever either of those elevations face a public street, school, park, canal, or other public space. Nineteen corner lots and fifteen lots which back onto major streets are included in the village that will require such treatments. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house; and a four foot return of materials on the side elevation. On enhanced side and rear elevations, window treatments, roof lines, and materials shall match the front facade in appearance and quality. All enhanced elevation treatments shall be shown on the plans submitted or building permits.
12. **Garage:** Each house plan shall provide at least one garage space with minimum *inside* dimensions of 10 feet wide by 20 feet long, as required by the City Zoning Ordinance.

APPROVED ON: June 28, 2000

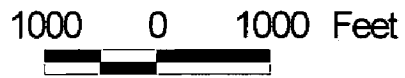
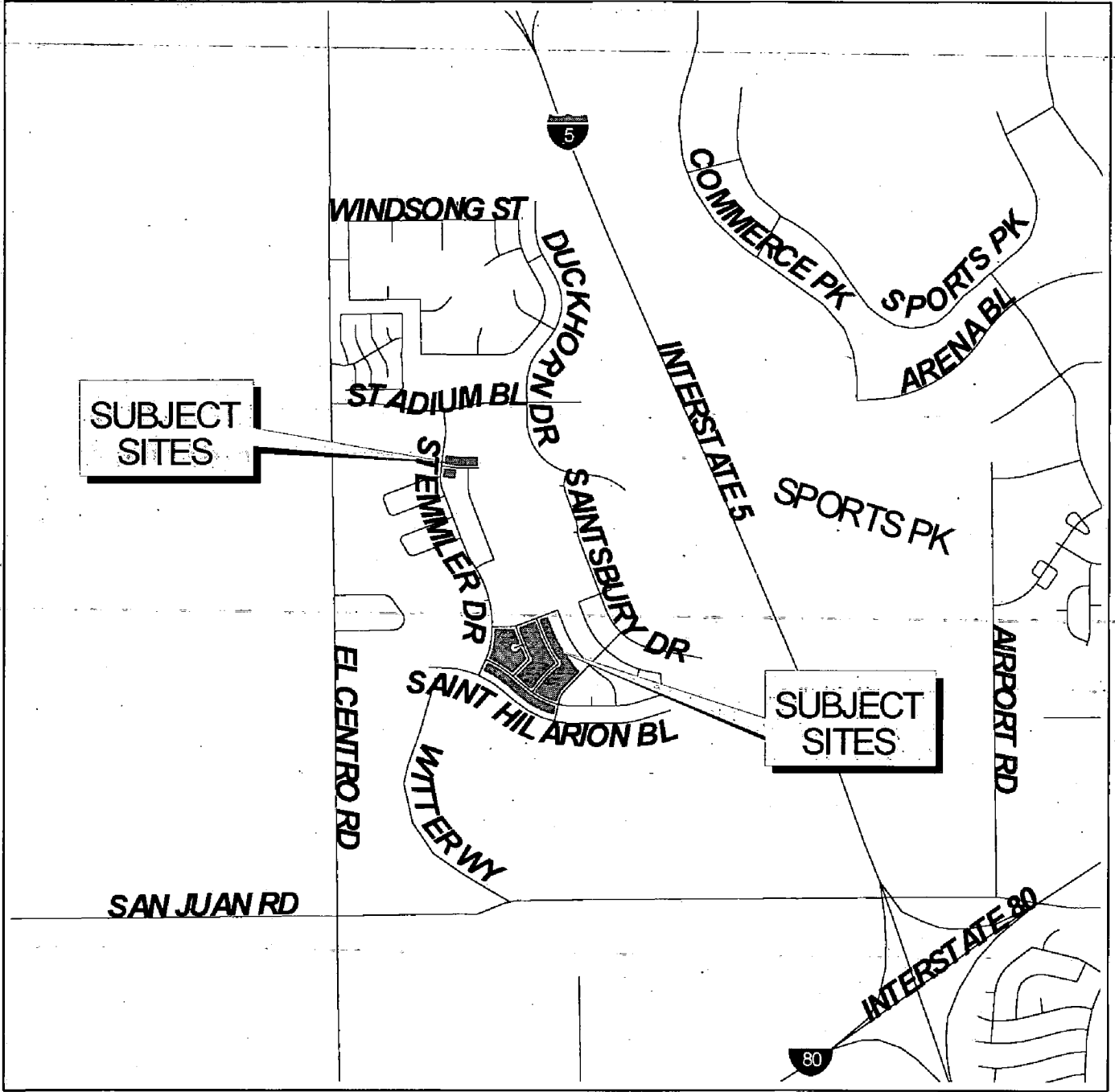
PREPARED BY: Arwen Wacht
Arwen Wacht, Assistant Planner

APPROVED BY: Scot Mende
Scot Mende, Senior Planner

Attachments: Vicinity Map
Exhibit 1: Site Plan
Exhibit 2: (a) Setback Exhibit and (b) Corner Setback Exhibit
Exhibit 3: Typical Lot Landscaping Exhibit
Exhibit 4: Gateway West PUD - Street Tree Matrix
Exhibit 5: Plan 1 - 1785: (a), (b), and (c) Elevations, and (d) Floor Plan
Exhibit 6: Plan 2a - 1913: (a) and (b) Elevations, and (c) Floor Plan
Exhibit 7: Plan 2b - 2128: (a) and (b) Elevations, and (c) Floor Plan

Exhibit 8: Plan 3a - 2385: (a), (b), and (c) Elevations, and (d) and (e) Floor Plans
Exhibit 9: Plan 3b - 2606: (a), (b), and (c) Elevations, and (d) and (e) Floor Plans
Exhibit 10: Plan 4 - 2653: (a), (b), and (c) Elevations, and (d) and (e) Floor Plans
Exhibit 11: Plan 5 - 2791: (a), (b), and (c) Elevations, and (d) and (e) Floor Plans
Exhibit 12: Typical Design Enhancements for Visible Elevations
Exhibit 13: Gateway West Design Review Committee Approval Letter
Exhibit 14: Signed Letter of Agreement

File: Original
cc: Applicant
Development Services - Building Division (2)
PUD Binder



Planning & Building
Department

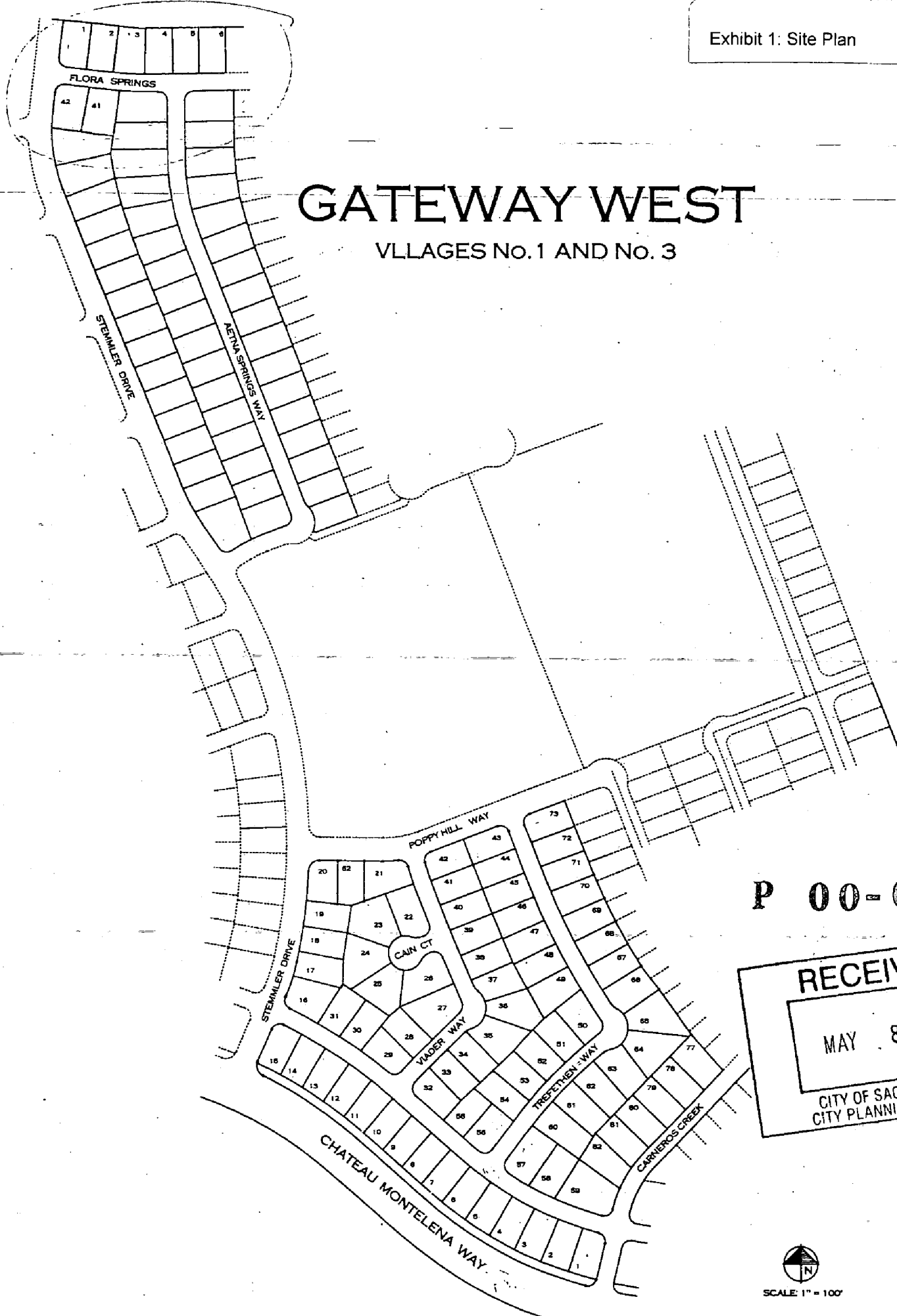
Geographic
Information
System

Vicinity Map
P00-065



GATEWAY WEST

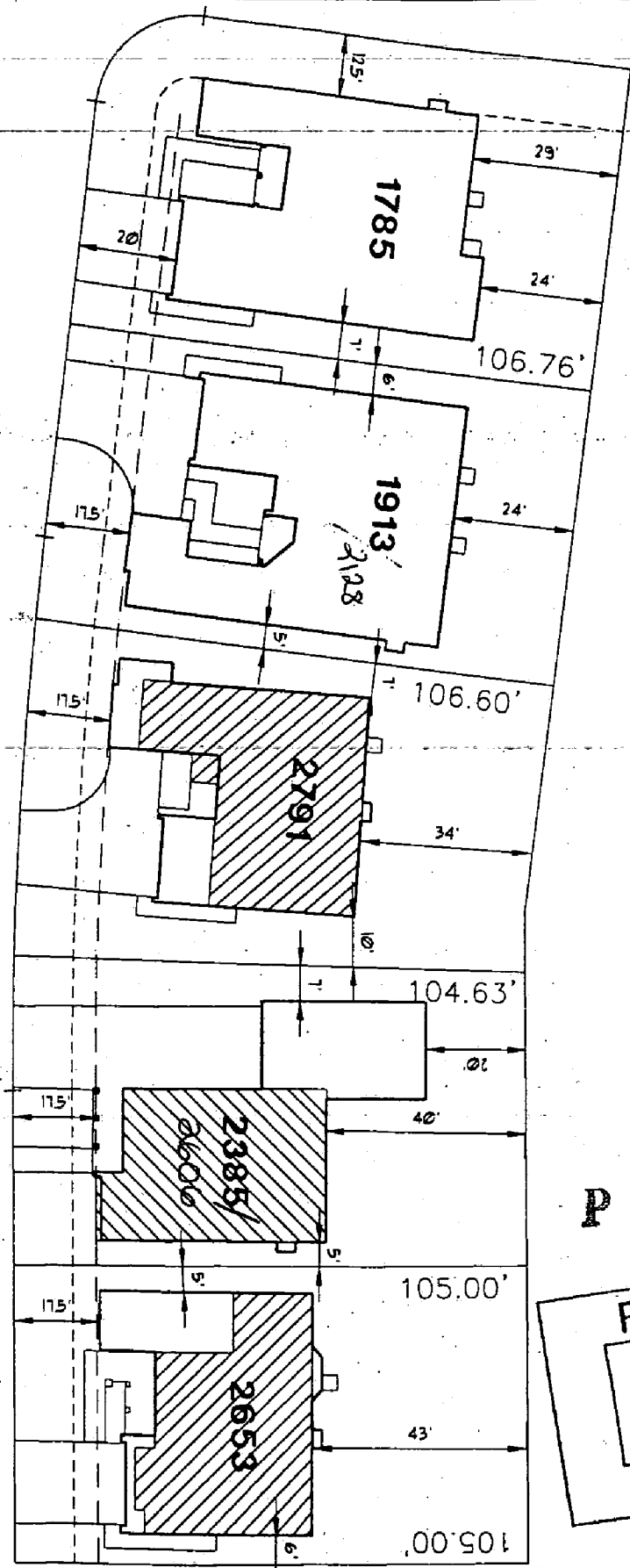
VLLAGES No.1 AND No. 3



P 00-065

RECEIVED
MAY 8 2000
CITY OF SACRAMENTO
CITY PLANNING DIVISION

FLORA SPRINGS WAY



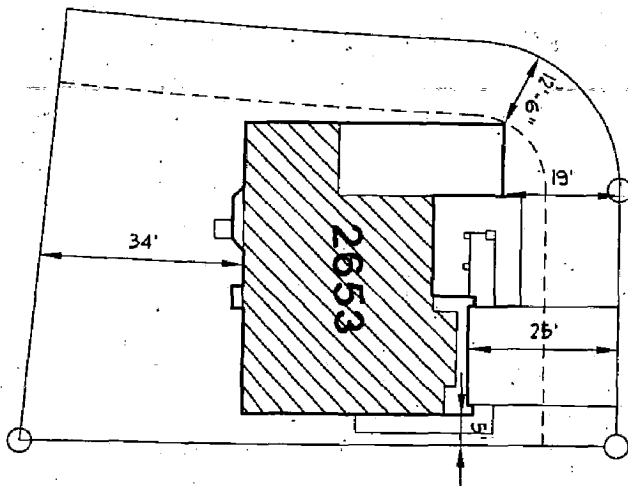
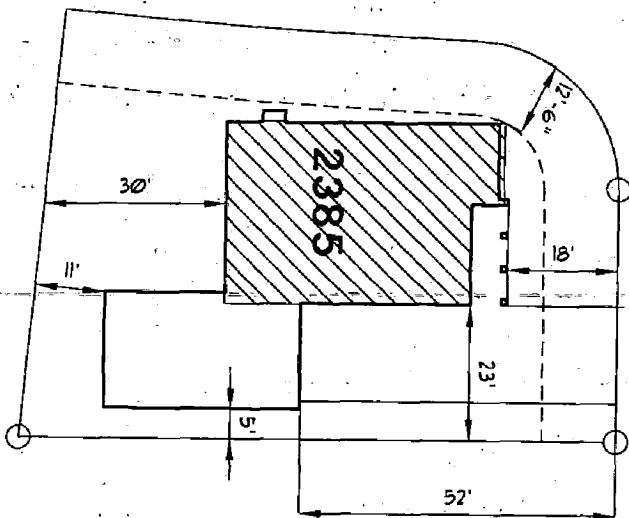
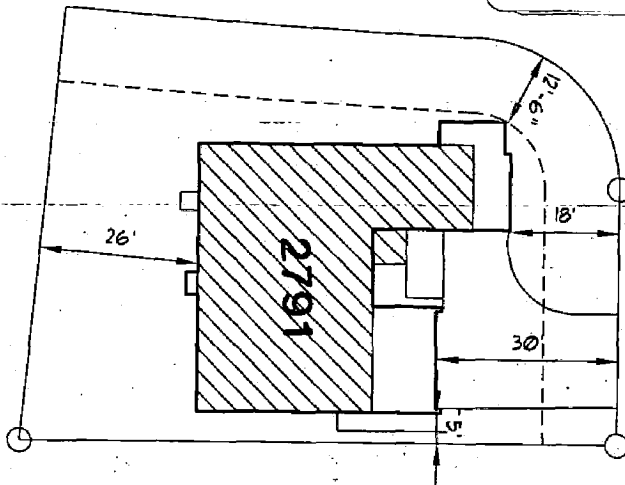
P 00-065

RECEIVED
 MAY 8 2000
 CITY OF SACRAMENTO
 CITY PLANNING DIVISION

LOTING LAYOUT

GATEWAY WEST
VILLAGE No. 1





RECEIVED

JUN 07 2000

PLANNING SERVICES

P00 065

CORNER LOTTING LAYOUT

GATEWAY WEST
VILLAGE No.1

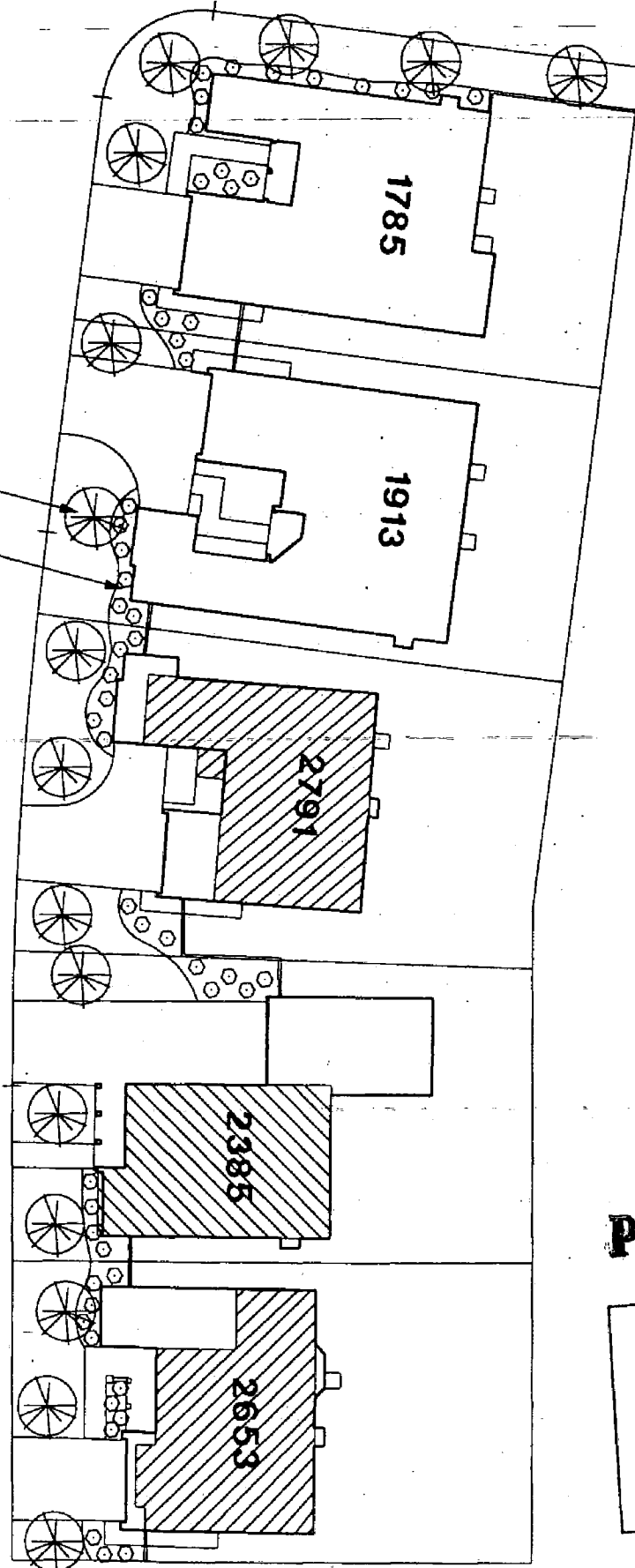
COPYRIGHTED MATERIAL

JMC HOMES

15G STREET TREE WITH AVERAGE SPACING OF 20'-30' AND SPECIES TO MATCH STREET MATRIX GUIDELINES

1G SHRUBS IN BARK PLANTERS TYPICAL

FLORA SPRINGS WAY



P 00-065

RECEIVED
MAY 8 2000
CITY OF SACRAMENTO
CITY PLANNING DIVISION

TYPICAL LANDSCAPING

GATEWAY WEST
VILLAGE No.1

COPYRIGHTED MATERIAL
ALL RIGHTS RESERVED
NO PART OF THIS MATERIAL MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

JMC HOMES

Exhibit 10: Street Tree Matrix

STREET TREE MATRIX

Location	Required Tree
Arena Boulevard	Platanus acerifolia / Plane Tree
North Road/South Loop Road	Platanus acerifolia / Plane Tree and Tilia cordata / Little Leaf Linden alternating
El Centro Road	Platanus acerifolia / Plane Tree with Sequoia sempervirens 'Soquel' in informal groves as background tree in residential zoning
Community Center Intersection	Washingtonia filifera / California Fan Palm
Accent Trees at Intersections	Populus alba 'Pyramidalis' / Bolleana Poplar or Lagerstroemia indica 'Watermelon Red' / Crape Myrtle
B Street North/B Street South. A Street North/A Street South/ C Street South	Celtis-sinensis / Hackberry and Quercus-rubra/-Red Oak alternating
D Street/ F Street	Quercus rubra / Red Oak and Celtis sinensis / Hackberry alternating
Canal Interface	Quercus lobata / Valley Oak
Village One, Village Four and Village Ten	Pistacia chinensis / Pistache with Sequoia sempervirens 'Soquel' / Redwood
Village Two, Village Six and Village Nine	Quercus coccinea / Scarlet Oak with Sequoia sempervirens 'Soquel' / Redwood
Village Three, Village Five and Village Seven	Sapium sebiferum / Tallow Tree with Sequoia sempervirens 'Soquel' / Redwood

JMC=HOMES

COPYRIGHTED MATERIAL

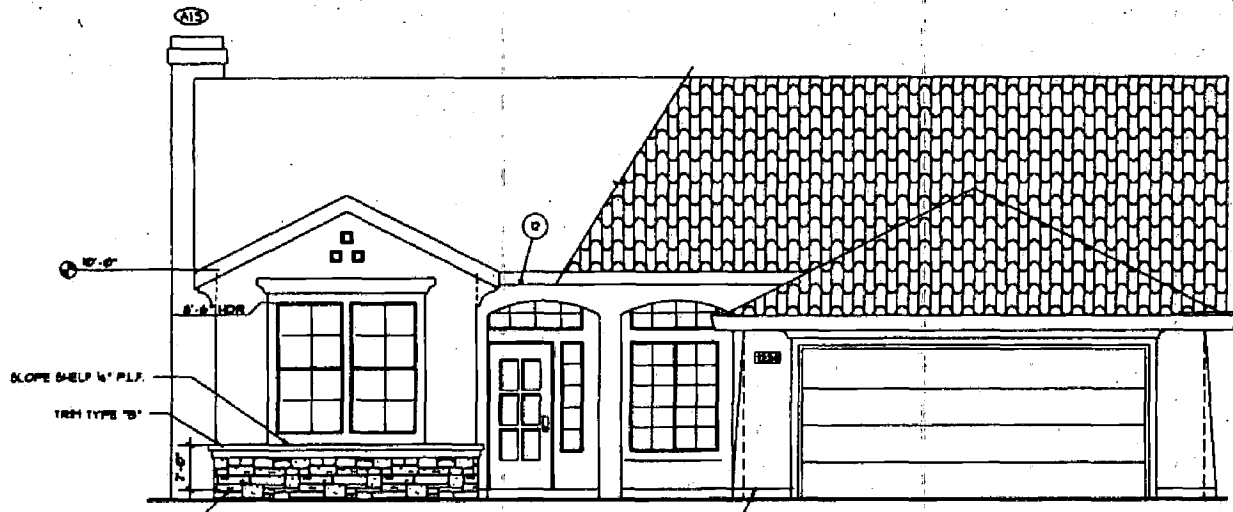
PLAN 1785

Exhibit 5(b): Plan 1 - 1785, Elevations

1997 U.B.C.

ELEVATION KEYNOTES

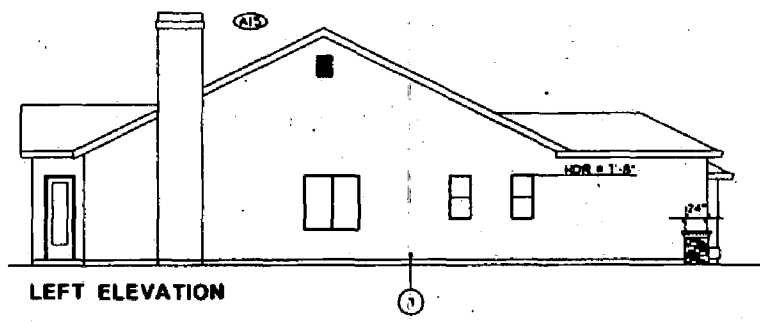
- 1 PRE-ENGINEERED ROOF TRUSS SPACED @ 24" O.C.
- 2 1/2" CDX SOLID SHEATHING WITH SOLID 1/4" CDX AT OVERHANGS
- 3 CONC. ROOF TILE OVER 30 LB. FELT + REDWOOD CLEATS
- 4 2 X 8 BARGE RAFTER @ GABLES
- 5 1 COAT STUCCO OVER LATH OR WHITE HSD. STUCCO BO. OVER FIBER FIBER
- 6 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- 7 2 X 8 STYROFOAM
- 8 CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR SILL
- 9 2 X 10 STYROFOAM BAND
- 10 SPARK ARRESTOR AT CHIMNEY STACK
- 11 G.I. GUTTERS OVER 2 X 8 FACIA BOARDS
- 12 FACIA GUTTERS WITH DOWNSPOUTS
- 13 EAVES VENT PER UBC REQUIREMENTS
- 14 SOFFIT MATERIAL TO BE STUCCO
- 15 FAHCLAY PIPE ASSY
- 16 SLOPE SHELF US' P.L.F. FOR DRAINAGE
- 17 BUILD-OUT W/ 2" LAYER OF STYROFOAM WRAP CORNERS MIN 24"
- 18 SET ALL WINDOW HEADERS AT SIDES AND REAR 8'-0" UOX



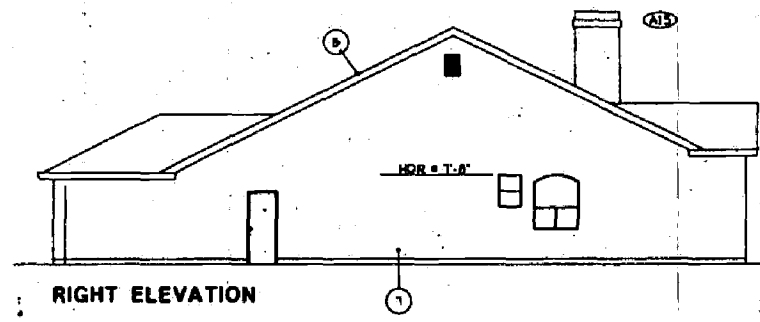
MASONRY VENEER TO BE CULTURED STONE - CDV 1878 - 2829 OR CDV 2818 - 2822

ELEVATION "B" - PRAIRIE

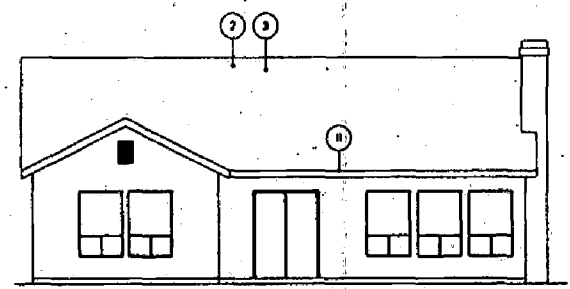
TRIM BANDING AS SHOWN



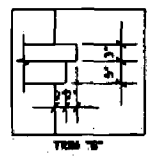
LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

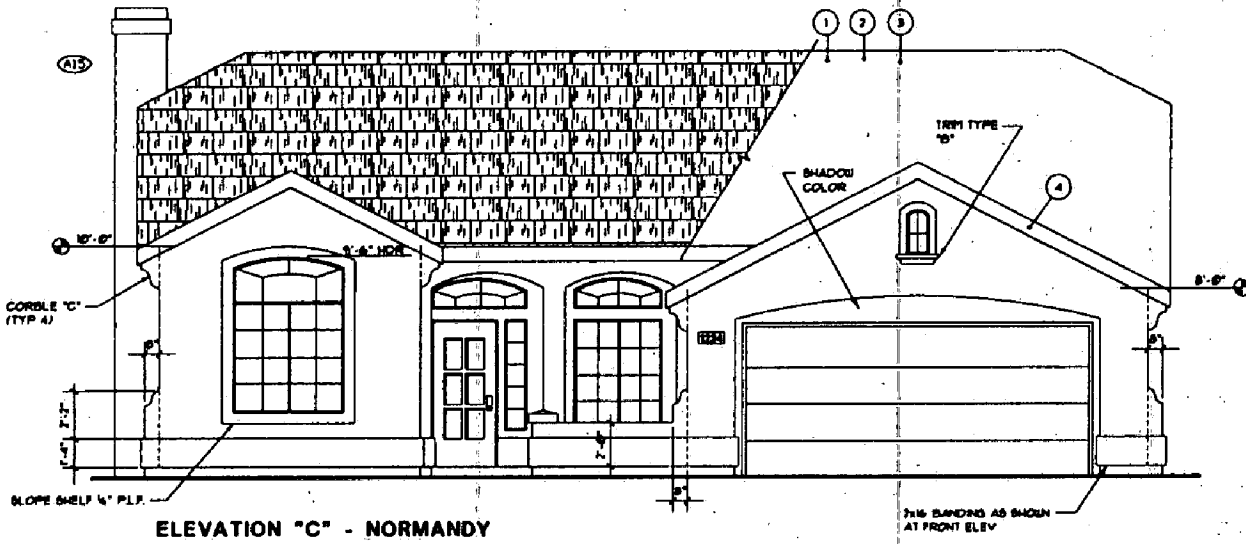


DRAWN BY: JMC

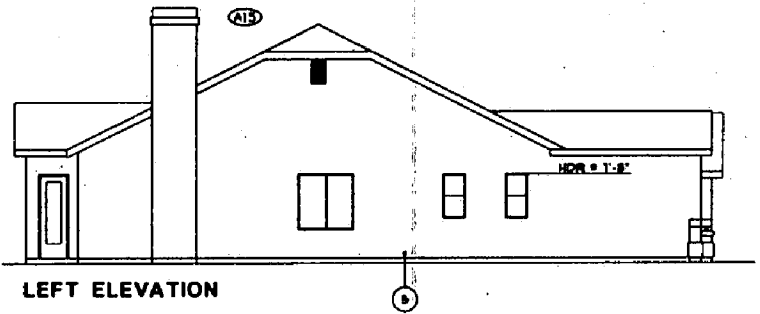
Exhibit 5(c): Plan 1-1785, Elevations

ELEVATION KEYNOTES

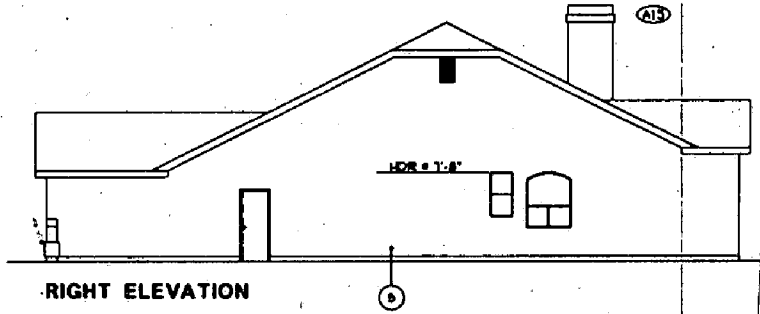
- ① PRE-ENGINEERED ROOF TRUSS SPACED @ 24" O.C.
- ② 1/2" CDX SOLID SHEATHING WITH SOLID 1/4" CDX AT OVERHANGS
- ③ CONC. ROOF TILE OVER 30 LB. FELT + REDWOOD CLEATS
- ④ 2 X 8 BARGE RAFTER @ GABLES
- ⑤ 1 COAT STUCCO OVER WIRE LATH OR WHITE RGD. STUCCO BO. @ BAR. FINS.
- ⑥ STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- ⑦ 2 X 8 STYROFOAM
- ⑧ CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR SILL
- ⑨ 2 X 10 STYROFOAM BAND
- ⑩ SPARK ARRESTOR AT CHIMNEY STACK
- ⑪ G.I. GUTTERS OVER 2 X 8 FACIA BOARDS
- ⑫ FACIA GUTTERS WITH DOWNSPOUTS
- ⑬ EAVES VENT PER UBC REQUIREMENTS
- ⑭ SOFFIT MATERIAL TO BE STUCCO
- ⑮ FAUX CLAY PIPE ASSY
- ⑯ SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE
- ⑰ BUILD-OUT @ 2" LAYER OF STYROFOAM, WRAP CORNERS MIN 24"
- ⑱ SET ALL SNOW HEADERS AT SIDES AND REAR @ 8'-0" U.O.H.



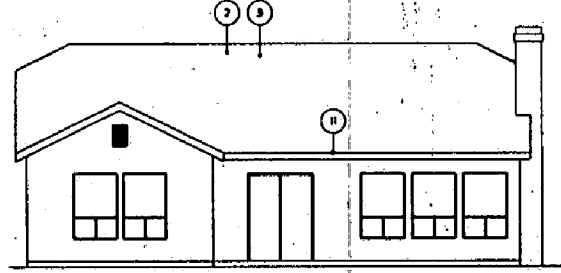
ELEVATION "C" - NORMANDY



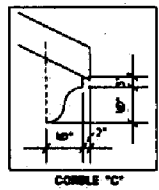
LEFT ELEVATION



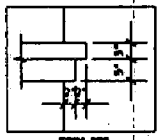
RIGHT ELEVATION



REAR ELEVATION



CORBLE "C"



TRIM "B"

JMC HOMES

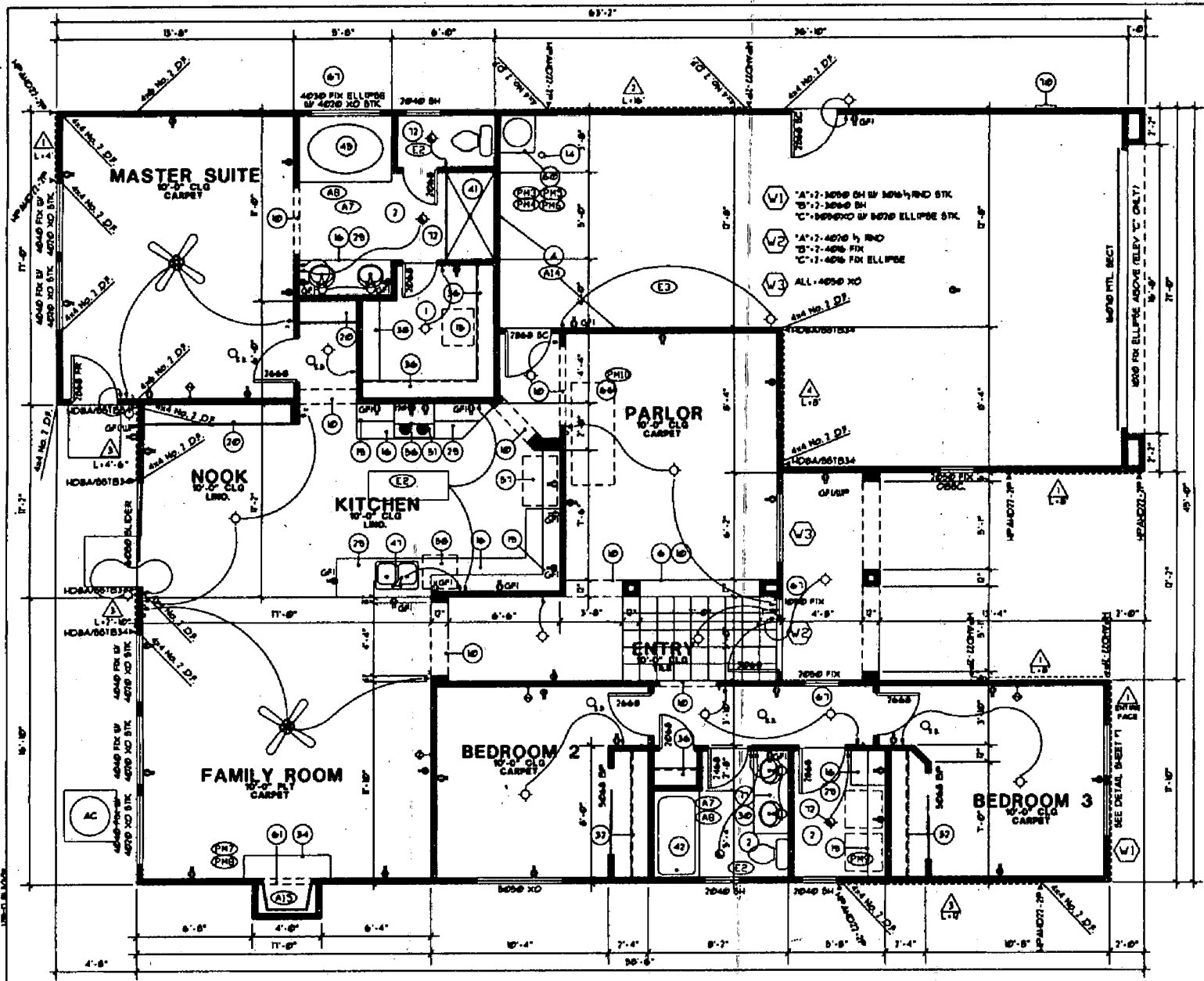
MAY 08 REC'D
00-065

JMC-HOMES

COPYRIGHTED MATERIAL

PLAN 1785

Exhibit 5(d): Plan 1-1785, Floor Plan



- FLOOR PLAN KEYNOTES**
- ROOM FINISHES**
- CARPET
 - LINOLEUM
 - CERAMIC TILE
 - 3/4" TYPE "W" GYPS. BD. AT EXTERIOR. ALL WALLS AND CEILING FRAMING / STRUCTURE
 - 1/2" HALF BALL, W/ FINISHED WOOD CAP
 - 3/4" HALF BALL, W/ FINISHED WOOD DECK
 - 3/4" ONE HALF IN. W/ BAL. 4" O.C.
 - 1/2" HALF 1/2" BALL, W/ BAL. TOP
 - 1/2" BALL, W/ GYPS. BD. TOP + CAB BELOW ELLIPTIC ARCH
 - THICKENED ELLIPTIC ARCH W/ RND. EDGES
 - 3/4" HIGH BENCH W/ GYPS. BD. DECK
 - 3/4" HIGH BENCH W/ ARCH TOP
 - 1" STEEL BOLLARD 24" H. SLAB
 - 1/2" X 1/2" ATTC. ACCESS W/ FIN. 2" HEAD CLR.
- CABINETS / FIXTURES**
- 30" HIGH CABINET
 - 37" HIGH CABINET
 - ISLAND CABINET
 - OVER HEAD CABINET
 - 24" H. LINEN CABINET
 - FULL HEIGHT CABINET
 - LAY. BUSH FRONTARY BUSH / CANTILEVER COUNTER TOP 2" NOTCH CABINET
 - FILE DRAWER
 - BENCH CABINET
 - FULL HEIGHT PANTRY CABINET
 - FORMICA COUNTER TOP
 - FLED COUNTER TOP
 - OILYURED PAINLE TOP
 - FINISHED WOOD TOP
 - PAINTED WOOD TOP
 - BRUSH IN AT
 - PRE-FINISHED PAINLE / HEARTH
 - CUSTOM PAINLE / HEARTH
 - 1 SHELF / 1 POLE
 - 1 SHELF / 1 POLE
 - 37" X 37" BUCKER PAIL OILYURED PAINLE SIZES + TYP. GLASS INCL.
 - 37" X 48" BUCKER PAIL OILYURED PAINLE SIZES + TYP. GLASS INCL.
 - FLED BUCKER
 - 37" X 48" STEEL. TAB W/ POLE
 - 47" X 60" OVAL. TAB W/ APPROX.
 - 47" X 60" OVAL. TAB OVER FILE DECK
 - 47" X 60" OVAL. TAB W/ FILE DECK
 - FEDERAL BSK.
 - DOUBLE BSK. W/ ELEC. G.D.
 - LAUNDRY BSK.
 - BAR BAR.
- APPLIANCES / SCHEDULES**
- ELECTRIC COOK TOP STOVE
 - GAS COOK TOP STOVE
 - DRYER IN GAS STOVE W/ OVER
 - DRYER IN ELEC. STOVE W/ OVER
 - ELEC. OVEN / MICROWAVE COFFEE.
 - REFRIG. / MICROWAVE COFFEE.
 - FAN + HOOD
 - 37" BENCH. SPACE W/ HOSE END DISHWASHER
 - 49" GAL. GAS BK ON 37" HIGH PLATFORM
 - 36" GAL. GAS BK ON 37" HIGH PLATFORM
 - 36" LG. APP. 2-DOOR CL. FP. GL. DOORS
 - 47" LG. APP. 2-DOOR CL. FP. GL. DOORS
 - 36" LG. APP. 1-DOOR 2-DOOR CL. FP. W/ GLASS DOORS
 - 1" LG. APP. 3-DOOR D.V. GAS P.A.
 - GARAGE DOOR OPENER
 - FAN IN ATTIC
- DOORS / WINDOWS**
- TIPPED SAFETY GLASS
 - SELF CLOSING DOOR
- ELECTRICAL**
- 80 AMP SERVICE PANEL
 - 20 AMP SERVICE PANEL
 - EXHAUST FAN
 - EXHAUST FAN / LIGHT COFFED

- GENERAL NOTES**
1. DRYER VENT EXHAUST SHALL BE SHORTER THAN 1/4" WITH MAXIMUM TWO ELBOWS
 2. BATHROOM RECEPTICLES TO BE ON SEPARATE CIRCUITS.
 3. MVAC DUCTING TO BE INSTALLED PER U.L. 181 STANDARDS

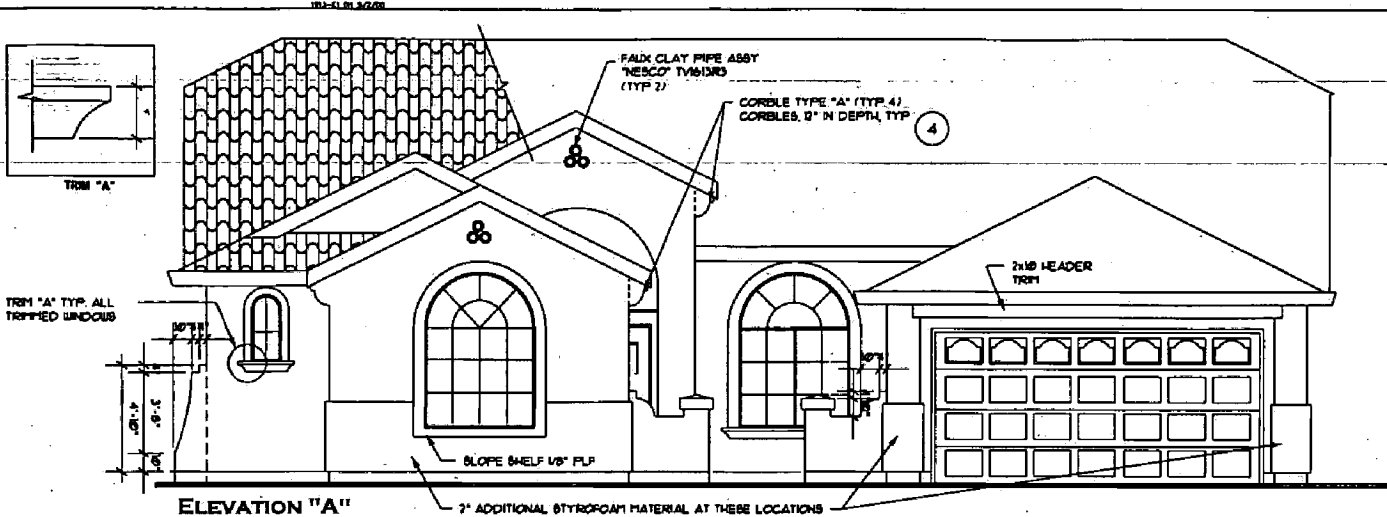
- FRAMING NOTES**
1. SHEATHING USED IN THE CONSTRUCTION OF SHEAR WALL TO BE 4" MINIMUM, EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE THE MINIMUM IS TO BE 7/8" TYP.
 2. FRAMING MEMBERS OR BLOCKING REQUIRED AT ALL PANEL EDGES IN SHEAR WALL.
 3. ANCHOR BOLTS ARE BASE ON 12" O.C. GRID SPACINGS WITH SHEATHING INSTALLED LONG DIMENSION PERPENDICULAR TO FRAMING.
 4. ALL ANCHOR BOLTS IN ALL WALLS INCLUDING SHEAR WALLS REQUIRE 7/8" X 3/4" THICK PLATE WASHERS.
 5. MINIMUM OF 2 ANCHORS PER SHEAR WALL.

- SHEARWALL SCHEDULE**
- △ 1/2" CDX ONE FACE WITH 8d COPPER NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD. ANCHOR BOLTS @ 24" O.C. TO RAFTER OR BLOCKING (AS APPLICABLE) 1/4" ANCHOR BOLTS @ 48" O.C.
 - △ 3/8" CDX ONE FACE WITH 8d COPPER NAILS @ 3" O.C. EDGE AND 12" O.C. FIELD. ANCHOR BOLTS @ 12" O.C. PER PANEL. ANCHOR BOLTS @ 24" O.C. TO RAFTER OR BLOCKING (AS APPLICABLE).
 - △ 3/8" CDX ONE FACE WITH 8d COPPER NAILS @ 3" O.C. EDGE AND 12" O.C. FIELD. ANCHOR BOLTS @ 12" O.C. PER PANEL. ANCHOR BOLTS @ 24" O.C. TO RAFTER OR BLOCKING (AS APPLICABLE).
 - △ 3/8" CDX ONE FACE WITH 8d COPPER NAILS @ 3" O.C. EDGE AND 12" O.C. FIELD. ANCHOR BOLTS @ 12" O.C. PER PANEL. ANCHOR BOLTS @ 24" O.C. TO RAFTER OR BLOCKING (AS APPLICABLE).

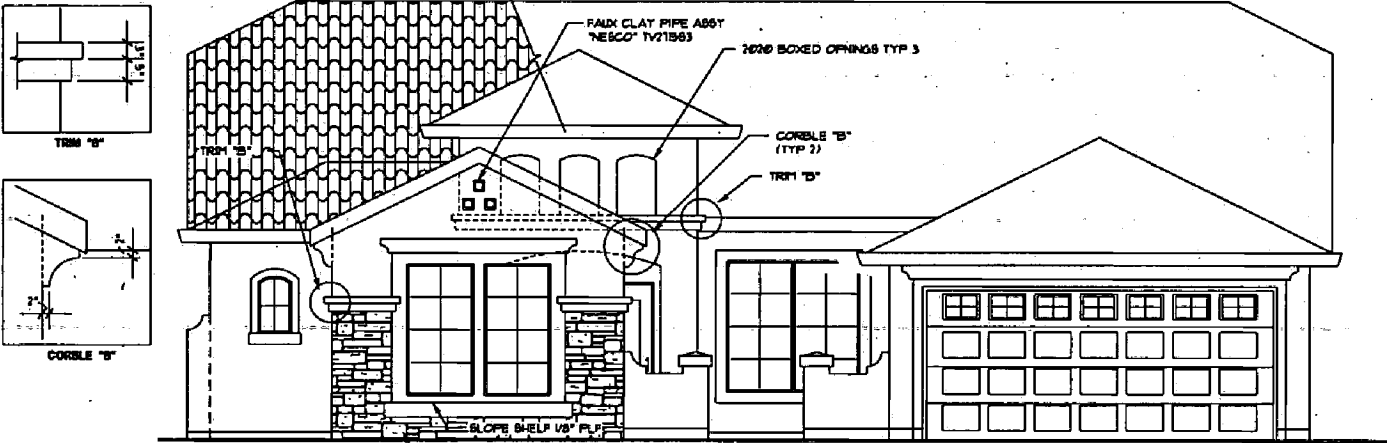
ATTENTION:

THIS SET SHOWS THE 1ST AND 2ND FLOOR PLANS FOR CONSTRUCTION. ALL PLANS MUST BE CHECKED FOR CONSTRUCTION. THE 1ST FLOOR PLAN IS THE MASTER PLAN. THE 2ND FLOOR PLAN IS THE SECOND FLOOR PLAN. THESE PLANS AND DRAWINGS ARE THE PROPERTY OF JMC-HOMES. NO PART OF THESE PLANS OR DRAWINGS IS TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JMC-HOMES. THE USER SHALL BE RESPONSIBLE FOR THE FULL ESTIMATE OF THE WORK.

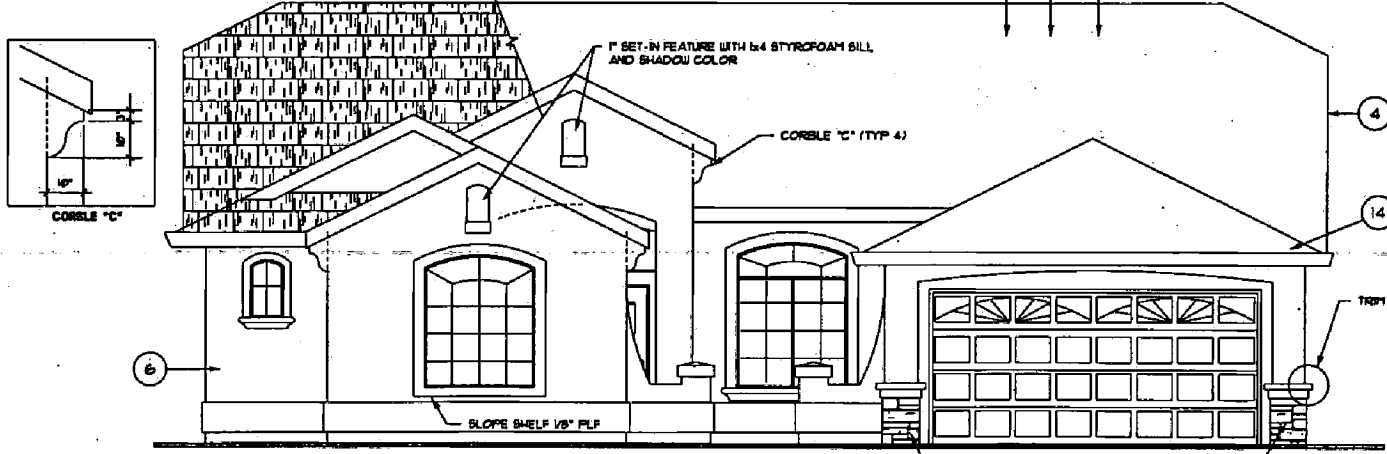
1997 U.B.C.



ELEVATION "A"



ELEVATION "B"



ELEVATION "C"

ELEVATION KEYNOTES

- | | |
|--|---|
| <ul style="list-style-type: none"> ① PRE-ENGINEERED ROOF TRUSS SPACED @24" O.C. ② 1/2" CDX SOLID SHEATHING WITH SOLID V. RUSTIC AT OVERHANGS ③ CONC. ROOF TILE OVER 3/8 LB. FELT + REDWOOD CLEATS ④ 2 X 8 BARGE RAFTER @ GABLES ⑤ 1 COAT BRUCCO WIRE LATH O-SHITE RGD. STUCCO ED. W/BAR FONG. ⑥ STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE. | <ul style="list-style-type: none"> ⑦ SPARK ARRESTOR AT FIREPLACE ⑧ FACIA CUTTERS WITH DOWNSPOUTS ⑨ EAVES VENT PER UBC REQUIREMENTS ⑩ ELEV "A" AND "C": 12" OVERHANGS AND 12" GABLES AND RAKES ⑪ ELEV "B": 18" OVERHANGS AND 14" GABLES AND RAKES ⑫ SOFFIT MATERIAL TO BE STUCCO SYSTEM OR 3/8" EXTERIOR PL.TWOOD. |
|--|---|

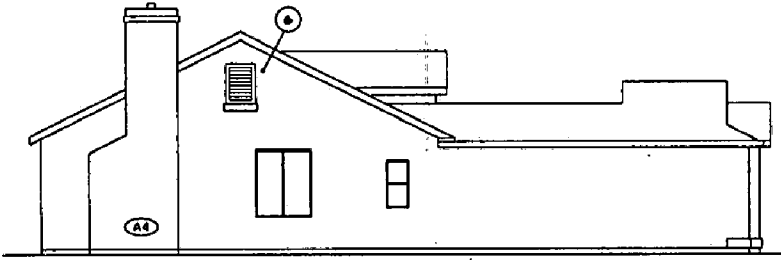
P 00-065

PLAN 1913

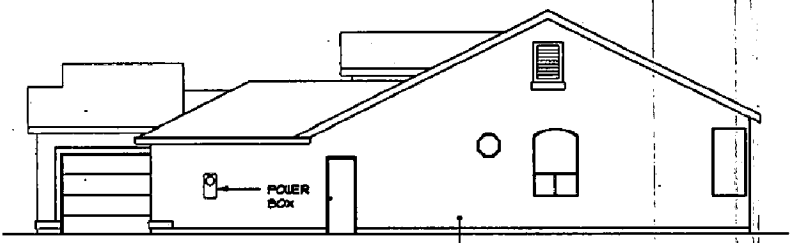
COPYRIGHTED MATERIAL
ALL SOME PLANS, SPECIFICATIONS AND NOTES HEREIN ARE THE SOLE PROPERTY OF JMC HOMES CONSTRUCTION, INC. ANY UNAUTHORIZED REPRODUCTION OR ALTERATION OF THIS DOCUMENT IS STRICTLY PROHIBITED. FOR MORE INFORMATION, CONTACT JMC HOMES CONSTRUCTION, INC. AT 800-451-1913. © 2013 JMC HOMES CONSTRUCTION, INC. ALL RIGHTS RESERVED.

JMC HOMES

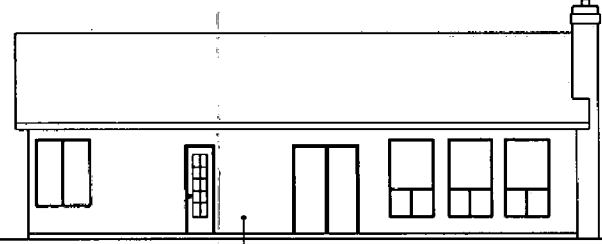
MAY 08 REC'D



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

SUBJECT: CLOTHES DRYER EXHAUSTS

AUTHORITY: Uniform Mechanical Code Section 1403(b)(1c)

".....domestic dryer exhaust ducts shall not exceed a total unobstructed horizontal and vertical length of 10 feet, including two 90-degree elbows. Two feet shall be deducted for each 90-degree elbow in excess of two." Holature exhaust ducts shall be 4" diameter minimum.

PROCEDURE:

I.C.C.O. has acknowledged the use of ducts other than the standard 4" ducts with typical lengths. The ducts shown in the examples below will be permitted without requiring additional engineering. Note the reduction in length for each elbow and also the special insulation requirements. Also, note the different vertical and horizontal allowances.

FIG. 1011A. DIRECT VENTING INSULATOR

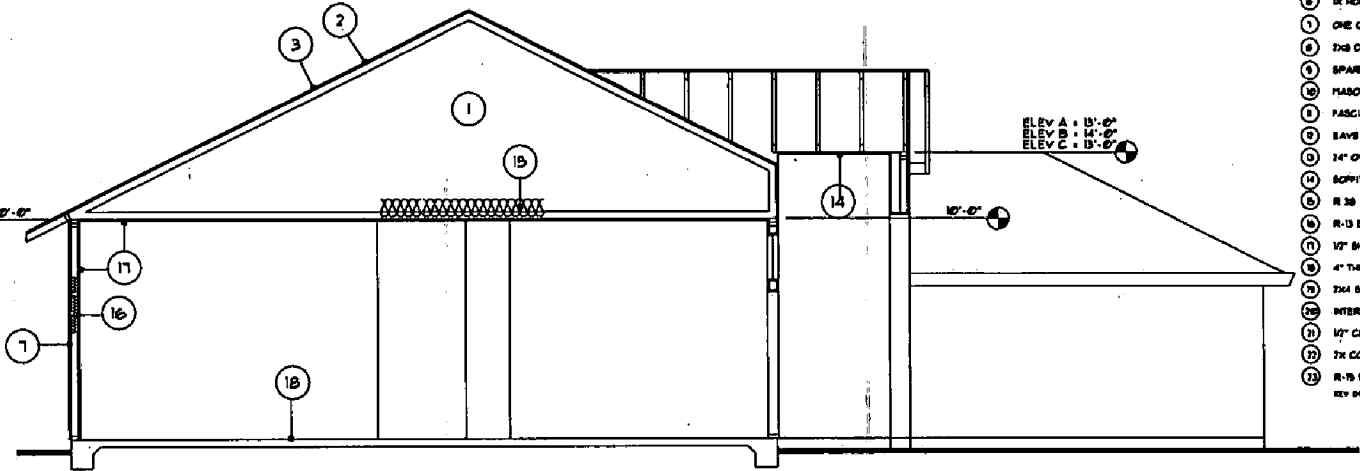
FIG. 1011B. ENGINEERED DRYER VENT EQUIVALENT TO U.M.C. SECTION 1403

ELEVATION KEYNOTES

- 1 PRE-ENGINEERED ROOF TRUSS SPACED 14" O.C.
- 2 1/2" CDX SOLID SHEATHING WITH SOLID V. PLASTIC AT OVERHANGS
- 3 CONC. ROOF TILE OVER 30 LB. FELT + REDWOOD CLEATS
- 4 2 X 8 DARNED RAFTERS @ GABLES
- 5 1 COAT STUCCO OVER WIRE LATH OR WHITE RIGID STUCCO BOARD OVER 7/8" INS. STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- 6 FASCIA CUTTERS WITH DOWNSPOUTS
- 7 LEAVE VENTS PER USC REQUIREMENTS

SECTIONS / ELEVATIONS KEYNOTES

- 1 PRE-ENGINEERED ROOF TRUSS SYSTEM SPACED 14" O.C.
- 2 1/2" CDX SOLID ROOF SHEATHING WITH V. PLASTIC AT OVERHANGS
- 3 CONC. ROOF TILE OVER 30 LB. FELT + REDWOOD CLEATS
- 4 2X4 OR. TRUSSWORK AT CORNERS AND OPENINGS
- 5 2X8 DARNED RAFTERS AT GABLES
- 6 1/2" HORIZONTAL SIDING AT FRONT WHERE APPLICABLE
- 7 ONE COAT STUCCO OVER WIRE LATH OR WHITE RIGID STUCCO BOARD OVER 7/8" INS.
- 8 2X8 OR. TRUSSWORK
- 9 SPARK ARRESTOR AT FIRE PLACE
- 10 MASONRY VENEER OVER PLYWOOD SHEATHING (WATER TABLE AT RIS.)
- 11 FASCIA CUTTERS WITH DOWNSPOUTS
- 12 LEAVE VENTS AT BLOCK LOCATIONS
- 13 14" OVERHANGS AND 1/2" GABLES AND RAKES
- 14 SOFFIT MATERIAL TO BE 3/8" EXTERIOR PLYWOOD OR STUCCO
- 15 R-38 BLOWN INSULATION IN CEILING
- 16 R-13 BATT INSULATION IN EXTERIOR WALLS
- 17 1/2" SHEATHING AT WALLS AND CEILING
- 18 4" THICK CONCRETE SLAB
- 19 2X4 BRIS SPACED 16" O.C. WALL FRAMING
- 20 INTERIOR VAULT LINE OF TRUSS
- 21 1/2" CDX SOLID ROOF SHEATHING
- 22 7X CONVENTIONAL ROOF FRAMING
- 23 R-19 INSULATION + 2X FLOOR JOISTS



ELEV. A = 11'-0"
 ELEV. B = 14'-0"
 ELEV. C = 13'-0"

- 1 PRE-ENGINEERED ROOF TRUSS SPACED @ 4' O.C.
- 2 1/2" COX SOLID SHEATHING WITH SOLID V. RUSTIC AT OVERLAYS
- 3 CONC. ROOF TILE OVER 3/8" LB. FELT, 1" REDWOOD CLEATS
- 4 2" X 8" BARGE RAFTER = GABLES
- 5 COAT STUCCO OVER LATH, WHITE RED. STUCCO ED. WEAR FLOK.
- 6 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- 7 SOFT MATERIAL TO BE STUCCO SYSTEM OR 1/2" EXTERIOR PLINTHOOD
- 8 BRACK ARRESTOR AT FIREPLACE
- 9 FACIA GUTTERS WITH DOWNSPOUTS
- 10 EAVES VENT PER USC REQUIREMENTS
- 11 ELEV. "A" AND "C", "D" OVERLAYS AND "B" GABLES AND RAKES
- 12 1/2" COX SOLID SHEATHING WITH SOLID V. RUSTIC AT OVERLAYS
- 13 2" X 8" BARGE RAFTER = GABLES
- 14 COAT STUCCO OVER LATH, WHITE RED. STUCCO ED. WEAR FLOK.
- 15 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE

ELEVATION KEYNOTES

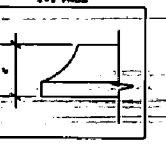
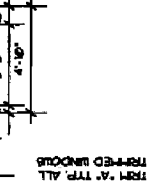
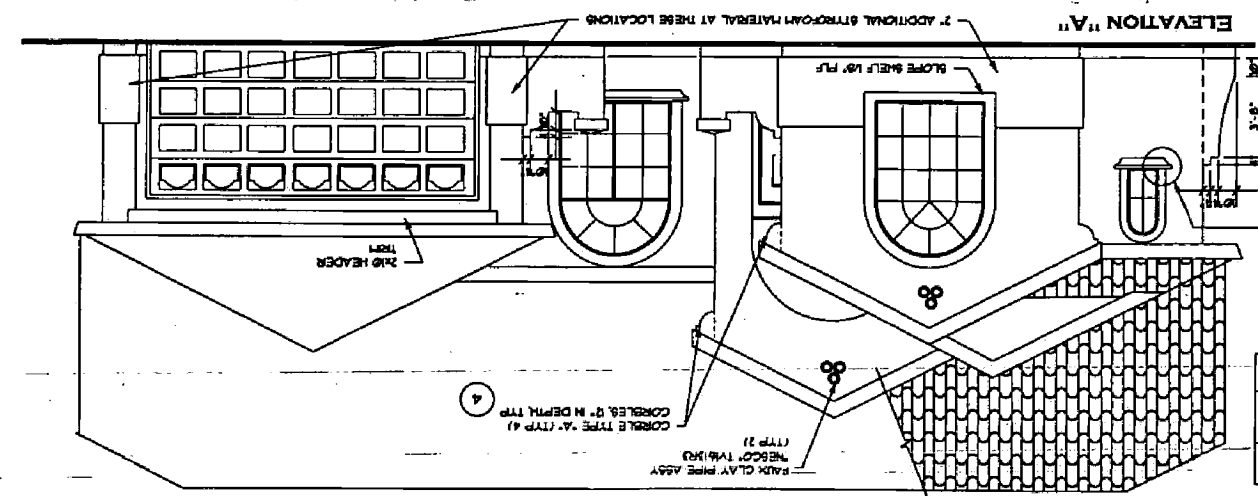
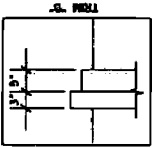
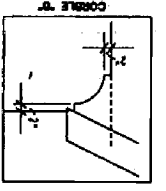
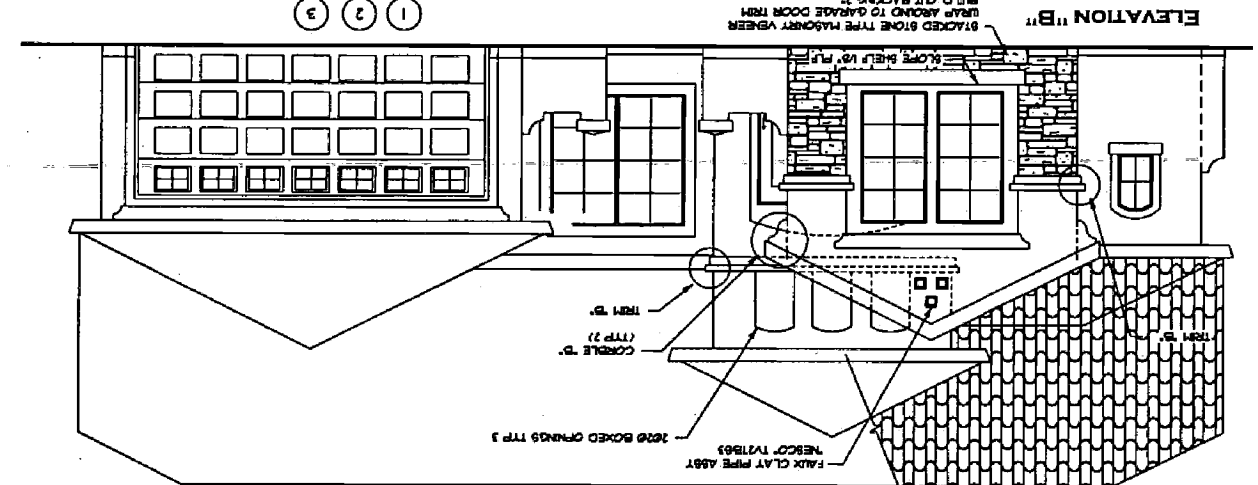
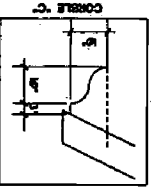
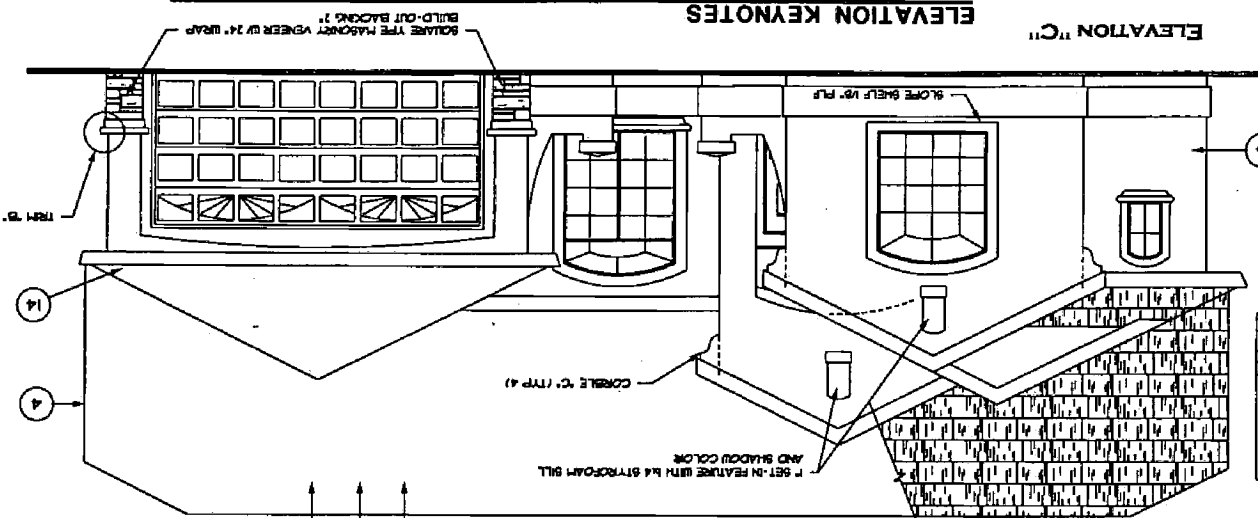
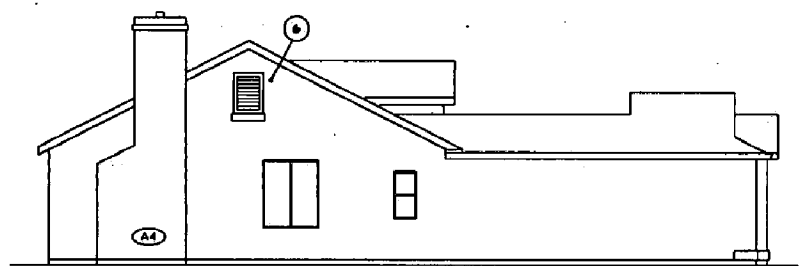
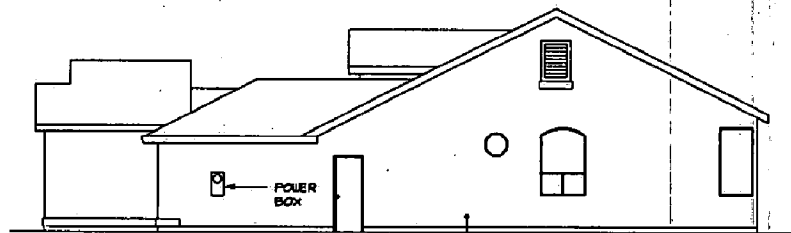


Exhibit 7(a): Plan 2b - 2128, Elevations



LEFT ELEVATION



RIGHT ELEVATION

SUBJECT: CLOTHES DRYER EXHAUSTS

AUTHORITY: Uniform Mechanical Code Section 1903(b)(c)

...domestic dryer exhaust ducts shall not exceed a total combined horizontal and vertical length of 14 feet, including two 90-degree elbows. The feet shall be reduced for each 90-degree elbow in excess of two. Exhaust ducts shall be 4" diameter minimum.

PROCEDURE:

I.C.B.O. has acknowledged the use of ducts other than the standard 4" ducts with typical lengths. The ducts shown in the examples below will be permitted without requiring additional engineering. Note the reduction in length for each elbow and also the special insulation requirements. Also, note the different practical and theoretical allowances.

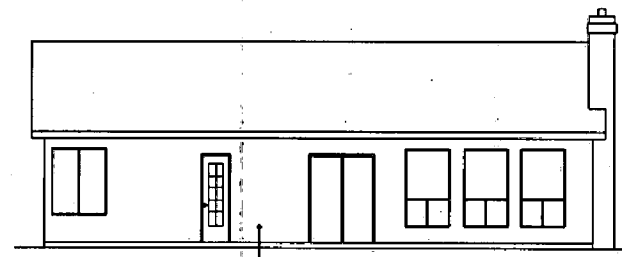
FIGURE 10-1 - DRYER VENT TO EXTERIOR BY U.M.C. SECTION 1903 (SEE IN NOTES)

FIGURE 10-2 - ENGINEERED DRYER VENT EQUIVALENT TO U.M.C. SECTION 1903 (SEE IN NOTES)

FIGURE 10-3 - DRYER VENT AS SPECIFIED IN U.M.C. SECTION 1903 (SEE IN NOTES)

FIGURE 10-4 - ENGINEERED DRYER VENT EQUIVALENT TO U.M.C. SECTION 1903 (SEE IN NOTES)

NOTES: Ducts in roof or attic shall be insulated with R-10 insulation and shall be supported by hangers. Hangers shall be spaced at 4' o.c. Ducts in exterior walls shall be insulated with R-10 insulation and shall be supported by hangers. Hangers shall be spaced at 4' o.c. Ducts in exterior walls shall be insulated with R-10 insulation and shall be supported by hangers. Hangers shall be spaced at 4' o.c.



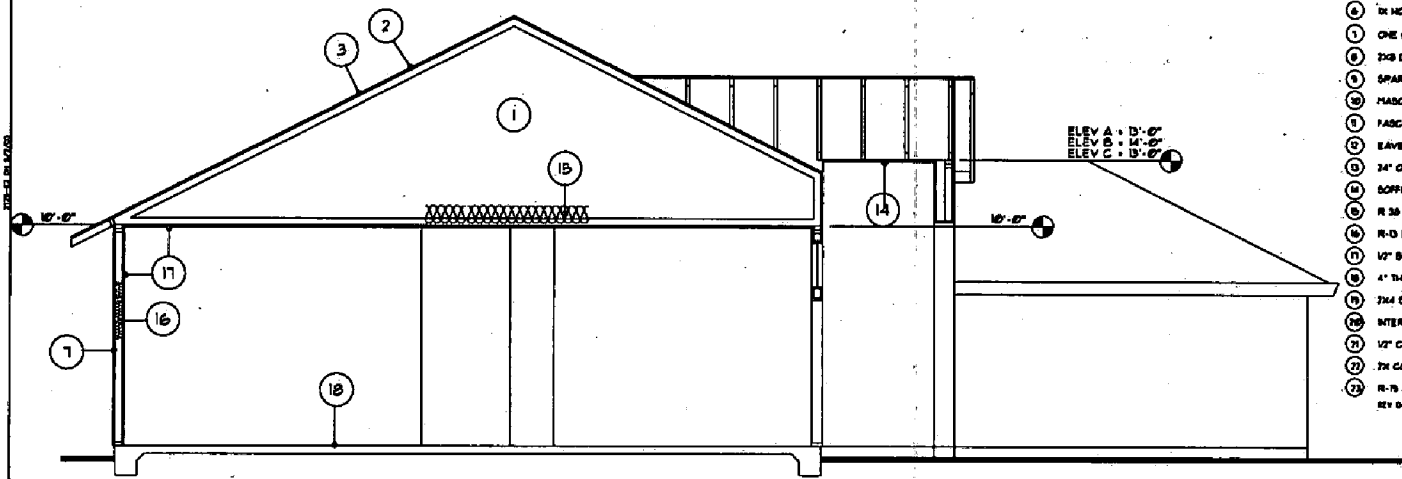
REAR ELEVATION

ELEVATION KEYNOTES

- 1 PRE-ENGINEERED ROOF TRUSS SPACED 40" O.C.
- 2 1/2" CDX SOLID SHEATHING WITH SOLID V-RUSTIC AT OVERHANGS
- 3 CONC. ROOF TILE OVER 3/8" LB. FELT + REDWOOD CLEATS
- 4 2 X 8 CHARGE RAFTERS @ GABLES
- 5 ONE COAT STUCCO OVER WIRE LATH OR WHITE ROOF STUCCO BOARD OVER BRICK FACIAS
- 6 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- 7 FACIA GUTTERS WITH DOWNSPOUTS
- 8 LEAVE VENT PER UBC REQUIREMENTS

SECTIONS & ELEVATIONS KEYNOTES

- 1 PRE-ENGINEERED ROOF TRUSS SYSTEM SPACED 24" O.C.
- 2 1/2" CDX SOLID ROOF SHEATHING 5/8" V-RUSTIC @ OVERHANGS
- 3 CONC. ROOF TILE OVER 3/8" FELT + REDWOOD CLEATS
- 4 2X4 DP. TRIPLOK AT CORNERS AND OPENINGS
- 5 2X8 CHARGE RAFTERS AT GABLES
- 6 2X HORIZONTAL SIDING AT FRONT WHERE APPLICABLE
- 7 ONE COAT STUCCO OVER WIRE LATH OR WHITE ROOF STUCCO BOARD OVER BRICK FACIAS
- 8 2X8 DP. TRIPLOK
- 9 SPARK ARRESTOR AT FIREPLACE
- 10 HARDENED VINYL OVER PLYWOOD SHEATHING WATER TABLE AT EBJ
- 11 FACIA GUTTERS WITH DOWNSPOUTS
- 12 LEAVE VENTS AT BLOCK LOCATIONS
- 13 24" OVERHANGS AND 14" GABLES AND RAKES
- 14 SOFFIT MATERIAL TO BE 3/8" EXTERIOR PLYWOOD OR STUCCO
- 15 R-38 BLOK INSULATION IN CEILING
- 16 R-10 BATT INSULATION IN EXTERIOR WALLS
- 17 1/2" SHEETROCK AT WALLS AND CEILING
- 18 4" THICK CONCRETE SLAB
- 19 2X4 STUDS SPACED 16" O.C. WALL FRAMING
- 20 INTERIOR VAULT LINE OF TRUSS
- 21 1/2" CDX SOLID ROOF SHEATHING
- 22 2X CONVENTIONAL ROOF FRAMING
- 23 R-19 INSULATION @ 2X FLOOR JOISTS



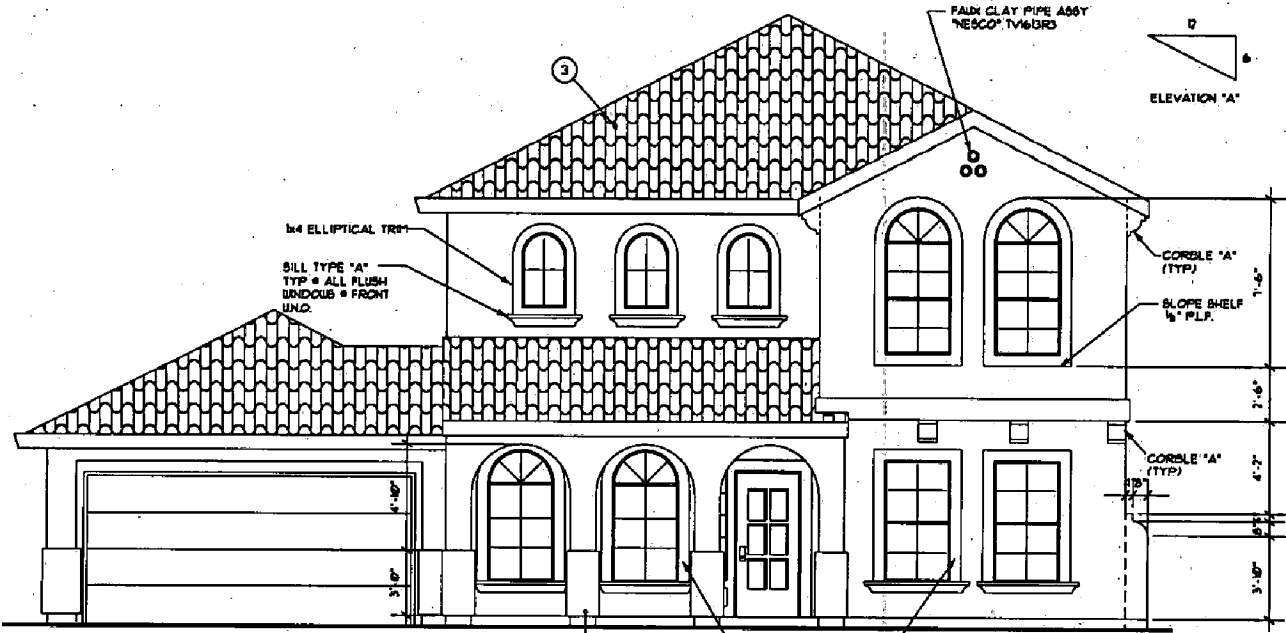
MAY-0

JMC HOMES

WEIGHTED MATERIAL
 THIS DOCUMENT IS THE PROPERTY OF JMC HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JMC HOMES. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED.

Exhibit 8(a): Plan 3a - 2385, Elevations

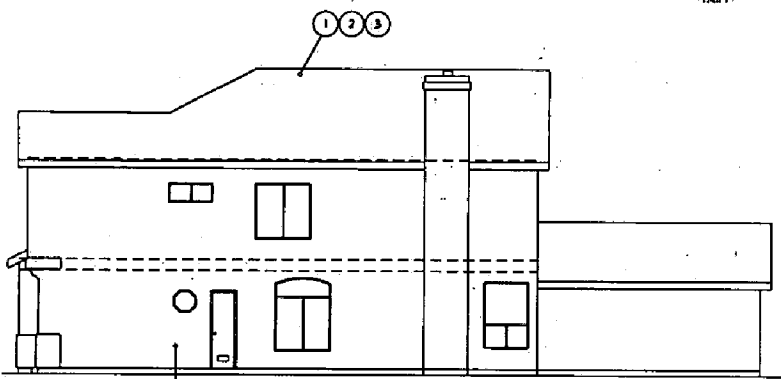
590-00 P



FRONT ELEVATION "A"

ELEVATION KEYNOTES

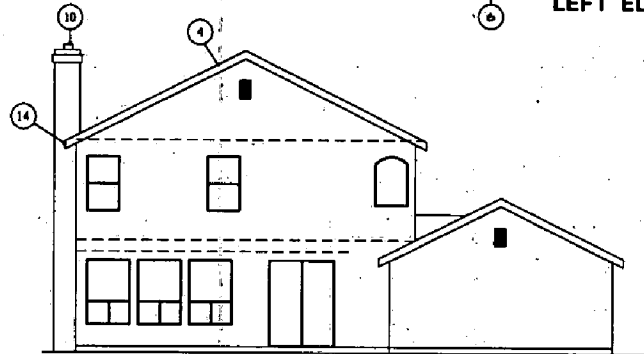
- 1 PRE-ENGINEERED ROOF TRUSS SPACED 24" O.C.
- 2 1/2" COX SOLID SHEATHING WITH SOLID 1/4" COX AT OVERHANGS
- 3 CONC. ROOF TILE OVER 30 LB. FELT + REDWOOD CLEATS
- 4 2 X 8 BARGE RAFTER @ GABLES
- 5 1 COAT STUCCO MIXED LATH OR WHITE RD. STUCCO BO. OVER PCHG.
- 6 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- 7 2 X 8 STYROFOAM
- 8 CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR SILL
- 9 2 X 10 STYROFOAM BAND
- 10 SPARK ARRESTOR AT CHIMNEY STACK
- 11 G.I. GUTTERS OVER 2 X 8 FACIA BOARDS
- 12 MASONRY VENEER OVER PLYWOOD SHEATHING
- 13 FACIA GUTTERS WITH DOWNSPOUTS
- 14 EAVES VENT PER UBC REQUIREMENTS
- 15 1" OVERHANGS, 1" GABLES AND RAKES.
- 16 SOFFIT MATERIAL TO BE STUCCO.
- 17 PAULK CLAY PIPE ASSY
- 18 SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE.
- 19 BUILD-OUT W/ 2" LAYER OF STYROFOAM WRAP CORNERS MIN 24"
- 20 BUILD-OUT MASONRY BACKING MIN 2" FROM FRAMING.
- A ALL WINDOW HEADER HEIGHTS AT SIDES AND REAR TO BE 6'-0" UON.



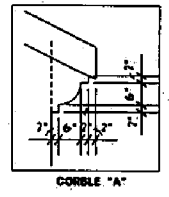
RIGHT ELEVATION



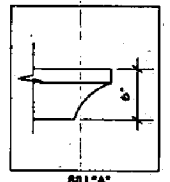
LEFT ELEVATION



REAR ELEVATION



CORBLE "A"



SILL "A"

PREFAB BY LUMBER

MATERIAL
 ALL MATERIALS TO BE USED SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

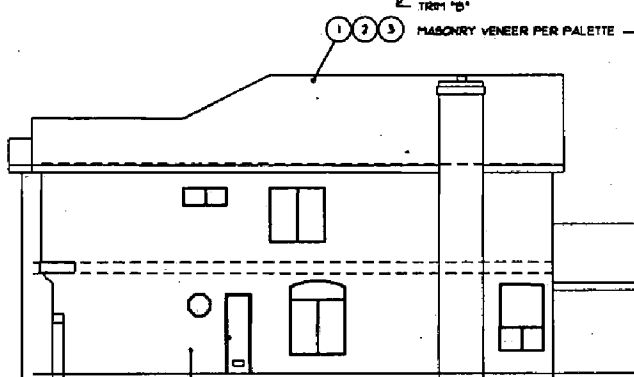
Exhibit 8(b): Plan 3a - 2385, Elevations

ELEVATION KEYNOTES

- 1 FIRE-ENGINEERED ROOF TRUSS SPACED @ 24" O.C.
- 2 1/2" CDX SOLID SHEATHING WITH SOLID 1/4" CDX AT OVERHANGS
- 3 CONC. ROOF TILE OVER 3/8" L.B. FELT + REDWOOD CLEATS
- 4 2 X 8 BARGE RAFTER @ GABLES
- 5 1 COAT STUCCO OVER LATH CHAIRTE ROD. STUCCO BO. W/ BAR FOKA.
- 6 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE.
- 7 2 X 8 STYROFOAM
- 8 CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR SILL
- 9 2 X 10 STYROFOAM BAND
- 10 SPARK ARRESTOR AT CHIMNEY STACK
- 11 G.I. GUTTERS OVER 2 X 8 FACIA BOARDS.
- 12 MASONRY VENEER OVER PLYWOOD SHEATHING
- 13 FACIA GUTTERS WITH DOWNSPOUTS
- 14 EAVES VENT PER USC REQUIREMENTS
- 15 0" OVERHANGS, 0" GABLES AND RAKES
- 16 BOFIT MATERIAL TO BE STUCCO.
- 17 FAUX CLAY PIPE ASSY
- 18 SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE.
- 19 BUILD-OUT W/ 2" LAYER OF STYROFOAM. WRAP CORNERS MIN 24".
- 20 BUILD-OUT MASONRY BACKING MIN 2" FROM FRAMING.
- A ALL WINDOW HEADER HEIGHTS AT SIDES AND REAR TO BE 5'-0" UNCL.



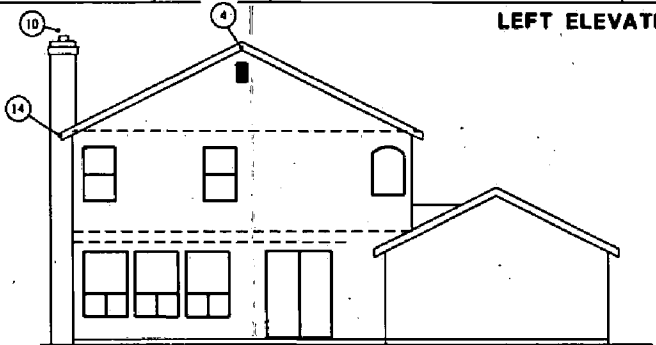
FRONT ELEVATION "B"



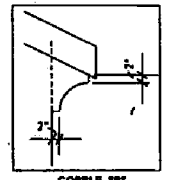
RIGHT ELEVATION



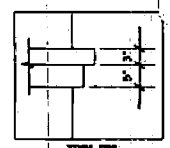
LEFT ELEVATION



REAR ELEVATION



CORBLE "B"

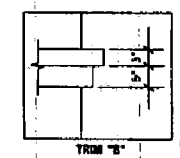
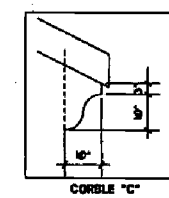
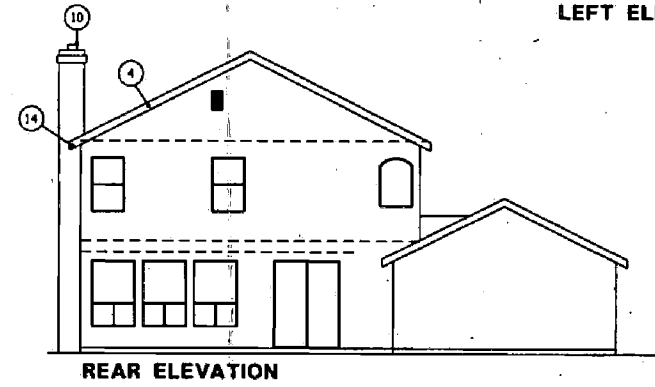
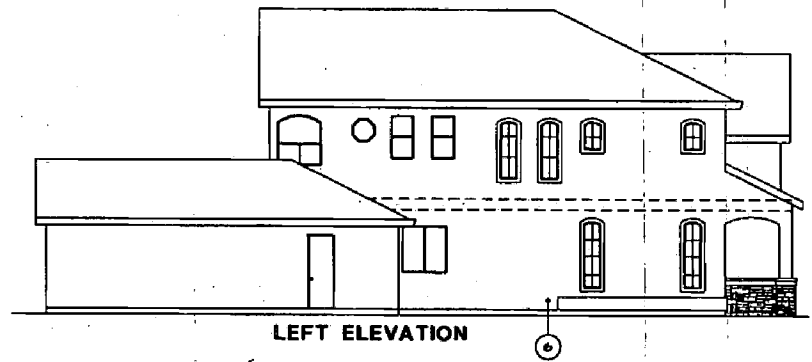
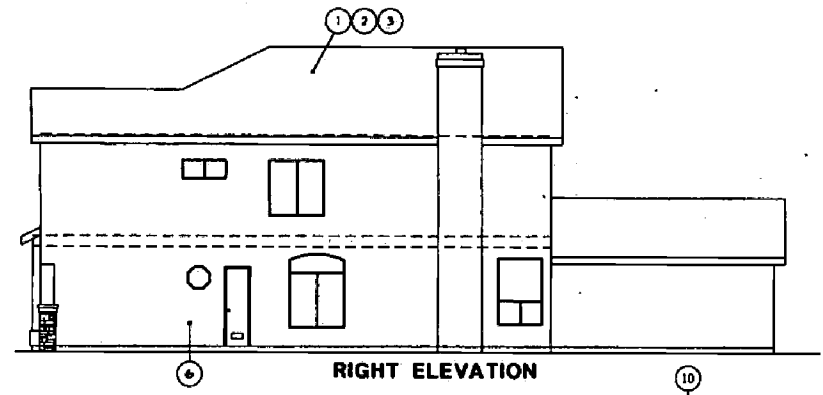
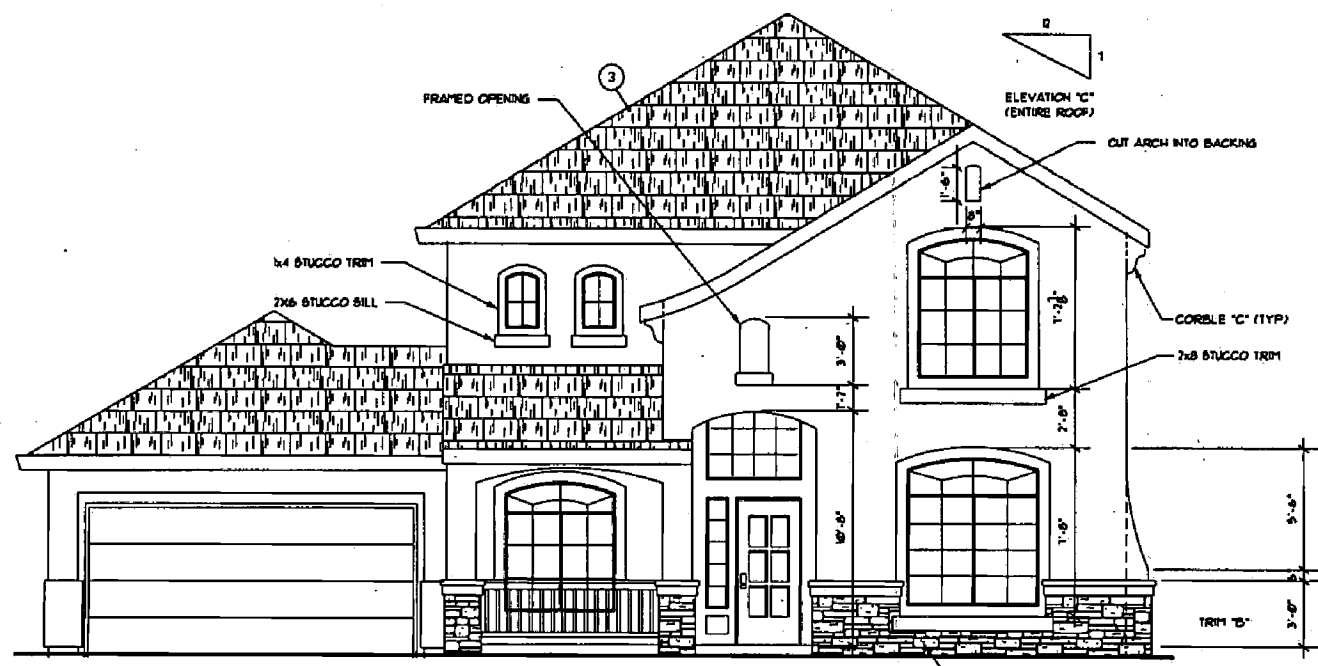


TRIM "B"

SCALE: 1/8" = 1'-0"

ELEVATION KEYNOTES

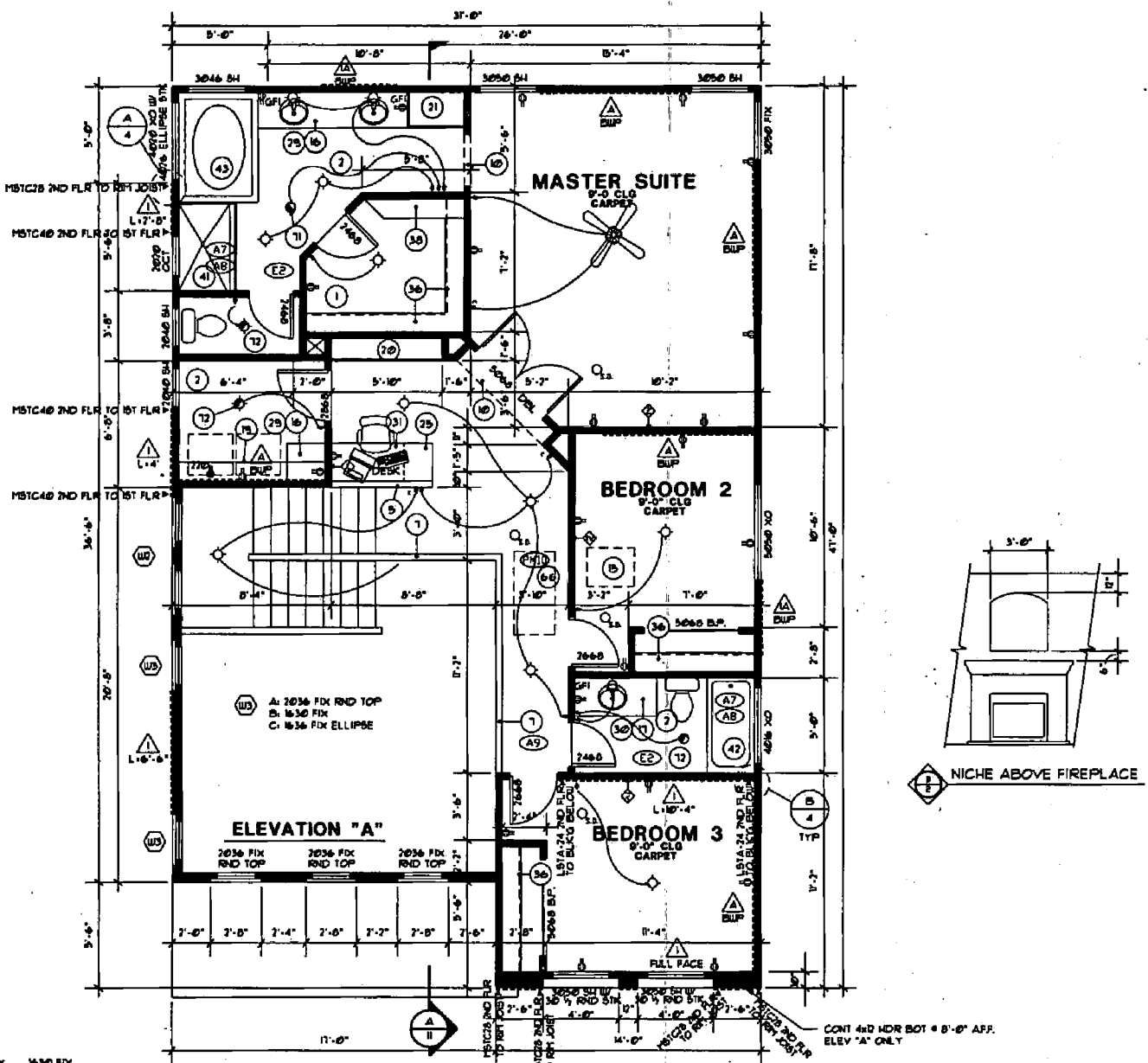
- 1 PRE-ENGINEERED ROOF TRUSS SPACED @ 24" O.C.
- 2 1/2" COX SOLID SHEATHING WITH SOLID 1/2" COX AT OVERHANGS
- 3 CONC. ROOF TILE OVER 3/8" FELT & REDWOOD GLEATS.
- 4 2 X 8 BARGE RAFTER @ GABLES
- 5 1 COAT STUCCO OVER WIRE LATH OVER WHITE RGD. STUCCO BO. OVER PONG.
- 6 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE.
- 7 2 X 8 STYROFOAM
- 8 CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR SILL
- 9 2 X 10 STYROFOAM BAND
- 10 SPARK ARRESTOR AT CHIMNEY STACK
- 11 G.I. GUTTERS OVER 2 X 8 FACIA BOARDS.
- 12 MASONRY VENEER OVER PLYWOOD SHEATHING
- 13 FACIA GUTTERS WITH DOWNSPOUTS
- 14 EAVES VENT PER USC REQUIREMENTS
- 15 0" OVERHANGS, 0" GABLES AND RAKES.
- 16 SOFFIT MATERIAL TO BE STUCCO.
- 17 FAUX CLAY PIPE ASSY
- 18 SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE.
- 19 BUILD-OUT 1/2" LAYER OF STYROFOAM, WRAP CORNERS MIN 24"
- 20 BUILD-OUT MASONRY BACKING MIN 2" FROM FRAMING.
- 21 ALL WINDOW HEADER HEIGHTS AT SIDES AND REAR TO BE 8'-0" MAX.



FLOOR PLAN KEYNOTES

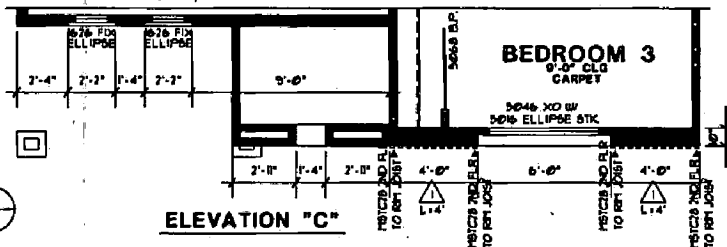
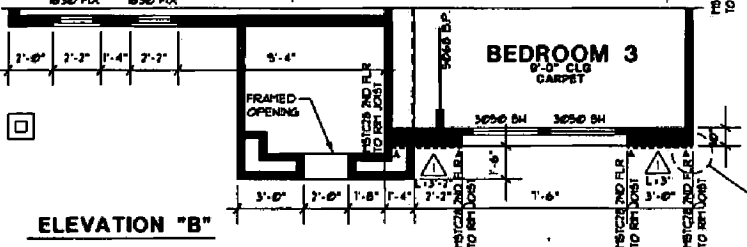
- ROOM FINISHES**
- CARPET
 - LINOLEUM
 - CERAMIC TILE
 - 3/4" TYPE "T" GYP. DD AT DRILL/DOOR, ALL WALLS AND CEILING
 - FRAMING / STRUCTURE
 - 3/4" HALF BALL BY FINISHED WOOD CAP
 - 3/4" HALF BALL BY 3/4" BEECH/ROCK DECK
 - 3/4" DIA. RAILING BY BAL. 4" O.C.
 - 4" WOOD 6" BALL BY BAR-TOP
 - 4" BALL BY GYP. DD, TOP 1 CAB BELOW ELLIPTIC ARCH
 - THICKENED ELLIPTIC ARCH BY RND. EDGES
 - 3/4" HIGH WOOD BY GYP. DD, DECK
 - 3/4" HIGH WOOD BY ARCH TOP
 - 4" STEEL COLLARD NET IN SLAB
 - 24" X 30" ATTIC ACCESS BY FIN 3/4" HEAD CLR CABINETS / FIXTURES
 - 36" HIGH CABINET
 - 37" HIGH CABINET
 - ISLAND CABINET
 - OVER HEAD CABINET
 - 36" IN LINEN CABINET
 - FULL HEIGHT CABINET
 - LAZY SUSAN (ROTARY SHELF)
 - CANTILEVER COUNTER TOP 6"
 - MATCH CABINET
 - FLS. DRAWERS
 - BRUSH CABINET
 - FULL HEIGHT PANTRY CABINET
 - FORMICA COUNTER TOP
 - TILED COUNTER TOP
 - CULTURED MARBLE TOP
 - FINISHED WOOD TOP - 37" HIGH
 - PAINTED WOOD TOP
 - SINK OR BAT
 - PREMIUM FINISHED MARBLE + HEARTH
 - CUSTOM MARBLE HEARTH
 - 1 SHELF / POLE
 - 1 SHELF / 2 POLE
 - 3 SHELVES
 - 34" x 34" SHOWER PAN, CULTURED MARBLE SIDES + THERM. GLASS ENCL.
 - 34" x 48" SHOWER PAN, CULTURED MARBLE SIDES + THERM. GLASS ENCL.
 - TILED SHOWER
 - 3/4" x 6/8" STEEL TUB BY POLE
 - 47" x 68" OVAL TUB BY APRON
 - 47" x 12" OVAL TUB OVER TILE DECK
 - 47" x 68" OVAL TUB BY TILE DECK
 - PRECAST BAK
 - DOUBLE BAK BY ELEC. GYI
 - LAUNDRY SHK
 - BAR BAK
 - APPLIANCES / HOOD-LIPS
 - ELECTRIC COOK TOP DRIVE
 - GAS COOK TOP STOVE
 - DROP-IN GAS STOVE BY OVEN
 - DROP-IN ELEC. STOVE BY OVEN
 - ELEC. OVEN + MICROWAVE COMBO
 - RANGE HOOD + MICROWAVE COMBO
 - PAN + HOOD
 - 3/4" REFRIG. SPACE BY HOSE DRG
 - DISHWASHER
 - 48" OAL. GAS SH ON 18" HIGH PLATFORM
 - 36" OAL. GAS SH ON 18" HIGH PLATFORM
 - 36" ELEC. APP. ZERO-CL. F.P. GL. DOORS
 - 47" ELEC. APP. ZERO-CL. F.P. GL. DOORS
 - 36" ELEC. APP. 2-SHED ZERO-CL. F.P. BY GLASS DOORS
 - 24" ELEC. APP. 3-SHED DIV. GAS F.P.
 - GAS-BASE DOOR OPENER
 - FALS IN ATTIC
 - DOORS / WINDOWS
 - TEMPERED SAFETY GLASS
 - SELF CLOSING DOOR
 - ELECTRICAL
 - 125 AMP SERVICE PANEL
 - 100 AMP SERVICE PANEL
 - EXHAUST FAN
 - EXHAUST FAN / LIGHT COMBO

P 00-005



A: 2036 FIX RND TOP
B: 1636 FIX
C: 1636 FIX ELLIPSE

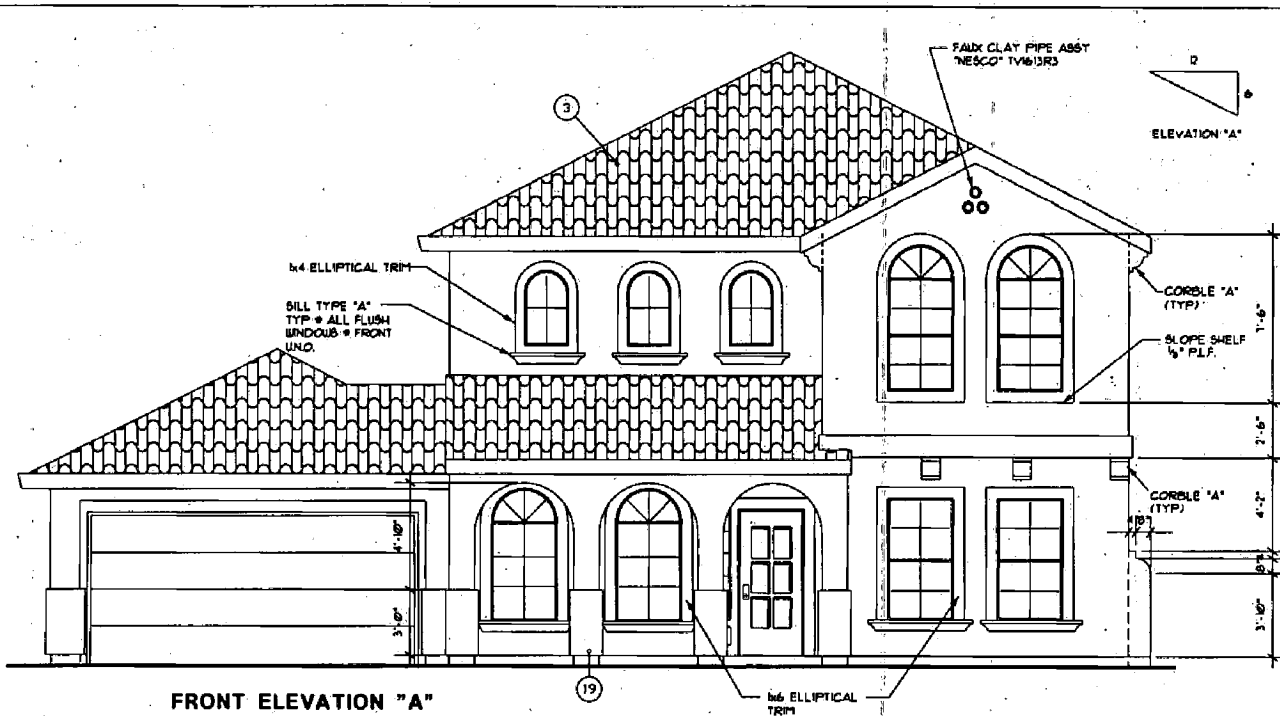
ELEVATION "A"



ATTENTION:

PLAN SET FORWARDED TO YOU BY JMC HOMES IS PROVIDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL PLANS MUST BE REVIEWED BY THE CONTRACTOR OR FIELD ENGINEER PRIOR TO STARTING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE FIELD TO PRODUCE APPROVED CONSTRUCTION PLANS WITH CORRECTIONS AS COMMENTED TO THE CONTRACTOR. JMC HOMES IS NOT RESPONSIBLE FOR ERRORS WHICH OCCUR TO THE PLAN SET APPROVED FOR CONSTRUCTION.

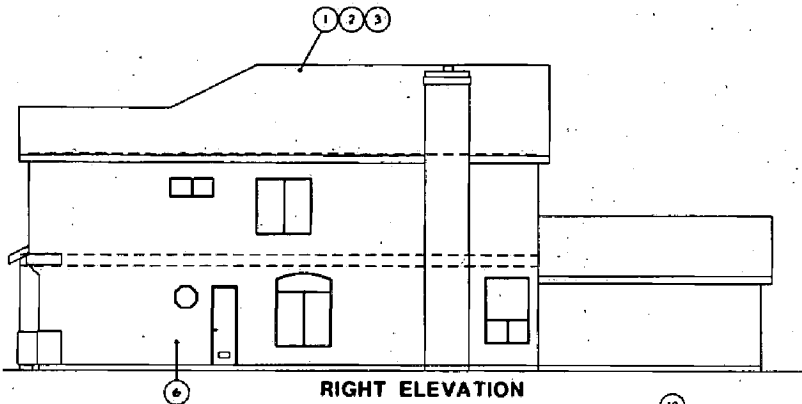
THESE PLANS AND DETAILS ARE THE PROPERTY OF JMC HOMES CONSTRUCTION INC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THESE PLANS IS STRICTLY PROHIBITED. SUCH USE OF THESE PLANS MAY BE SUBJECT TO PROSECUTION TO THE FULLEST EXTENT OF THE LAW.



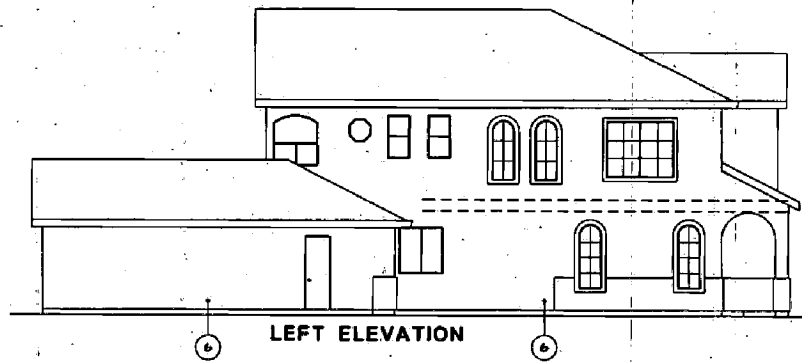
FRONT ELEVATION "A"

ELEVATION KEYNOTES

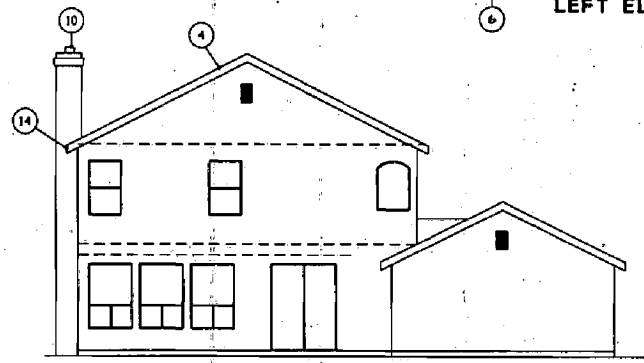
- 1 PRE-ENGINEERED ROOF TRUSS SPACED @24" O.C.
- 2 1/2" CDX SOLID SHEATHING WITH SOLID 1/4" CDX AT OVERHANGS
- 3 CONC. ROOF TILE OVER 3/8 LB. FELT & REDWOOD CLEATS.
- 4 2 X 8 BARGE RAFTER @ GABLES
- 5 1 COAT STUCCO W/ WIRE LATH OLUMITE RGD. STUCCO BD. W/ BAR FING.
- 6 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- 7 2 X 8 STYROFOAM
- 8 CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR SILL.
- 9 2 X 10 STYROFOAM BAND
- 10 SPARK ARRESTOR AT CHIMNEY STACK
- 11 G.I. GUTTERS OVER 2 X 8 FACIA BOARDS.
- 12 MASONRY VENEER OVER PLYWOOD SHEATHING
- 13 FACIA GUTTERS WITH DOWNSPOUTS
- 14 EAVES VENT PER UBC REQUIREMENTS
- 15 12" OVERHANGS, 12" GABLES AND RAKES.
- 16 BOFFIT MATERIAL, TO BE STUCCO.
- 17 FAUX CLAY PIPE ASSY
- 18 SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE.
- 19 BUILD-OUT W/ 2" LAYER OF STYROFOAM WRAP CORNERS MIN 24"
- 20 BUILD-OUT MASONRY BACKING MIN 2" FROM FRAMING.
- A ALL WINDOW HEADER HEIGHTS AT SIDES AND REAR TO BE 6'-0" UON.



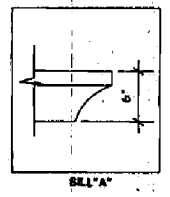
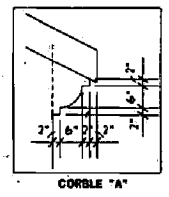
RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION



JMC HOMES

RIGHTED MATERIAL
THIS DRAWING IS THE PROPERTY OF JMC HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JMC HOMES.

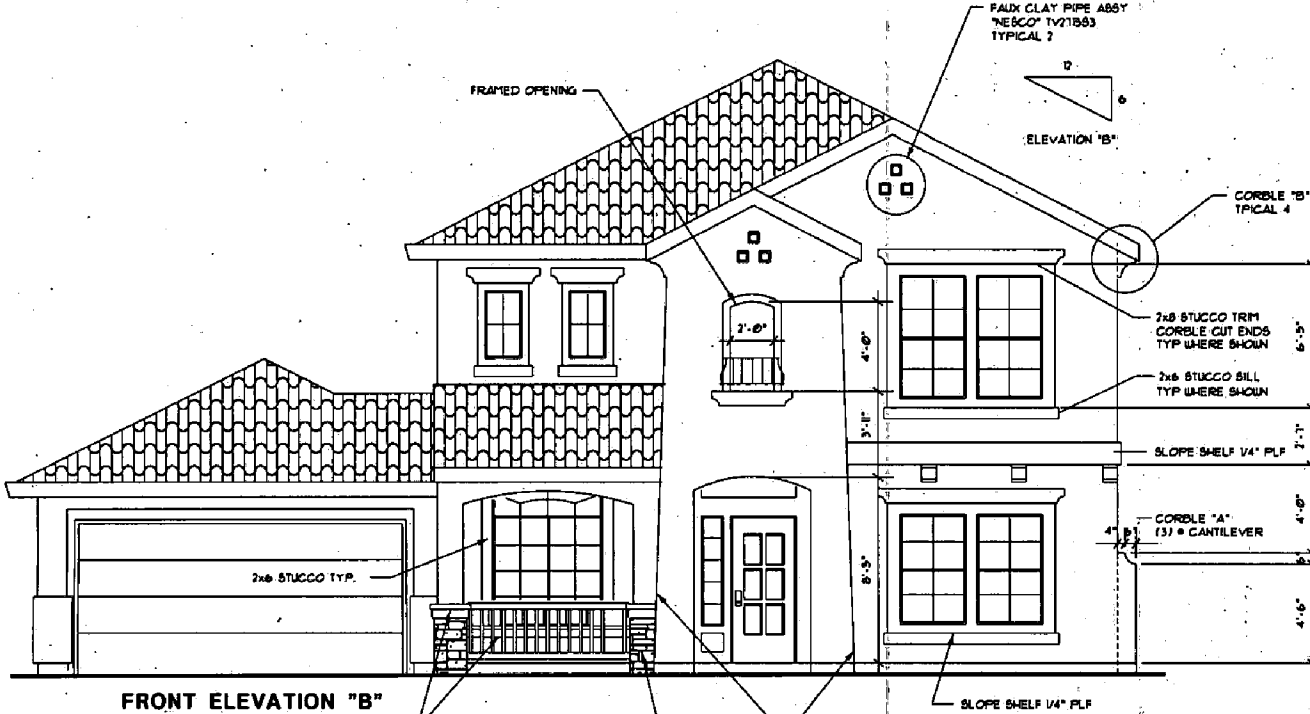
Exhibit 9(a): Plan 3b - 2606, Elevations

RECEIVED
JUN 12 2000
PLANNING SERVICES

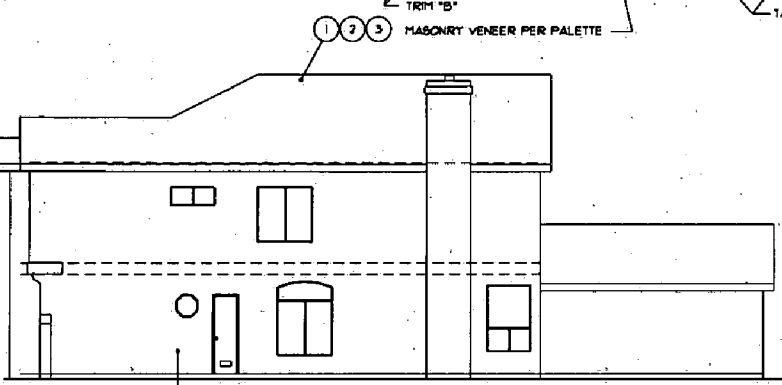
Exhibit 9(b): Plan 3b - 2606, Elevations

ELEVATION KEYNOTES

- 1 PRE-ENGINEERED ROOF TRUSS SPACED @ 24" O.C.
- 2 1/2" CDX SOLID SHEATHING WITH SOLID 1/4" CDX AT OVERHANGS
- 3 CONC. ROOF TILE OVER 3/8 LB. FELT & REDWOOD CLEATS.
- 4 7 X 8 BARGE RAFTER @ GABLES
- 5 1 COAT STUCCO OVER LATH ON MTE ROD. STUCCO BD. W/BAR F/ONG.
- 6 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE.
- 7 2 X 8 STYROFOAM
- 8 CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR BILL
- 9 2 X 10 STYROFOAM BAND
- 10 SPARK ARRESTOR AT CHIMNEY STACK
- 11 G.I. GUTTERS OVER 2 X 8 FACIA BOARDS.
- 12 MASONRY VENEER OVER PLYWOOD SHEATHING
- 13 FACIA GUTTERS WITH DOWNSPOUTS
- 14 EAVES VENT PER UBC REQUIREMENTS
- 15 0" OVERHANGS, 0" GABLES AND RAKES.
- 16 SOFFIT MATERIAL. TO BE STUCCO.
- 17 FAUX CLAY PIPE ASSY
- 18 SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE.
- 19 BUILD-OUT W/ 2" LAYER OF STYROFOAM. WRAP CORNERS MIN 2".
- 20 BUILD-OUT MASONRY BACKING MIN 2" FROM FRAMING.
- A ALL WINDOW HEADER HEIGHTS AT SIDES AND REAR TO BE 8'-0" UON.



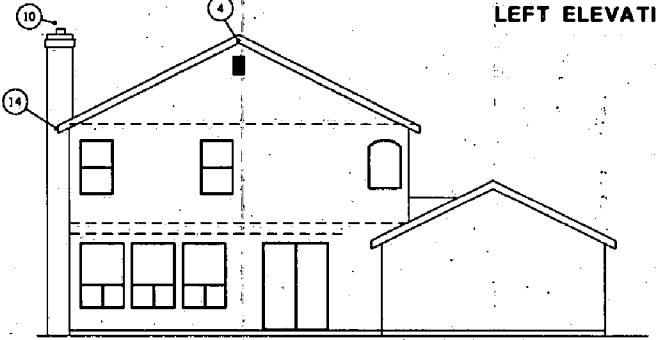
FRONT ELEVATION "B"



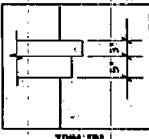
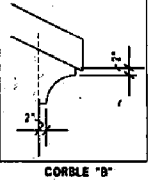
RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION



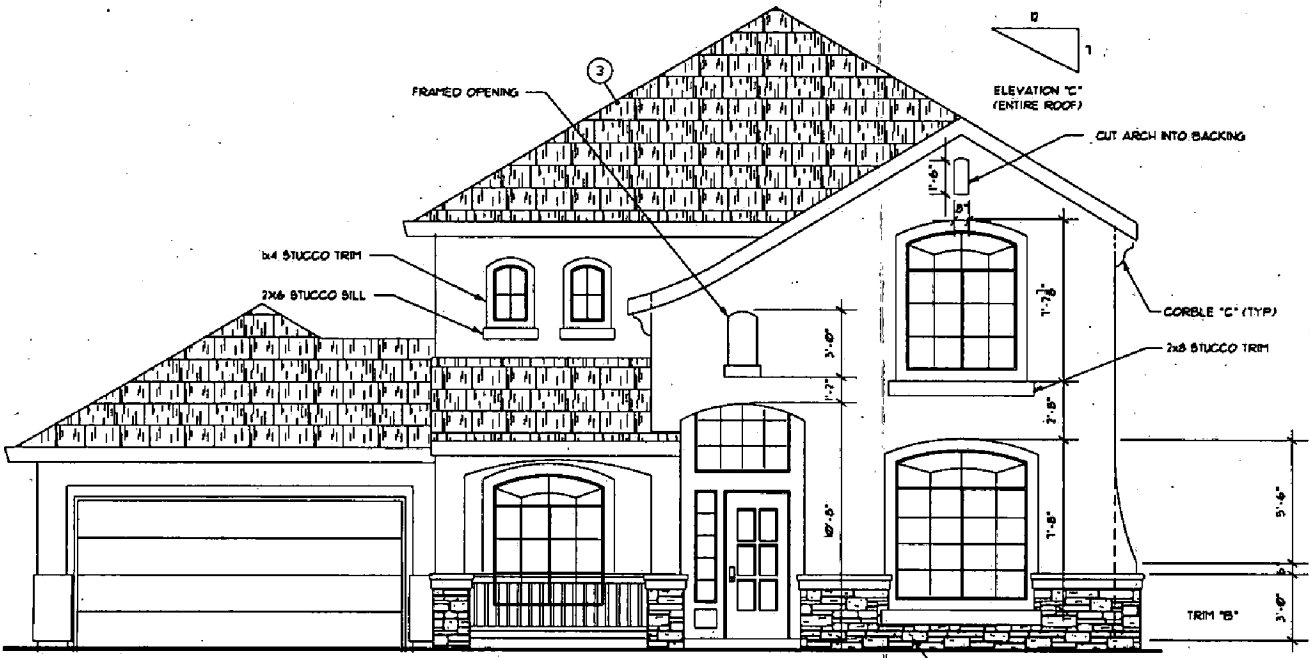
RECEIVED
JUN 12 2008
PLANNING SERVICES

UNREGISTERED MATERIAL
 THIS DRAWING IS THE PROPERTY OF JMC HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JMC HOMES.

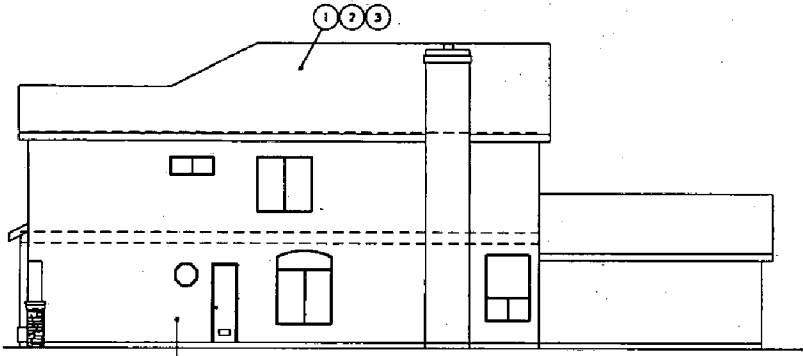
Exhibit 9(c): Plan 3b - 2506; Elevations

ELEVATION KEYNOTES

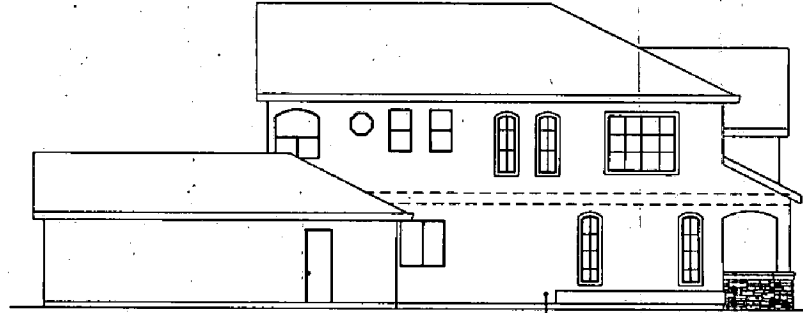
- 1 PRE-ENGINEERED ROOF TRUSS SPACED @14" O.C.
- 2 1/2" CDX SOLID SHEATHING WITH SOLID 1/4" CDX AT OVERHANGS
- 3 CONC. ROOF TILE OVER 3/8" L.B. FELT + REDWOOD CLEATS
- 4 2 X 8 BARGE RAFTER @ GABLES
- 5 1 COAT STUCCO W/ WIRE LATH - WHITE RGD. STUCCO BO. W/ BAR FONG.
- 6 STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE.
- 7 2 X 8 STYROFOAM
- 8 CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR SILL
- 9 2 X 10 STYROFOAM BAND
- 10 SPARK ARRESTOR AT CHIMNEY STACK
- 11 G.I. GUTTERS OVER 2 X 8 FACIA BOARDS
- 12 MASONRY VENEER OVER PLYWOOD SHEATHING
- 13 FACIA GUTTERS WITH DOWNSPOUTS
- 14 EAVES VENT PER UBC REQUIREMENTS
- 15 12" OVERHANGS, 12" GABLES AND RAKES.
- 16 SOFFIT MATERIAL TO BE STUCCO.
- 17 FAUX CLAY PIPE ASST
- 18 SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE.
- 19 BUILD-OUT W/ 2" LAYER OF STYROFOAM WRAP CORNERS MIN 24"
- 20 BUILD-OUT MASONRY BACKING MIN 2" FROM FRAMING.
- A ALL WINDOW HEADER HEIGHTS AT SIDES AND REAR TO BE 8'-0" U.O.R.



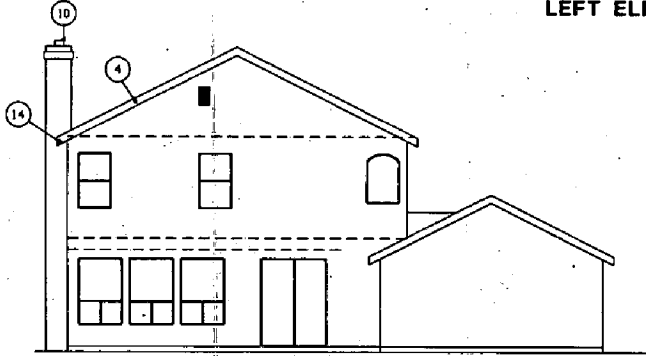
FRONT ELEVATION "C"



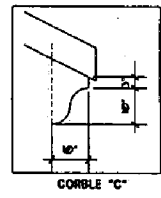
RIGHT ELEVATION



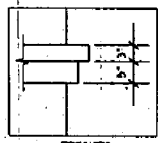
LEFT ELEVATION



REAR ELEVATION



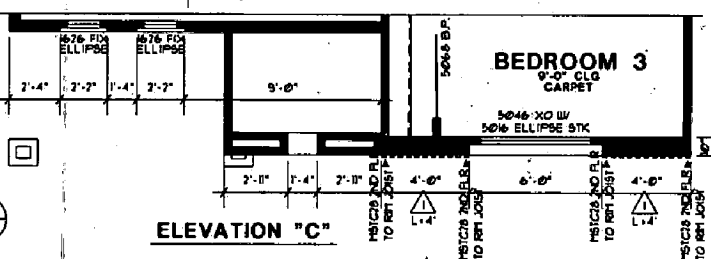
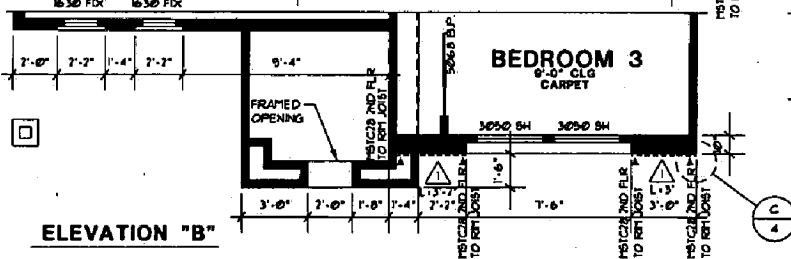
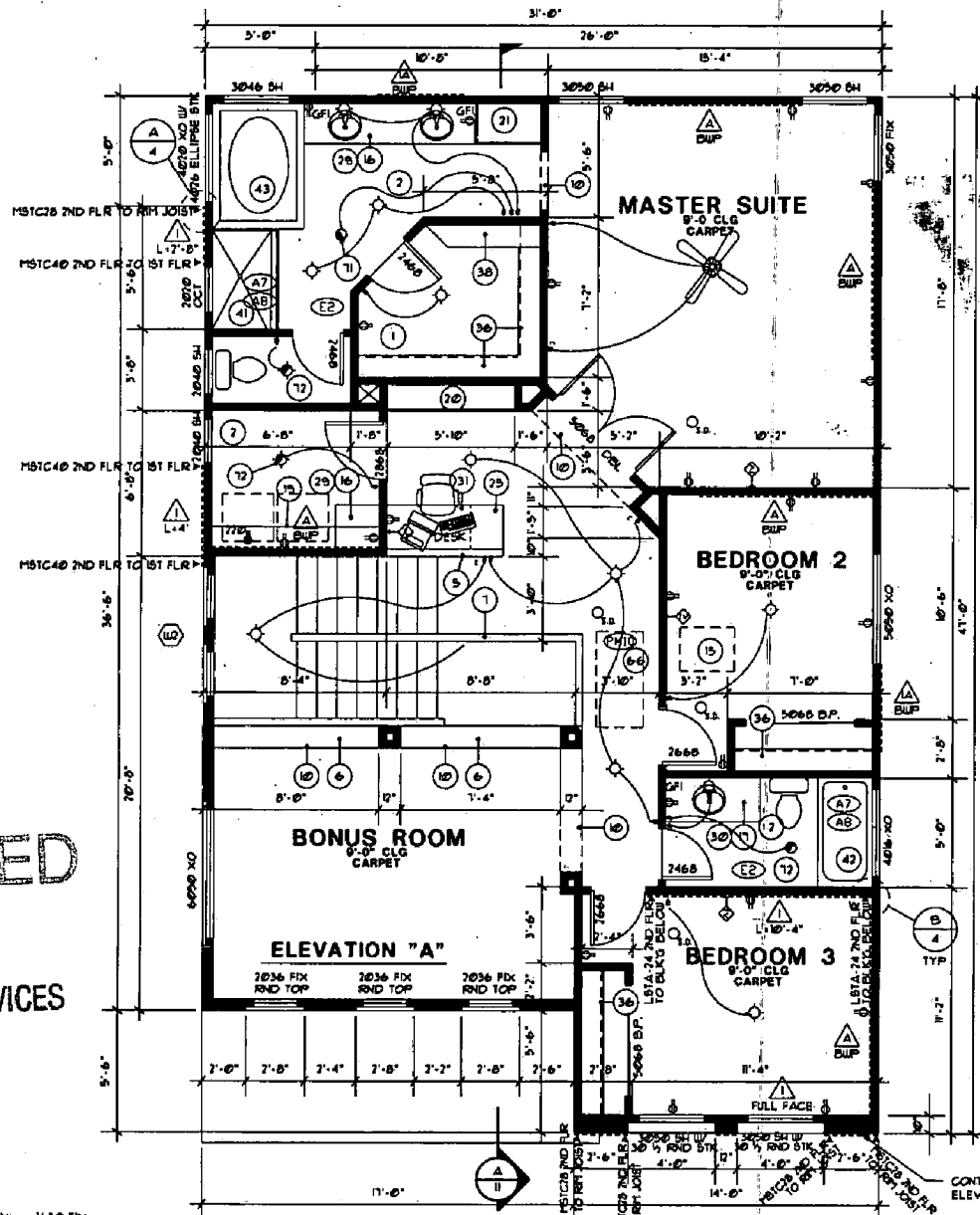
CORBLE "C"



TRIM "B"

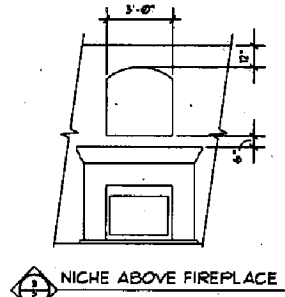
RECEIVED
 JUN 12 2000
 PLANNING SERVICES

RECEIVED
 JUN 13 2000
 PLANNING SERVICES



FLOOR PLAN KEYNOTES

- ROOM FINISHES**
- CARPET
 - LINOLEUM
 - CERAMIC TILE
 - 3/4" TYPE "X" GYP. CO. AT DRILL/LOAR.
 - ALL WALLS AND CEILING FRAMING / STRUCTURE
- 36" HALF WALL BY FINISHED WOOD CAP**
- 36" HALF WALLS BY SHEETROCK DECK
 - 36" OAK RAILING BY BAL. 4" G.C.
 - 4" HIGH 6" WALL BY BAR-10P
 - 4" WALLS BY GYP. CO. TOP + GAB BELOW ELLIPTIC ARCH
 - THICKENED ELLIPTIC ARCH BY RND. EDGES
 - 36" HIGH ARCH BY GYP. CO. DECK
 - 36" HIGH NICHE BY ARCH TOP
 - 4" STEEL BOLLARD SET IN SLAB
 - 14"x37" ATTIC ACCESS @ MIN 36" HEAD CLR
- CABINETS / FIXTURES**
- 36" HIGH CABINET
 - 37" HIGH CABINET
 - ISLAND CABINET
 - OVER HEAD CABINET
 - SLIP-IN LINEN CABINET
 - FULL HEIGHT CABINET
 - LATEX MUSH (ROTARY) (HELP)
 - CANTILEVER COUNTER TOP 0"
 - ARCH CABINET
 - FILE DRAWERS
 - BROOKLYN CABINET
 - FULL HEIGHT PANTY CABINET
 - NORFOLK COUNTER TOP
 - TILED COUNTER TOP
 - CULTURED MARBLE TOP
 - FINISHED WOOD TOP - 37" HIGH
 - PAINTED WOOD TOP
 - BRNDR BEAT
 - PREPARED FINITE + HEARTH
 - CUSTOM MARBLE HEARTH
 - 1 SHELF / 1 POLE
 - 1 SHELF / 2 POLE
 - 3 SHELVES
 - 34" x 34" SHOWER PAN CULTURED MARBLE SIDES + TEPF. GLASS ENCL.
 - 34" x 36" SHOWER PAN CULTURED MARBLE SIDES + TEPF. GLASS ENCL.
 - TILED SHOWER
 - 30" x 48" STEEL TUB W/ POLE
 - 47" x 60" OVAL TUB @ APRON
 - 47" x 72" OVAL TUB OVER TILE DECK
 - 47" x 60" OVAL TUB @ TILE DECK
 - PEDestal SINK
 - DOUBLE SINK @ ELEC. G.D.
 - LAUNDRY SINK
 - BAR SINK
- APPLIANCES / HOOD-LIPS**
- ELECTRIC COOK TOP STOVE
 - GAS COOK TOP STOVE
 - DROPT-IN GAS STOVE @ OVEN
 - ELEC. OVEN + PROOFING COMP. / FANHOOD + MICROWAVE CONRO.
 - FAN + HOOD
 - 30" REFR. SPACE @ WASH DIS
 - DISHWASHER
 - 48 GAL. GAS SH ON 8" HIGH PLATFORM
 - 80 GAL. GAS SH ON 8" HIGH PLATFORM
 - 36" L.C.B.O. APP. 2-RO-CL. P.P. GL. DOORS
 - 47" L.C.B.O. APP. 2-RO-CL. P.P. GL. DOORS
 - 36" L.C.B.O. APP. 3-SIDED 2-RO-CL. P.P. W/ GLASS DOORS
 - 37" L.C.B.O. APP. 3-SIDED D.V. GAS P.P.
 - GARAGE DOOR OPENER
 - PULL IN ATTIC
 - DOORS / WINDOWS
 - THERMATED SAFETY GLASS
 - SELF CLOSING DOOR
- ELECTRICAL**
- ON APP SERVICE PANEL
 - 750 APP SERVICE PANEL
 - EXHAUST FAN
 - EXHAUST FAN / LIGHT CONRO



ATTENTION:

PLAN BEEN STAMPED AND SET. THE PERMITS TO BE USED FOR CONSTRUCTION PURPOSES. ALL PLANS USED BY SUB-CONTRACTORS OR FIELD PERSONS, SHALL BE STAMPED APPROVED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR TO FIELD TO PROVIDE APPROVED CONSTRUCTION PLANS WHICH OPERATIONS OR CONDITIONS OF THE WORK ARE TO BE NOT PROHIBITED FOR ERRORS MADE DUE TO THE PLANS NOT APPROVED FOR CONSTRUCTION.

THESE PLANS AND DESIGNS ARE THE PROPERTY OF JOHN HUNTER CONSTRUCTION INC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THESE PLANS IS STRICTLY PROHIBITED. THE USE OF THESE PLANS MAY BE HELD IN PROSECUTION TO THE FULLEST EXTENT OF THE LAW.



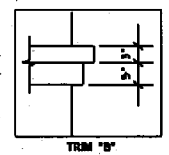
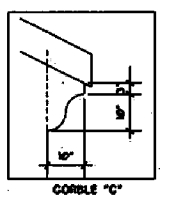
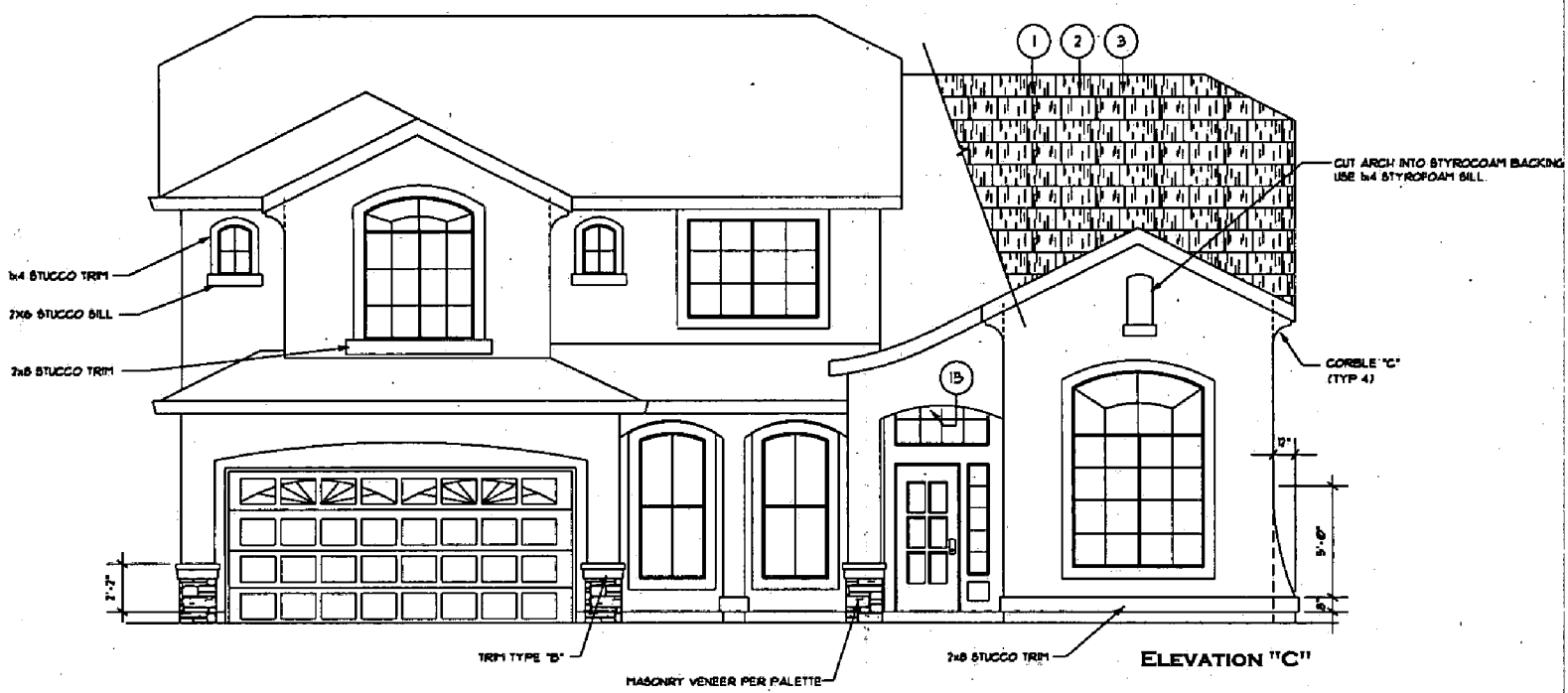
ILLUMINATED MATERIAL

Exhibit 9(e): Plan 3b - 2606 Floor Plan

COPYRIGHTED MATERIAL
 ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF JMC HOMES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF JMC HOMES IS STRICTLY PROHIBITED. JMC HOMES SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DOCUMENT.

Exhibit 10(b): Plan 4 - 2653; Elevations

P



KEYNOTES:

- ① PRE-ENGINEERED ROOF TRUSS SPACED @24" O.C.
- ② 1/2" CDX SOLID SHEATHING WITH SOLID V RUSTIC AT OVERHANGS
- ③ CONC. ROOF TILE OVER 30 LB. FELT + REDWOOD CLEATS.
- ④ 2" X 8" BARGE RAFTER @ GABLES
- ⑤ 1 COAT STUCCO W/ WIRE LATH. 2ND COAT RGD. STUCCO 50. W/ BAR FCING.
- ⑥ FACIA GUTTERS WITH DOWNSPOUTS
- ⑦ 2" OVERHANGS AND 12" GABLES AND RAKES
- ⑧ SOFFIT MATERIAL TO BE STUCCO SYSTEM OR 3/8" EXTERIOR PLYWOOD.

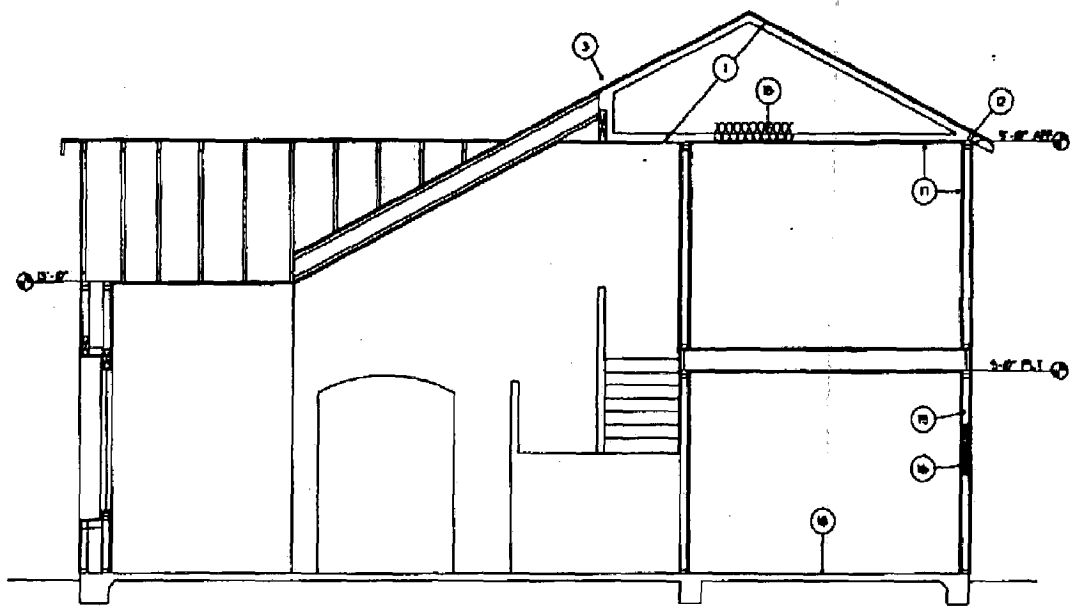


TRIAL MATERIAL

Exhibit 10(c): Plan 4 - 2653; Elevations

916 782 8903

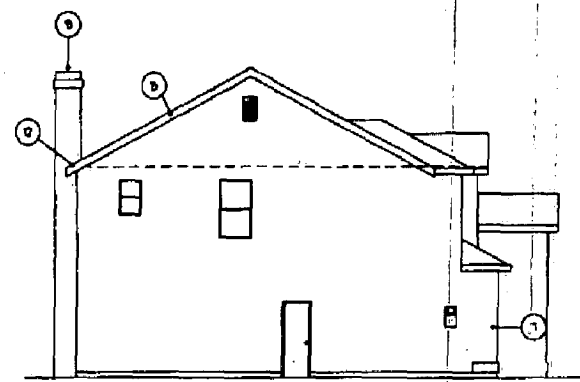
P.03



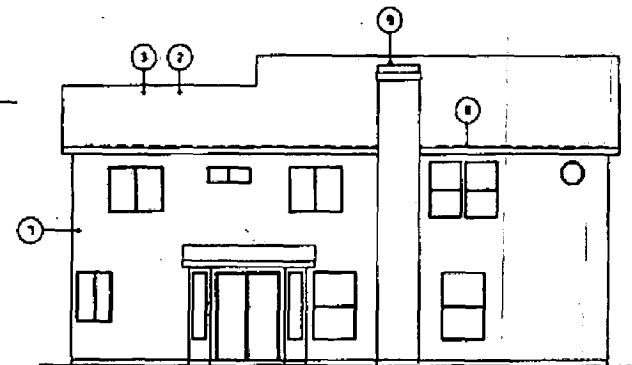
CROSS SECTION

SECTIONS & ELEVATIONS KEYNOTES

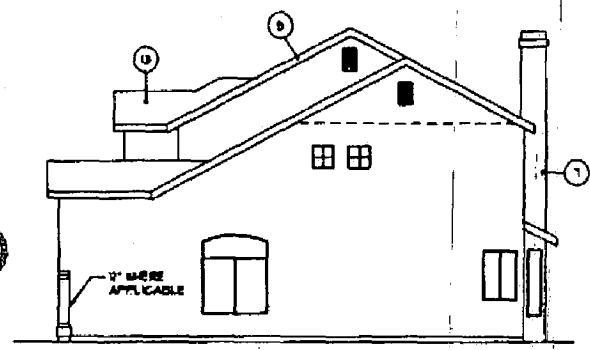
- 1 PRE-ENGINEERED ROOF TRUSS SYSTEM SPACED 24" O.C.
- 2 1/2" COX SOLID ROOF SHEATHING w/ V-WESTIC OVERHANGS
- 3 CONC. ROOF TILE OVER 3/8" FELT & REDWOOD CLEATS
- 4 TWO BOARD RAFTERS AT GABLES
- 5 ONE COAT STUCCO w/ WIRE LATH ON WHITE ROOF STUCCO BOARD BRICKER FACIAS
- 6 SPARK ARRESTOR AT FIREPLACE
- 7 FASCIA CUTTERS WITH DOWNSPOUTS
- 8 GABLE VENTS AT BLOCK LOCATIONS
- 9 1" OVERHANGS AND 12" GABLES AND RAICES ELEV 11' / 1" 14" OVERHANGS AND 14" GABLES AND RAICES ELEV 12'
- 10 BATT INSULATION TO BE 3/8" EXTERIOR PLYWOOD OR STUCCO
- 11 R-13 BATT INSULATION IN CEILING
- 12 R-13 BATT INSULATION IN EXTERIOR WALLS
- 13 1/2" SHEATHING AT WALLS AND CEILING
- 14 4" THICK CONCRETE SLAB
- 15 2x4 STUDS SPACED 16" O.C. WALL FRAMING



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

RECEIVED

MAY 25 2000

PLANNING SERVICES

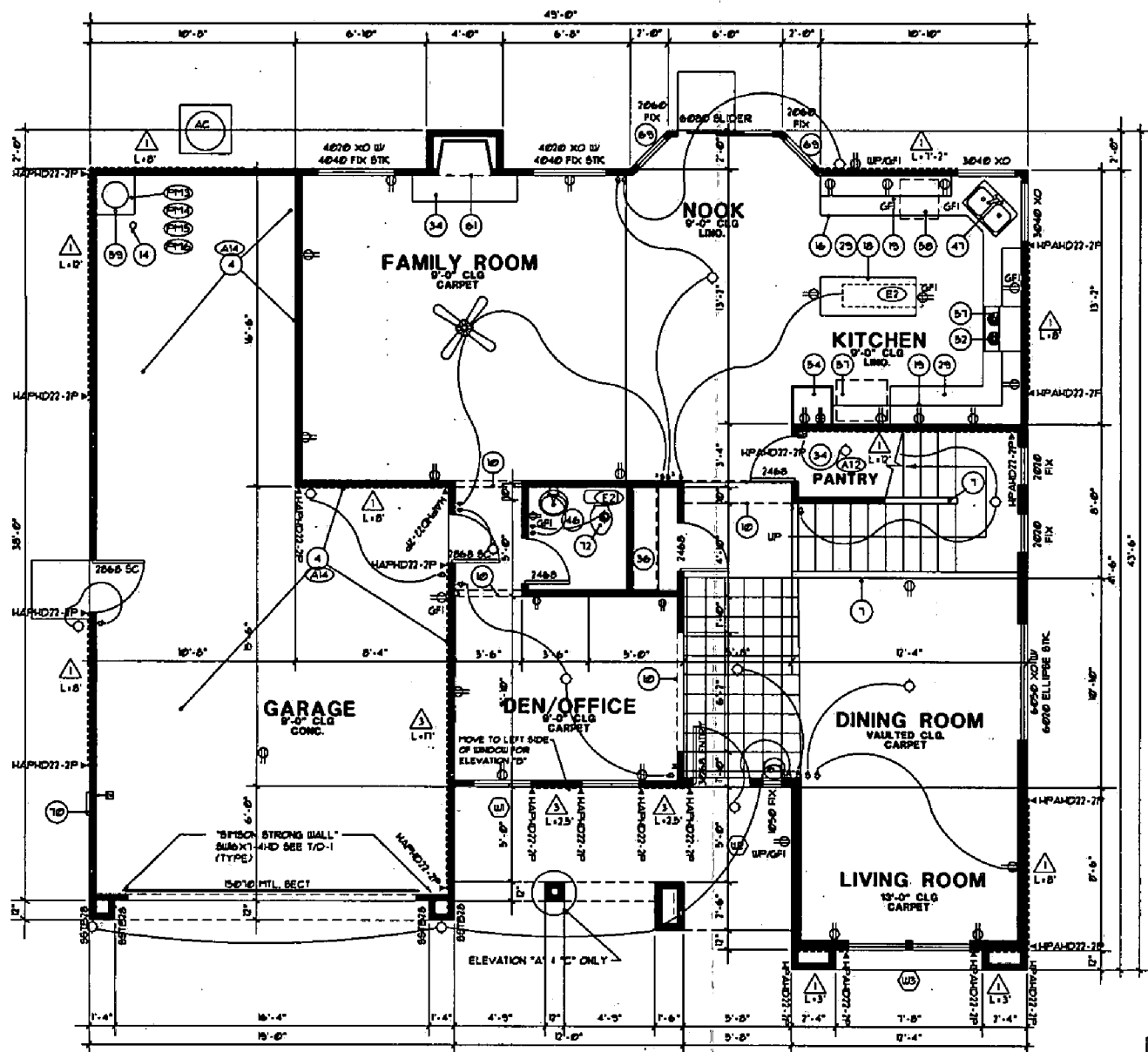
P00 065

RIGHTED MATERIAL

FLOOR PLAN KEYNOTES

- ROOM FINISHES**
- (1) CARPET
 - (2) LINOLEUM
 - (3) CERAMIC TILE
 - (4) 3/4" TYPE "D" GYP. BO. AT OUTLETS
 - (5) ALL WALLS AND CEILINGS FRAMING / STRUCTURE
 - (6) 3/4" HALF BALL BY FINISHED WOOD CAP
 - (7) 3/4" HALF BALL BY SHEETROCK DECK
 - (8) 3/4" HALF BALL BY BAL. 4" O.C.
 - (9) 4" HIGH 6" WALL BY BAR-TOP
 - (10) 4" WALL BY GYP. BO. TOP 1 CAB BELOW ELLIPTIC ARCH
 - (11) THICKENED ELLIPTIC ARCH BY WND. LOGS
 - (12) 3/4" HIGH WOOD BY GYP. BO. DECK
 - (13) 3/4" HIGH WOOD BY ARCH TOP
 - (14) 4" STEEL COLLARD SET IN SLAB
 - (15) 1/2" ATIC ACCESS TO FOR 3/4" HEAD CLR CABINETS / FIXTURES
 - (16) 3/4" HIGH CABINET
 - (17) 3/4" HIGH CABINET ISLAND CABINET
 - (18) OVER HEAD CABINET
 - (19) 3/4" IN LINEN CABINET
 - (20) RAIL HEIGHT CABINET
 - (21) LAY. SUBM (FACTORY SHELF)
 - (22) CANTILEVER COUNTER TOP 3/4"
 - (23) HUTCH CABINET
 - (24) FILE DRAWERS
 - (25) BROOM CABINET
 - (26) FULL HEIGHT PANTRY CABINET
 - (27) PENINSULA COUNTER TOP
 - (28) ISLAND COUNTER TOP
 - (29) COUNTER TOP
 - (30) COUNTER TOP
 - (31) COUNTER TOP
 - (32) COUNTER TOP
 - (33) COUNTER TOP
 - (34) COUNTER TOP
 - (35) COUNTER TOP
 - (36) COUNTER TOP
 - (37) COUNTER TOP
 - (38) COUNTER TOP
 - (39) COUNTER TOP
 - (40) COUNTER TOP
 - (41) COUNTER TOP
 - (42) COUNTER TOP
 - (43) COUNTER TOP
 - (44) COUNTER TOP
 - (45) COUNTER TOP
 - (46) COUNTER TOP
 - (47) COUNTER TOP
 - (48) COUNTER TOP
 - (49) COUNTER TOP
 - (50) COUNTER TOP
 - (51) COUNTER TOP
 - (52) COUNTER TOP
 - (53) COUNTER TOP
 - (54) COUNTER TOP
 - (55) COUNTER TOP
 - (56) COUNTER TOP
 - (57) COUNTER TOP
 - (58) COUNTER TOP
 - (59) COUNTER TOP
 - (60) COUNTER TOP
 - (61) COUNTER TOP
 - (62) COUNTER TOP
 - (63) COUNTER TOP
 - (64) COUNTER TOP
 - (65) COUNTER TOP
 - (66) COUNTER TOP
 - (67) COUNTER TOP
 - (68) COUNTER TOP
 - (69) COUNTER TOP
 - (70) COUNTER TOP
 - (71) COUNTER TOP
 - (72) COUNTER TOP
 - (73) COUNTER TOP
 - (74) COUNTER TOP
 - (75) COUNTER TOP
 - (76) COUNTER TOP
 - (77) COUNTER TOP
 - (78) COUNTER TOP
 - (79) COUNTER TOP
 - (80) COUNTER TOP
 - (81) COUNTER TOP
 - (82) COUNTER TOP
 - (83) COUNTER TOP
 - (84) COUNTER TOP
 - (85) COUNTER TOP
 - (86) COUNTER TOP
 - (87) COUNTER TOP
 - (88) COUNTER TOP
 - (89) COUNTER TOP
 - (90) COUNTER TOP
 - (91) COUNTER TOP
 - (92) COUNTER TOP
 - (93) COUNTER TOP
 - (94) COUNTER TOP
 - (95) COUNTER TOP
 - (96) COUNTER TOP
 - (97) COUNTER TOP
 - (98) COUNTER TOP
 - (99) COUNTER TOP
 - (100) COUNTER TOP
- APPLIANCES / FIXTURES**
- (101) ELECTRIC COOK TOP ABOVE
 - (102) GAS COOK TOP STOVE
 - (103) DROP-IN GAS STOVE W/ OVEN
 - (104) DROP-IN ELEC. STOVE W/ OVEN
 - (105) ELEC. OVEN / MICROWAVE COMBO
 - (106) FANHOOD, 1 MICROWAVE COMBO
 - (107) FAN / HOOD
 - (108) 3/4" W/ 3/4" SPACE BY HOSE END
 - (109) DISHWASHER
 - (110) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (111) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (112) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (113) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (114) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (115) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (116) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (117) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (118) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (119) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (120) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (121) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (122) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (123) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (124) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (125) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (126) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (127) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (128) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (129) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (130) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (131) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (132) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (133) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (134) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (135) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (136) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (137) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (138) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (139) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (140) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (141) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (142) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (143) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (144) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (145) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (146) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (147) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (148) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (149) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (150) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (151) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (152) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (153) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (154) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (155) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (156) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (157) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (158) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (159) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (160) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (161) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (162) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (163) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (164) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (165) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (166) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (167) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (168) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (169) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (170) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (171) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (172) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (173) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (174) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (175) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (176) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (177) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (178) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (179) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (180) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (181) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (182) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (183) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (184) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (185) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (186) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (187) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (188) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (189) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (190) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (191) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (192) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (193) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (194) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (195) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (196) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (197) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (198) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (199) 48 GAL. GAS SH ON 12" HIGH PLATFORM
 - (200) 48 GAL. GAS SH ON 12" HIGH PLATFORM
- DOORS / WINDOWS**
- (201) TYPED SAFETY GLASS
 - (202) SELF-CLOSING DOOR
- ELECTRICAL**
- (203) 125 AMP SERVICE PANEL
 - (204) 200 AMP SERVICE PANEL
 - (205) EXHAUST FAN
 - (206) EXHAUST FAN / LIGHT COPED

P 00-065



FRAMING NOTES

1. SHEATHING USED IN THE CONSTRUCTION OF SHEARWALLS TO BE 4" x 8" MINIMUM EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE THE MIN. WIDTH IS 24".
2. FRAMING MEMBERS OR BLOCKING REQUIRED AT ALL PANEL EDGES IN SHEARWALL.
3. SHEAR SHEETROCK IS USED AS BRACED WALL PANEL. ADJOINING PANEL EDGES MUST BE AT 24" STUDS. IF PANELS ARE MOUNTED HORIZONTALLY, ALL PANEL EDGES MUST HAVE 2x BLOCKING BETWEEN STUDS.

SHEARWALL SCHEDULE

(A) MIN. BRACED PANEL LENGTH OF 8'-0" MIN. 1/2" GYP. BOARD W/ 3d COOLER NAILS @ 1" O.C. PER '91 UBC SECT. 2320.3.3 METHOD 3. PANEL TO BE WITHIN 8'-0" OF END OF WALL LINE AND NOT MORE THAN 75' O.C. PER '91 UBC SECT. 2320.3.3

(B) 3/8" CDX ONE FACE WITH 8d COMMON NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD. BOT. PLATE NAIL @ 24" O.C. TO RAFT/1ST/BLKG

(C) 3/8" CDX ONE FACE WITH 8d COMMON NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD. BOT. PLATE NAIL @ 24" O.C. TO RAFT/1ST/BLKG

(D) 3/8" CDX ONE FACE WITH 8d COMMON NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD. BOT. PLATE NAIL @ 24" O.C. TO RAFT/1ST/BLKG

(E) 3/8" CDX ONE FACE WITH 8d COMMON NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD. BOT. PLATE NAIL @ 24" O.C. TO RAFT/1ST/BLKG

(F) 3/8" CDX ONE FACE WITH 8d COMMON NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD. BOT. PLATE NAIL @ 24" O.C. TO RAFT/1ST/BLKG

PLAN ENGINEER
 PACIFIC CONSULTING ENGINEERS
 JEFF HOFFMAN, P.E.
 2575 HOFFMAN BLVD.
 BELL AVE. STE. #143
 SACRAMENTO, CA
 958-54-1000

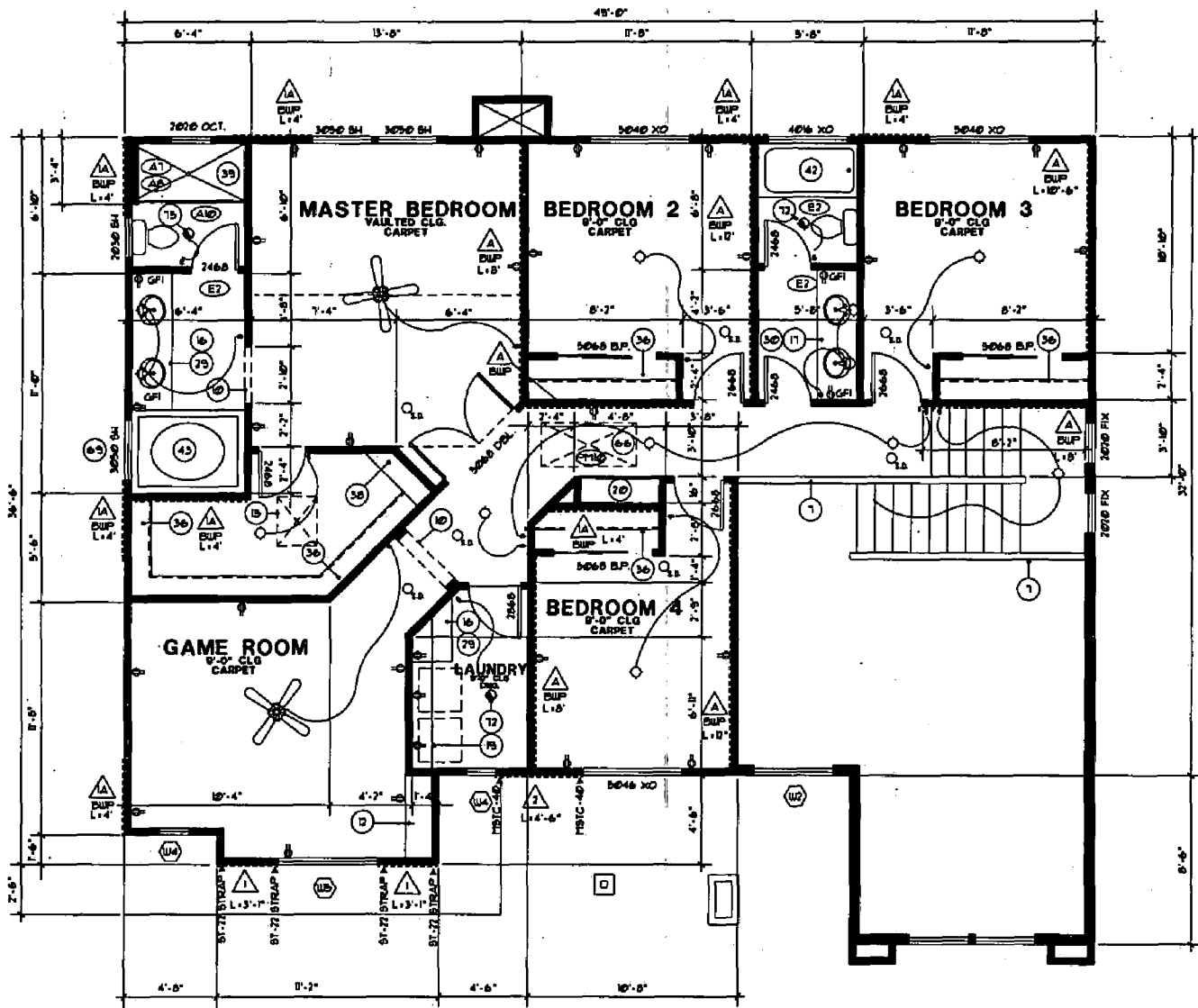
ATTENTION:

PLAN SET SUBMITTED FOR REVIEW AND APPROVED TO BE USED FOR CONSTRUCTION OF THIS PROJECT. ALL PLANS MUST BE APPROVED FOR CONSTRUCTION. IT IS THE USER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

SELECTED MATERIAL
 ALL MATERIALS TO BE USED IN THIS PROJECT SHALL BE APPROVED BY THE ARCHITECT PRIOR TO ORDERING. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

FLOOR PLAN KEYNOTES

- ROOM FINISHES**
- ① CARPET
 - ② 1" X 6" T&G
 - ③ CERAMIC TILE
 - ④ 3/4" TYPE "M" GYP. BD. AT OVERLAP
 - ⑤ 1 HOUR FIRE PROTECTION
 - ⑥ TILE MANDSCOT UP TO 5'
- FRAMING / STRUCTURE**
- ⑦ 3/4" HALF BALL BY CARP.
 - ⑧ 3/4" OAK BALL BY DALL 6" O.C.
 - ⑨ CANTILEVER COUNTER OVER 6" BALL
 - ⑩ 47" HIGH 6" WALL BY BAR-TOP
 - ⑪ 47" BALL BY GYP. BD. TOP + CAS BELOW
 - ⑫ ELLIPTIC ARCH BY RND. EDGES
 - ⑬ THICKENED ELLIPTIC ARCH BY RND. EDGES
 - ⑭ 36" HIGH INCH BY GYP. BD. DECK
 - ⑮ STEPPED PLANT SHELVE - SEE DETAILS
 - ⑯ 3" DEEP PLANT SHELVE
 - ⑰ 2" STEEL COLLARD
 - ⑱ 24" x 32" ATTIC ACCESS
 - ⑲ CABINETS / FIXTURES
- ⑳ 36" CABINET
 - ㉑ 30" CABINET
 - ㉒ ISLAND CABINET
 - ㉓ OVER HEAD CABINET
 - ㉔ 84" IN LINEN CABINET
 - ㉕ FULL HEIGHT CABINET
 - ㉖ BROOD CABINET
 - ㉗ FULL HEIGHT PAINTY CABINET
 - ㉘ PORCELA COUNTER TOP
 - ㉙ TILED COUNTER TOP
 - ㉚ OIL RUBED WOOD T. TOP
 - ㉛ FINISHED WOOD TOP
 - ㉜ PAINTED WOOD TOP
 - ㉝ 2" HIGH SEAT
 - ㉞ PREMANUFACTURED MARBLE / MARTH
 - ㉟ CUSTOM MARBLE MARTH
 - ⓫ 1 SHELF / 1 POLE
 - ⓬ 1 SHELF / 2 POLE
 - ⓭ 3 SHELVES
 - ⓮ 5" x 12" PANTRY SHELVES
 - ⓯ 37" x 34" SHOWER BY GLASS ENCL.
 - ⓰ TILE SHOWER BY GLASS ENCL.
 - ⓱ 36" x 60" P.A. TUB BY POLE
 - ⓲ 47" x 60" OVAL TUB BY APRON
 - ⓳ DROPP-IN LAVATORY
 - ⓴ FOLDED-IN LAVATORY
 - ⓵ DROPP-IN LAVATORY
 - ⓶ PEDISTAL SINK
 - ⓷ STANDARD TOILET
 - ⓸ LOW PROFILE TOILET
 - ⓹ DOUBLE BANK BY ELEC. O.D.
 - ⓺ SILL LEVEL D. BANK BY ELEC. O.D.
 - ⓻ LINENRY SINK
 - ⓼ BATH SINK
- APPLIANCES / FIXTURES**
- ⓽ ELECTRIC COOK TOP STOVE
 - ⓾ DROPP-IN GAS STOVE BY OVEN
 - ⓿ DROPP-IN ELEC. STOVE BY OVEN
 - ⓠ ELEC. OVEN + MICROWAVE COMBO.
 - ⓡ KITCHENHOOD + MICROWAVE COMBO.
 - ⓳ PAN + 140" HOOD
 - ⓴ REFRIG. SPACE BY HOSE BID
 - ⓵ DISHWASHER
 - ⓶ TRASH COMPACTOR
 - ⓷ 48 GAL. GAS SH ON 8" HIGH PLATFORM
 - ⓸ 60 GAL. GAS SH ON 8" HIGH PLATFORM
 - ⓹ 30 GAL. ELEC. SH IN ATTIC
 - ⓺ 36" LG. BLD. APP. ZERO-CL. F.P. GL. DOORS
 - ⓻ 47" LG. BLD. APP. ZERO-CL. F.P. GL. DOORS
 - ⓼ 24" LG. BLD. APP. 3" BEDDED DIV. GAS F.P.
 - ⓽ GAS RANGE COOKTOP OPERATOR
 - ⓾ FAN IN ATTIC
- DOORS / WINDOWS**
- ⓿ REFERRED GLASS
 - ⓠ SELF CLOSING DOOR
 - ⓲ CROWN / FANS - SEE ELEV.
- ELECTRICAL**
- ⓴ 75 AMP SERVICE PANEL
 - ⓶ 100 AMP SERVICE PANEL
 - ⓸ EQUIPMENT PAN
 - ⓺ EXHAUST FAN / LIGHT COMBO



- Ⓜ A = 1026 FIX W/ ROUND TOP
- Ⓜ B = 1026 FIX
- Ⓜ C = 1026 FIX W/ ELLIPSE TOP
- Ⓜ D = 5040 XO W/ 5026 1/2 RND 8TC
- Ⓜ E = 5050 XO
- Ⓜ F = 5050 XO W/ 5046 ELLIPSE 8TC

P 090-00 P

ATTENTION:
 PLEASE NOTE: THESE PLANS ARE THE PROPERTY OF JMC HOMES CONSTRUCTION INC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THESE PLANS IS STRICTLY PROHIBITED. THE USER OF THESE PLANS MAY BE SUBJECT TO PROSECUTION TO THE FULLEST EXTENT OF THE LAW.

ELEVATION KEYNOTES

- ① PRE-ENGINEERED ROOF TRUSS SPACED @24" O.C.
- ② 1/2" CDX SOLID SHEATHING WITH BOLD W/ 1/2" CDX AT OVERHANGS
- ③ CONC. ROOF TILE OVER 30 LBS. FELT & REDWOOD CLEATS
- ④ 2 X 8 BARGE RAFTER @ GABLES
- ⑤ 1 COAT STUCCO W/ WIRE LATH GABITE RSD. STUCCO BO. W/ BAR PONG.
- ⑥ STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- ⑦ 2 X 8 STYROFOAM
- ⑧ CUT ARCH INTO STYROFOAM BACKING AND USE 1/4 TRIM FOR SILL
- ⑨ 2 X 10 STYROFOAM BAND
- ⑩ SPARK ARRESTOR AT CHIMNEY STACK
- ⑪ G.I. GUTTERS OVER 2 X 8 FACIA BOARDS
- ⑫ MASONRY VENEER OVER PLYWOOD SHEATHING
- ⑬ FACIA GUTTERS WITH DOWNSPOUTS
- ⑭ EAVES VENT PER UDC REQUIREMENTS
- ⑮ 2" OVERHANGS, 2" GABLES AND RAKES
- ⑯ BOFFIT MATERIAL TO BE STUCCO
- ⑰ FAUX CLAY PIPE ASSY
- ⑱ SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE
- ⑲ BUILD-OUT W/ 2" LAYER OF STYROFOAM WRAP CORNERS MIN 24"
- ⑳ BUILD-OUT MASONRY BACKING MIN 2" FROM FRAMING
- Ⓐ ALL WINDOW HEADER HEIGHTS AT SIDES AND REAR TO BE 8'-0" UDN

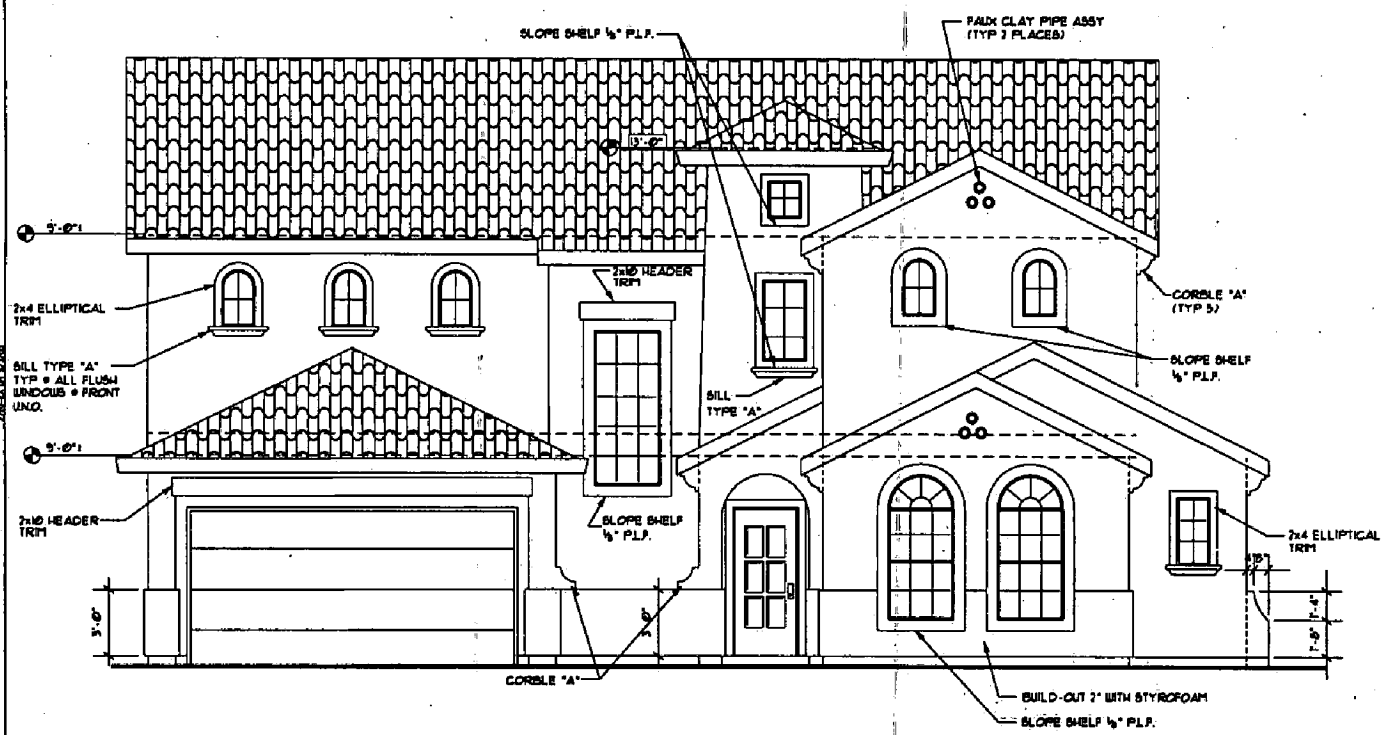
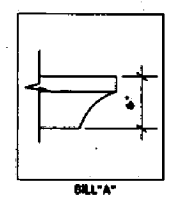
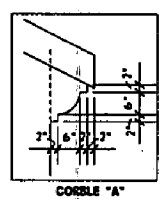
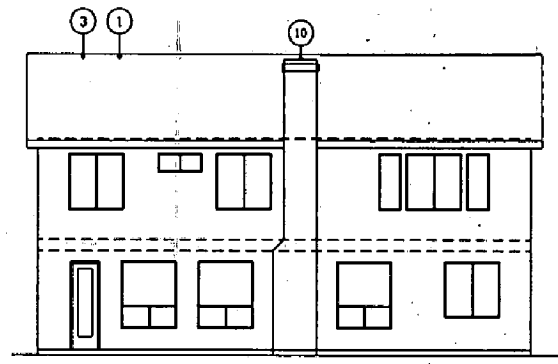
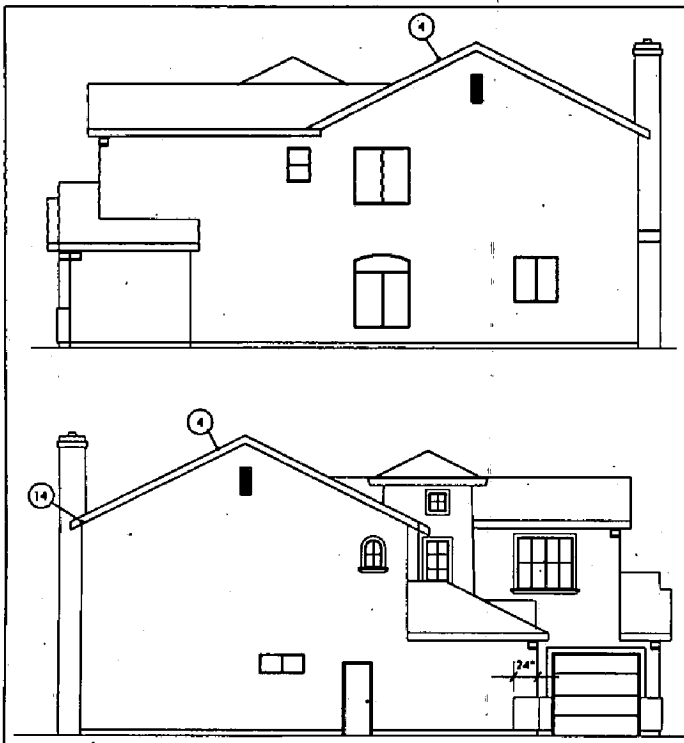


Exhibit 11(a): Plan 5 - 2791, Elevations

ELEVATION KEYNOTES

- ① PRE-ENGINEERED ROOF TRUSS 8' SPACED #24" O.C.
- ② 1/2" CDX SOLID SHEATHING WITH SOLID 1/4" CDX AT OVERHANGS
- ③ CONC. ROOF TILE OVER 3/8" FELT & REDWOOD CLEATS
- ④ 2 X 8 BARGE RAFTER @ GABLES
- ⑤ 1 COAT STUCCO W/RE LATH OVER WHITE RGD. STUCCO BD. W/BAR FING.
- ⑥ STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- ⑦ 2 X 8 STYROFOAM
- ⑧ CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR BILL
- ⑨ 2 X 10 STYROFOAM BAND
- ⑩ SPARK ARRESTOR AT CHIMNEY STACK
- ⑪ GUTTERS OVER 2 X 8 FACIA BOARDS
- ⑫ MASONRY VENEER OVER FLYWOOD SHEATHING
- ⑬ FACIA GUTTERS WITH DOWNSPOUTS
- ⑭ EAVES VENT PER UBC REQUIREMENTS
- ⑮ 2" OVERHANGS, 2" GABLES AND RAKES
- ⑯ BOFFIT MATERIAL TO BE STUCCO
- ⑰ FALX CLAY PIPE ASSY
- ⑱ SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE
- ⑲ BUILD-OUT 1/2" LAYER OF STYROFOAM, WRAP CORNERS MIN 24"
- ⑳ BUILD-OUT MASONRY BACKING MIN 2" FROM FRAMING
- Ⓐ ALL WINDOW HEADER HEIGHTS AT SIDES AND REAR TO BE 0'-0" MIN.

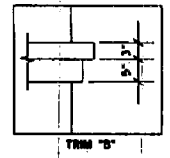
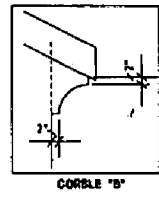
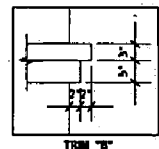
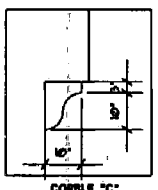
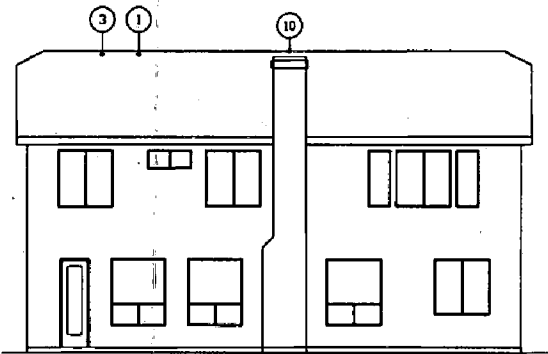
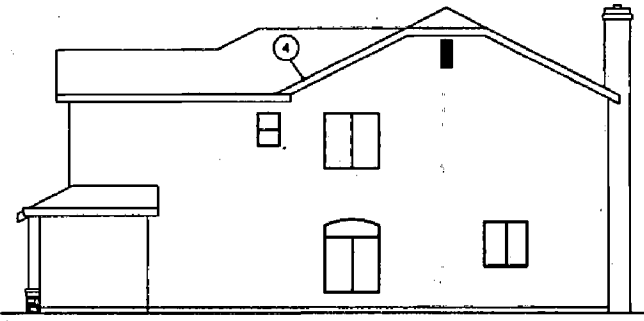
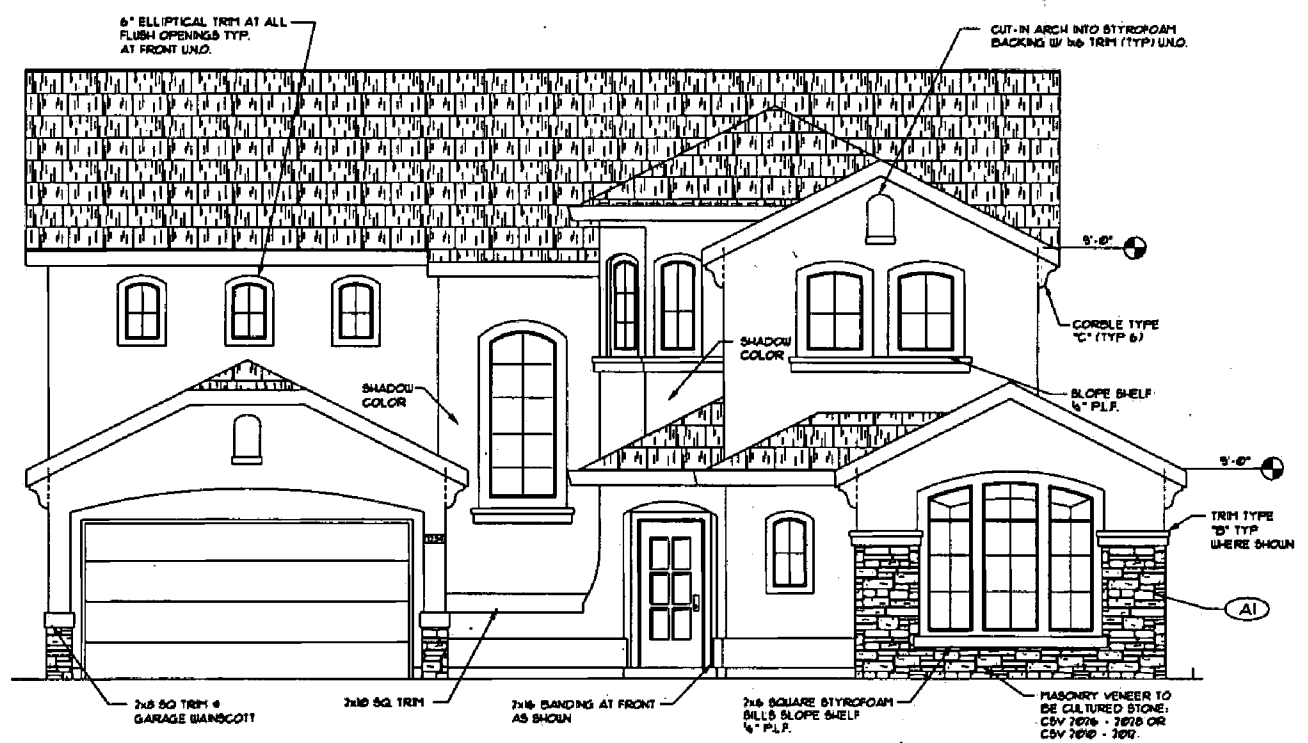
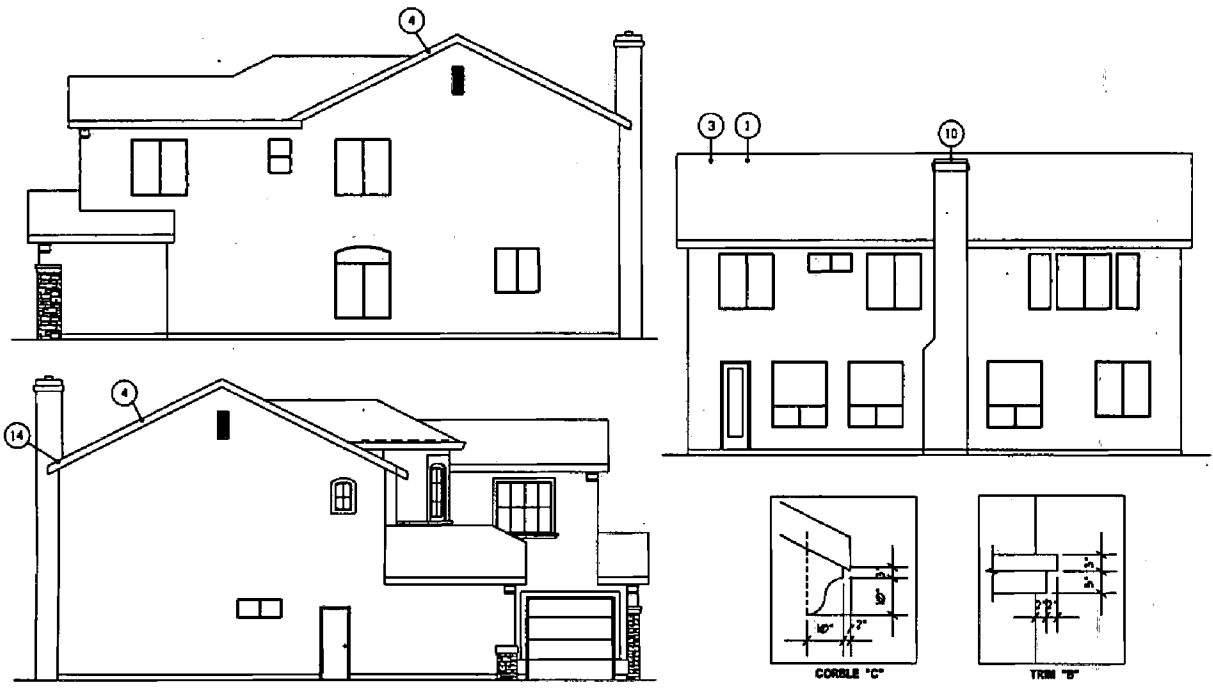
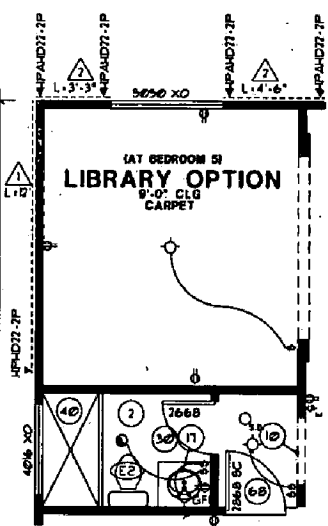
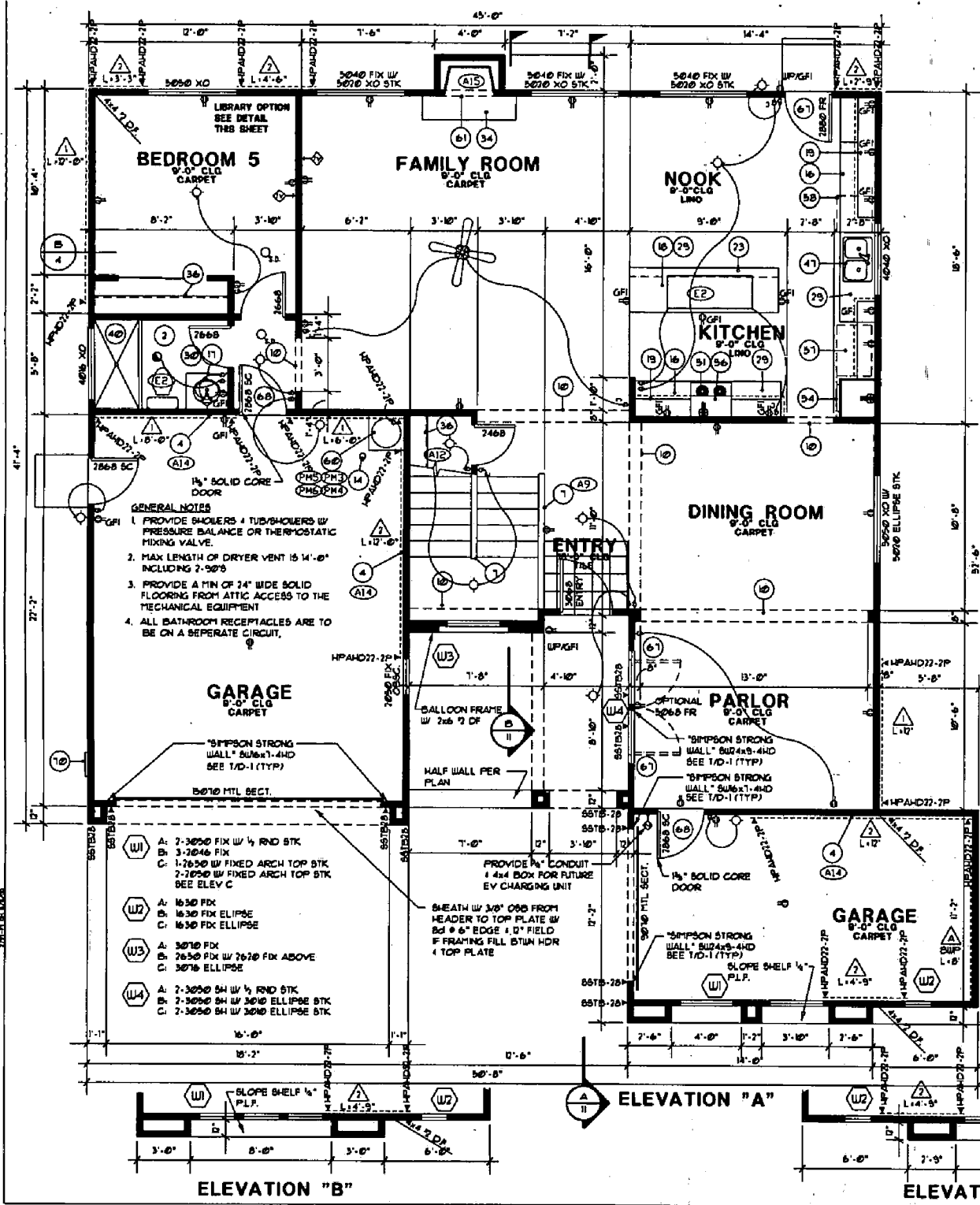


Exhibit 11(b): Plan 5 - 2791, Elevations.

ELEVATION KEYNOTES

- ① PRE-ENGINEERED ROOF TRUSSES SPACED @24" O.C.
- ② 1/2" CDX SOLID SHEATHING WITH SOLID 1/4" CDX AT OVERHANGS
- ③ CONC. ROOF TILE OVER 30 LB. FELT + REDWOOD CLEATS
- ④ 2 X 6 BARGE RAFTER @ GABLES
- ⑤ 1 COAT STUCCO OVER LATH OR GATE RGD. STUCCO BO. W/BAR FING.
- ⑥ STYROFOAM PLANT-ON FEATURE - SEE DETAILS WHERE APPLICABLE
- ⑦ 2 X 6 STYROFOAM
- ⑧ CUT ARCH INTO STYROFOAM BACKING AND USE 1/4" TRIM FOR SILL
- ⑨ 2 X 10 STYROFOAM BAND
- ⑩ SPARK ARRESTOR AT CHIMNEY STACK
- ⑪ G.I. GUTTERS OVER 2 X 6 FACIA BOARDS
- ⑫ MASONRY VENEER OVER PLYWOOD SHEATHING
- ⑬ FACIA GUTTERS WITH DOWNSPOUTS
- ⑭ EAVES VENT PER UDC REQUIREMENTS
- ⑮ 0" OVERHANGS, 0" GABLES AND RAKES
- ⑯ SOFFIT MATERIAL TO BE STUCCO
- ⑰ FAUX CLAY PIPE ASBY
- ⑱ SLOPE SHELF 1/8" P.L.F. FOR DRAINAGE
- ⑲ BUILD-OUT W/ 2" LAYER OF STYROFOAM. WRAP CORNERS MIN 14"
- ⑳ BUILD-OUT MASONRY BACKING MIN 2" FROM FRAMING
- Ⓐ ALL WINDOW HEADER HEIGHTS AT SIDES AND REAR TO BE 8'-0" MAX.





FLOOR PLAN KEYNOTES

- ROOM FINISHES:**
- ① CARPET
 - ② LINOLEUM
 - ③ CERAMIC TILE
 - ④ 3/8" TYPE 20 GYP. BD. AT DUELLGAR. ALL HALLS AND CLOSETS FRAMING / STRUCTURE
 - ⑤ 3/4" WALL WALL W/ FINISHED WOOD CAP
 - ⑥ 3/4" WALL WALL W/ SHEATHING DECK
 - ⑦ 1/2" GYP. BOARD W/ WALL @ 4' O.C.
 - ⑧ 1/2" HIGH 6" WALL W/ GYP. BOARD
 - ⑨ 1/2" WALL W/ GYP. BOARD TOP 1' CAS. BELOW ELLIPTIC ARCH
 - ⑩ THICKENED ELLIPTIC ARCH W/ INCL. EDGERS
 - ⑪ 36" HIGH NICHE W/ GYP. BOARD DECK
 - ⑫ 36" HIGH NICHE W/ ARCH TOP
 - ⑬ 4" STEEL COLLARD DET. IN SLAB
 - ⑭ 24"x36" ATTIC ACCESS BY 36" HEAD CLR

- CABINETS / FIXTURES:**
- ① 36" HIGH CABINET
 - ② 37" HIGH CABINET
 - ③ ISLAND CABINET
 - ④ OVER HEAD CABINET
 - ⑤ 84" IN LINEN CABINET
 - ⑥ FULL HEIGHT CABINET
 - ⑦ LAYE SUBAN (ROTARY SHELF)
 - ⑧ COUNTERLEVER COUNTER TOP 2"
 - ⑨ NUTCH CABINET
 - ⑩ FILE DRAWERS
 - ⑪ BENCHY CABINET
 - ⑫ FULL HEIGHT PANTRY CABINET
 - ⑬ KITCHEN COUNTER TOP
 - ⑭ TILED COUNTER TOP
 - ⑮ CULTURED MARBLE TOP
 - ⑯ FINISHED WOOD TOP
 - ⑰ PAINTED WOOD TOP
 - ⑱ SANDOZ SEAT
 - ⑲ PREMANUFACTURED MARBLE + HEARTH
 - ⑳ CUSTOM MARBLE HEARTH
 - ㉑ 1 SHELF / 1 POLE
 - ㉒ 1 SHELF / 2 POLE

- FRAMING NOTES:**
1. SHEATHING USED IN THE CONSTRUCTION OF SHEAR WALL TO BE 4x8 MINIMUM, EXCEPT AT BOUNDARIES OR AT CHANGES IN FRAMING WHERE THE MINIMUM WIDTH IS TO BE 24" TYP.
 2. FRAMING MEMBERS OR BLOCKING REQUIRED AT ALL PANEL EDGES IN SHEAR WALL.
 3. ABOVE VALUES ARE BASED ON 16" O.C. STUD SPACING WITH SHEATHING INSTALLED LONG DIMENSION PERPENDICULAR TO FRAMING.
 4. ALL ANCHOR BOLTS IN ALL WALLS INCLUDING SHEAR WALLS REQUIRE 7/8"x3/8" THK. PLATE WASHERS.
 5. MINIMUM OF 7 ANCHORS PER SHEAR WALL.

- SHEARWALL SCHEDULE:**
- ① 1/2" GYP. BD. SHEATHING, NAIL W/ 5d COOLERY WALLBOARD @ 1" O.C. PER 51 USC SECT. 232013 BUP METHOD 5. PANEL TO BE WITHIN 8" OF END OF WALL LINE AND NOT MORE THAN 25"
 - ② 1/2" OX. W/ 2d COTTON @ 6" O.C. EDGE AND 12" O.C. FIELD, MIN. PANEL WIDTH TO BE 4'-0". PANEL TO BE WITHIN 8" OF WALL LINE AND NOT MORE THAN 25" O.C. PER 51 USC SECT. 232013 BRACING
 - ③ 3/8" APA RATED SHEATHING (OSB OR PLY) NAILED W/ 5d @ 6" O.C. EDGE AND 12" FIELD A35ALP4 @ 24" O.C. TO RAFTER OR BULK. - MIN 2 PER PANEL. ANCHOR BOLTS: 1/2" DIA 16d A.B. @ 48" O.C. (MIN 2 PER PANEL). BOT PLATE NAILING: 12d 16d COMMON @ 12" O.C.
 - ④ 3/8" APA RATED SHEATHING (OSB OR PLY) NAILED W/ 5d @ 4" O.C. EDGE AND 12" FIELD A35ALP4 @ 24" O.C. TO RAFTER OR BULK. - MIN 2 PER PANEL. ANCHOR BOLTS: 5/8" DIA 16d A.B. @ 16" O.C. (MIN 2 PER PANEL)

- APPLIANCES / HOOK-UPS:**
- ① ELECTRIC COOK TOP STOVE
 - ② GAS COOK TOP STOVE
 - ③ DROP-IN GAS STOVE W/ OVEN
 - ④ DROP-IN ELEC. STOVE W/ OVEN
 - ⑤ ELEC. OVEN + PROGRAMMABLE CONDO.
 - ⑥ FAN/hood + PROGRAMMABLE CONDO.
 - ⑦ FAN + HOOD
 - ⑧ 3/8" REFRIG. SPACE W/ HOSE END DISHWASHER
 - ⑨ 48" GAL. GAS BK ON 8" HIGH PLATFORM
 - ⑩ 50" GAL. GAS BK ON 8" HIGH PLATFORM
 - ⑪ 36" 1/2" OX. APP. ZERO-CL. FR. GL. DOORS
 - ⑫ 42" 1/2" OX. APP. ZERO-CL. FR. GL. DOORS
 - ⑬ 36" 1/2" OX. APP. 2-SIDED ZERO-CL. FR. W/ GLASS DOORS
 - ⑭ 24" 1/2" OX. APP. 3-SIDED D.V. GAS FP. GARAGE DOOR OPENER
 - ⑮ FAN IN ATTIC
 - ⑯ DOORS / WINDOWS

ELECTRICAL:

- ① 125 AMP SERVICE PANEL
- ② 200 AMP SERVICE PANEL
- ③ EXHAUST FAN
- ④ EXHAUST FAN / LIGHT CONDO

ATTENTION:

PLAN SET STARTS TO SET ARE PROVIDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL PLANS USED BY CONTRACTORS OR FIELD PERSONNEL MUST BE STAMPED APPROVED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE USER OF THESE PLANS TO OBTAIN ALL NECESSARY PERMITS AND TO SECURE ALL NECESSARY APPROVED CONSTRUCTION PLANS WHEN CONTRACTS OR CONSTRUCTION TO PROCEED. THE USER IS NOT RESPONSIBLE FOR ERRORS MADE DUE TO USE OF THESE PLANS NOT APPROVED FOR CONSTRUCTION.

THESE PLANS AND DESIGNS ARE THE PROPERTY OF JMC HOMES CONSTRUCTION INC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THESE PLANS IS STRICTLY PROHIBITED. SAID USE OF THESE PLANS MAY RESULT IN PROSECUTION TO THE FULLEST EXTENT OF THE LAW.



RIGHTED MATERIAL

THIS PLAN SET STARTS TO SET ARE PROVIDED TO BE USED FOR CONSTRUCTION PURPOSES. ALL PLANS USED BY CONTRACTORS OR FIELD PERSONNEL MUST BE STAMPED APPROVED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE USER OF THESE PLANS TO OBTAIN ALL NECESSARY PERMITS AND TO SECURE ALL NECESSARY APPROVED CONSTRUCTION PLANS WHEN CONTRACTS OR CONSTRUCTION TO PROCEED. THE USER IS NOT RESPONSIBLE FOR ERRORS MADE DUE TO USE OF THESE PLANS NOT APPROVED FOR CONSTRUCTION.

Exhibit 1(d): Plan 5-2791, Floor Plan

GATEWAY WEST

FLOOR PLAN KEYNOTES

- ROOM FINISHES**
- ① CARPET
 - ② LINOLEUM
 - ③ CERAMIC TILE
 - ④ 3/4" TYPE "T" GYP. ED. AT CORNERS, ALL WALLS AND CEILING
 - ⑤ TRIMMING / STRUCTURE

- ⑥ 3/4" HALF BALL BY FINISHED WOOD CAP
- ⑦ 3/4" HALF BALL BY SHEETROCK DECK
- ⑧ 3/4" OAK RAILING BY BAL = 4" O.C.
- ⑨ 4" HIGH 6" BALL BY BAR-TOP
- ⑩ 4" BALL BY GYP. ED. TOP - CAB BELOW ELLIPTIC ARCH
- ⑪ THICKENED ELLIPTIC ARCH BY RNO. EDDIES
- ⑫ 3/4" HIGH MOULD BY GYP. ED. DECK
- ⑬ 3/4" HIGH MOULD BY ARCH TOP
- ⑭ 7" STEEL SULLARD SET IN SLAB
- ⑮ 1/4" ATTIC ACCESS BY FIN 3/4" HEAD CLR CABINETS / FIXTURES

- ⑯ 3/4" HIGH CARPET
- ⑰ 3/4" HIGH CARPET
- ⑱ ISLAND CABINET
- ⑲ OVER HEAD CABINET
- ⑳ SLIP-IN LINEN CABINET
- ㉑ FULL HEIGHT CABINET
- ㉒ LAZY SUSAN (ROTARY SHELF)
- ㉓ CANTILEVER COUNTER TOP BY
- ㉔ HATCH CABINET
- ㉕ PLEI DRAGERS
- ㉖ FULL HEIGHT CABINET
- ㉗ FULL HEIGHT PRIORITY CABINET
- ㉘ PORTUGA COUNTER TOP
- ㉙ TILED COUNTER TOP
- ㉚ CULTURED MARBLE TOP
- ㉛ FINISHED WOOD TOP
- ㉜ PAINTED WOOD TOP
- ㉝ UNDOES SEAT
- ㉞ PREPARED WOOD MANTLE + HEARTH
- ㉟ CUSTOM MANTLE ASSEMBLY
- ⓫ 1" SHELF / POLE
- ⓬ 1" SHELF / POLE
- ⓭ 3" SHELF

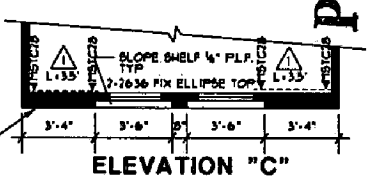
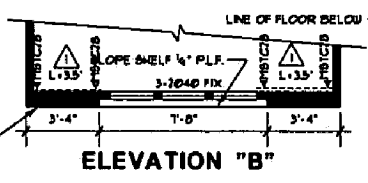
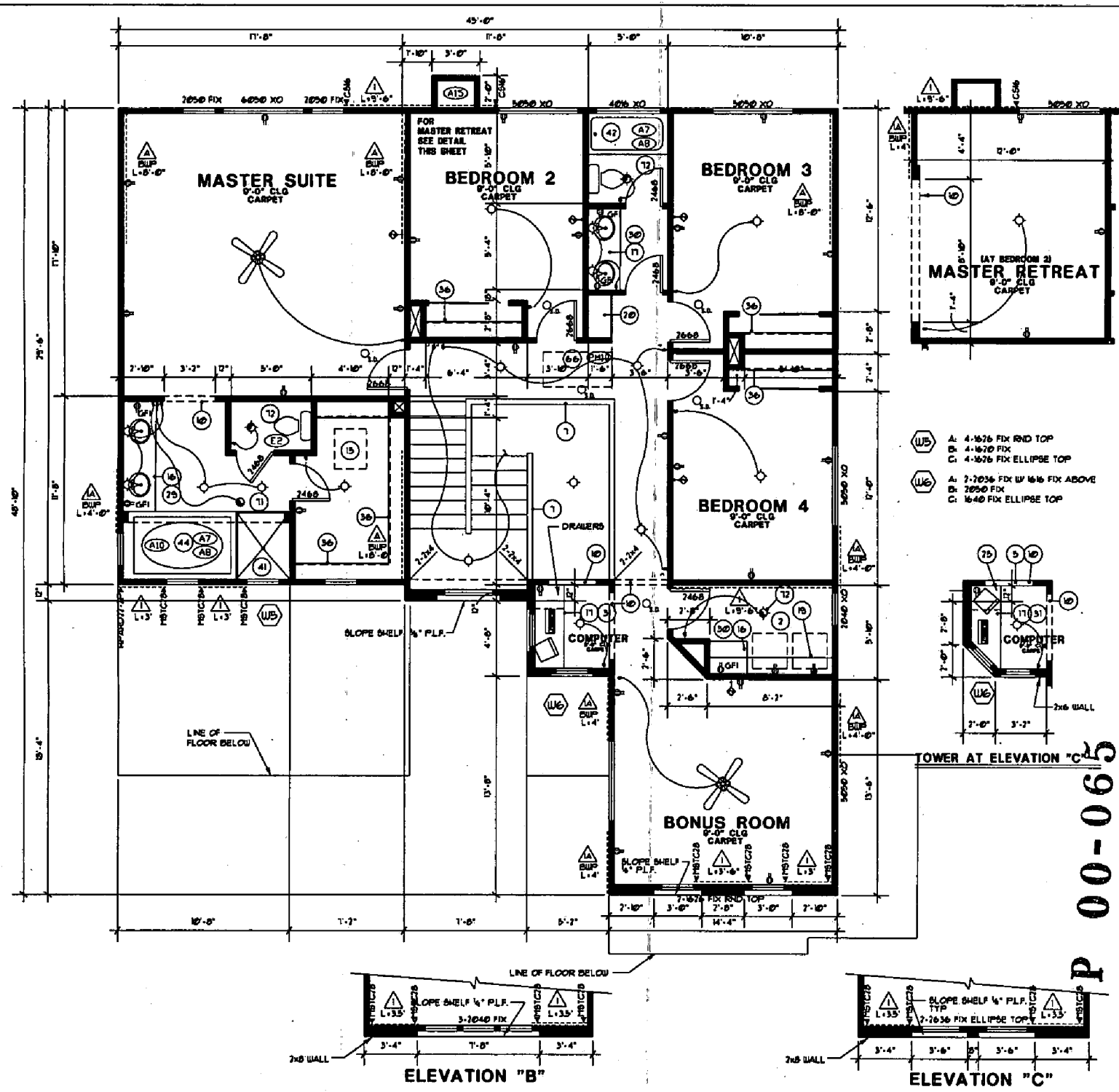
- ⓮ 3/4" x 3/4" BUCKER PINK CULTURED MARBLE SIDES + TYP. GLASS ENCL.
- ⓯ 3/4" x 3/4" BUCKER PINK CULTURED MARBLE SIDES + TYP. GLASS ENCL.
- ⓰ TILED BAGGER
- ⓱ 3/4" x 3/4" STEEL TUB BY POLE
- ⓲ 3/4" x 3/4" OVAL TUB BY APPROX
- ⓳ 3/4" x 3/4" OVAL TUB OVER TILE DECK
- ⓴ 3/4" x 3/4" OVAL TUB BY TILE DECK
- ⓵ PEDESTAL SINK
- ⓶ DOUBLE SINK BY ELEC. G.D.
- ⓷ LAUNDRY SINK
- ⓸ BAR SINK

- APPLIANCES / FIXTURES**
- Ⓣ ELECTRIC COOK TOP STOVE
 - Ⓤ GAS COOK TOP STOVE
 - Ⓥ DROP-IN GAS STOVE BY OVEN
 - Ⓦ DROP-IN ELEC. STOVE BY OVEN
 - Ⓧ ELEC. OVEN + MICROWAVE COMBO
 - Ⓨ FAN-GOOD + MICROWAVE COMBO
 - Ⓩ SINK + SPOON
 - ⓐ 3/4" RETINA SPACE BY HOOD DISCHASER
 - ⓑ 3/4" GAS SH ON 3/4" HIGH PLATFORM
 - ⓓ 3/4" GAS SH ON 3/4" HIGH PLATFORM
 - ⓔ 3/4" C.S.D. APP. ZERO-CL. P.P. GL. DOORS
 - ⓕ 3/4" C.S.D. APP. ZERO-CL. P.P. GL. DOORS
 - ⓖ 3/4" C.S.D. APP. 1-SPEED ZERO-CL. P.P. BY GLASS DOORS
 - ⓗ 3/4" C.S.D. APP. 3-SPEED D.V. GAS F.P.
 - ⓘ GARAGE DOOR OPENER
 - ⓫ FALL IN ATTIC
 - ⓬ DOORS / WINDOWS

- ⓭ TEMPERED SAFETY GLASS
- ⓮ SELF-CLOSING DOOR
- ⓯ ELECTRICAL
- ⓰ 3/4" APP. SERVICE PANEL
- ⓱ 3/4" APP. SERVICE PANEL
- ⓲ EXHAUST FAN
- ⓳ EXHAUST FAN / LIGHT CORBO

ATTENTION:

PLAN SET FORWARDED TO YOU BY JMC HOMES IS PROVIDED TO YOU FOR CONSTRUCTION PURPOSES. ALL PLANS, SPECIFICATIONS, AND NOTES ARE THE PROPERTY OF JMC HOMES. NO PART OF THIS PLAN SET IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED USE OR REPRODUCTION OF THESE PLANS IS STRICTLY PROHIBITED. SAID USE OF THESE PLANS MAY RESULT IN PROSECUTION TO THE FULLEST EXTENT OF THE LAW.

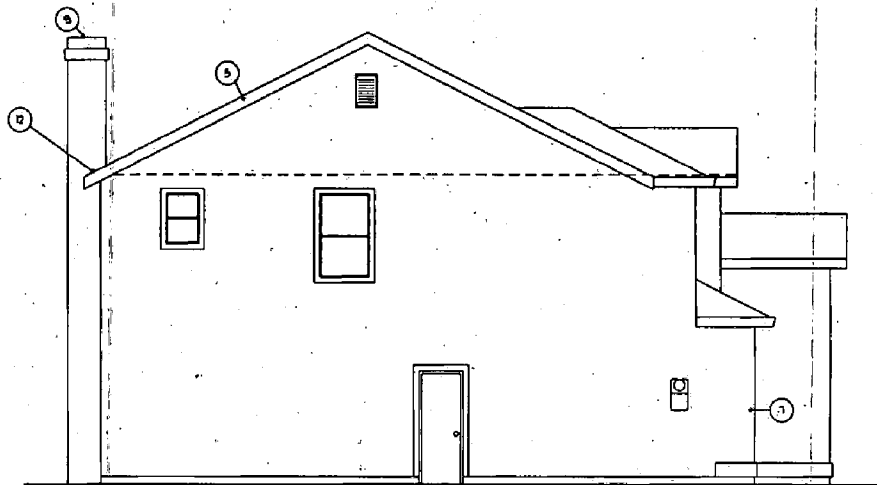


90-00 P

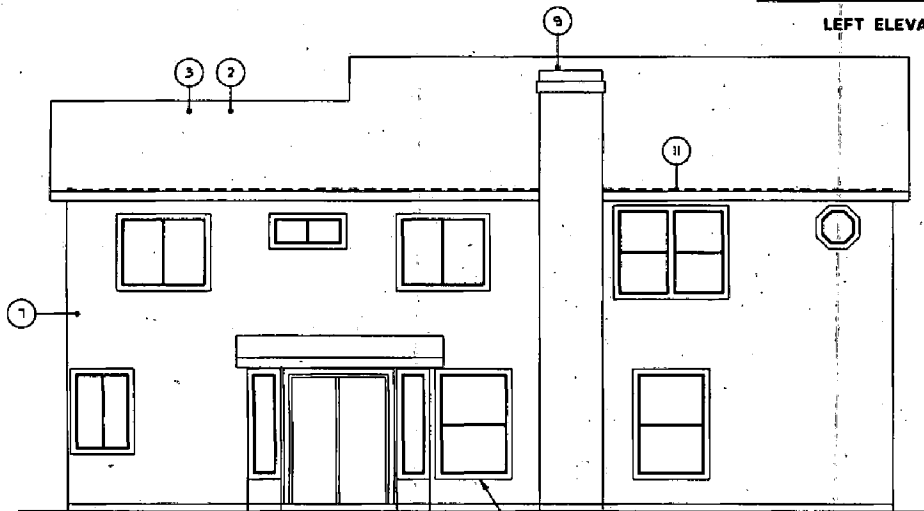
P00 065
RECEIVED

JUN 07 2000

PLANNING SERVICES



LEFT ELEVATION

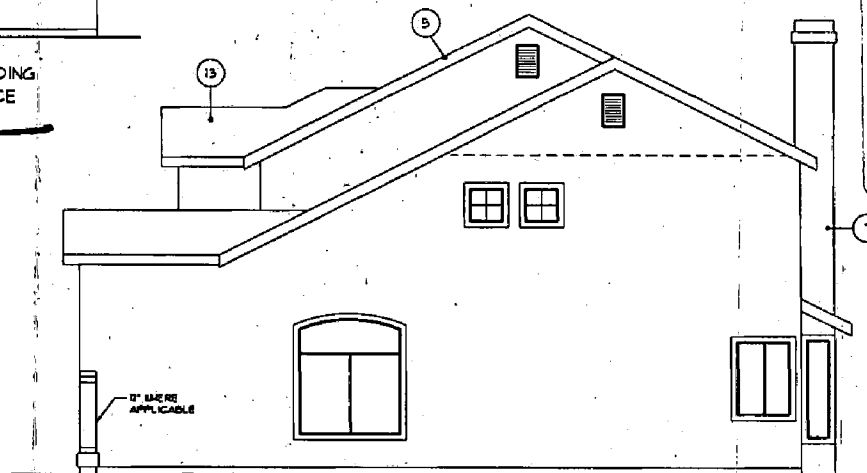


REAR ELEVATION

PLACE 4" TRIM WHEN BUILDING
FACES STREET, OPEN SPACE
OR SCHOOL (TYP)

SECTIONS & ELEVATIONS KEYNOTES

- 1 PRE-ENGINEERED ROOF TRUSS SYSTEM SPACED 24" O.C.
- 2 1/2" CDX BOLD ROOF SHEATHING W/ V-RUSTIC 4 OVERLAPS
- 3 CONC. ROOF TILE OVER 30" FELT + REDWOOD GLEATS
- 4 2x8 BARGE RAFTERS AT GABLES
- 5 ONE COAT STUCCO W/ WIRE LATH O/ WHITE RIGID STUCCO BOARD W/BARRIER FACING
- 6 SPARK ARRESTOR AT FIREPLACE
- 7 FASCIA GUTTERS WITH DOWNSPOUTS
- 8 RAFTER VENTS AT BLOCK LOCATIONS
- 9 0" OVERHANGS AND 0" GABLES AND RAKES ELEV "A" / "C"
- 10 24" OVERHANGS AND 14" GABLES AND RAKES ELEV "B"
- 11 SOFFIT MATERIAL TO BE 3/8" EXTERIOR PLYWOOD OR STUCCO
- 12 R-38 BLOWN INSULATION IN CEILING
- 13 R-13 BATT INSULATION IN EXTERIOR WALLS
- 14 1/2" SHEETROCK AT WALLS AND CEILING
- 15 4" THICK CONCRETE SLAB
- 16 2x4 STUDS SPACED 16" O.C. WALL FRAMING



RIGHT ELEVATION

SEMOR-HOMES
Johannes Construction, Inc.
CALIFORNIA, U.S.A. 92502-2

Exhibit 12: Typical Design
Enhancements for Visible Elevations

PLA

RIVER WEST INVESTMENTS

7700 College Town Drive, Suite 215 - Sacramento, CA 95826
(916) 379-0955 • (916) 379-0915 fax • www.riverwestinvestments.com

March 31, 2000

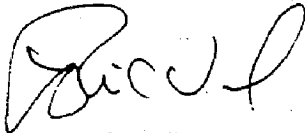
Sam Haymart
JMC Homes
1830 Vernon Street, Suite 9
Roseville, CA 95678-6309

Dear Sam,

The Gateway West Design Review Committee (GWDRC) has approved JMC Homes design plans #1860, 1913, 2128, 2332, 2653 and 2791 for use in Gateway West Village 1 and 3.

If there are any questions or additional information is needed please do not hesitate to call me at (916) 379-0955.

Sincerely,



Brian C. Vail
President

P 00-065

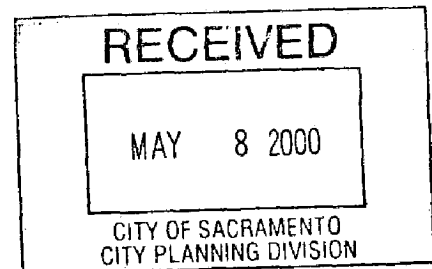


Exhibit 14 - Signed Letter of Agreement

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD
LETTER OF AGREEMENT**

P00-065: JMC HOMES – GATEWAY WEST VILLAGES 1 & 3

PROJECT NAME/FILE #: JMC Homes – Gateway West
Village 3 and a portion of Village 1
(88 units total), P00-065

ASSESSOR'S PARCEL NUMBER(S): 225-1160-004 thru -009
225-1170-004 and -072 thru -102
225-1180-001 thru -006 and -041 thru -042
225-1300-001 thru -042

ZONING: R-1/R-1A-PUD

APPLICANT'S NAME/ADDRESS: JMC Homes (Daryle Hassler)
1830 Vernon Street, #9, Roseville, CA 95678
(916) 969-2842 ext. 233; fax (916) 782-8903

I, Daryle Hassler Architectural Dept. (please print and include title), agree to amend the project application, P00-065, to incorporate the attached PDSP Conditions of Approval dated June 28, 2000.

I acknowledge that this project, P00-065, is subject to these PDSP Conditions of Approval. These PDSP Conditions of Approval will establish responsibilities for the monitoring of my project by various City Departments, and by other public agencies under the terms agreed upon in the PDSP Conditions of Approval. I understand that the PDSP Conditions of Approval for my project may require the expenditure of owner/developer funds where necessary to comply with the provisions of said PDSP Conditions of Approval.


Signature

Architectural Dept.
Title

6-29-00
Date



SACRAMENTO CITY PLANNING DIVISION

1231 I Street, Room 200; Sacramento, CA 95814

(916) 264-5381

Application taken by: Monica May, May 8, 2000

Project Location: Northeast of the intersection of Saint Hilarion Blvd. and Stemmler Dr. and to the east of the intersection of Stemmler Dr. and Flora Springs Way.

Assessor's Parcel No.: 225-1160-004 thru 009; 225-1170-004 and -072 thru -102; 225-1180-001 thru -006 and -041 thru -042; 225-1300-001 thru -042

Owner: JMC Homes

Address: 1830 Vernon Street, #9, Roseville, CA. 95678

Applicant: JMC Homes (Daryle Hassler)

Address: 1830 Vernon Street, #9, Roseville, CA. 95678

REQUESTED ENTITLEMENT(S): Planning Director's Special Permit to allow development of 88 residential units of 88 lots within the Gateway West PUD, Gateway West Village Three and a portion of Village One.

ACTIONS TAKEN: Approved by the Planning Director on July 10, 2000

Sent to Applicant: September 15, 2000
Date

By: 
Nel Penney, Secretary

EXPIRATION

TENTATIVE MAP: Failure to record a final map within two years of the date of approval or conditional approval of a tentative map shall terminate all proceedings.

SPECIAL PERMIT: A use for which a Special Permit is granted must be established within two years after such permit is issued. If such use is not so established, the Special Permit shall be deemed to have expired.

VARIANCE: Any variance involving an action which requires a building permit shall expire at the end of two years unless a building permit is obtained within the variance term.

NOTE: Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions taken on rezonings, special permits and variances.

Original to Applicant
Copies: File & Permit Book

P00-065