

P04-117 – Stone Gallery Buildings

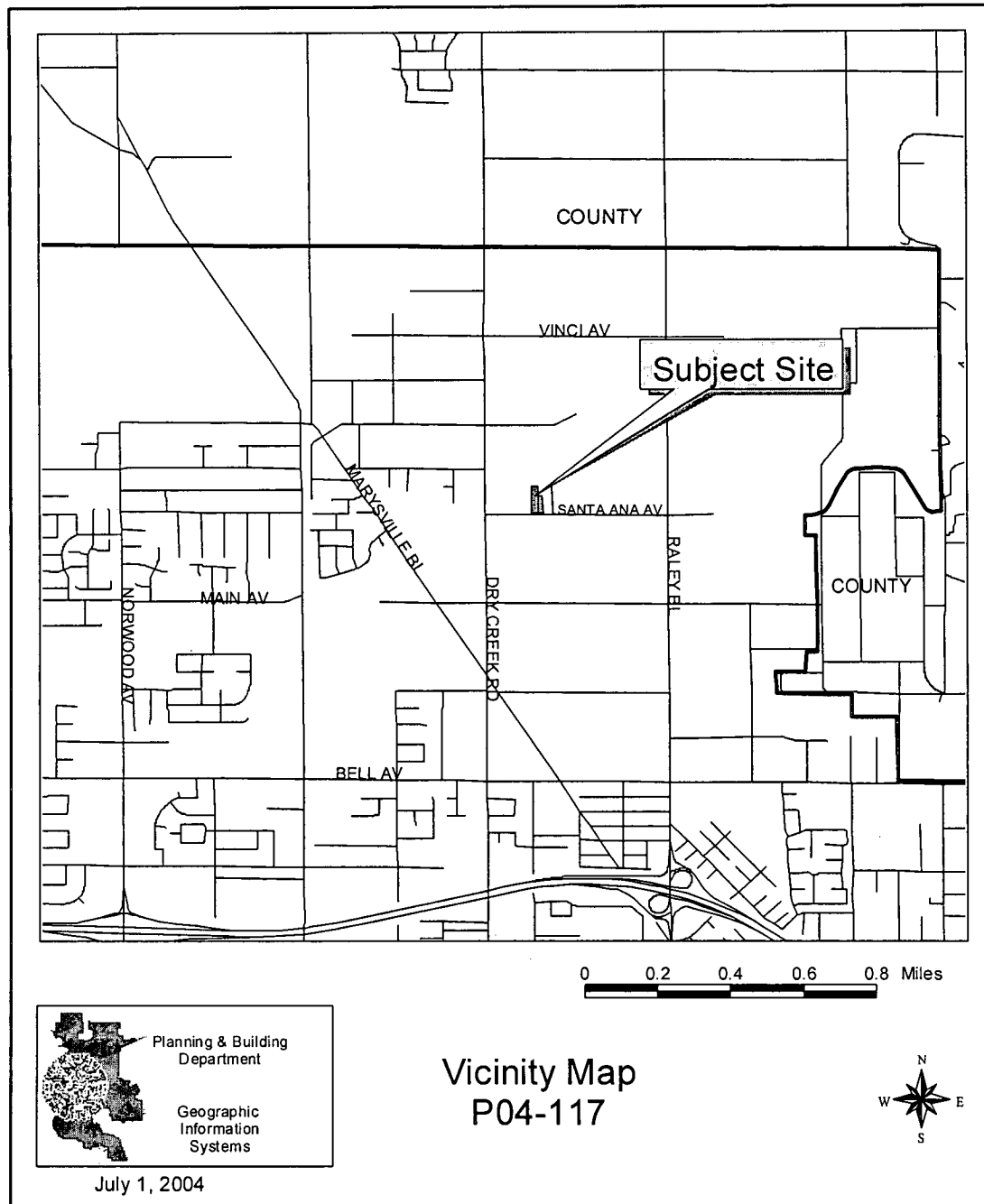
- REQUEST:
- A. Environmental Determination: Exempt, Section 15332;
 - B. Lot Line Merger to merge two lots totaling 1.42± acres into one lot in the Light Industrial Review (M-1S-R) zone;
 - C. Plan Review of two warehouse buildings (15,600±sf & 9,000±sf) totaling 25,600± gross square feet on 1.42± acres in the Light Industrial Review (M-1S-R) zone.
 - D. Variance to waive the masonry wall requirement for non-residential use adjacent to a residential use or zone. (withdrawn)

LOCATION: 1301 Santa Ana Avenue, east of Dry Creek Road
APN: 215-0260-029, -030
North Sacramento Community Plan Area
Council District 2

APPLICANT:	Chai Emanavin, (916) 635-0208 10407 Ambassador Drive Rancho Cordova, CA 95670
OWNER:	Vyacheslav Ivanyuk, (916) 785-0098 7901 El Reno Avenue Elverta, CA 95626
APPLICATION FILED:	June 15, 2004
STAFF CONTACT:	Michael York, (916) 808-8239, myork@cityofsacramento.org

SUMMARY:

The applicant is proposing to construct a light industrial warehouse facility on 1.42± acres. The two warehouse buildings are to be developed as one story and total 25,600± square feet with one building totaling 15,600± square feet and the other building totaling 9,000± square feet. The two lots are to be merged into one so the project can be developed as one site. Land use is not an issue since the zone and use are consistent. Staff has no outstanding issues with the proposed project, nor has staff received any public comments at the time of this report.



RECOMMENDATION:

Staff recommends **approval of the project, subject to conditions in the attached Notice of Decision**. This recommendation is based on the conclusion that the proposed warehouse building will not negatively affect the site. The proposed project supports development in the City's new growth areas, promotes efficient growth patterns and public service extensions, and is compatible with adjacent developments. Adequate infrastructure will be provided to support the development. The building will be designed, so that it positively enhances the existing surrounding industrial area. The project is consistent with the City's adopted policies for maintaining and strengthening commercial and industrial districts.

PROJECT INFORMATION:

General Plan Designation:	Heavy Commercial or Warehouse
Community Plan Designation:	Industrial
Existing Land Use of Site:	Vacant
Existing Zoning of Site:	Light Industrial Review (M-1S-R)

Surrounding Land Use and Zoning:

North: Vacant; Light Industrial Review (M-1S-R)
 South: Vacant; Light Industrial Review (M-1S-R)
 East: Vacant, Single Family; Light Industrial Review (M-1-R)
 West: Vacant; Light Industrial Review (M-1S-R)

Setbacks: Required Provided

Front:	25'	25'
West Side(Int):	0'	0'
East Side(Int):	0'	0'
Rear:	0'	69'

Property Dimensions:	392' x 169'
Property Area:	1.42± acres
Total Square Footage of Buildings:	25,600± square feet
Building 'A'	15,600± square feet
Building 'B'	9,000± square feet
Height of Buildings:	17' (top of parapet)
Exterior Building Materials:	Concrete tilt-up
Parking Provided:	26 spaces
Parking Required:	26 spaces
Topography:	Flat
Street Improvements:	None (to be provided)
Utilities:	Existing (to be improved)

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Off-Site Improvements	Development Engineering & Finance
Building Permit	Building Division
Certificate of Compliance	Development Engineering & Finance

BACKGROUND INFORMATION:

The project site is located in a portion of the City considered a new growth area. The project site is currently vacant and has never been developed. A review of the entitlement history for the project revealed no activity.

The project site is adjacent to the historic Magpie Creek. About 15 feet of creek right-of-way, approximately 500 square feet cuts through the northwest corner of the project site. In July 1993, the City Council adopted goals and policies for development near and adjacent to Magpie Creek. These goals and policies were adopted to preserve and enhance Magpie Creek. All areas within the creek right-of-way shall remain undeveloped and maintained in a natural condition.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

1. General Plan

The General Plan designates the site as Heavy Commercial or Warehouse. The project is consistent with the following General Plan policies:

"approve development in the City's new growth areas that promotes efficient growth patterns and public service extensions, and is compatible with adjacent developments" (Policy 4, Sec. 1-32).

"Promote the re-use and revitalization of existing developed areas, with special emphasis on commercial and industrial districts" (Goal B, Sec. 4-1).

"Provide adequate land for expansion of existing facilities and opportunities for new warehouse/distribution activities" (Policy 1, Sec. 4-19)

2. North Sacramento Community Plan

The Community Plan designates the site as industrial. The project is consistent with the following Community Plan policies:

"encourage regional warehousing and distribution facility development in a portion of the West-of-McClellan area" (NSCP, pg 27)

B. Lot Line Merger

The lot line merger is to merge two lots into one lot. For industrial purposes proposing to develop each lot individually is difficult due to the widths of each lot (104' & 65'). Developing the project site as one lot provides for a wider lot (169'), which is more practical and reduces the possible need for additional entitlements. Staff supports the lot line merger. The project will be conditioned that a Certificate of Compliance be recorded prior to issuance of any building permits.

C. Site Plan Design/Zoning Requirements

1. Setbacks/Height

The proposed warehouse building will be developed in the center of the project site in a north/south direction. The M-1S zone requires a 25 foot landscape setback along street frontages. No rear or interior side setbacks are required. The proposed project provides building setbacks of 25 feet along Santa Ana Avenue (south property line), 0 feet for the interior side setbacks (east & west property lines), and 69 feet for the rear setback (north property line). The building height of 17' to the top of the parapet is well below the 75 foot height limit. The proposed warehouse building complies with setback and height requirements.

The Magpie Creek policy requires a 50 foot setback from the centerline of the creek, where no development shall occur and the area shall be maintained in a natural condition. The goal is to provide preservation and enhancement of a natural feature and provide active and passive uses within the creek right-of-way. A small portion of this right-of-way, approximately 500 square feet cuts through the northwest corner of the project site. The portion of the project site within the creek right-of-way that is proposed to be storage yard area cannot be used for storage or be developed. The resolution adopted by City Council requires the area within the creek right-of-way remain in a natural state to better accommodate flood water and environmental habitat needs. A chain link fence along the property lines in this area separates this portion of creek right-of-way area from the rest of the creek right-of-way. Therefore, staff recommends locating bollards or a six inch raised curb along the creek right-of-way within the project site and will condition the project to provide one or the other. The project will also be conditioned to provide an easement to the City's Utility Department for this portion of the right-of-way for drainage purposes, and public access for the possible development of a future bike or natural habitat area.

2. Parking/Circulation

The project generates a parking requirement of 26 parking spaces. The 26 parking spaces required for this project is calculated on the 25,600± gross square feet of building area, at a ratio of one parking space per 1,000 square feet. The project does not propose additional office use above the 25% permitted under code.

Therefore, parking has been based on the predominate industrial use, which permits a range of 26-52 spaces. The project provides 26 parking spaces, which is consistent with the Zoning Ordinance requirements.

Access to the site will be provided by one driveway from Santa Ana Avenue. The minimum throat distances for the driveway is required to be at least 25 feet. The project will provide for a 25 foot throat distance for the driveway.

Based on the City's employment generation rates, this project is anticipated to have 52 employees. Projects which generate 25-99 employees based on occupancy calculations provided in Chapter 17.184 (Transportation Systems Management (TSM) Program) of the City Code is identified as a minor project which does not require a Transportation Management Plan (TMP). A minor project does require a property owner/developer of facilities to post information on alternative commute modes and coordinate with the appropriate transit agency and regional ridesharing agency.

3. Landscaping

The project is required to provide parking lot tree shading that will ensure that 15 years after the parking lot is established the parking lot will be 50% shaded. The project provides landscape planters among the parking and maneuvering area. The landscape plan submitted does not indicate the percentage shaded, but it does appear to be approximately 50% shaded. The project will be conditioned to meet the 50% shading requirement. The 25 foot landscape setback will be planted with a mix of mounded turf and trees. In keeping with previous projects approved in the area, staff is conditioning the project to provide trees within the landscaped setback to be planted at a minimum density of one tree per 20 feet of lineal street frontage for a total of eight trees with 50% of the trees evergreen type trees. Clustering and staggering of the trees is recommended.

4. Signage

The proposed project does not include any signage at this time. The Sign Ordinance allows two attached signs per occupant. The attached sign area cannot exceed a total aggregate area of three square feet of sign area for each foot of building occupancy. Staff has determined that the development could potentially have approximately 16 tenants and with two attached signs per tenant, which staff believes to be excessive for the small tenant space provided, and could be considered a proliferation of signage. Also because building fronts are oriented internally and the fact that the attached signage wouldn't be visible until the site was accessed from the street, staff recommends one attached sign per tenant and has condition the project as such.

For detached signage, one monument sign per street frontage with a maximum sign area of 48 square feet per sign, not to exceed 10 feet in height is allowed. To maintain consistency with approved detached signage in the area, staff will

condition any monument sign not to exceed six feet in height. Furthermore, staff would encourage the applicant or property owner to provide the name of the development on the monument sign and not individual tenant names.

D. Building Design

The project is designed as a two warehouse buildings totaling 25,600± square feet. One 15,600± square foot building will be along the west property line and a 9,000± square foot building along the east property line. The larger building along the west property line is proposed to be 295 feet long by 52 feet wide and 17 feet high. This building will be oriented in a north/south direction with the narrow portion of the warehouse facing Santa Ana Avenue (south elevation). The smaller building (223' x 40') will be along the east property line also in a north/south direction. The entrances and roll-up doors of both buildings will face internally to the project site. The driveway from Santa Ana Avenue will provide access to the center of the site between the two buildings.

Though the project site is not within the North Sacramento Redevelopment Area, the project does incorporate some elements of the industrial design guidelines for this area, which are encouraged for industrial buildings, such as a more prominent front entry, loading docks located away from the street frontage, and metal canopies over the office windows. Staff had a concern with the massing along the east and west elevations and wanted to see it broken up, possibly with a different paint scheme or other exterior elements. The applicant has submitted revised plans indicating variations in the parapet and the use of a different paint scheme. Recognizing that the use and the project site is not considered a prominent location, requiring major changes of the developer would seem unreasonable. Additionally, as development occurs adjacent to the project site most of the east and west elevations will be less visible reducing any impact or issue with the massing. Staff supports the proposed design.

E. Masonry Wall

Zoning code requires a six foot masonry wall be constructed where non-residential development is adjacent to a residential use or zone. There are no residential uses or zones adjacent to the project site. Therefore the applicant is not required to provide a masonry wall for any portion of the project site.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The proposed project is exempt from environmental review pursuant to CEQA Guidelines (CEQA Section 15332).

B. Public/Neighborhood/Business Association Comments

The project was routed to the Robla Community Association and the Raley Business Park Association. No responses were received.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. Comments received have been incorporated as conditions of approval for the project. Below is a summary of comments received:

1. Development Engineering

Minimum throat distance will be required for the driveway to the project site. Half street improvements on Santa Ana Avenue will be required. Street lighting will be required.

2. Utilities

Provide standard subdivision improvements per Section 16.48.110 of the City Code. Water, Drainage, Grading, and Water Quality conditions need to be met prior to issuance of a building permit.

3. Fire

Provide adequate fire flow and spacing. Provide for standard timing and installation requirements.

4. Regional County Sanitation District

Sewer permits are on a 'first come first serve' basis due to sewer capacity.

PROJECT APPROVAL PROCESS: Of the entitlements below, Planning Commission has the authority to approve or deny A-D. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

RECOMMENDATION:

Staff recommends the Planning Commission take the following actions:

- A. Adopt the attached Notice of Decision and Findings of Fact which finds that the project is exempt pursuant to CEQA Section 15332;
- B. Adopt the attached Notice of Decision and Findings of Fact approving the Lot Line Merger to merge two lots totaling 1.42± acres into one lot in the Light Industrial Review (M-1S-R) zone;
- C. Adopt the attached Notice of Decision and Findings of Fact approving the Plan Review of two warehouse buildings (15,600sf & 9,000sf) totaling 25,600± square foot on 1.42± acres in the Light Industrial Review (M-1S-R) zone;

- D. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to waive the masonry wall requirement for non-residential use adjacent to a residential use or zone. (withdrawn)

Report Prepared By,

Michael York
Michael York, Assistant Planner

Report Reviewed By,

Jeanne Corcoran
Jeanne Corcoran, Senior Planner

Attachments

Attachment 1	Notice of Decision & Findings of Fact
Exhibit 1A	Lot Line Merger
Exhibit 1B	Site Plan
Exhibit 1C	Building 'A' Floor Plan & Elevation
Exhibit 1D	Building 'B' Floor Plan & Elevation
Exhibit 1E	Landscape Plan
Attachment 2	Land Use & Zoning Map

**ATTACHMENT 1
NOTICE OF DECISION AND FINDINGS OF FACT FOR THE
STONE GALLERY BUILDINGS, LOCATED AT 1301 SANTA ANA AVENUE
SACRAMENTO, CALIFORNIA
IN THE LIGHT INDUSTRIAL REVIEW (M-1S-R) ZONE.
(APN: 215-0260-029, -030) (P04-117)**

At the regular meeting of January 27, 2005 the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. **Environmental Determination: Exempt, Section 15332;**
- B. **Approved the Lot Line Merger to merge two lots totaling 1.42± acres into one lot in the Light Industrial Review (M-1S-R) zone;**
- C. **Approved the Plan Review of two warehouse buildings (15,600±sf & 9,000±sf) totaling 25,600± gross square feet on 1.42± acres in the Light Industrial Review (M-1S-R) zone.**
- D. **Withdrew the Variance to waive the masonry wall requirement for non-residential use adjacent to a residential use or zone.**

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. **Catagorical Exemption:** The City Planning Commission finds and determines that the proposed project is exempt from environmental review pursuant to Section #15332 of the CEQA Guidelines.
- B. **Lot Line Merger to merge two lots totaling 1.42± acres into one lot in the Light Industrial Review (M-1S-R) zone:** The Lot Line Merger is approved based upon the following findings of fact:
 - 1. The lot line merger will not result in the abandonment of any street or utility easement of record;
 - 2. The lot line merger will not result in the elimination or reduction in size of the access way to any resulting parcel; and
 - 3. The resulting parcels conform to the requirements of the city's building code and the city's zoning ordinance. (Prior code § 40.04.404).

C. Plan Review of two warehouse buildings (15,600±sf & 9,000±sf) totaling 25,600± gross square foot on 1.42± acres in the Light Industrial Review (M-1S-R) zone: The Plan Review is approved based on the following findings of fact:

1. The project is consistent with the General and Community Plan land use designations of Heavy Commercial or Warehouse and Industrial, respectively. The project supports policies to maintain and strengthen commercial and industrial districts within the City by providing additional square footage of small tenant warehouse space.
2. Adequate infrastructure will be provided to serve the site, and adequate parking will be provided for the warehouse building.
3. Additional exterior elements to the building design and added landscaping will create a building in conjunction with other warehouse buildings in the area, which will enhance the characteristic of the existing surrounding industrial area.
4. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that the proposed warehouse building will incorporate safety measures into the site design such as a finished lot pad elevation above the flood level and specific throat distances for the access driveways, and providing necessary infrastructure to serve the use.

CONDITIONS OF APPROVAL

B. Lot Line Merger to merge two lots totaling 1.42± acres into one lot in the Light Industrial Review (M-1S-R) zone is hereby approved subject to the following conditions of approval:

- B1. Prior to issuance of any building permit the applicant shall file an application for a Certificate of Compliance with the Development Engineering and Finance Division. The applicant must submit all documents required by the submittal requirements checklist and pay the necessary fees.
- B2. The applicant must file for a Waiver of Parcel Map.
- B3. The applicant shall pay off or segregate existing assessments.
- B4. Only one domestic water service per parcel is allowed. Any excess domestic water services must be abandoned to the satisfaction of the Department of Utilities. The applicant should be advised that the tap record research and verification of tap locations by the field crews involved prior to sign-off of this condition may take a considerable amount of time, therefore, all requests should be submitted in a timely manner.

- C. The Plan Review of two warehouse buildings (15,600±sf & 9,000±sf) totaling 25,600± gross square foot on 1.42± acres in the Light Industrial Review (M-1S-R) zone is hereby approved subject to the following conditions of approval:

Planning

- C1. Prior to issuance of building permit a Certificate of Compliance shall be recorded.
- C2. The applicant shall obtain all necessary building permits prior to construction.
- C3. As conditioned, the project shall substantially conform to the approved plans as shown on attached Exhibits 1B-1D. Any modification other than incorporating the conditions of approval to the project shall be subject to review and approval by Planning Staff (and may require additional entitlements) prior to issuance of building permits.
- C4. Prior to issuance of building permit, applicant shall provide additional exterior enhancements to east and west elevations through use of a different paint scheme, articulation of the roof line, or other exterior elements. Elevations shall be subject to review and approval by Planning Staff.
- C5. All proposed signage shall be limited to one (1) attached sign per occupant and one (1) monument sign for the entire development not to exceed six feet in height. Monument sign shall only contain name of development.
- C6. A minimum of eight (8) trees shall be planted within the landscaped setback and shall be planted in a clustered and/or staggered arrangement at a minimum density of one tree per 20 feet of lineal street frontage with 50% of the trees evergreen type trees.
- C7. All outdoor storage areas shall be screened with a minimum 6 foot high masonry wall complementary to the building. Stored material shall not be higher than the wall.
- C8. A minimum two foot high parapet wall on all four sides of the building shall be provided to screen the mechanical equipment on the roof.
- C9. Prior to issuance of a building permit applicant shall submit for review and approval of the Solid Waste Manager a statement of recycling.
- C10. Fencing, including rolling gates, visible from the street shall be wrought iron, tubular steel painted black or masonry. Fencing not visible from the street may be cyclone.

Development Engineering

- C11. Construct standard public improvements as noted in these conditions pursuant to section 18.04.020 of the City Code. Improvements shall be designed and constructed to City standards in place at the time that the Building Permit is issued. Improvements required shall be determined by the city, but at a minimum, streets shall include half-streets and at least one travel lane in each direction. All improvements shall be designed and constructed to the satisfaction of the Development Engineering and Finance Division. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards.
- C12. The applicant shall dedicate sufficient right-of-way and construct Santa Ana to a 53' Industrial half-street section, adjacent to the project site, per Plate 15-3 of the Design & Procedures Manual. Right-of-way dedication shall provide a total of 26.5-feet to centerline and half-street improvements shall include at least one 12-foot travel lane, plus a 2-foot shoulder & drainage, in both directions. All improvements shall be to the satisfaction of the Development Engineering & Finance Division.
- C13. All new driveways shall be designed and constructed to City Standards to the satisfaction of the Development Engineering and Finance Division.
- C14. The minimum throat distance for all site driveways shall be 25' (throat distance is that distance a vehicle can move from the public right-of-way into a given site before encountering a conflict with parking stalls, aisles, etc).
- C15. The site plan shall conform to A.D.A. requirements in all respects.
- C16. The applicant shall merge the existing parcels that cover the project site which create the parcel boundary shown on the proposed site plan prior to obtaining any Building Permits.
- C17. The design of walls, fences, signage, and landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Development Engineering and Finance Division.

Utilities

- C18. Only one domestic water service will be allowed per parcel. Any new domestic water service shall be metered.
- C19. Multiple fire services are allowed per parcel and may be required.

- C20. Place a 2-inch (minimum) sleeve(s) under the sidewalks for each lot along all streets with separated curb and sidewalk in order to allow for landscaping and irrigation of the landscape planter. Sleeves shall be placed at the time sidewalks are constructed. Landscaping may be deferred until on-site construction.
- C21. Properly abandon under permit, from the City and County Environmental Management Department, any well or septic system located on the property.
- C22. The nearest sanitary sewer is located more than 1250 feet east of the property on Santa Ana Avenue or 1100 feet west in Dry Creek Road. Either the sewer main shall be extended or a septic system permit shall be obtained from the County Environmental Management Department, prior to issuance of a building permit.
- C23. Prior to submittal of on-site and off-site improvement plans, the applicant shall prepare a drainage study for this site consistent with the Department of Utilities master drainage studies for drainage sheds 157 and G200. The drainage study shall identify drainage infrastructure to be constructed for the project which will include but is not limited to: (1) Preconstruction runoff flows to the ditch adjacent to Santa Ana Avenue and to Magpie Creek to the north, (2) Post construction runoff showing no net increase in runoff to the existing ditch adjacent to Santa Ana Avenue, (3) Permanent and interim drainage improvements in Santa Ana Avenue and Dry Creek Road. (4) Drainage discharge directly to Magpie Creek with permits from applicable agencies as required. Contact the Department of Utilities for the required hydrologic and hydraulic criteria for the study. **The study shall be reviewed and approved by the Department of Utilities prior to submittal of on-site and off-site improvement plans.**
- C24. If a permanent drainage system is constructed in Santa Ana Avenue and Dry Creek Road, it shall be sized for ultimate buildout of the drainage shed.
- C25. An on-site surface drainage system is required and shall be connected to the street drainage system and/or the system discharging directly to Magpie Creek. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual).
- C26. Prior to issuance of building permit the applicant shall record an irrevocable offer of dedication (I.O.D.) to the City of Sacramento (Utilities Dept.) within that portion of the creek right-of-way on the project site consistent with the City of Sacramento Magpie Creek Goals and Policies (50 feet, minimum from the centerline of existing Magpie Creek).
- C27. The area of the property within the creek right-of-way (50ft, minimum from centerline of existing Magpie Creek) shall remain undeveloped. Maintenance of this area shall be consistent with the Department of Utilities guidelines. This area shall be bollard off or six-inch curb provided so as parking or development does not occur.

- C28. The applicant is responsible for any necessary permits from the Corps of Engineers, Fish and Game, USFWS, SAFCA, American River Flood Control District or any other applicable agency.
- C29. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
- C30. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
- C31. This project will disturb greater than 1 acre of property, therefore the project is required to comply with the State "NPDES General Permit for Stormwater Discharges Associated with Construction Activity" (State Permit). To comply with the State Permit, the applicant will need to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) prior to construction. A copy of the State Permit and NOI may be obtained at www.swrcb.ca.gov/stormwtr/construction.html. The SWPPP will be reviewed by the Department of Utilities prior to issuing a grading permit or approval of improvement plans to assure that the following items are included: 1) vicinity map, 2) site map, 3) list of potential pollutant sources, 4) type and location of erosion and sediment BMPs, 5) name and phone number of person responsible for SWPPP, 6) certification by property owner or authorized representative.
- C32. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is not served by a regional water quality control facility and is greater than 1 acre, both source controls and on-site treatment control measures are required. Specific source controls are required for (1) commercial/industrial material storage, (2) commercial/industrial outdoor loading/unloading of materials, (3) commercial/industrial vehicle and equipment fueling, (4) commercial/industrial vehicle and equipment maintenance, repair and washing, (5) commercial/industrial outdoor process equipment operations and maintenance and (6) commercial/industrial waste handling. Storm drain message is required at all drain inlets. On-site treatment control measures are also required and may affect site design and site configuration and therefore, should be considered during the early planning stages. Improvement plans must include the source controls and on-site treatment control measures selected for the site. Refer to the "Guidance Manual for On-Site Stormwater Quality Control Measures", dated January 2000, for appropriate source control measures and on-site treatment control measures.

Fire Dept.

- C33. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
- C34. Provide adequate fire flow and hydrants.
- C35. Provide Knox access for site.
- C36. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.
- C37. Provide adequate turning radii for apparatus (35' inside and 55' outside), subject to review and approval of the Fire Department.

Advisory Notes

- A. The proposed project is located in the 100-year floodplain, designated as an X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) dated July 6, 1998. The project is also located in the Historic Magpie Creek Floodplain with a 100-year flood elevation of 40.5 feet. Finished lot pad elevation shall be a minimum of 1.0 ft above the 100-year flood elevation and approved by the Department of Utilities.
- B. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the fire suppression systems. An 8 inch water main exists in Santa Ana Avenue.


CHAIRPERSON

ATTEST:

Amy M. Lane

SECRETARY TO CITY PLANNING COMMISSION
2/24/05
DATE (P04-117)

Exhibit	1A	Lot Line Merger
Exhibit	1B	Site Plan
Exhibit	1C	Elevations
Exhibit	1D	Floor Plan
Exhibit	1E	Landscape Plan

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JANUARY 27, 2005

Exhibit 1A - Lot Line Merger

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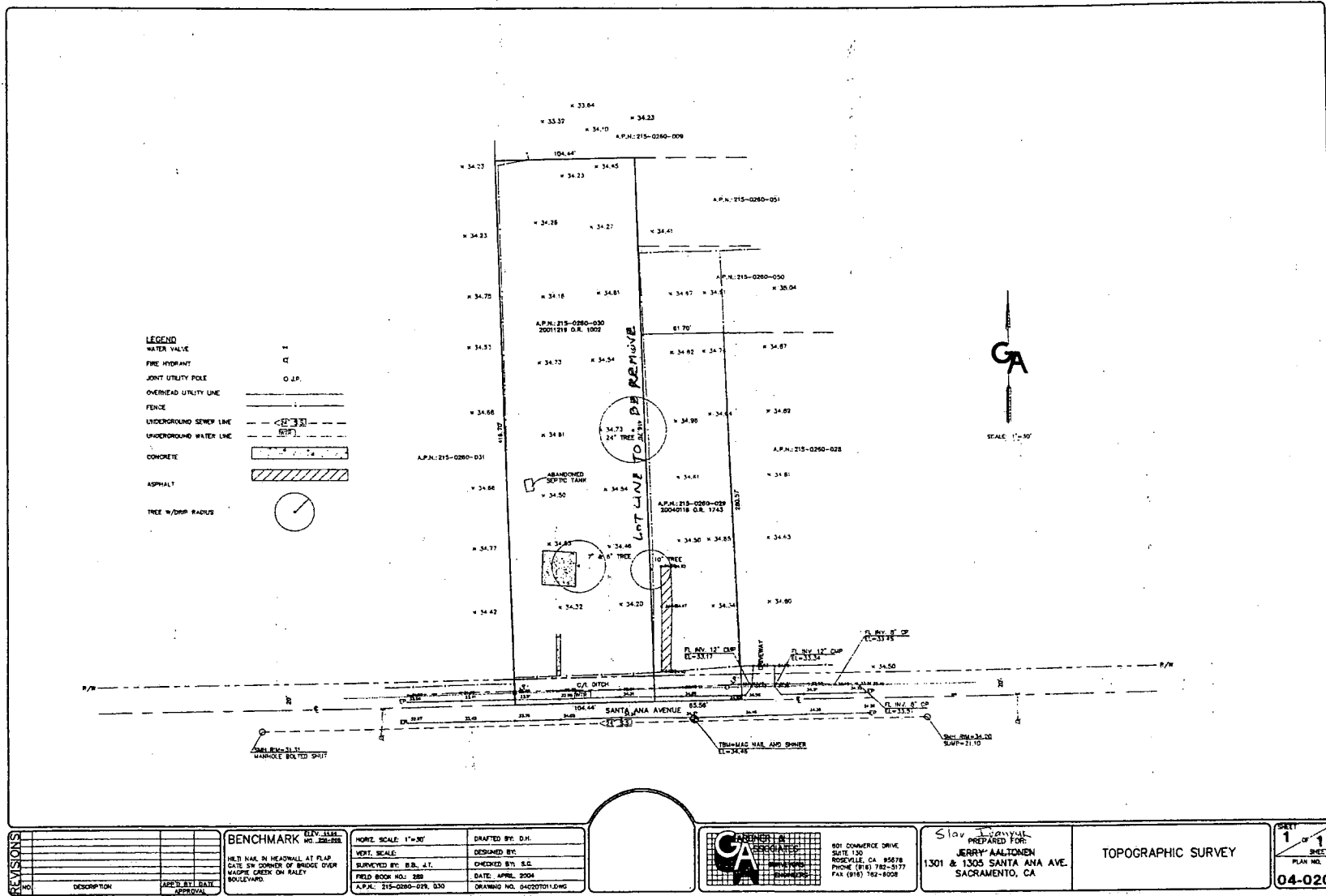
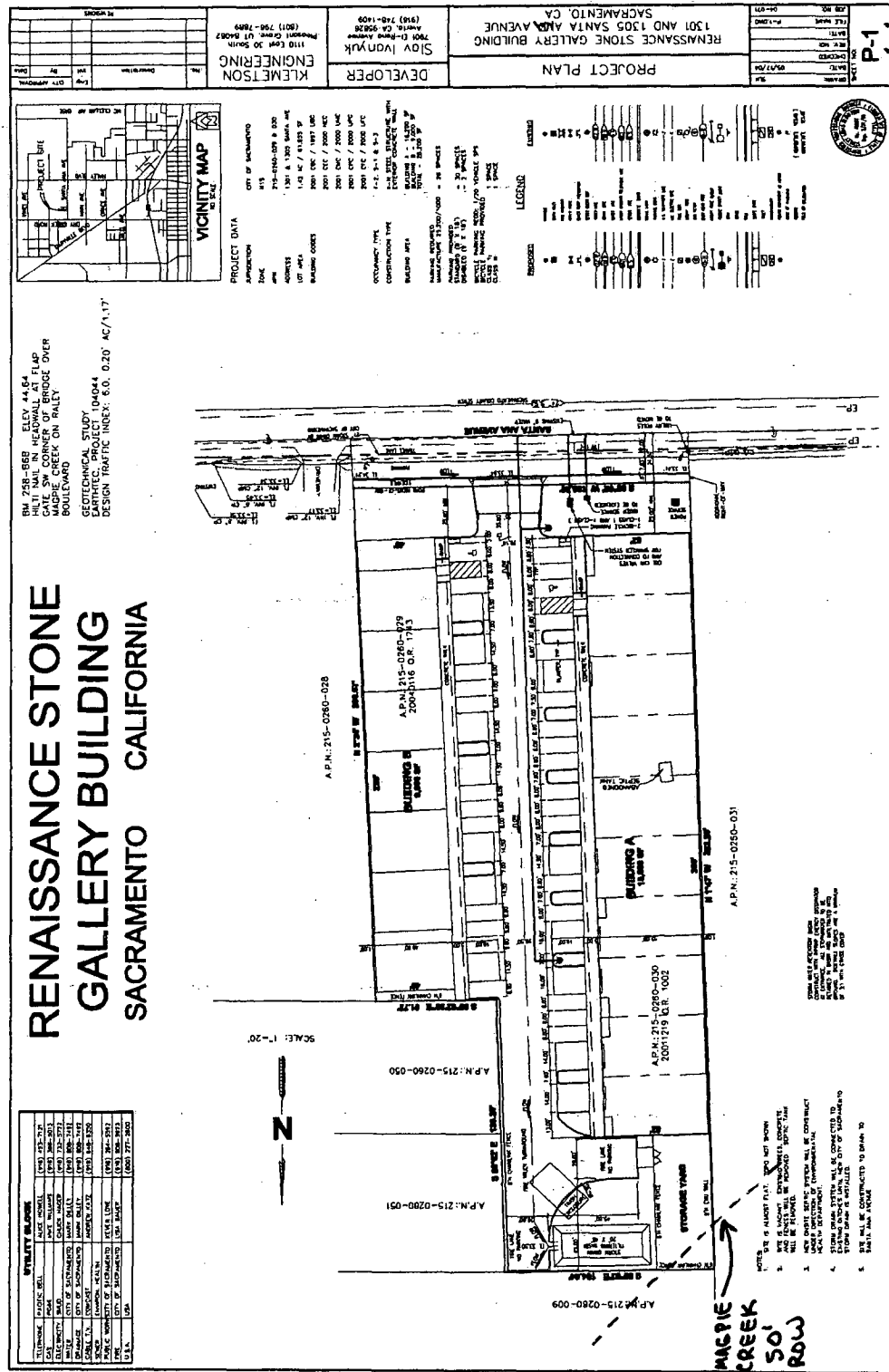


Exhibit 1B - Site Plan



Attachment 2- Land Use & Zoning Map

