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CITY CLERK'S OFFICE  
CITY OF SACRAMENTO

AUG 23 12 38 PM '90



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DEPARTMENT OF  
PLANNING AND DEVELOPMENT

CITY OF SACRAMENTO  
CALIFORNIA

1231 I STREET  
ROOM 200  
SACRAMENTO, CA  
95814-2998

August 28, 1990

APPROVED  
BY THE CITY COUNCIL

AUG 28 1990

BUILDING INSPECTIONS  
916-449-5716

PLANNING  
916-449-5604

City Council  
Sacramento, California

OFFICE OF THE  
CITY CLERK

Honorable Members In Session:

- SUBJECT: 1. ENVIRONMENTAL DETERMINATION
2. TENTATIVE MAP TO DIVIDE 26.2± ACRES INTO 99 SINGLE FAMILY LOTS, A 14-UNIT CONDOMINIUM PARCEL, A 20-UNIT CONDOMINIUM PARCEL AND A RECREATION CENTER SITE (P89-328)

LOCATION: West of Bruceville Road and North of Grandstaff Drive Extension

**SUMMARY**

The request is for a tentative map to divide 26.2± vacant acres into 99 petite single family lots, three condominium parcels (90 units) and a recreation parcel. This project is designed for senior citizens over the age of 55 years. The Planning Commission and Planning staff recommend approval of the request.

**BACKGROUND**

The subject site contains 26.2± vacant acres and is zoned Single Family Alternative (R-1A) zone. The General Plan designates the site for Low Density Residential (4-15 du/na); and the South Sacramento Community Plan designates the site Low Density Residential (4-8 du/na). The proposed project is 7.2 du/ga and, therefore, conforms to the plans.

The proposal is to divide 26.2± gross acres into 99 single family petite lots on the perimeter of the property. Two clusters of detached single family lots would be located in the center of the subdivision on two parcels. One cluster has 14 detached condominium units and the second cluster has 20 detached condominium units. A fourth component of the proposal is a 56-unit attached condominium complex located at the

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COMMUNITY

City Council  
West of Bruceville Raod and  
North of Grandstaff Drive Extension (P90-328)  
August 28, 1990  
Page 2

southerly end of the site. The single family homes and condominium units will range from 700 to 1,600 square feet in size. The entire subdivision is designed for senior citizens. A condition of the map and Special Permit restricts the project to senior citizens over the age of 55 years.

The subject project is located in the Elk Grove School District. The School District has indicated that since the project is restricted to senior citizen housing, no new additional school fees will be required. A condition in the resolution reflects this requirement. The applicant has agreed with this condition.

The Planning Commission also approved a Special Permit to develop the petite homes and the condominiums. The Planning Commission and Planning staff support the project.

#### **VOTE OF THE PLANNING COMMISSION**

On July 12, 1990, the Planning Commission voted six ayes, two absent, to recommend approval of the project.

#### **FINANCIAL DATA**

Not applicable.

#### **POLICY CONSIDERATION**

This project is consistent with the adopted General Plan and the South Sacramento Community Plan.

#### **MBE/WBE EFFORTS**

Not applicable.

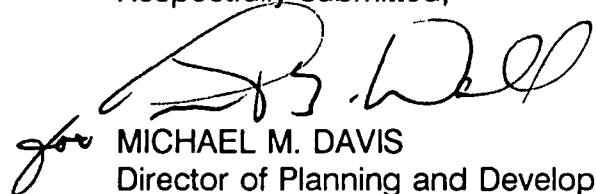
City Council  
West of Bruceville Raod and  
North of Grandstaff Drive Extension (P90-328)  
August 28, 1990  
Page 2

**RECOMMENDATION**

The Planning Commission and Planning Staff recommend the following action by the City Council:

1. Ratify the Negative Declaration
2. Adopt the attached resolution which approves the tentative map.

Respectfully submitted,

  
MICHAEL M. DAVIS  
Director of Planning and Development

FOR COUNCIL INFORMATION:  
WALTER J SLIPE  
CITY MANAGER

August 28, 1990  
District No. 7

Contact Person:

Will Weitman, Principal Planner  
(916) 449-5604

MMD:WW:vr  
P89-328.CC

Attachment

AMENDED (8-28-90)

AMENDED (10/4/90)

**RESOLUTION NO.**

90-714

ADOPTED BY THE SACRAMENTO CITY COUNCIL

8-28-90

ON DATE OF \_\_\_\_\_

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING  
A TENTATIVE MAP FOR PROPERTY LOCATED AT THE WEST SIDE  
OF BRUCEVILLE ROAD, NORTH OF THE GRANDSTAFF DRIVE  
EXTENSION

(P89-328) (APN:117-0120-031-0000)

WHEREAS, the City Council on \_\_\_\_\_, held a public hearing on the request for approval of a tentative map for property located at the above described location;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the City Planning Commission and/or Planning staff has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

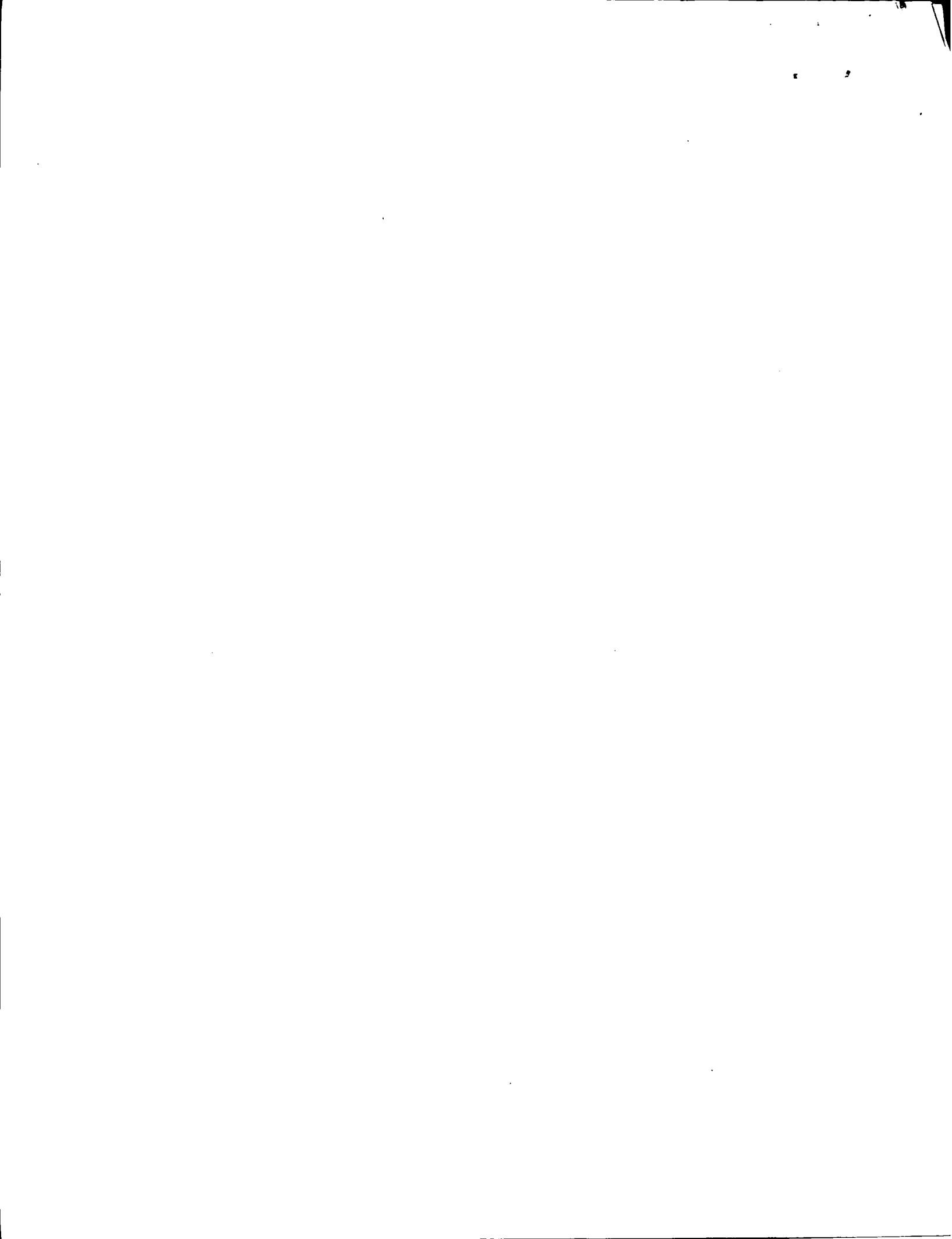
WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

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**FOR CITY CLERK USE ONLY**

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_



NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan, and Chapter 40 of the City Code, which is a Specific Plan of the City. Both the City General Plan and the South Sacramento Community Plan designate the subject site for residential use(s).
4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
  - A. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code.
  - B. Prepare sewer and drainage study for the review and approval of the City Engineer.
  - C. Pay off existing assessments, or file necessary segregation requests and fees to segregate existing assessments.
  - D. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more

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RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

than 90 days prior to filing of the map.

- E. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with title 24 requirements of the Uniform Building Code.
- F. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
- G. Meet all County Sanitation District requirements.
- H. Submit a soils test prepared by a registered engineer to be used in street design.
- \* I. Dedicate additional 15 feet of right-of-way along Union House Creek to the satisfaction of the City Public Works Department. The developer shall install landscape between property line wall and edge of Union House Creek using low maintenance ground cover. The developer or Homeowners' Association shall maintain this landscaped area for two years, or until the assessment district is formed (whichever is less). Applicant/developer agrees to join a maintenance district as established by the City for the maintenance of said landscaping. Applicant/developer further agrees to provide each purchaser of a parcel within this project with written notice of the pending formation of the district. It is the City's intent that all parcels within the project participate in the cost of said district.
- \* J. The applicant/developer shall install a six foot high decorative brick wall along Union House Creek to the satisfaction of the City Public Works Department Flood and Sewer Division and the Environmental Review Coordinator. Design and materials shall be reviewed and approved by the Planning Director.
- K. Dedicate a standard 12.5 foot Public Utility Easement for underground facilities and appurtenances adjacent to all public ways.
- L. Dedicate Lots A, B and D as a Public Utility Easement for underground facilities and appurtenances except for those areas where structures or pool are located.
- M. Minimum lot pad elevation 26.5 feet adjacent to Union House Creek (Lots 1 to 23).

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FOR CITY CLERK USE ONLY

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_



- N. Place vertical curb, gutter and sidewalk adjacent to park frontage between Lots 61 and 88.
- O. Provide minimum 400 foot radius curve on Arroyo Vista Drive.
- P. Loop Road shall intersect Arroyo Vista Drive at as close to 90 degrees as possible and retain lot sizes and utilities with street right-of-way.
- Q. Entrance to Lot A, B, C and D shall be a standard driveway.
- R. Water distribution system within condo parcels A, B and D shall be to City standards but shall be privately owned and maintained.
- S. Show all existing easements on final map.
- T. Arroyo Vista Drive shall be designed and constructed to a 54 foot right-of-way.
- U. Adjacent to Lot D, Grandstaff Drive and Arroyo Vista Drive shall be constructed to 27 foot half street with 15 foot paving eastbound on Grandstaff Drive and northbound on Arroyo Vista Drive.
- V. A Homeowners Association and/or other entity (e.g. Lighting and Landscape Maintenance District) acceptable to the City Public Works and Planning Departments shall be created for the maintenance of common areas and other required landscape area(s).
- W. Remove existing pedestrian bridges to the satisfaction of the Public Works Department Flood and Sewer Division.
- X. An agreement, or other form of documentation, ensuring that reciprocal access for Lots C and D will be maintained in perpetuity shall be reviewed and approved by the Planning Director prior to the filing of the final map.
- Y. Four foot wide maintenance easements shall be shown on the final map and recorded in the CC and R's.
- Z. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to the review and approval of the City Engineer after consultation with the U.S.Postal Service.

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**FOR CITY CLERK USE ONLY**

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

- AA. Development adjacent to the City park shall be reviewed and approved by the City Parks and Community Services Department prior to final map.
- BB. Comply with mitigation measures for the negative declaration for P89-328, on file at the City Planning Department, to the satisfaction of the City's Environmental Review Coordinator.
- CC. The CC\$R's shall restrict this project to senior citizen housing (age 55 or older). If the project is not restricted to senior housing, the applicant shall either pay 100% of the school costs (average \$9,400 per single family unit), or commit to fully participate in the implementation of the financial plan that is to be put into place by the City and County to the satisfaction of the Elk Grove Unified School District prior to filing the final map.
- DD. Relocate lot line between Lot 23 and 24 to coincide with existing easements.
- \*\* EE. The applicant shall make "good faith effort" to provide a transportation system (possible shuttle system) for the residents of Regency Place. The Planning Director shall be informed of this transportation system.
- \*\*\* FF. The applicant shall explore the feasibility of providing a pedestrian bridge across Union House Creek. A feasibility report shall be submitted to the Planning Director and the Director of Public Works for review and approval.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK

P89-328.rev 10.0190.2rev

\*\* Amended CC 8/28/90

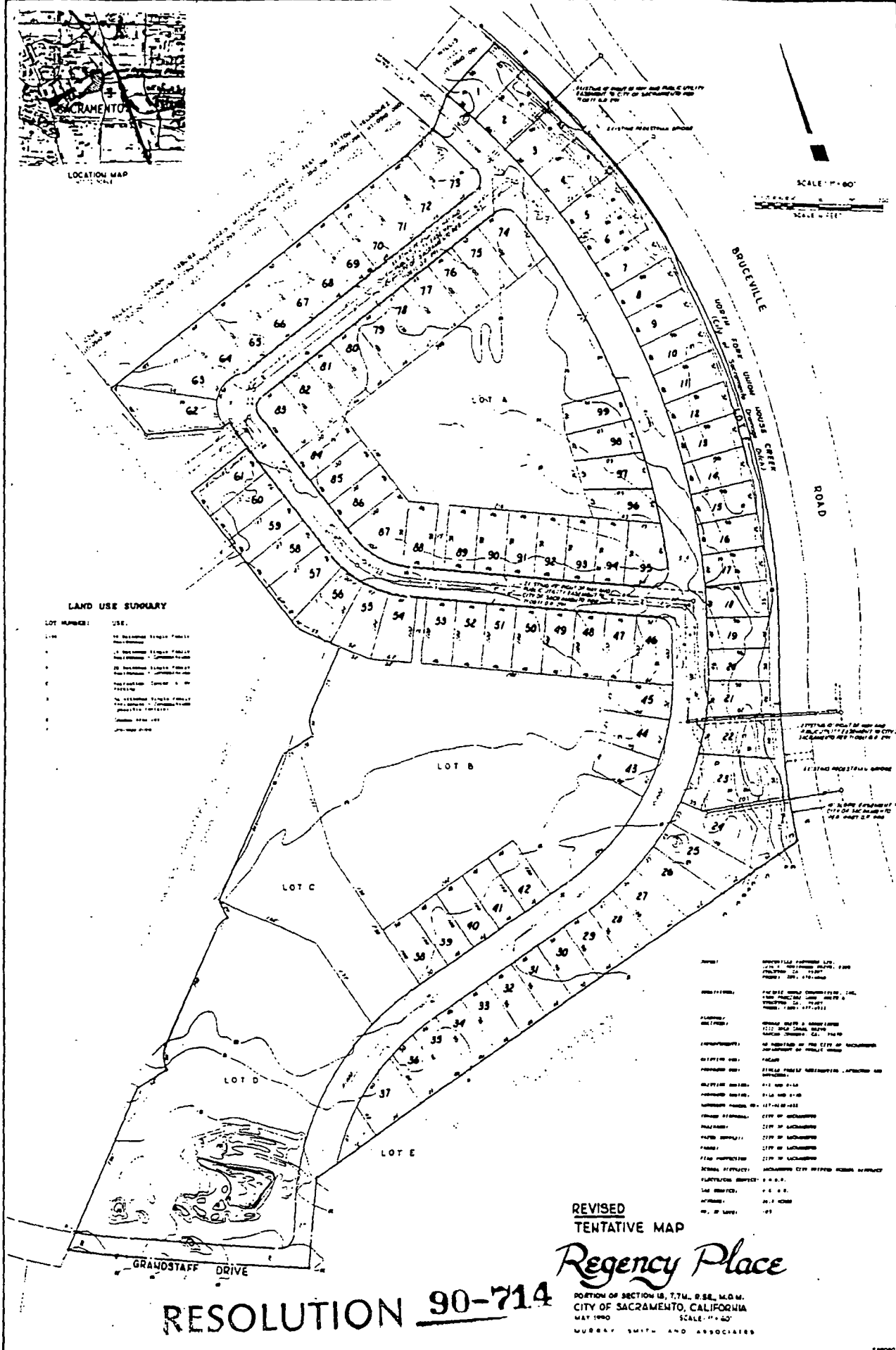
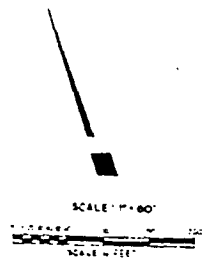
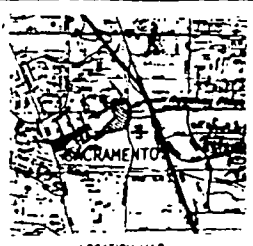
\*\*\* Amended 10/04/90

**FOR CITY CLERK USE ONLY**

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

# EXHIBIT A



**LAND USE SUMMARY**

LOT NUMBER:	USE:
1-10	Residential Single Family
11-20	Residential Single Family
21-30	Residential Single Family
31-40	Residential Single Family
41-50	Residential Single Family
51-60	Residential Single Family
61-70	Residential Single Family
71-80	Residential Single Family
81-90	Residential Single Family
91-100	Residential Single Family

OWNER:	MURPHY HOLDINGS COMPANY, INC. 1111 17th Street, Suite 1000 Sacramento, CA 95811
PREPARED BY:	MURPHY HOLDINGS COMPANY, INC. 1111 17th Street, Suite 1000 Sacramento, CA 95811
DATE:	APRIL 1990
APPROVED BY:	CITY OF SACRAMENTO PLANNING DEPARTMENT
COMMENTS:	AS SUBMITTED BY THE CITY OF SACRAMENTO DEPARTMENT OF PUBLIC WORKS
REVISIONS:	1. REVISED 5/1/90
2. REVISED 5/1/90	
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5. REVISED 5/1/90	
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REVISED  
TENTATIVE MAP  
*Regency Place*  
**RESOLUTION 90-714**

PORTION OF SECTION 18, T.7N., R.8E., M.O.M.  
CITY OF SACRAMENTO, CALIFORNIA  
MAY 1990  
SCALE: 1" = 60'  
MURRAY SMITH AND ASSOCIATES

**CITY PLANNING DIVISION**

SEP 19 1990

**RECEIVED**

**AMENDED**

**RESOLUTION NO.**

90-714

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF 8-28-90

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING  
A TENTATIVE MAP FOR PROPERTY LOCATED AT THE WEST SIDE  
OF BRUCEVILLE ROAD, NORTH OF THE GRANDSTAFF DRIVE  
EXTENSION

(P89-328) (APN:117-0120-031-0000)

WHEREAS, the City Council on \_\_\_\_\_, held a public hearing on the request for approval of a tentative map for property located at the above described location;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the City Planning Commission and/or Planning staff has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

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**FOR CITY CLERK USE ONLY**

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan, and Chapter 40 of the City Code, which is a Specific Plan of the City. Both the City General Plan and the South Sacramento Community Plan designate the subject site for residential use(s).
4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
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  - C. Pay off existing assessments, or file necessary segregation requests and fees to segregate existing assessments.
  - D. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more

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DATE ADOPTED: \_\_\_\_\_

than 90 days prior to filing of the map.

- E. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with title 24 requirements of the Uniform Building Code.
- F. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
- G. Meet all County Sanitation District requirements.
- H. Submit a soils test prepared by a registered engineer to be used in street design.
- I. Dedicate additional 15 feet of right-of-way along Union House Creek to the satisfaction of the City Public Works Department.
- J. Construct chain link, or other fencing, along Union House Creek to the satisfaction of the City Public Works Department Flood and Sewer Division.
- K. Dedicate a standard 12.5 foot Public Utility Easement for underground facilities and appurtenances adjacent to all public ways.
- L. Dedicate Lots A, B and D as a Public Utility Easement for underground facilities and appurtenances except for those areas where structures or pool are located.
- M. Minimum lot pad elevation 26.5 feet adjacent to Union House Creek (Lots 1 to 23).
- N. Place vertical curb, gutter and sidewalk adjacent to park frontage between Lots 61 and 88.
- O. Provide minimum 400 foot radius curve on Arroyo Vista Drive.
- P. Loop Road shall intersect Arroyo Vista Drive at as close to 90 degrees as possible and retain lot sizes and utilities with street right-of-way.
- Q. Entrance to Lot A, B, C and D shall be a standard driveway.

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**FOR CITY CLERK USE ONLY**

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

- R. Water distribution system within condo parcels A, B and D shall be to City standards but shall be privately owned and maintained.
- S. Show all existing easements on final map.
- T. Arroyo Vista Drive shall be designed and constructed to a 54 foot right-of-way.
- U. Adjacent to Lot D, Grandstaff Drive and Arroyo Vista Drive shall be constructed to 27 foot half street with 15 foot paving eastbound on Grandstaff Drive and northbound on Arroyo Vista Drive.
- V. A Homeowners Association and/or other entity (e.g. Lighting and Landscape Maintenance District) acceptable to the City Public Works and Planning Departments shall be created for the maintenance of common areas and other required landscape area(s).
- W. Remove existing pedestrian bridges to the satisfaction of the Public Works Department Flood and Sewer Division.
- X. An agreement, or other form of documentation, ensuring that reciprocal access for Lots C and D will be maintained in perpetuity shall be reviewed and approved by the Planning Director prior to the filing of the final map.
- Y. Four foot wide maintenance easements shall be shown on the final map and recorded in the CC and R's.
- Z. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to the review and approval of the City Engineer after consultation with the U.S.Postal Service.
- AA. Development adjacent to the City park shall be reviewed and approved by the City Parks and Community Services Department prior to final map.
- BB. Comply with mitigation measures for the negative declaration for P89-328, on file at the City Planning Department, to the satisfaction of the City's Environmental Review Coordinator.
- CC. The CC&R's shall restrict this project to senior citizen housing (age 55 or older). If the project is not restricted to senior housing, the applicant shall either pay 100%

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DATE ADOPTED: \_\_\_\_\_



of the school costs (average \$9,400 per single family unit), or commit to fully participate in the implementation of the financial plan that is to be put into place by the City and County to the satisfaction of the Elk Grove Unified School District prior to filing the final map.

- DD. Relocate lot line between Lot 23 and 24 to coincide with existing easements.
- \*\* EE. The applicant shall make "good faith effort" to provide a transportation system (possible shuttle system) for the residents of Regency Place. The Planning Director shall be informed of this transportation system.
- \*\* FF. The applicant shall explore the feasibility of providing a pedestrian bridge across Union House Creek. A feasibility report shall be submitted to the Planning Director.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK

P89-255.rev

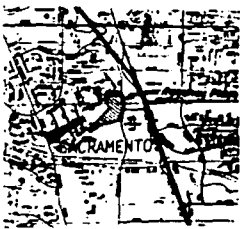
\*\* Amended CC 8/28/90

\_\_\_\_\_  
FOR CITY CLERK USE ONLY

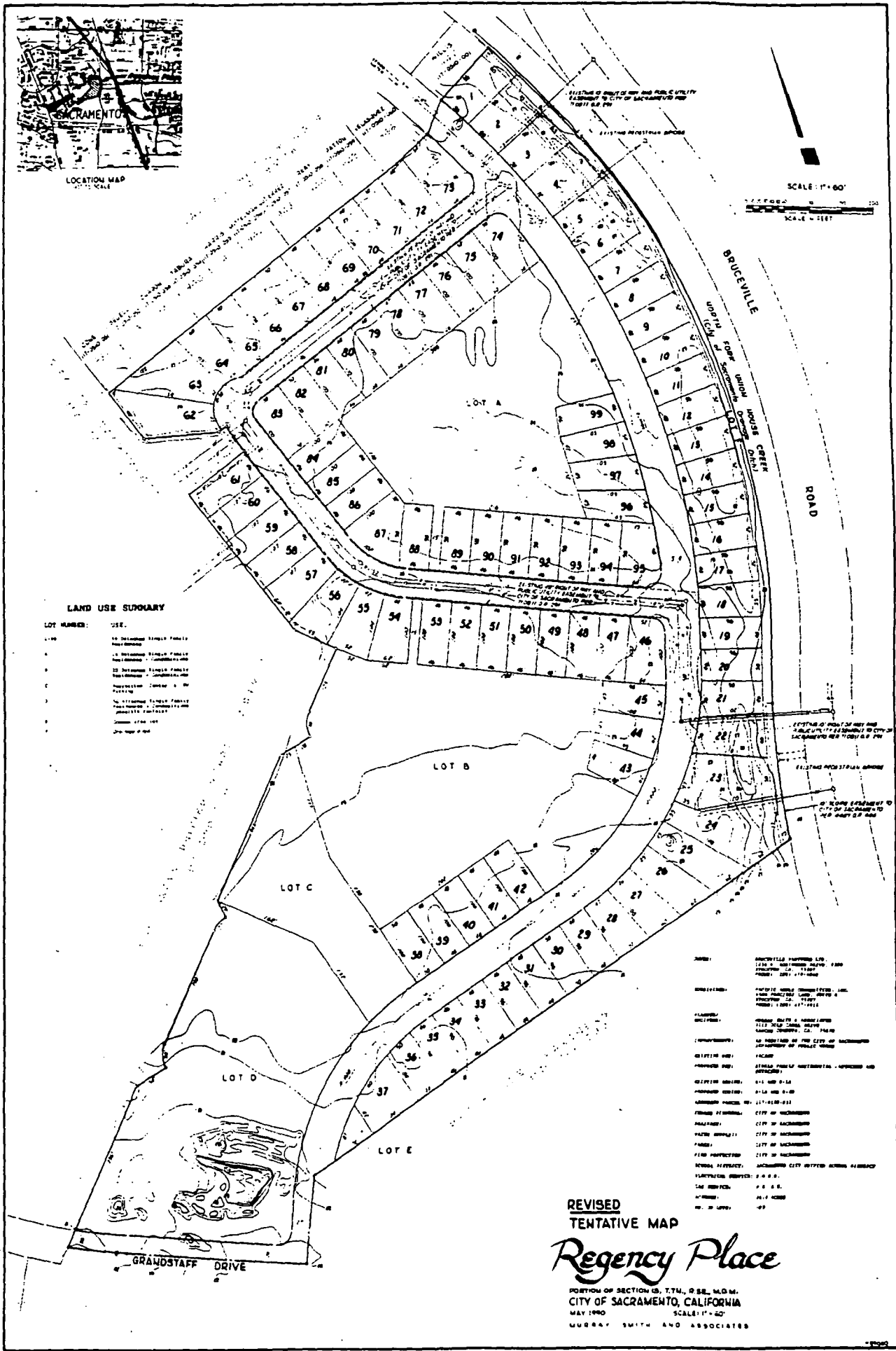
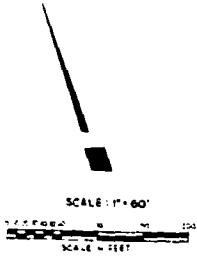
RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

# EXHIBIT A



LOCATION MAP  
SCALE



**LAND USE SUMMARY**

LOT NUMBER:	USE:
1-100	Single Family Residential
Lot A	Public Use
Lot B	Public Use
Lot C	Public Use
Lot D	Public Use
Lot E	Public Use

**OWNER:** MURPHY HOLDINGS, INC.  
**PREPARED BY:** MURPHY HOLDINGS, INC.  
**DATE:** 05/19/90  
**PROJECT:** 1990-001  
**REVISIONS:** 01/19/90 - 01/19/90  
**PLANNING:** MURPHY HOLDINGS, INC.  
**ENGINEERING:** MURPHY HOLDINGS, INC.  
**ARCHITECTURE:** MURPHY HOLDINGS, INC.  
**LANDSCAPE ARCHITECTURE:** MURPHY HOLDINGS, INC.  
**CONTRACTOR:** MURPHY HOLDINGS, INC.  
**RECORDING:** MURPHY HOLDINGS, INC.  
**PERMITS:** MURPHY HOLDINGS, INC.  
**UTILITY:** MURPHY HOLDINGS, INC.  
**INSURANCE:** MURPHY HOLDINGS, INC.  
**LEGAL:** MURPHY HOLDINGS, INC.  
**FINANCIAL:** MURPHY HOLDINGS, INC.  
**MARKETING:** MURPHY HOLDINGS, INC.  
**SALES:** MURPHY HOLDINGS, INC.  
**OPERATIONS:** MURPHY HOLDINGS, INC.  
**MAINTENANCE:** MURPHY HOLDINGS, INC.  
**REPAIRS:** MURPHY HOLDINGS, INC.  
**RENOVATIONS:** MURPHY HOLDINGS, INC.  
**DEMOLITION:** MURPHY HOLDINGS, INC.  
**CONSTRUCTION:** MURPHY HOLDINGS, INC.  
**COMPLETION:** MURPHY HOLDINGS, INC.

**REVISED  
 TENTATIVE MAP**  
*Regency Place*

PORTION OF SECTION 10, T.4N., R.8E., M.2W.,  
 CITY OF SACRAMENTO, CALIFORNIA  
 MAY 1990  
 SCALE: 1" = 60'  
 MURRAY SMITH AND ASSOCIATES

189-328

7-12-90

#19

AMENDED (8-28-90)

RESOLUTION NO. 90-714 as amended

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF \_\_\_\_\_

APPROVED BY THE CITY COUNCIL  
AUG 28 1990  
OFFICE OF THE CITY CLERK

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A TENTATIVE MAP FOR PROPERTY LOCATED AT THE WEST SIDE OF BRUCEVILLE ROAD, NORTH OF THE GRANDSTAFF DRIVE EXTENSION

(P89-328) (APN:117-0120-031-0000)

WHEREAS, the City Council on \_\_\_\_\_, held a public hearing on the request for approval of a tentative map for property located at the above described location;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the City Planning Commission and/or Planning staff has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

FOR CITY CLERK USE ONLY

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_



NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan, and Chapter 40 of the City Code, which is a Specific Plan of the City. Both the City General Plan and the South Sacramento Community Plan designate the subject site for residential use(s).
4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
  - A. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code.
  - B. Prepare sewer and drainage study for the review and approval of the City Engineer.
  - C. Pay off existing assessments, or file necessary segregation requests and fees to segregate existing assessments.
  - D. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more

-2-

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FOR CITY CLERK USE ONLY

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

than 90 days prior to filing of the map.

- E. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with title 24 requirements of the Uniform Building Code.
- F. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
- G. Meet all County Sanitation District requirements.
- H. Submit a soils test prepared by a registered engineer to be used in street design.
- \* I. Dedicate additional 15 feet of right-of-way along Union House Creek to the satisfaction of the City Public Works Department. Landscape between property line wall and edge of Union House Creek using low maintenance ground cover not exceeding one (1') foot in height. Applicant/developer agrees to join a maintenance district as established by the City for the maintenance of said landscaping. Applicant/developer agrees not to oppose the formation of said district. Applicant/developer further agrees to provide each purchaser of a parcel within this project with written notice of the pending formation of the district. It is the City's intent that all parcels within the project participate in the cost of said district.
- J. Construct chain link, or other fencing, along Union House Creek to the satisfaction of the City Public Works Department Flood and Sewer Division.
- K. Dedicate a standard 12.5 foot Public Utility Easement for underground facilities and appurtenances adjacent to all public ways.
- L. Dedicate Lots A, B and D as a Public Utility Easement for underground facilities and appurtenances except for those areas where structures or pool are located.

\* Amended by staff 8/28/90

- M. Minimum lot pad elevation 26.5 feet adjacent to Union House Creek (Lots 1 to 23).
- N. Place vertical curb, gutter and sidewalk adjacent to park frontage between Lots 61 and 88.
- O. Provide minimum 400 foot radius curve on Arroyo Vista Drive.
- P. Loop Road shall intersect Arroyo Vista Drive at as close to 90 degrees as possible and retain lot sizes and utilities with street right-of-way.
- Q. Entrance to Lot A, B, C and D shall be a standard driveway.
- R. Water distribution system within condo parcels A, B and D shall be to City standards but shall be privately owned and maintained.
- S. Show all existing easements on final map.
- T. Arroyo Vista Drive shall be designed and constructed to a 54 foot right-of-way.
- U. Adjacent to Lot D, Grandstaff Drive and Arroyo Vista Drive shall be constructed to 27 foot half street with 15 foot paving eastbound on Grandstaff Drive and northbound on Arroyo Vista Drive.
- \* V. A Homeowners Association shall be created for the maintenance of common areas and maintenance of the decorative wall adjacent to Union House Creek.
- W. Remove existing pedestrian bridges to the satisfaction of the Public Works Department Flood and Sewer Division.
- X. An agreement, or other form of documentation, ensuring that reciprocal access for Lots C and D will be maintained in perpetuity shall be reviewed and approved by the Planning Director prior to the filing of the final map.
- Y. Four foot wide maintenance easements shall be shown on the final map and recorded in the CC and R's.

\* Amended by staff 8/28/90

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**FOR CITY CLERK USE ONLY**

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

- Z. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to the review and approval of the City Engineer after consultation with the U.S.Postal Service.
- AA. Development adjacent to the City park shall be reviewed and approved by the City Parks and Community Services Department prior to final map.
- BB. Comply with mitigation measures for the negative declaration for P89-328, on file at the City Planning Department, to the satisfaction of the City's Environmental Review Coordinator.
- CC. The CC\$R's shall restrict this project to senior citizen housing (age 55 or older). If the project is not restricted to senior housing, the applicant shall either pay 100% of the school costs (average \$9,400 per single family unit), or commit to fully participate in the implementation of the financial plan that is to be put into place by the City and County to the satisfaction of the Elk Grove Unified School District prior to filing the final map.
- DD. Relocate lot line between Lot 23 and 24 to coincide with existing easements.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK

P89-255.rev

\_\_\_\_\_  
FOR CITY CLERK USE ONLY

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_



# RESOLUTION NO.

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF \_\_\_\_\_

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING  
A TENTATIVE MAP FOR PROPERTY LOCATED AT THE WEST SIDE  
OF BRUCEVILLE ROAD, NORTH OF THE GRANDSTAFF DRIVE  
EXTENSION

(P89-328) (APN:117-0120-031-0000)

WHEREAS, the City Council on \_\_\_\_\_, held a public hearing on the request for approval of a tentative map for property located at the above described location;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the City Planning Commission and/or Planning staff has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

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FOR CITY CLERK USE ONLY

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

4

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan, and Chapter 40 of the City Code, which is a Specific Plan of the City. Both the City General Plan and the South Sacramento Community Plan designate the subject site for residential use(s).
4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
  - A. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code.
  - B. Prepare sewer and drainage study for the review and approval of the City Engineer.
  - C. Pay off existing assessments, or file necessary segregation requests and fees to segregate existing assessments.
  - D. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more

than 90 days prior to filing of the map.

- E. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with title 24 requirements of the Uniform Building Code.
- F. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
- G. Meet all County Sanitation District requirements.
- H. Submit a soils test prepared by a registered engineer to be used in street design.
- I. Dedicate additional 15 feet of right-of-way along Union House Creek to the satisfaction of the City Public Works Department.
- J. Construct chain link, or other fencing, along Union House Creek to the satisfaction of the City Public Works Department Flood and Sewer Division.
- K. Dedicate a standard 12.5 foot Public Utility Easement for underground facilities and appurtenances adjacent to all public ways.
- L. Dedicate Lots A, B and D as a Public Utility Easement for underground facilities and appurtenances except for those areas where structures or pool are located.
- M. Minimum lot pad elevation 26.5 feet adjacent to Union House Creek (Lots 1 to 23).
- N. Place vertical curb, gutter and sidewalk adjacent to park frontage between Lots 61 and 88.
- O. Provide minimum 400 foot radius curve on Arroyo Vista Drive.
- P. Loop Road shall intersect Arroyo Vista Drive at as close to 90 degrees as possible and retain lot sizes and utilities with street right-of-way.
- Q. Entrance to Lot A, B, C and D shall be a standard driveway.

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**FOR CITY CLERK USE ONLY**

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

6

- R. Water distribution system within condo parcels A, B and D shall be to City standards but shall be privately owned and maintained.
- S. Show all existing easements on final map.
- T. Arroyo Vista Drive shall be designed and constructed to a 54 foot right-of-way.
- U. Adjacent to Lot D, Grandstaff Drive and Arroyo Vista Drive shall be constructed to 27 foot half street with 15 foot paving eastbound on Grandstaff Drive and northbound on Arroyo Vista Drive.
- V. A Homeowners Association and/or other entity (e.g. Lighting and Landscape Maintenance District) acceptable to the City Public Works and Planning Departments shall be created for the maintenance of common areas and other required landscape area(s).
- W. Remove existing pedestrian bridges to the satisfaction of the Public Works Department Flood and Sewer Division.
- X. An agreement, or other form of documentation, ensuring that reciprocal access for Lots C and D will be maintained in perpetuity shall be reviewed and approved by the Planning Director prior to the filing of the final map.
- Y. Four foot wide maintenance easements shall be shown on the final map and recorded in the CC and R's.
- Z. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to the review and approval of the City Engineer after consultation with the U.S. Postal Service.
- AA. Development adjacent to the City park shall be reviewed and approved by the City Parks and Community Services Department prior to final map.
- BB. Comply with mitigation measures for the negative declaration for P89-328, on file at the City Planning Department, to the satisfaction of the City's Environmental Review Coordinator.
- CC. The CC&R's shall restrict this project to senior citizen housing (age 55 or older). If the project is not restricted to senior housing, the applicant shall either pay 100%

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**FOR CITY CLERK USE ONLY**

RESOLUTION NO.: \_\_\_\_\_

DATE ADOPTED: \_\_\_\_\_

of the school costs (average \$9,400 per single family unit), or commit to fully participate in the implementation of the financial plan that is to be put into place by the City and County to the satisfaction of the Elk Grove Unified School District prior to filing the final map.

DD. Relocate lot line between Lot 23 and 24 to coincide with existing easements.

ATTEST:

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY CLERK

P89-255

-5-

FOR CITY CLERK USE ONLY

RESOLUTION NO.: \_\_\_\_\_

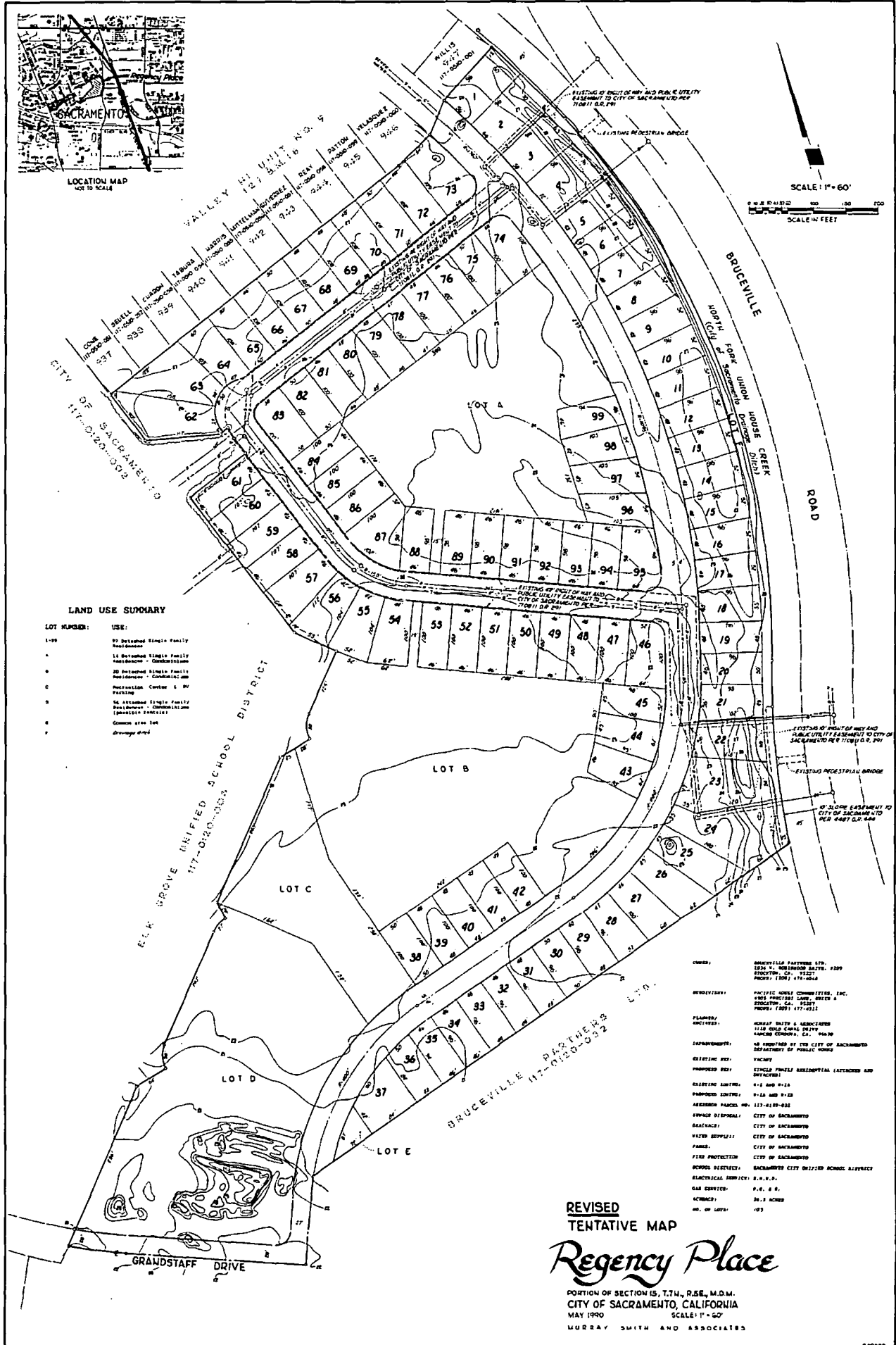
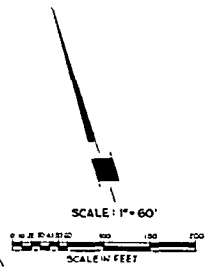
DATE ADOPTED: \_\_\_\_\_

*8*

# EXHIBIT A



LOCATION MAP  
NOT TO SCALE



**LAND USE SUMMARY**

LOT NUMBER:	USE:
1-99	99 Detached Single Family Residential
10	10 Detached Single Family Residential - Corner/Lot Line
100	100 Detached Single Family Residential - Corner/Lot Line
101	101 Detached Single Family Residential - Corner/Lot Line
102	102 Detached Single Family Residential - Corner/Lot Line
103	103 Detached Single Family Residential - Corner/Lot Line
104	104 Detached Single Family Residential - Corner/Lot Line
105	105 Detached Single Family Residential - Corner/Lot Line
106	106 Detached Single Family Residential - Corner/Lot Line
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197	197 Detached Single Family Residential - Corner/Lot Line
198	198 Detached Single Family Residential - Corner/Lot Line
199	199 Detached Single Family Residential - Corner/Lot Line
200	200 Detached Single Family Residential - Corner/Lot Line

OWNER: BRUCEVILLE PARTNERS LTD.  
1934 W. ROBINSON BLVD. #209  
FOSTER, CA 95631  
PHONE: (916) 476-0648

DEVELOPER: PACIFIC HOUSING COMMUNITIES, INC.  
1805 PINECREST LANE, GREEN A  
FOSTER, CA 95631  
PHONE: (916) 477-0312

PLANNER/ARCHITECT: HENRY WATTS & ASSOCIATES  
1118 OLD CAROL DRIVE  
LAND OAKS, CA 95669

APPROVED BY: AS FORWARDED BY THE CITY OF SACRAMENTO  
DEPARTMENT OF PUBLIC WORKS

EXISTING USE: VACANT

PROPOSED USE: SINGLE FAMILY RESIDENTIAL (ATTACHED AND DETACHED)

EXISTING ZONING: R-1.5 AND R-2.5

PROPOSED ZONING: R-1.5 AND R-2.5

ASSASSIN PARCEL NO: 127-010-001

SPACE DESIGNER: CITY OF SACRAMENTO

AGENCY: CITY OF SACRAMENTO

WATER SUPPLY: CITY OF SACRAMENTO

SEWER: CITY OF SACRAMENTO

FIRE PROTECTION: CITY OF SACRAMENTO

SCHOOL DISTRICT: SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

ELECTRICAL SERVICE: S.U.E.P.

GAS SERVICE: P.G. & E.

ACREAGE: 26.3 ACRES

NO. OF LOTS: 103

**REVISED  
TENTATIVE MAP**

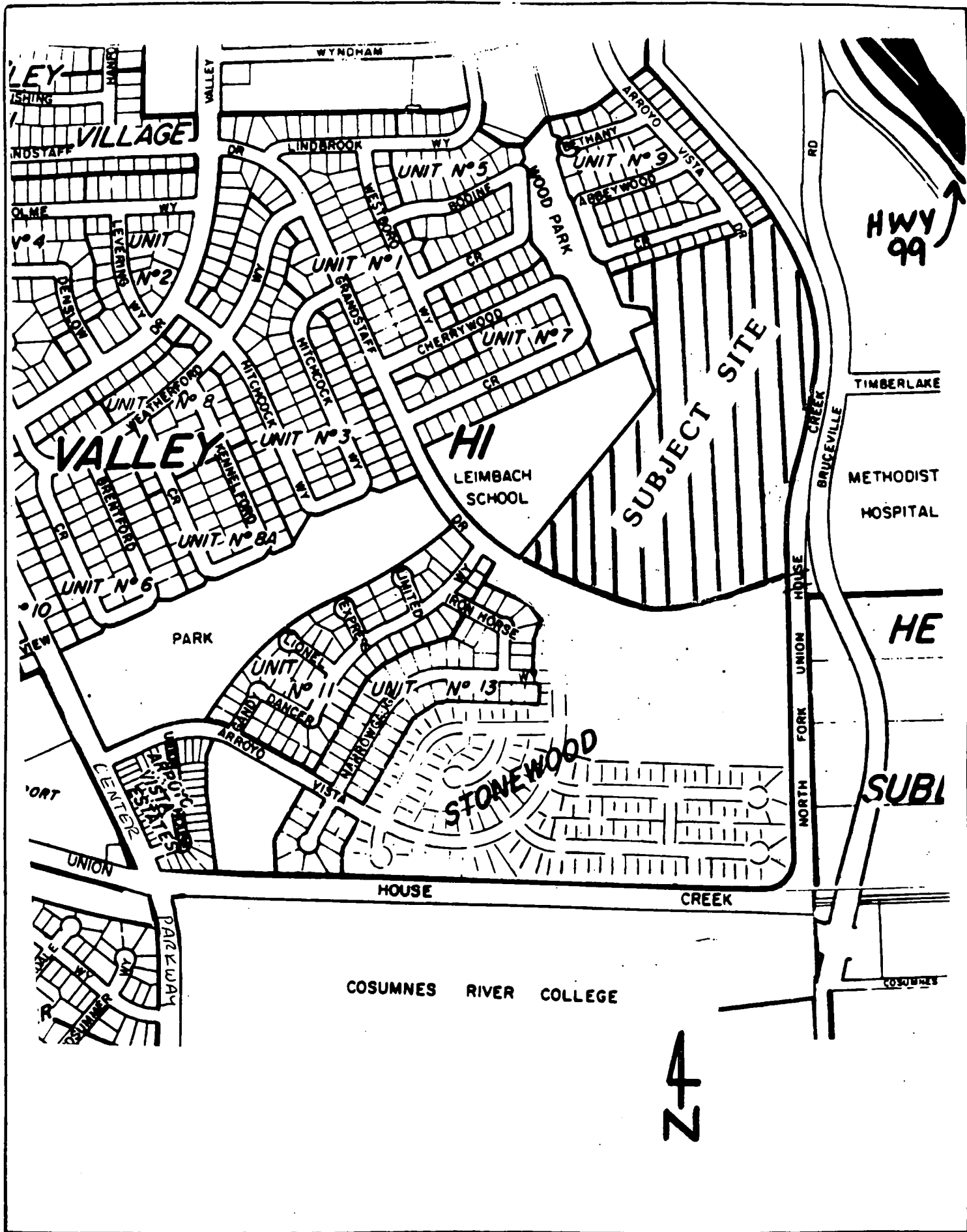
## Regency Place

PORTION OF SECTION 15, T.7N., R.5E., M.D.M.  
CITY OF SACRAMENTO, CALIFORNIA  
MAY 1990 SCALE: 1" = 60'  
MURRAY SMITH AND ASSOCIATES

189-328

7-12-90 9

#19



**VICINITY - LAND USE - ZONING**

P 89-328

JULY 12, 1990 10

#19

**Sacramento City Planning Commission  
VOTING RECORD**

**MEETING DATE**  
July 12, 1990

**ITEM NUMBER**  
198

**PERMIT NUMBER**  
P 89-328

**ENTITLEMENTS**

- |   |   |
|---|---|
| <input type="checkbox"/> GENERAL PLAN AMENDMENT   | <input checked="" type="checkbox"/> TENTATIVE MAP |
| <input type="checkbox"/> COMMUNITY PLAN AMENDMENT | <input type="checkbox"/> SUBDIVISION MODIFICATION |
| <input type="checkbox"/> REZONING                 | <input type="checkbox"/> LOT LINE ADJUSTMENT      |
| <input type="checkbox"/> SPECIAL PERMIT           | <input type="checkbox"/> ENVIRONMENTAL DET.       |
| <input type="checkbox"/> VARIANCE                 | <input type="checkbox"/> OTHER _____              |

**STAFF RECOMMENDATION**

Favorable  Unfavorable

Correspondence

Petition

**LOCATION**  
W. of Blueville Rd., north of Grandstaff extension

**PROPOSERS**

NAME	ADDRESS

**OPPOSERS**

NAME	ADDRESS

**MOTION #** \_\_\_\_\_

Yes    No    Motion Second

BECERRA	✓			
CHINN	absent			
HOLLOWAY	✓			
NOTESTINE	✓		✓	
OTTO	✓			✓
ROSEN	✓			
YEE	absent			
HOLLICK	✓			

**MOTION**

- |  |  |
|--|--|
| <input type="checkbox"/> TO APPROVE  | <input type="checkbox"/> TO RECOMMEND APPROVAL & FORWARD TO CITY COUNCIL                             |
| <input type="checkbox"/> TO DENY   | <input checked="" type="checkbox"/> TO RECOMMEND APPROVAL SUBJECT TO COND. & FORWARD TO CITY COUNCIL |
| <input type="checkbox"/> TO APPROVE SUBJECT TO COND. & BASED ON FINDINGS OF FACT IN STAFF REPORT | <input type="checkbox"/> TO RATIFY NEGATIVE DECLARATION  |
| <input type="checkbox"/> TO APPROVE/DENY BASED ON FINDINGS OF FACT IN STAFF REPORT               | <input type="checkbox"/> TO CONTINUE TO _____ MEETING  |
| <input type="checkbox"/> INTENT TO APPROVE/DENY SUBJECT TO COND. & BASED ON FIND. OF FACT DUE    | <input type="checkbox"/> OTHER _____   |



REPORT AMENDED BY STAFF 7-12-90  
CITY PLANNING COMMISSION  
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	Murray Smith and Associates; 3110 Gold Canal Drive; Rancho Cordova, CA. 95670		
OWNER	Bruceville Partners; 1036 W. Robinhood Dr., Ste. 209; Stockton, CA. 95207		
PLANS BY	Murray Smith and Associates		
FILING DATE	September 8, 1989	ENVIR. DET.	Negative Declaration
			REPORT BY DCS
ASSESSOR'S PCL. NO.	117-0120-031-0000		

- APPLICATION:**
- A. Negative Declaration
  - B. Tentative Map to divide 26.2± gross vacant acres into 99 single family parcels; a 14 unit condominium parcel; a 48 20 unit condominium parcel; a 56 condominium parcel and a recreation center site. (staff amended)
  - C. Special Permit to allow the development of 99 zero lot line homes.
  - D. Special Permit to allow development of 14 condominium units (Lot A); 48 20 condominium units (Lot B); and 56 condominium units (Lot D). (staff amended)

**LOCATION:** West of Bruceville Road, north of Grandstaff extension.

**PROPOSAL:** The applicant is requesting the necessary entitlements to subdivide 26.2± vacant acres into single family residential lots and townhouse lots for senior citizens in the Single Family Alternative (R-1A) zone.

**PROJECT INFORMATION:**

General Plan Designation:	Low Density Residential (4-15 DU/NA)
1986 South Sacramento Community Plan Designation:	Residential (4-8 DU/NA)
Existing Zoning of Site:	R1-A
Existing Land Use of Site:	Vacant

**Surrounding Land Use and Zoning:**

North:	Single Family Residential; R-1
South:	Vacant; R-1 and R-1A
East:	Hospital, Medical Offices and Vacant; OB,H, and A
West:	Park and School; A

Property Dimensions:	Irregular
Property Area:	26.20 acres
Topography:	Flat
Street Improvements:	To Be Provided
Utilities:	To Be Provided

**SUBDIVISION REVIEW COMMITTEE RECOMMENDATION:** On June 13, 1990, by a vote of seven ayes; two absents, the Subdivision Review Committee voted to recommend approval of the tentative map subject to the attached conditions.

APPCL. NO. P89-328

MEETING DATE July 12, 1990

ITEM NO. 19

12

PROJECT EVALUATION:

A. Land Use and Zoning

The subject site is designated Low Density Residential ( 4-15 du/net ac) in the General Plan; and Low Density Residential (4-8 du/net ac) in the 1986 South Sacramento Community Plan. The site is bounded by single family residences to the north and west; to the east is Methodist Hospital and related medical offices; to the south is a proposed single family residential subdivision (Stonewood Subdivision). A City Park and Herman Leimbach Elementary School border the project on its westerly side.

Zoning of the site is Single Family Alternative (R1-A). Surrounding properties are zoned R-1 to the north and west; R1-A to the south; and Office Building (O-B), Hospital (H) and Agriculture (A) to the east.

B. Applicant's Proposal

A senior housing complex is proposed on the 26± acres. The project includes 99 single family homes on individual parcels; 32 34 single family homes located in two separate clusters; 56 attached units; and a recreational facility for the residents of the complex. (staff amended)

C. Site Plan and Building Design

The single family homes are primarily designed on the perimeter of the property. Two clusters of detached single family homes are located in the center of the subdivision on two lots. One cluster has 14 condominium units. The second cluster has 18 20 condominium units. These two condominium lots are designed with security gates and have a total of 32 homes. (staff amended)

The 56 condominium units will be located at the southerly end of the site off of Grandstaff Drive and Arroyo Vista Drive. A recreational facility is proposed for Lot C. This facility is for the use of the residents within the Regency Place Subdivision. Included in the facility is a swimming pool, recreation center and recreation vehicle parking area. Landscaping will be provided around Lots C and D which will be maintained by the homeowners association. The project's design has been found to be acceptable by staff.

Single family homes within the complex will be two and three bedrooms approximately 1,300 to 1,600 square feet in size. The 56 attached condominium units will be one and two bedrooms approximately 700 to 1,100 square feet in size. All buildings are proposed to be constructed of stucco and wood trim with tile or wood shake roofs.

D. Building Setbacks and Zero Lot Lines

The property is zoned Single Family Alternative (R1-A) zone. The R1-A zone permits variations to the standard single family setbacks of (basically) 25 feet, front yard; 15 foot, rear yard; and 5 foot, side yards. The project is a zero lot line development. Buildings will be constructed on the side yard property line. In this case, a 4 foot wide easement is provided for the maintenance of adjacent buildings. The front yard setback for homes in this project will be 20 feet. Staff is recommending that front yard setbacks be varied where possible to add to the visual interest of the project. Rear yards vary between 10 and 15 feet. Staff feels that adequate yard area is provided in the case as units with rear yards smaller than 15 feet will be adjacent to Union House Creek. Because of their location to the creek, there will not be a concern of encroachment of others buildings on adjoining property.

F. Issues/ Neighborhood Comments

Traffic

The applicant's original proposal included a private road system for the project. The Transportation Division of Public Works required that public streets be provided throughout the subdivision. Neighbors to the north of the

13

development have expressed their desire to close off Arroyo Vista Drive to through traffic. The Transportation Division points out that Arroyo Vista Drive is a 54 foot right-of-way, a collector street by City standards. Collector streets are intentionally designed to accommodate greater volumes of traffic than smaller minor streets. In this case, the street was intentionally designed to handle an increased amount of traffic such as that proposed by the subject development. Staff recommends that Arroyo Vista Drive be a through street as shown in the attached exhibits.

Streets within the development will connect with Grandstaff Drive to the south and west; and with Bruceville Road to the south and east. The Bruceville connection will be through the Stonewood subdivision which will be aligned with Timberlake Road (on the east side of Bruceville Road).

G. Agency Comments

Union House Creek-Flood and Pedestrian Bridges

Union House Creek is adjacent to the subdivision on the east. The City's Flood and Sewer Division of Public Works is conducting a study of Union House Creek in preparation of a channel widening project that will help accommodate flood waters in the area. The Flood and Sewer Division, in anticipation of future work, has required a 15 foot wide dedication of property along the creek for that future work. The developer has worked with the City to design the project to accommodate the flood improvement needs of the area.

There are also two existing pedestrian bridges that cross Union House Creek. These bridges were constructed by previous land owners for agricultural access to the property. The Flood and Sewer Division is concerned that the bridges would hamper the free flow of flood water during larger flood volumes. Because of that concern, the Flood and Sewer Division is recommending that these two bridges be removed as they would be inundated by 100 year flood level water.

Sound Wall

The environmental analysis for the project has identified a need for a sound wall along the easterly side of the property. The wall will be located on the rear property lines of the single family lots along Union House Creek. The wall will be landscaped on the easterly side to enhance its appearance from Bruceville Road.

Park

The site is adjacent to a City park. The developer and the City Parks and Community Services Department are coordinating the design to ensure that access and security needs are met.

**ENVIRONMENTAL DETERMINATION:** The Environmental Services Manager has determined that the project, as proposed, will not have a significant impact to the environment; therefore, a Negative Declaration has been prepared. The following mandatory mitigation measures shall be incorporated into the project to reduce potential environmental impacts to below a level of significance:

1. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local PM 10 levels in the vicinity of the construction zones. Elements of this program should include the following:
  - a. Sprinkle all unpaved construction areas with water at least twice per day during grading and excavation to reduce dust emissions by about 50%.
  - b. Cover stockpiles of sand, soil, and similar materials with a tarp.
  - c. Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.

- d. Sweep up dirt or debris spilled onto paved surfaces immediately to reduce re-suspension of PM 10 through vehicle movements over these surfaces.
  - e. Increase the frequency of City street cleaning along streets in the vicinity of the construction site.
  - f. Require construction contractors to designate a person or persons to oversee the dust abatement program and to order increased watering, as necessary.
2. Building permit plans shall verify the precise elevation of the subject site within the flood plain and indicate the finished floor of the first habitable floor is at least one foot above the 100 year flood plain.
  3. Building permit plans shall verify that anything which can be damaged by flood or cause damage to the rest of the structure in the event of a flood is located at least one foot above the 100 year flood plain.
  4. The applicant shall construct a six foot high noise barrier wall along the portion of the site abutting Union House Creek prior to the issuance of occupancy permits for the single family residences that abut the creek.
  5. The applicant shall consult with the North Central Information Center at CSUS to identify known cultural resources and potential cultural resources which could be found on this site. This consultation shall be submitted to the Environmental Services Division for review and approval prior to issuance of any building permit. If the records search indicates that a potential exists for cultural resources, an archaeological field survey shall be conducted by a professional archaeologist to analyze the significance of the resource and recommend necessary preservation and mitigation measures. This survey shall be submitted to the Environmental Services Division for review and approval prior to issuance of any building permit.

**RECOMMENDATION:** Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Recommend approval of the tentative map to divide 26.2± gross vacant acres into 99 single family parcels; 14 unit condominium parcels; ~~18~~ 20 unit condominium parcels; 56 condominium parcels and a recreation center site subject to the following conditions and forward to the City Council; (*staff amended*)
- C. *Approve the Special Permit to allow the development of 99 zero lot line homes subject to conditions and based on findings of fact which follow; and (staff amended)*
- D. *Approve the Special Permit to allow development of 14 condominium units (Lot A); ~~18~~ 20 condominium units (Lot B); and 56 condominium units (Lot D) subject to the following conditions and findings of fact: (staff amended)*

**Conditions - Tentative Map**

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code.
2. Prepare sewer and drainage study for the review and approval of the City Engineer.
3. Pay off existing assessments, or file necessary segregation requests and fees to segregate existing assessments.
4. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to filing of the map.

5. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required 80% south orientation (including solar access) to the satisfaction of the Planning Director, or comply with title 24 requirements of the Uniform Building Code.
6. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.
7. Meet all County Sanitation District requirements.
8. Submit a soils test prepared by a registered engineer to be used in street design.
9. Dedicate additional 15 feet of right-of-way along Union House Creek to the satisfaction of the City Public Works Department.
10. Construct chain link, or other fencing, along Union House Creek to the satisfaction of the City Public Works Department Flood and Sewer Division.
11. Dedicate a standard 12.5 foot Public Utility Easement for underground facilities and appurtenances adjacent to all public ways.
12. Dedicate Lots A, B and D as a Public Utility Easement for underground facilities and appurtenances except for those areas where structures or pools are located.
13. Minimum lot pad elevation 26.5 feet adjacent to Union House Creek (Lots 1 to 23).
14. Place vertical curb, gutter and sidewalk adjacent to park frontage between Lots 61 and 88.
15. Provide minimum 400 foot radius curve on Arroyo Vista Drive.
16. Loop Road shall intersect Arroyo Vista Drive at as close to 90 degrees as possible and retain lot sizes and utilities with street right-of-way.
17. Entrance to Lot A, B, C and D shall be a standard driveway.
18. Water distribution system within condo parcels A, B and D shall be to City standards but shall be privately owned and maintained.
19. Show all existing easements on final map.
20. Arroyo Vista Drive shall be designed and constructed to a 54 foot right-of-way.
21. Adjacent to Lot D, Grandstaff Drive and Arroyo Vista Drive shall be constructed to 27 foot half street with 15 foot paving eastbound on Grandstaff Drive and northbound on Arroyo Vista Drive. (staff amended)
22. A Homeowners Association shall be formed and incorporated. CC and R's shall be reviewed by the Planning Director to ensure that common areas are maintained.
23. Remove existing pedestrian bridges to the satisfaction of the Public Works Department Flood and Sewer Division.
24. An agreement, or other form of documentation, ensuring that reciprocal access for Lots C and D will be maintained in perpetuity shall be reviewed and approved by the Planning Director prior to the filing of the final map.

25. Four foot wide maintenance easements shall be shown on the final map and recorded in the CC and R's.
26. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easement shall be subject to the review and approval of the City Engineer after consultation with the U.S.Postal Service.
27. Development adjacent to the City park shall be reviewed and approved by the City Parks and Community Services Department prior to final map.
28. Comply with mitigation measures for the negative declaration for P89-328, on file at the City Planning Department, to the satisfaction of the City's Environment Review Coordinator.
29. *The CC&R's shall restrict this project to senior citizen housing (age 55 or older). If the project is not restricted to senior housing the applicant shall either pay 100% of the school costs (average of \$9,400 per single family unit) or commit to fully participate in the implementation of the financial plan that is to be put into place by the City and the County to the satisfaction of the Elk Grove Unified school District prior to filing the final map. (staff added)*
30. *Relocate lot line between Lot 23 and 24 to coincide with existing easements. (staff added)*

Conditions - Special Permit

1. Project shall be constructed per the approved site plans. Any minor modification shall require review by the Planning Director; substantial modifications shall require approval of a special permit modification by the Planning Commission.
2. A decorative brick sound wall shall be provided along the east property line of the subdivision and shall be coordinated with the wall required for the Stonewood subdivision to the south. Landscaping and irrigation shall also be provided on the east side of the wall. The wall and landscaping shall be reviewed and approved by the Flood and Sewer Division and Planning Director prior to issuance of any building permits.
3. A landscape plan shall be submitted and approved by the Planning Director prior to issuance of any building permits.
4. Front yard setbacks shall be varied between 20 and 25 feet where possible for the single family detached dwellings.
5. *Language shall be included in the deed restrictions and covenants, conditions and restrictions and/or in a separate document which assures that the 189 unit development shall only be sold, rented to or used by senior individuals. A senior means persons over the age of 55 years, provided that for each unit sold, rented to, or used by, two or more persons, one of such persons may be under 55 years old. Such language shall be acceptable in form and content to the Planning Director and City Attorney and may conclude any measure for enforcement deemed appropriate by the Planning Director and City Attorney. (staff added)*

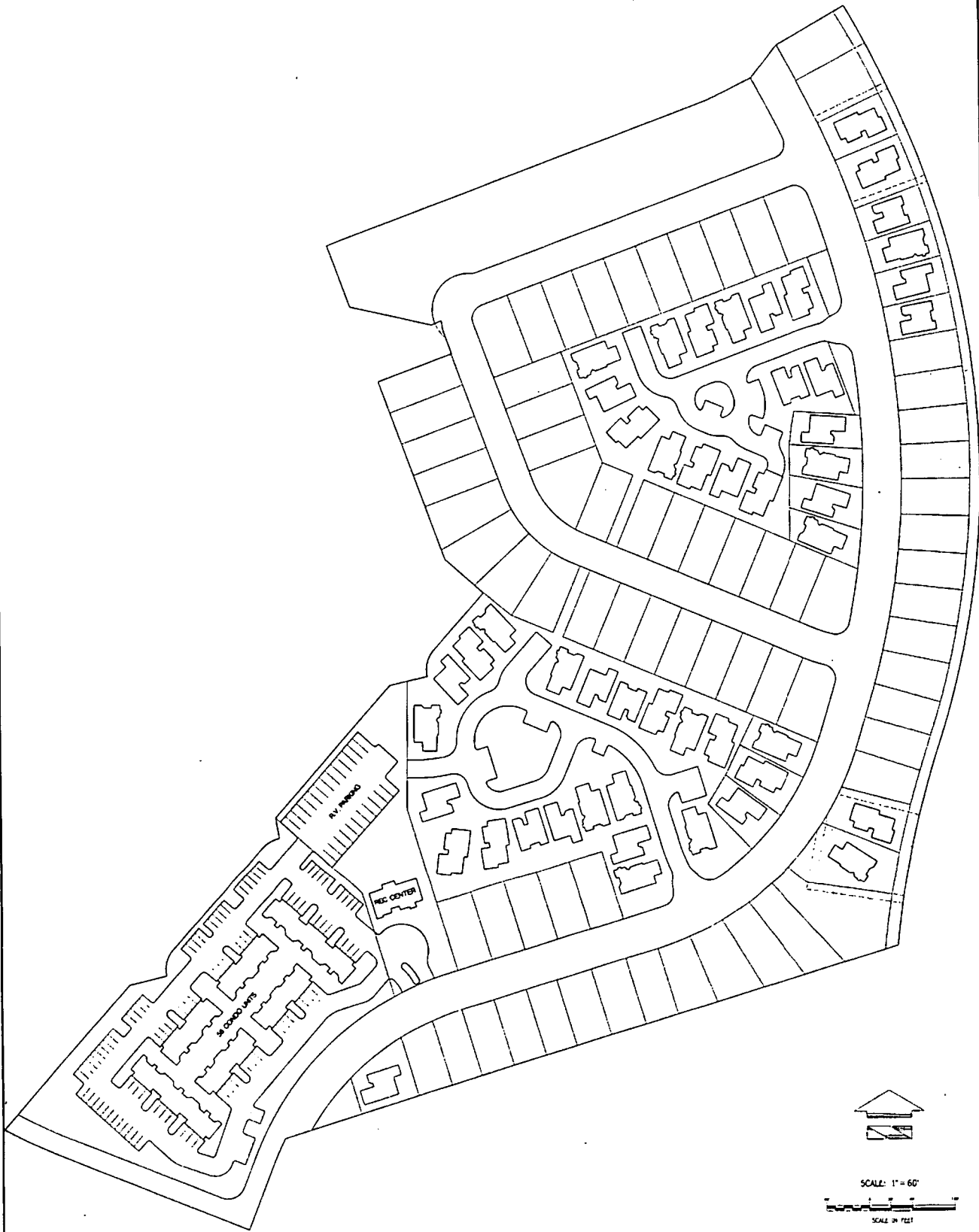
Findings of Fact

1. The proposed project, as conditioned, is based on sound principles of land uses in that residential development is consistent with the surrounding residential neighborhoods.
2. The proposed project, as conditioned, will not be detrimental to the public health, safety or welfare to the neighboring properties in that:
  - a. adequate on-site parking will be provided; and
  - b. adequate setbacks will be provided.

3. The proposed project is consistent with the General and South Sacramento Community Plans which designates the site for low density residential uses.

REGENCY PLACE  
TYPICAL BUILDING LAYOUT

**EXHIBIT B**



SCALE: 1" = 60'  
SCALE IN FEET

189-328

7-12-90

19

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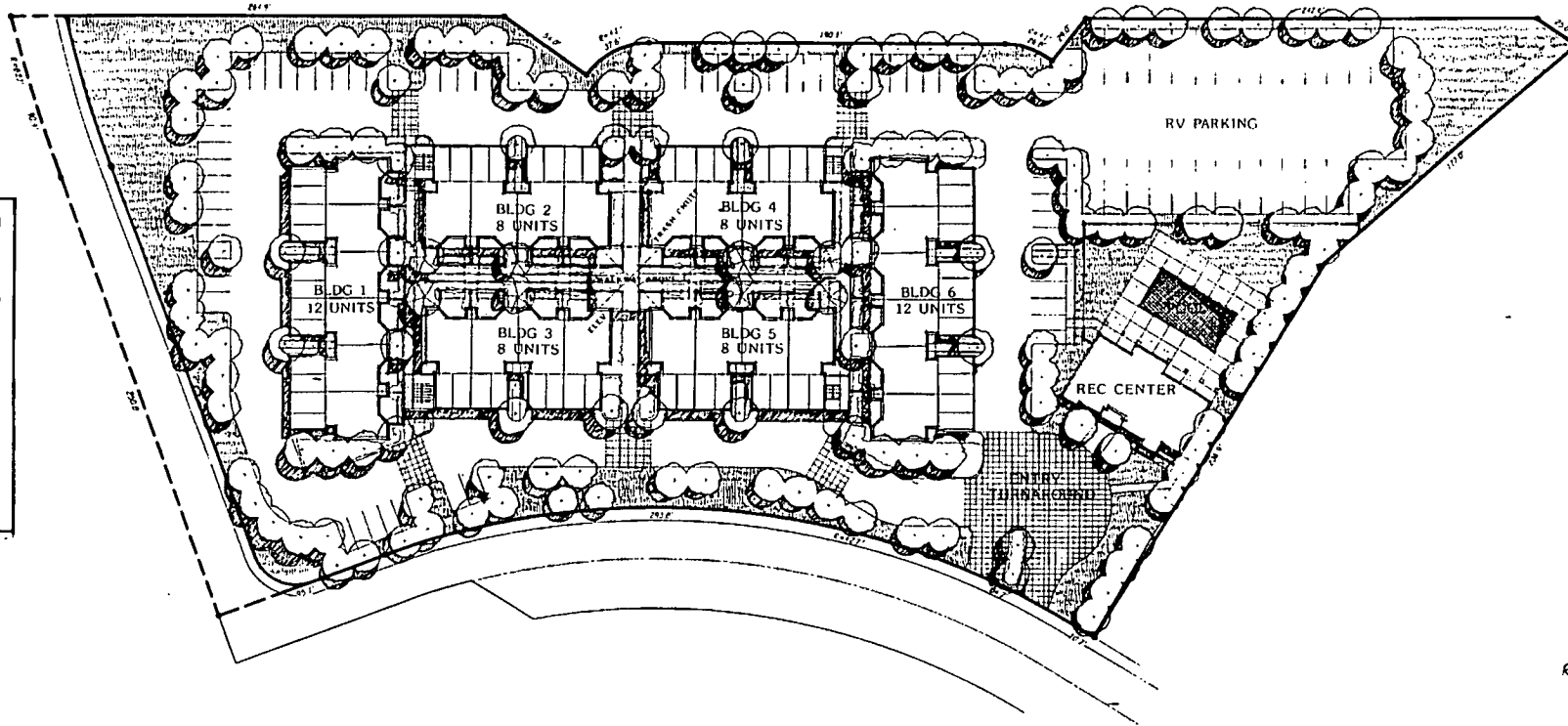


# REGENCY PLACE

## RECREATION CENTER & CONDOMINIUM COMPLEX

### LOTS C and D

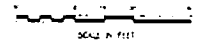
**EXHIBIT C**



CONCEPTUAL SITE PLAN

REGENCY PLACE  
LOTS C AND D  
PLN# 6-22-92

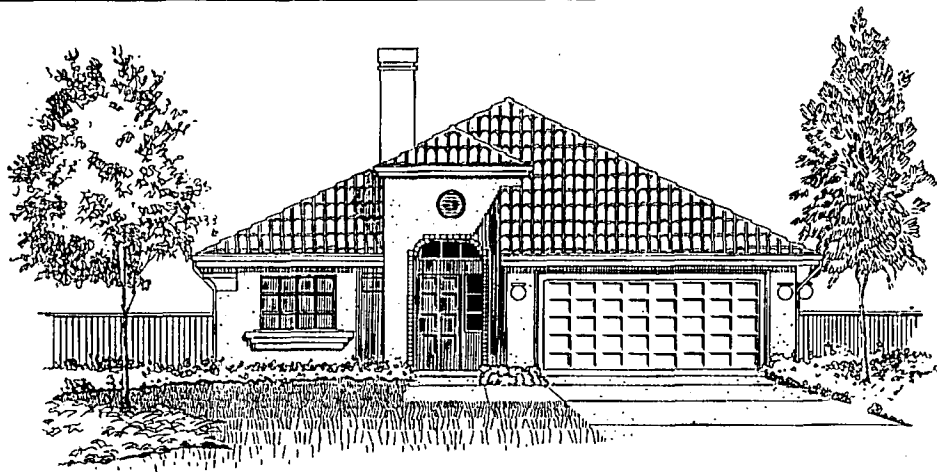
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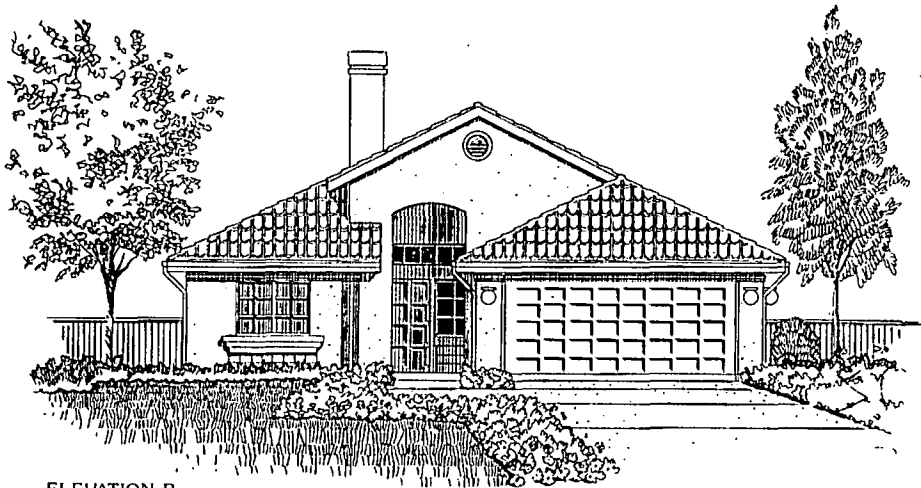
NOTES  
SEE EXHIBITS WITH ALL OTHER PLANNING

**Murray Smith**  
Murray Smith & Associates  
Civil Engineering      Land Surveying  
2170 East Lake, #1      Parkville, California, CA  
(916) 621-1111      (916) 621-1111

#19  
 02  
 7-12-90  
 P89-328



ELEVATION A



ELEVATION B

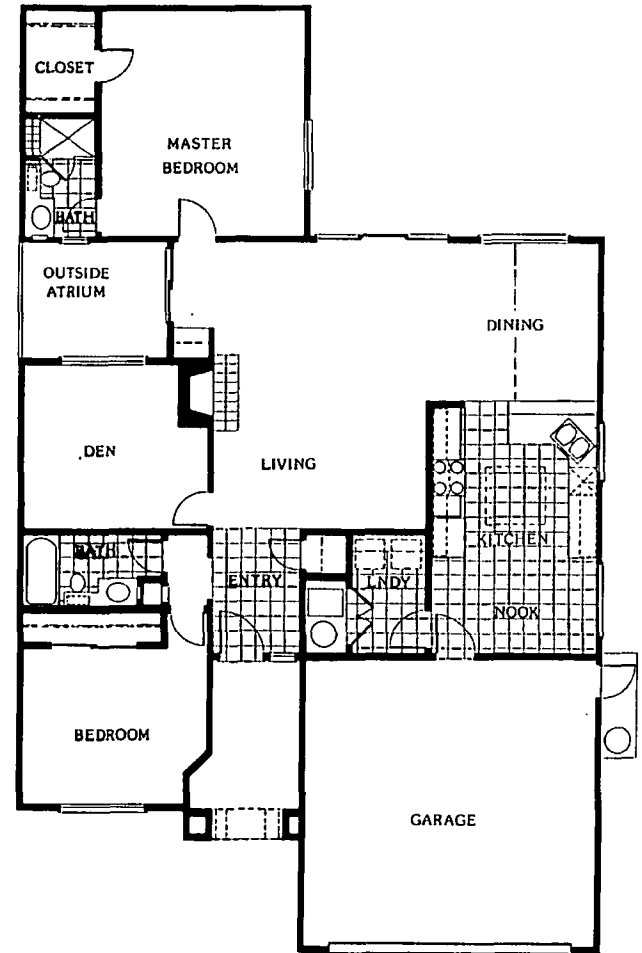
EXHIBIT D-1



DETACHED RESIDENTIAL

REGENCY · PLACE · SACRAMENTO · CALIFORNIA

PACIFIC · ADULT · COMMUNITIES



PLAN 1541

DAHLIN GROUP  
ARCHITECTS · PLANNERS

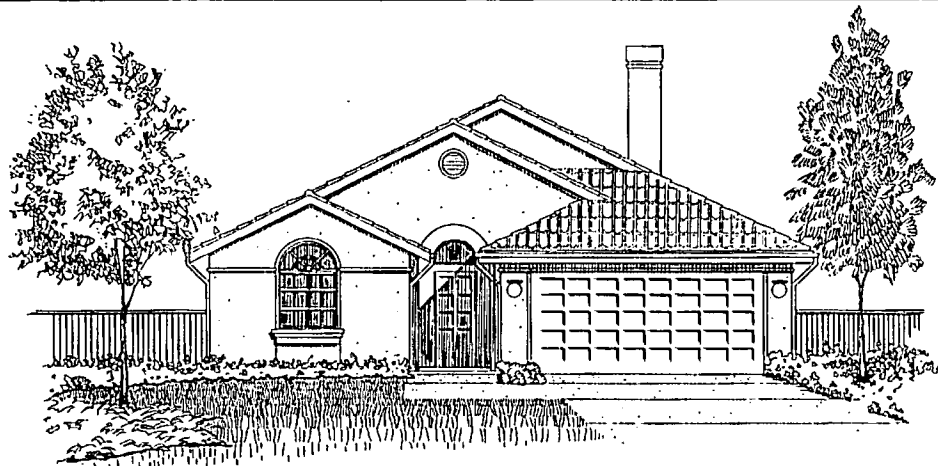
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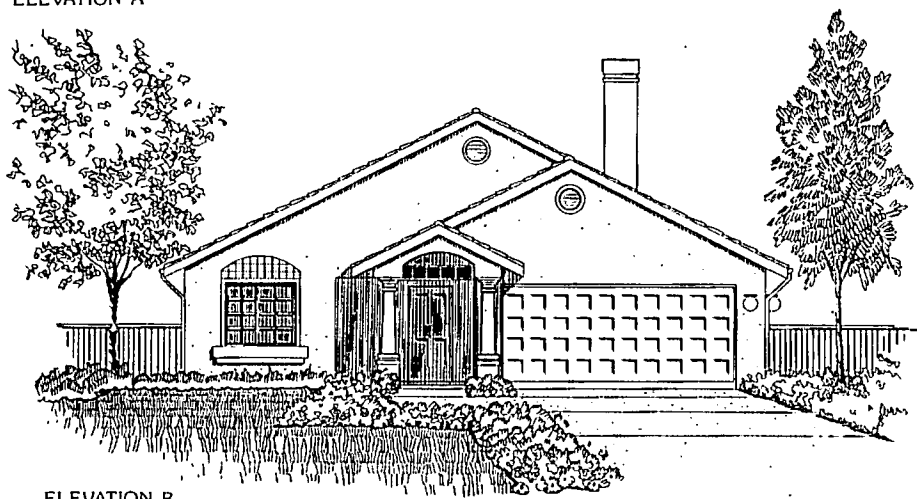
July 12, 1990

PS9-328

EXHIBIT D-2



ELEVATION A



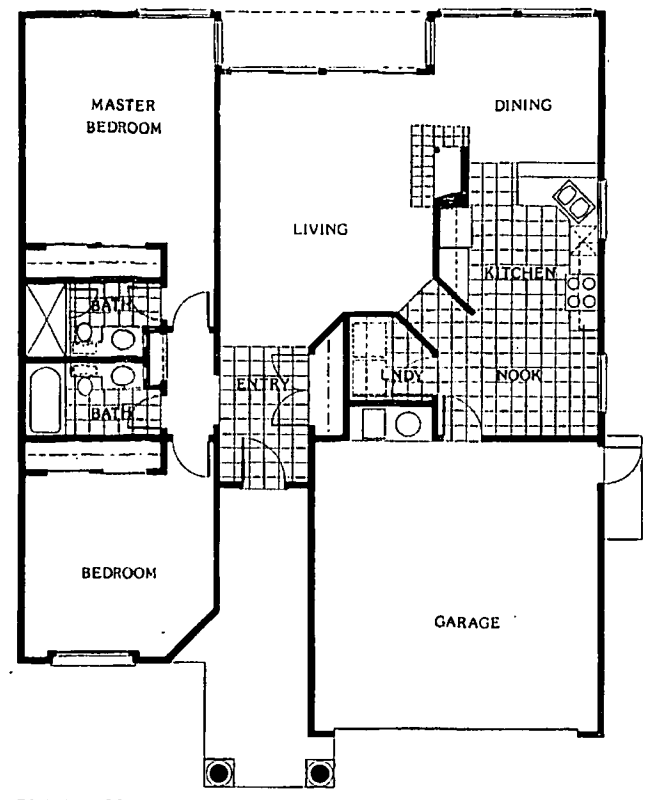
ELEVATION B



DETACHED RESIDENTIAL

REGENCY • PLACE • SACRAMENTO • CALIFORNIA

PACIFIC • ADULT • COMMUNITIES



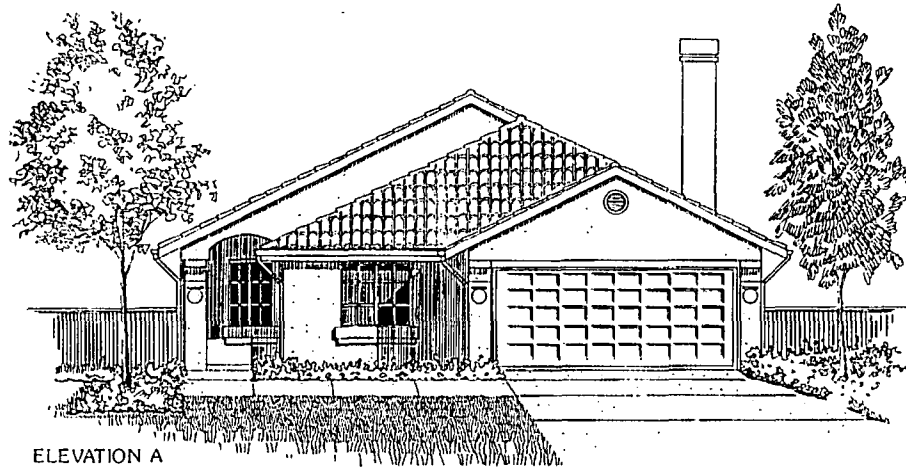
PLAN 1331

DAHLIN GROUP  
ARCHITECTS • PLANNERS

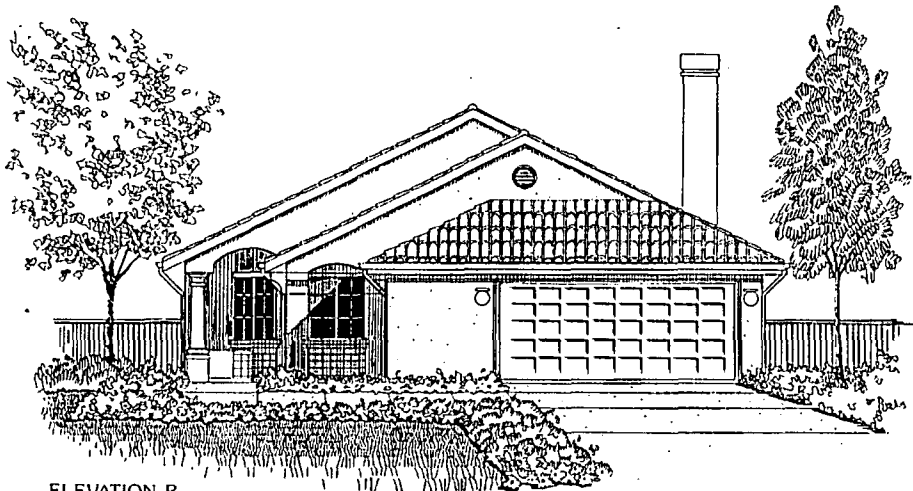
2671 Crow Canyon Road • San Ramon, CA 94583

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July 12, 1990  
P89-328

EXHIBIT E



ELEVATION A



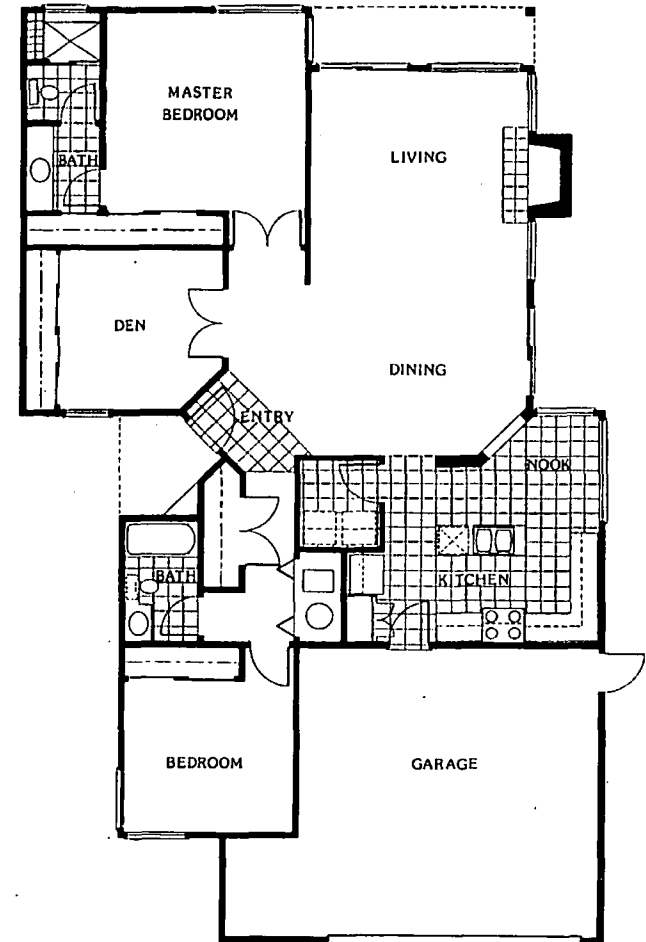
ELEVATION B



DETACHED RESIDENTIAL

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PACIFIC · ADULT · COMMUNITIES



PLAN · 1578

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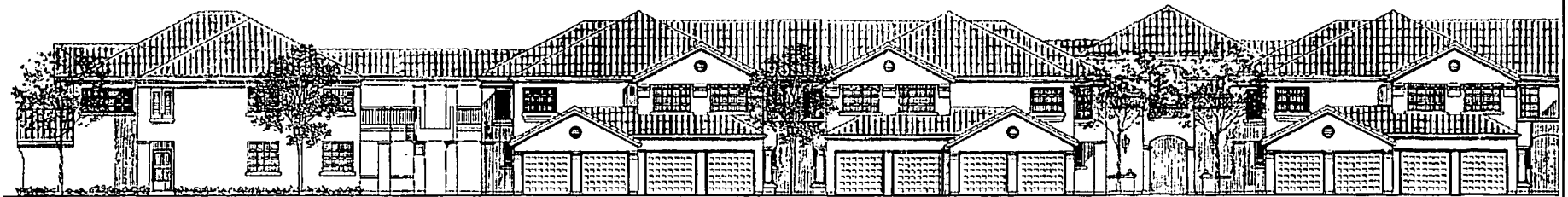
2571 Crow Canyon Road · San Ramon, CA 94583

P89-328 July 12, 1990 23 #19

EXHIBIT F



INNER COURT ELEVATION



PARTIAL DRIVE ELEVATION



APARTMENT EXTERIOR ELEVATIONS

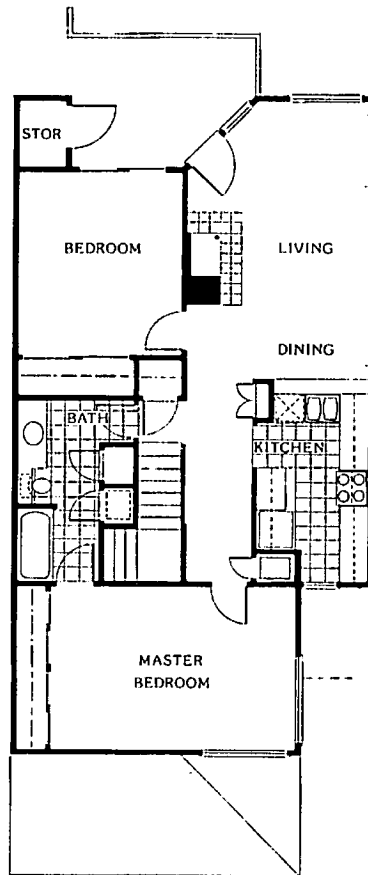
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PACIFIC · ADULT · COMMUNITIES

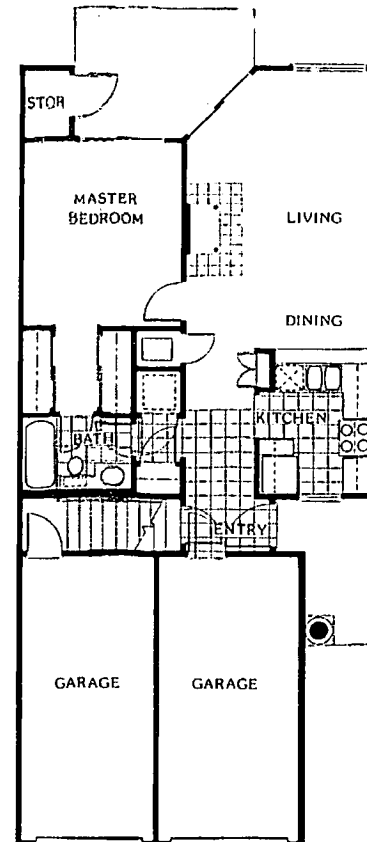
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July 12, 1990 24  
P89-328



SECOND STORY PLAN  
TWO BEDROOM  
1020 SQUARE FEET



FIRST STORY PLAN  
ONE BEDROOM  
705 SQUARE FEET



APARTMENT FLOOR PLANS

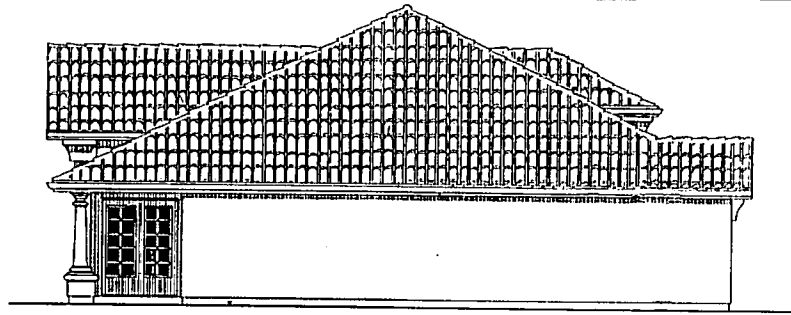
REGENCY · PLACE · SACRAMENTO · CALIFORNIA

PACIFIC · ADULT · COMMUNITIES

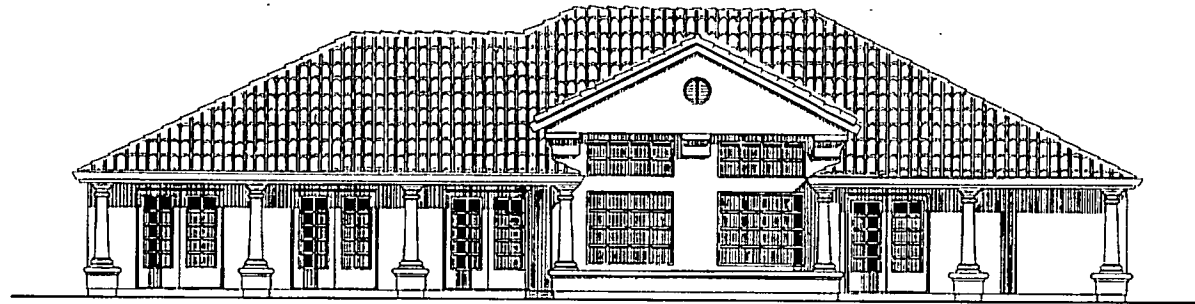
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2024 California State Capitol Building, Sacramento, CA 95833

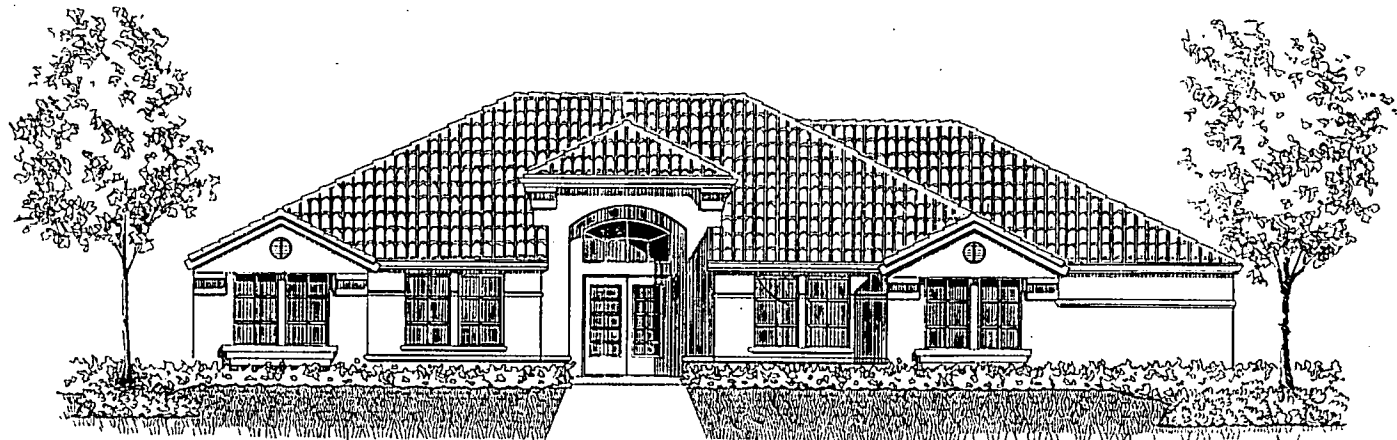
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WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



RECREATION BUILDING  
EXTERIOR ELEVATIONS

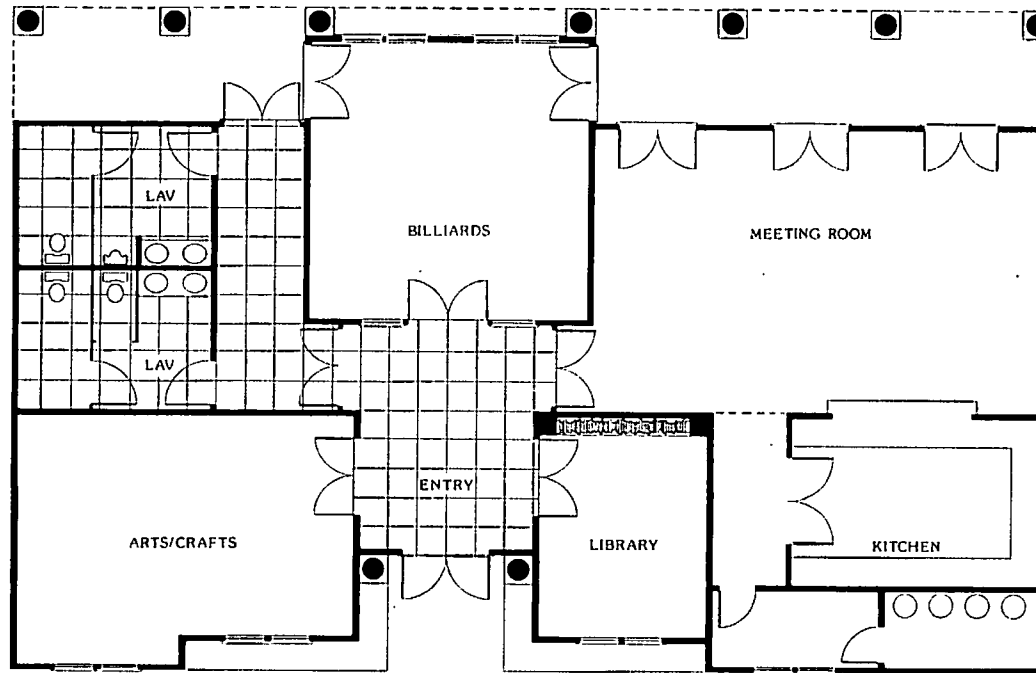
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P89-328



RECREATION BUILDING 2640 SQUARE FEET

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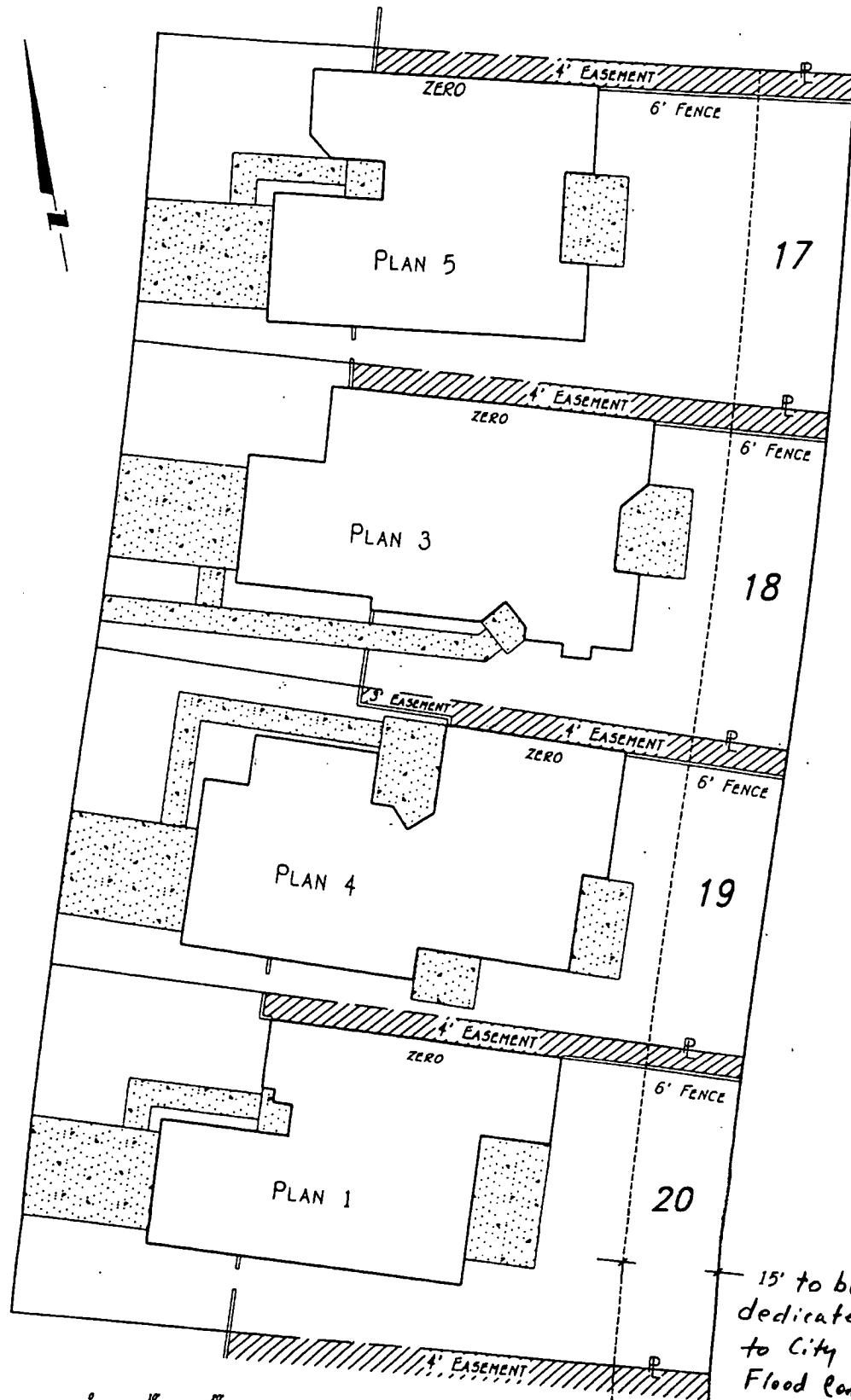
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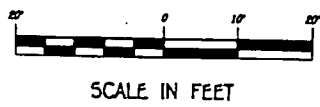
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15' to be dedicated to City for Flood Control purposes.



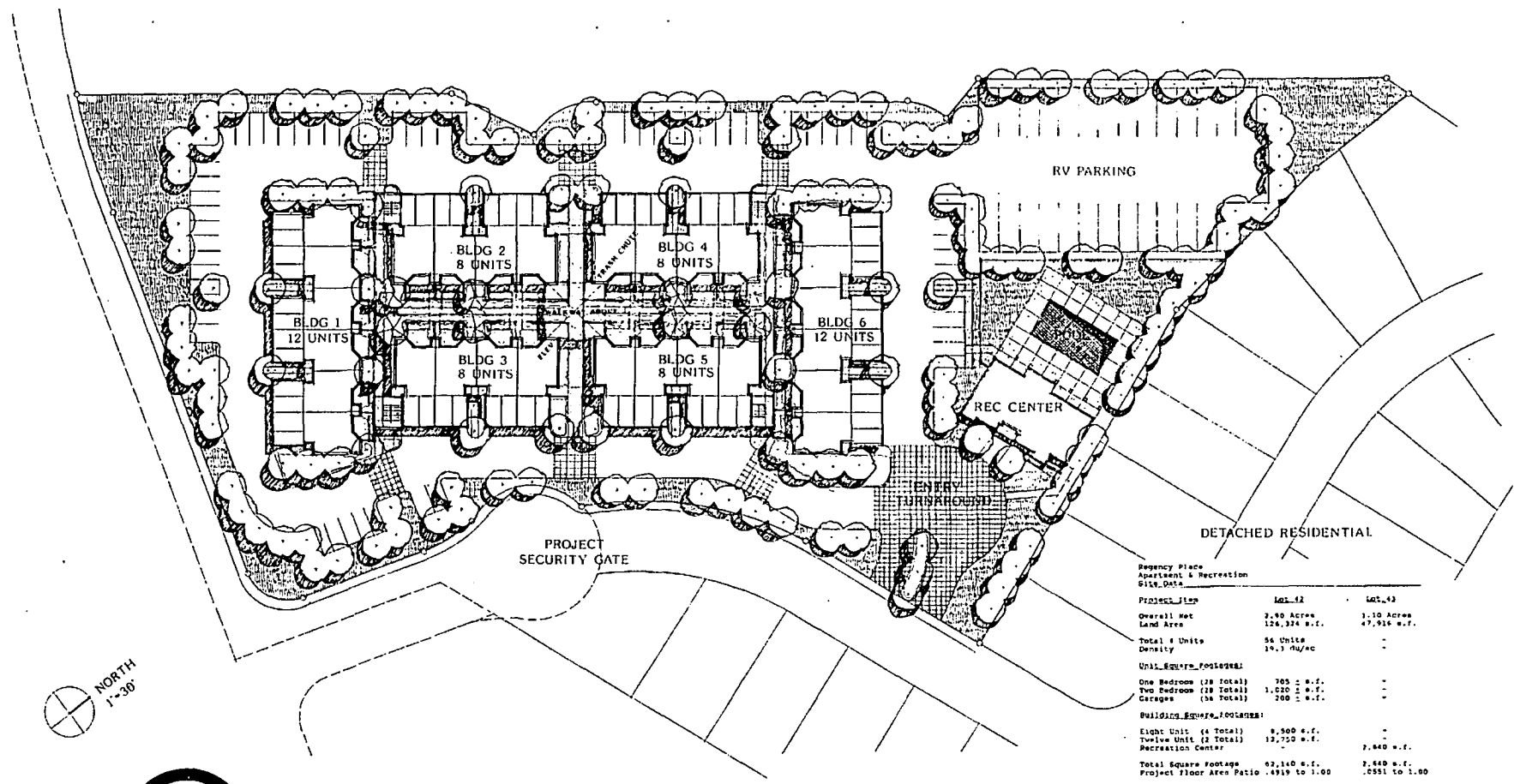
CALC. MER	<b>REGENCY PLACE</b>	DATE 6.11.90
DRN. MER		SCALE 1" = 20'
CKD. BM		F.B.
APRVD. BM		W.O. 89050
MURRAY SMITH & ASSOCIATES, ENGINEERING RANCHO CORDOVA, CALIFORNIA		#19

PR9-328

#19

July 12, 1990 29

P89-328



CONCEPTUAL APARTMENT SITE PLAN

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Regency Place  
Apartment & Recreation  
Site Data

Project Item	Lot #2	Lot #3
Overall Net Land Area	2.40 Acres 124,374 s.f.	1.10 Acres 47,916 s.f.
Total # Units	56 Units	-
Density	24.3 Uts/ac	-
Unit Square Footages:		
One Bedroom (28 Total)	705 s.f.	-
Two Bedroom (18 Total)	1,020 s.f.	-
Garages (96 Total)	700 s.f.	-
Building Square Footages:		
Eight Unit (4 Total)	8,500 s.f.	-
Twelve Unit (2 Total)	12,750 s.f.	-
Recreation Center	-	2,440 s.f.
Total Square Footage	23,150 s.f.	2,440 s.f.
Project Floor Area Ratio	.4919 to 1.00	.0511 to 1.00
Building Coverage	30,940 s.f. 24.51	2,440 s.f. 5.51
Auto Coverage	38,852 s.f. 30.84	21,840 s.f. 45.24
Open Space	56,532 s.f. 44.71	27,436 s.f. 48.91
Number Of Cars: Joint Use		
Covered (10 x 22)	56 Cars	(1.0 Cars/du)
Open (9 x 18)	28 Cars	(0.5 Cars/du)
Rec. Center (9 x 18)	30 Cars	(1.0 Cars/40 s.f.)
Total Number Of Cars	114 Units	
# Cars/Unit	1.35	
Gross	2.03	
RV Parking	26 Cars	

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