

CALLED UP BY COUNCIL MEMBER

CITY PLANNING COMMISSION  
SACRAMENTO, CALIFORNIA  
MEMBERS IN SESSION:

JONES

ITEM # 4  
September 26, 2002  
PAGE 1

P02-046 - Elder Creek Place

FOR FINAL CONDITIONS - SEE COUNCIL  
REPORT  
OF

REQUEST: A. Environmental Determination: Categorical Exemption (15332)

B. Special Permit to construct 14 single family residences in the Single-family Alternative (R-1A) zone.

DEC. 10, NOV. 26<sup>TH</sup>

LOCATION: Southeast corner of Elder Creek Road and 65<sup>th</sup> Street Expressway  
APN: 040-0260-074 through 092  
South Sacramento Community Plan Area  
Sacramento City Unified School District  
Council District 6

2002

2002

APPLICANT: Terra West Investment Corporation  
2100 Watt Avenue, Suite 205  
Sacramento, California 95825  
Telephone: 916-708-6609

OWNER: Delisle Partnership  
435 Wright Avenue  
Morgan Hill, California 95037

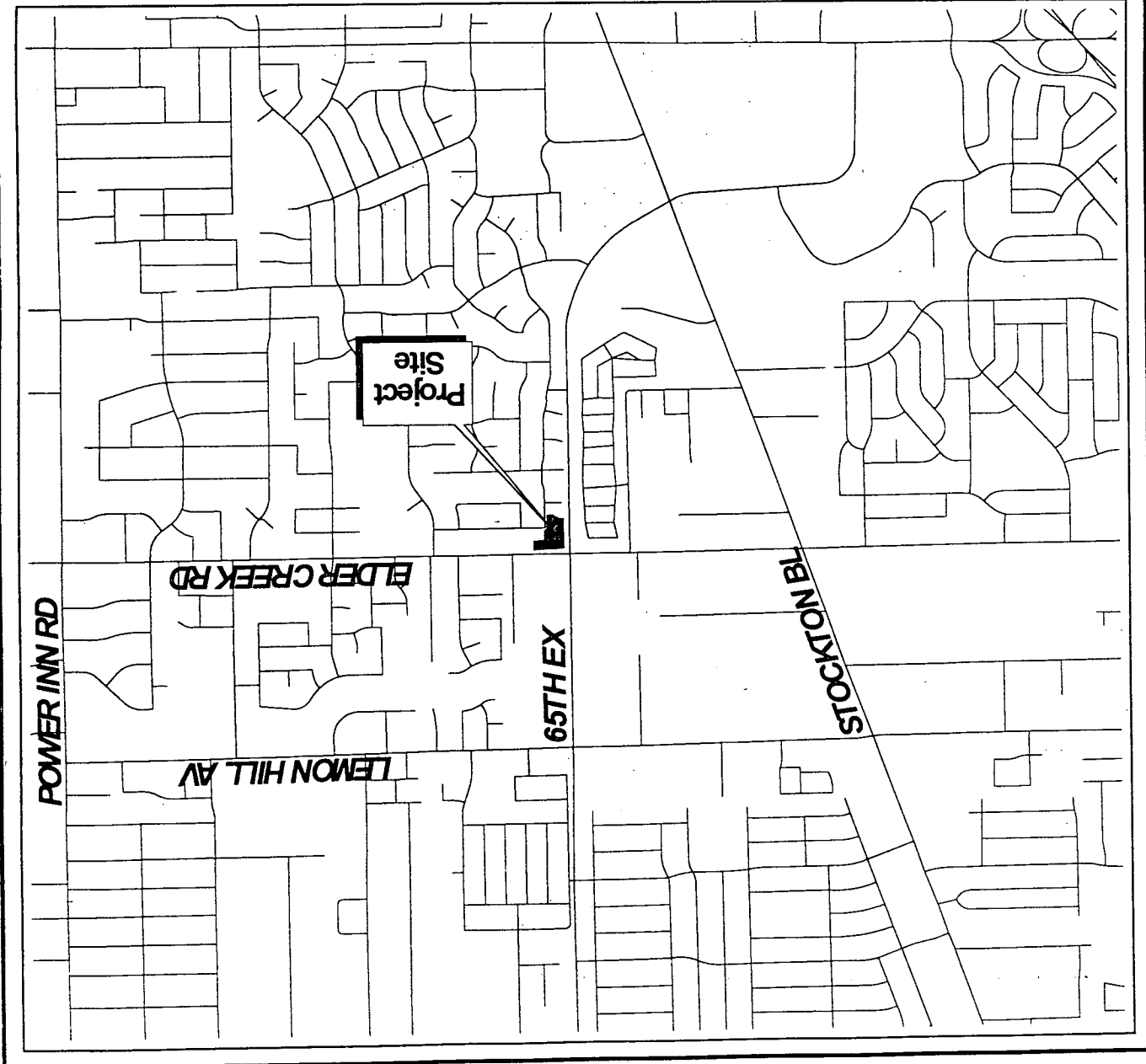
APPLICATION FILED: April 9, 2002

APPLICATION COMPLETED: May 9, 2002

STAFF CONTACT: Kimberly Kaufmann-Brisby, 916-264-5590

**SUMMARY:** The applicant proposes to construct 14 detached single family homes in a 14 petite lot subdivision which was approved in 1994 (P94-068). Staff originally had concerns with the exterior elevations however the applicant has addressed most of staff's concerns with the current revised drawings. The applicant has agreed to comply with staff's conditioning the project to rectify the issues which were not addressed in the revised drawings.

**RECOMMENDATION:** Staff recommends approval subject to conditions. The recommended approval is based on the project's consistency with the General Plan, substantial adherence to the Single Family Residential Design Principles, and compliance with Zoning Ordinance requirements.



4000 Feet 2000 0 2000



P02-046

# Elder Creek Place Vicinity Map

Planning and Building  
Department  
Geographic  
Information  
System



**PROJECT INFORMATION:**

General Plan Designation:	Low Density Residential (4-15 du/na)
South Sacramento Community Plan Designation:	Residential 4-8 du/na
Existing Land Use of Site:	Vacant
Existing Zoning of Site:	Single-Family Alternative (R-1A)

**Surrounding Land Use and Zoning:**

North: Low Rise Apartments; R-3 R  
 South: Single-family; R-1 and R-1A  
 East: Single Family; R-1  
 West: Mobile home park; R-1

**R-1 Setbacks:    Required    Provided**

Front:	25'	15' to 34'
Side(St):	12.5'	12.5'
Side(Int):	5'	0' to 27±'
Rear:	15'	10' to 18'

Property Dimensions:	Irregular
Property Area:	2.23± gross acres 1.9± net acres
Density of Development:	7.4 dwelling units per net acre
Exterior Building Materials:	- Stucco with built-up Stucco trim - stone or brick wainscot - gridded/plain vinyl slider windows - Raised panel garage doors with windows - 6-panel solid core or metal entry door - Light weight concrete "S" tile roofing
Parking Provided:	2 spaces within garage
Parking Required:	1 space per dwelling
Number of Lots:	14 petite single family lots, one private street and four landscape lots
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

**OTHER APPROVALS REQUIRED:** In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Building Permit	Building Division
Model Home Permit	Planning-Zoning Administrator
Final Map	Public Works Department

**BACKGROUND INFORMATION:** On July 6, 1982, the City Council denied a request to develop 16 single family units and 79 condominium units on the subject site, which was zoned Single-family Alternative (R-1A). The denial was based upon concerns voiced by adjacent property owners regarding project traffic impacts and the compatibility of townhomes proximate to existing single family residences. The Planning Commission then initiated rezoning the site from R-1A to R-1. City Council approved the rezone on October 5, 1982.

In 1986 the City Council approved the Cobblewood subdivision(P86-037) which rezoned the subject site back to R-1A (Ord. 86-044), established 36 single-family lots, 16 half-plex lots and Lot A for future multi-family development. On May 10, 1990, the City Planning Commission approved a Tentative Map on Lot A creating 14 petite single-family lots plus a common lot for a private street, a Special Permit to construct 14 petite units, and a Subdivision Modification establishing double frontage lots and a private street (P90-046). The City Council approved the Tentative Map and Subdivision Modification on June 26, 1990 (Res. No. 90-517). The Tentative map and Special Permit (P90-046) subsequently expired and on August 25, 1994, the Planning Commission approved a Tentative Map with the same lotting as approved in 1990 (P94-068). Currently, the applicant is requesting the entitlements necessary to construct 14 single family residences on the petite parcels created by the 1994 tentative map. The majority of the street improvements for the subdivision are currently in place. The project is not considered to be controversial and is not subject to the Mixed Income Housing Policy.

**STAFF EVALUATION:** Staff has the following comments:

**A. Policy Considerations**

The General Plan (SGPU) designates the project site for Low Density Residential 4-15 du/na land use and the 1986 South Sacramento Community Plan (SSCP) designates the site for Residential 4-8 du/na land use. The proposed project will have a density of 7.4 dwelling units per net acre and is therefore consistent with both the SGPU and SSCP land use designations. The project is also consistent with goals and policies in both the General Plan and South Sacramento Community Plan.

The General Plan states that quality housing that is safe and attractive should be provided. The project will be conditioned to provide high quality materials consistent with the existing single family dwellings in the immediate area. The project also is consistent with the General Plan's Housing Element Goal policy to "Promote quality residential infill development in infill areas or designated infill sites through flexible development standards" (SGPU 3.10-20). Flexible setbacks are necessary for the successful construction of the proposed project. The proposal is consistent with the General Plan Goals to "Maintain and improve the quality and character of residential neighborhoods in the City", (Section 2-10) as the project will add 14 new single-family homes to the City. Also, the proposed homes are consistent with the General Plan Goal to "Develop residential land uses in a manner which is efficient and utilizes existing and planned urban resources" (Section 2-15). The proposal utilizes a previously approved tentative map (P94-068) within the South Sacramento Community Plan.

The proposed project complies with the South Sacramento Community Plan goal of accommodating growth in an orderly and efficient manner which enhances the existing attractive features and provides assets to meet the community needs. The project, as proposed, meets this goal as the subdivision completes an existing residential development

and will provide lot sizes and lot configurations compatible with the adjacent subdivision. In addition, the project provides the opportunity for single family ownership in the area.

### B. Site Plan Design/Zoning Requirements

The project site consists of 2.23± acres in the Single Family Alternative (R-1A) zone and is currently vacant with infrastructure (i.e. water, sewer, electric, and roads) installed. The project proposes to construct 14 single family homes. The Zoning Ordinance states that a special permit granted by the Planning Commission is required for any development within the R-1A zone. In the granting on the special permit, the Commission may modify any of the requirements or development standards for this zone.

#### 1. Setbacks and Lot Coverage

Lot	Lot Area	Model	Footprint	Coverage	Yard Setbacks			
					Front	Side	Side	Rear
1	4,038 sq.ft.	2	1,415 sq.ft.	35%	20'	8'	5'	22'
2	4,998 sq.ft.	1	1,776 sq.ft.	36%	15'	11'	5'	17'
3**	4,655 sq.ft.	1	1,776 sq.ft.	38%	17'	12.5'	2.25'	15'
4	6,347 sq.ft.	2	1,415 sq.ft.	22%	34'	10'	26.5'	17'
5	3,620 sq.ft.	1	1,776 sq.ft.	49%	15.5'	1'	5'	10'
6*	3,730 sq.ft.	2	1,415 sq.ft.	38%	20'	0'	12.5'	17'
7	3,760 sq.ft.	1	1,776 sq.ft.	47%	15'	1'	5'	16'
8	3,708 sq.ft.	1	1,776 sq.ft.	48%	18'	1'	5'	12.25'
9	3,537 sq.ft.	2	1,415 sq.ft.	40%	20'	0'	12.5'	17'
10*	4,939 sq.ft.	1	1,776 sq.ft.	36%	35'	1'	5'	15'
11	3,792 sq.ft.	2	1,415 sq.ft.	37%	23'	5'	3'	12.75'
12	3,727 sq.ft.	2	1,415 sq.ft.	38%	20'	7.5'	2.5'	18'
13	3,338 sq.ft.	2	1,415 sq.ft.	42%	22.25'	10"	12.6'	17.33'
14	3,643 sq.ft.	2	1,415 sq.ft.	39%	21.33'	5'	7.5'	15'

\* Will be conditioned to revise setbacks prior to obtaining building permits

\*\* Will be conditioned to mirror or flip the building in order to provide adequate setbacks on the north side of the residence

One and two story homes are proposed for the 14 lots. Based on the typical lot size of 40' x 94', the two-story model will fit on all of the lots but the single story model, having a larger and staggered footprint, is limited as to the lots on which it will fit. The previous table indicates the setbacks and coverage for each parcel.

The proposed project has varying front setbacks. The Single Family Residential Design Principles advocate varying the setbacks for a more distinctive and interesting streetscape, with which the project is in conformance. The previously approved Tentative Map (P94-068) created petite lots. The majority of the lots have a width between 40'-45' necessitating

reduced side yard setbacks in order to accommodate the proposed residences. The project will be conditioned to provide a 5-foot wide light/air and maintenance easements on lots 4, 6, 9, 11, and 14 to provide access to the adjacent homeowner for maintenance of their property. Additionally, the project will be conditioned to revise the site plan by adjusting the building locations for Lot 6, and Lot 10 thereby optimizing available setback area between residences. Finally, the project will be conditioned to mirror or flip the Model 1 footprint on Lot 3, bringing the garage south, creating a better overall fit on the site and providing a minimum of 5'-7' of clearance between the wrought iron fence/property line and the house.

The lot coverage ranges from a minimum of 22 percent to a maximum of 49 percent. Although the maximum lot coverage for the R-1A zone is 40%, the Planning Commission may approve a deviation from the requirement with the approval of a Special Permit. Staff supports the increase in lot coverage, as there is a range of lot coverages and the proposed flexibility in coverage is consistent with similar projects.

The front yard setbacks vary between 15' to 35', with a minimum depth of 20-feet provided for all driveways, which is consistent with Zoning Ordinance requirements and the Single Family Residential Design Principles. The Zoning Ordinance requires front yard setbacks in the R-1A zone be the same as specified in the R-1 zone, but the Planning Commission may approve setbacks which vary from the requirement. The staggering of the front setbacks serves to ensure the street does not have a tunneling effect with the houses having the same front yard setback.

**House Plans:** The applicant proposes to construct two floor plans, each with three elevations. Model 1 complies with the Single Family Residential Design Principles. Model 2, the 2-story, is not in compliance with the Principles as the garage, as conditioned, extends 12-feet in front of the first floor living space. Staff has worked extensively with the applicant to bring the original proposal more closely into compliance with the Principles. The proposed designs blend with the existing, surrounding neighborhood in both design and structure. Given the small size of the subdivision (14 lots) and the fact that one of the two plans meets the Design Principles, staff supports the request.

**Elevations, Material, and Colors:** Three elevations are proposed for each plan as follows:

Model 1-Elevation "A" proposes stucco with stone wainscoting along the front and on the porch columns flanking the archway spanning the columns. The gable ends are proposed to have a stucco finish, with oversized quatrefoils serving as accents for the main gable and the secondary gable end over the porch. Staff will condition the project to reduce the size of the quatrefoils to be proportionate with the building, subject to approval by planning staff. Staff will also condition the project to square off the porch archway, replacing it with a lintel and keystone motif and replace the half-moon garage door windows with rectangular gridded windows.

Model 1-Elevation "B" proposes stucco with a stucco-enhanced built-up chair rail along the front elevation. A lintel and keystone motif is employed above the front window, the entry door and the garage door. The lintel and keystone motif is reduced and used to enhance the domed vent covers on the main and secondary gable ends. The gridded half-moon window

in the entry door and the open half-moon motif used on the raised panel garage door serve to complement each other and draw the eye across the front of the residence.

Model 1-Elevation "C" also proposes stucco with a stucco-enhanced foam pop-out along the lower half of the front elevation. A lintel and keystone motif is employed above the front window, the entry door and the garage door. The primary difference between Elevation B and Elevation C is the roof line. Elevation "C" utilizes a hipped roof while Elevation "B" employs an enhanced gable end design.

Model 2-Elevation "A" proposes stucco with a stucco enhanced lintel and keystone motif above the front windows, the entry door and the garage door. The entryway is enhanced with a gridded side light, above the lintel and keystone motif unifies and provides a focal point for the entryway. The gable ends are proposed to have a stucco finish, with oversized quatrefoils serving as accents for the main gable and the secondary gable end over forward second-story living area. Staff will condition the project to reduce the size of the quatrefoils to be proportionate with the building, subject to approval by planning staff. Staff will also condition the project to square off the porch archway, replacing it with the lintel and keystone motif.

Model 2-Elevation "B" proposes stucco with a stucco-enhanced built-up columns along the front elevation. A lintel and keystone motif is again employed above the front windows, the entry door and the garage door. As with Elevation "A" the entryway is enhanced with a gridded side light with the lintel and keystone motif unifying and providing a focal point for the entryway. The lintel and keystone motif is reduced and used to enhance the domed vent covers on the main and secondary gable ends.

Model 2-Elevation "C" proposes stucco with stone wainscoting, with a stone clad porch facade and archway. The entirety of the first level elevation is clad in stone. The gable ends are proposed to have a stucco finish, with oversized circles enhanced with keystones serving as accents for the main gable and the secondary gable end on the second level. Staff will condition the project to reduce the size of the circle accents to be proportionate with the building, subject to approval by planning staff. Staff will also condition the project to reduce the use of stone on the front of the garage area, limiting the use to a wainscot flanking the garage door and wrapping 5-feet to the rear of the residence.

The applicant has provided one color palette, with two hues plus roof tile, for the entire project. The project will be conditioned to provide four (4) color palettes of three hues each. The palettes shall include an additional stone or brick component for each model for a total of two (2) stone or brick choices. Staff shall review and approve the proposed palettes prior to issuance of building permits. All roofing will be concrete barrel tile. A minimum 5:12 roof pitch shall be provided on the 2-story models with a 6:12 pitch provided for the one-story model.

Enhanced side elevations are required for homes located on Lots 1, 3, 12, and 13. Enhanced elevations shall include, at a minimum: trim around gridded windows and doors, veneer materials continued from front elevations where visible to the public, and a five foot return of materials on the side. On enhanced side elevations, window treatments, roof lines, and materials shall match the front facade in appearance and quality. Enhanced side elevations will be as shown on the elevations for each of the house plans.

The project will be conditioned to provide seamless gutters and downspouts, for all residences, along all appropriate roof lines with downspouts as required. Staff will also condition the project to plant one tree per lot, install fully automatic irrigation systems and landscape the front portion of each lot, and in the case of Lots 3, 12, and 13, fully landscape the side yard area adjacent the private drive for each parcel as well as install fully automatic irrigation systems and landscape Lots A, B, C, D, and E.

**PROJECT REVIEW PROCESS:**

**A. Environmental Determination**

The proposed project is exempt from environmental review pursuant to CEQA Guidelines (CEQA Section 15332).

**B. Public/Neighborhood/Business Association Comments**

Early Project Notification was sent to the Southeast Area Neighborhood Association, Fruitridge Manor Neighborhood Association and the Avondale Action Committee. The Avondale Action Committee indicated concern regarding on-street parking impacts on emergency vehicles. To date, no other comments were received. The street design was reviewed and approved through the prior entitlement (Tentative Map-P90-046) for this site, and is not the subject of the current request.

**C. Summary of Agency Comments**

The project has been reviewed by several City Departments and other agencies. The following summarizes the comments received:

1. Department of Public Works - Development Services Division

Construct standard improvements including compliance with handicap accessibility for ramps and driveways.

2. Planning and Building Department - Building Division

Conditioned all buildings within 3 feet of the property line to comply with all UBC Code requirements.

3. Fire Department

Tie water system together.

4. County Sanitation District 1

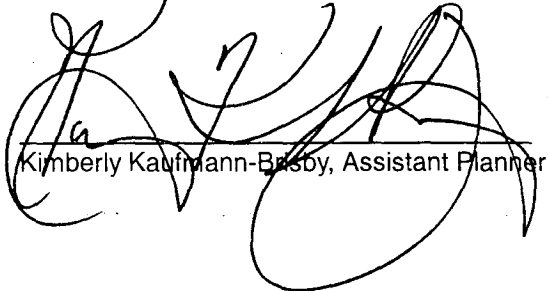
Connect to the public sewer system to the satisfaction of CSD-1.

PROJECT APPROVAL PROCESS: Of the entitlements below, Planning Commission has the authority to approve or deny A and B. The Planning Commission action may be appealed to the City Council. The appeal must occur within calendar 10 days of the Planning Commission action.

**RECOMMENDATION:** Staff recommends the Planning Commission take the following actions:

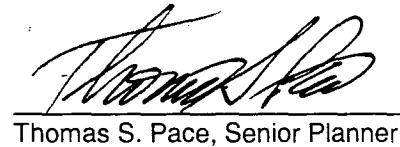
- A. Adopt the attached Notice of Decision and Findings of Fact which finds that the project is Exempt pursuant to CEQA Section 15332;
- B. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to construct 14 single family residences in the Single-family Alternative (R-1A) zone.

Report Prepared By,



Kimberly Kaufmann-Basby, Assistant Planner

Report Reviewed By,

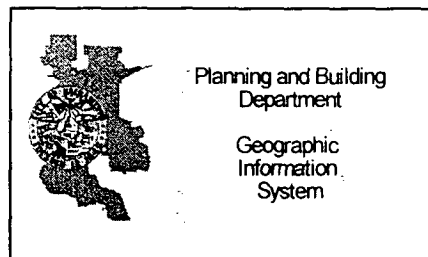
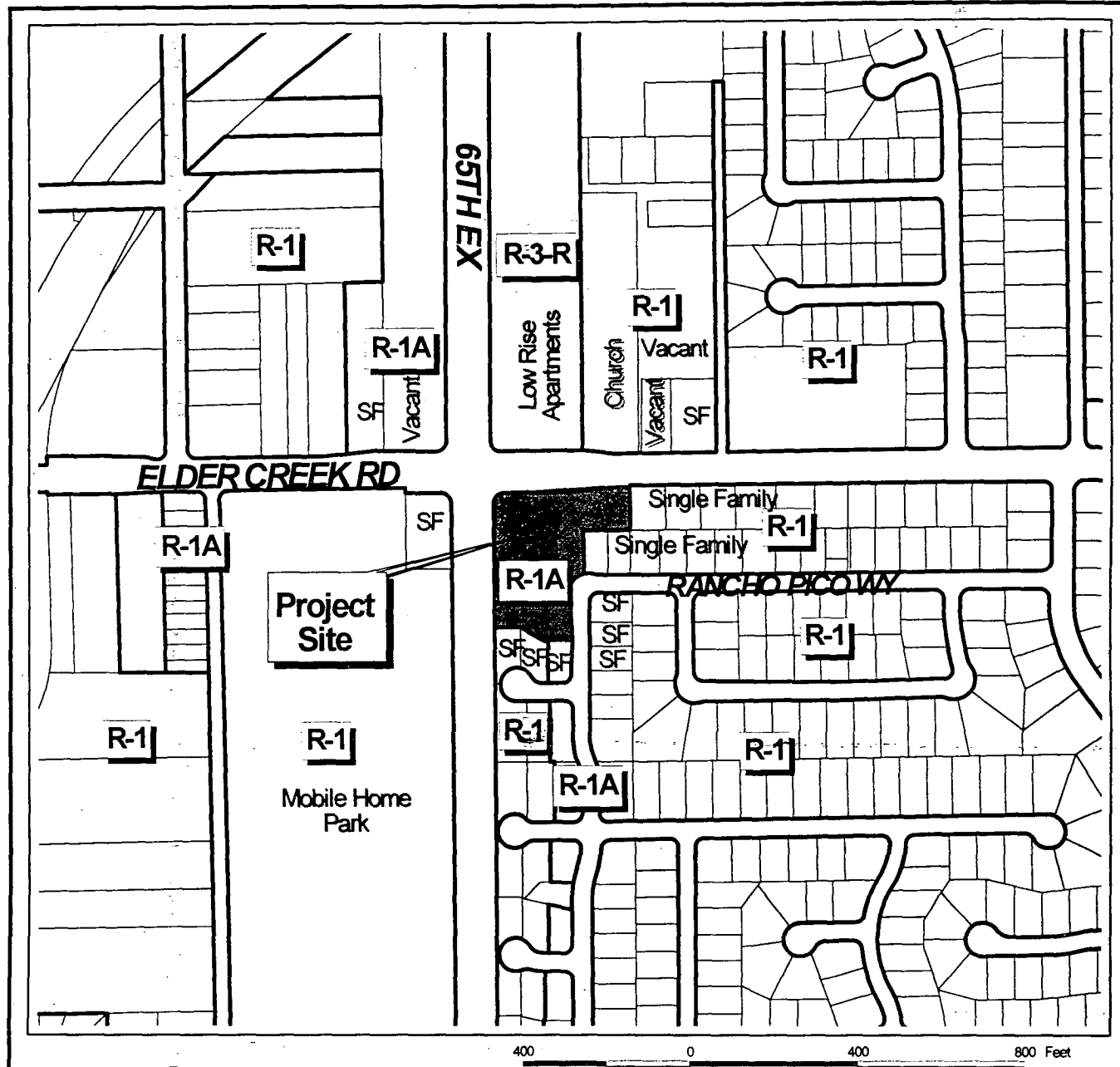


Thomas S. Pace, Senior Planner

Attachments

Attachment 1	Notice of Decision & Findings of Fact
Exhibit 1A	Site Plan
Exhibit 1B	Model 1 - Floor Plan
Exhibit 1C	Model 1 - Elevations
Exhibit 1D	Model 2 - Floor Plan
Exhibit 1E	Model 2 - Elevations
Exhibit 1F	Model 2 - Elevations
Exhibit 1G	Landscape Plan
Exhibit 1H	Landscape Plan
Attachment 2	Land Use & Zoning Map

Attachment 2 - Land Use & Zoning Map



Elder Creek Place  
Land Use and Zoning



## Attachment 1

**NOTICE OF DECISION AND FINDINGS OF FACT  
FOR  
Elder Creek Place, Located at the Southeast corner of Elder Creek Road and 65<sup>th</sup> Street  
Expressway, Sacramento, California in the Single-family Alternative(R-1A) zone.  
(P02-046)**

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At the regular meeting of September 26, 2002, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. Environmental Determination : Categorically Exempt (Section 15332);**
- B. Approved the Special Permit** to construct 14 single family residences in the Single-family Alternative (R-1A) zone.

These actions were made based upon the following findings of fact and subject to the following conditions:

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**FINDINGS OF FACT**

- A. Categorical Exemption:** The City Planning Commission finds and determines that the proposed project is exempt from environmental review pursuant to Section 15332 (Class 32) of the CEQA Guidelines.
- B. Special Permit:** the Special Permit to construct 14 single family residences in the Single-family Alternative (R-1A) zone is approved subject to the following Findings of Fact and Conditions of Approval:
  - 1. Granting the Special Permit is based upon sound principles of land use in that the proposed project is consistent with the General Plan, South Sacramento Community Plan, and the underlying Single-Family Alternative (R-1A) zoning.
  - 2. Granting the Special Permit would not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
    - a. The project is designated for single-family residential development, and;
    - b. The project proposes to use quality construction materials and has adopted and employed many of the City's Single Family Residential Design Principles.
  - 3. The proposed project is consistent with the General Plan and South Sacramento Community Plan which designates the site for Low Density Residential and Residential 4-8 du/na land use, respectively.

**CONDITIONS OF APPROVAL**

- B.** The **Special Permit** to construct 14 single family residences in the Single-family Alternative (R-1A) zone (Exhibits 1A through 1H) is hereby approved subject to the following conditions of approval:

**Planning**

- B1. Require construction contractors to implement a dust abatement program that will reduce the effect of construction on local particulate levels in the vicinity of the construction zone. Elements of this program should include the following:
- Sprinkle all unpaved construction areas with water at least twice per day during excavation to reduce dust emissions. Additional watering should be carried out on hot or windy days. Watering could reduce particulate emissions by about 50%.
  - Cover stockpiles of sand, soil, and similar materials with a tarp.
  - Cover trucks hauling dirt and debris to reduce spillage onto paved surfaces.
  - Sweep up dirt or debris spilled onto paved surfaces immediately to reduce suspension of particulates through vehicle movements over these surfaces.
  - Increase the frequency of City street cleaning along streets in the vicinity of the construction site.
  - Require construction contractors to designate a person or persons to oversee the dust abatement program in order to increase watering, as necessary.
- B2. All windows and sliding glass doors should be weatherstripped or mounted in low air-infiltration design frames meeting ANSI air filtration standards.
- B3. Air conditioning or other suitable means of ventilation shall be provided to allow occupants to close doors and windows for the required acoustical isolation.
- B4. Exterior walls of the units along the 65<sup>th</sup> Street Expressway which face that roadway should include stucco or brick siding. If wood siding is used, an underlayer of wood fiberboard should be applied, and the interior walls should be mounted to the studs by means of resilient channels.
- B5. The design and construction materials of the single family residences shall be consistent with the attached elevations unless the attached conditions revise the elevations in which case the condition must be followed. Modifications/Plan substitution will require additional planning review and approval prior to the issuance of building permits.
- B6. Prior to the issuance of building permits, provide to planning staff proof of the formation of the required Homeowners' Association. The required Homeowners' Association shall be formed and C. C. & R's shall be approved by City staff assuring maintenance of the private roadway, landscape areas adjacent to walls, fences and common landscape areas including but not limited to Lots A, B, C, D, and E. (See Exhibit 1A - Site Plan). The homeowners' association shall also maintain the private street, street lights, sewers, drains, and water systems;

- B7. The Homeowners' Association shall maintain all yard areas including landscape areas adjacent to all walls and fences, the Lot A common yard area and the public right-of-way along Elder Creek Road and Rancho Pico Way.
- B8. Establish a private 5-foot wide light/air and building maintenance easement on lots 6, 9, 11, and 14 to provide access to the adjacent homeowner for maintenance of their property. The applicant shall enter into and record an Agreement for Conveyance of easements with the City stating that a private 5-foot wide light/air and building maintenance easement shall be conveyed to and reserved from Lot 4 to Lot 5; from Lot 6 to Lot 7; from Lot 9 to Lot 8; from Lot 11 to Lot 12; from Lot 14 to Lot 13; at no cost, at the time of sale or other conveyance of any listed parcel;
- B9. Revise the site plan by adjusting the building locations for Lot 6, and Lot 10 thereby optimizing the available setback area between residences. Provide a five-foot wide side yard on the north side of Lot 6, thereby reducing the south side yard to 7'-6". Increase the north side yard in Lot 10 to five-feet and reduce the south side yard by the same amount;
- B10. Mirror (or flip) Model 1-Elevation "C" on Lot 3, bringing the garage and driveway south, creating a better overall fit on the site and providing a minimum of 5'-7' of clearance between the wrought iron fence/property line and the house;
- B11. Applicant shall repair/replace and paint the Elder Creek Place side of all deteriorated wood fencing along the common property lines of Lots 1, 2, 10, 11, 12, and 14;
- B12. The applicant shall provide gated access to allow pedestrian access from Rancho Pico Way to Elder Creek Road to the satisfaction of the Planning Director. This access shall remain open during the hours of bus operation in the neighborhood;
- B13. Prior to the issuance of building permits, remove the existing wood fence along the Cunningham-Rancho Pico frontage, then construct a decorative 6-foot tall wrought iron fence in its place. This fence will deter graffiti and provide rear yard security. Any privacy screen fencing shall be submitted to planning staff for review and approval;
- B14. Prior to issuance of building permits, the applicant shall revise the Model 2 floor plan. Bring the foyer and the entry porch forward by two (2) feet, the final distance between the front entry door and front of the garage will be 13 feet with the porch depth remaining 10-feet.
- B15. Prior to the issuance of building permits for Model 1 and Model 2- Elevation "A" revise the elevations by reducing the size of the quatrefoils by 25-50 percent of what is currently indicated to be proportionate with the building, subject to approval by planning staff;
- B16. Prior to the issuance of building permits for Model 1 and Model 2 Elevation "A" , revise the elevations and square off the porch archway, replacing it with a lintel and keystone motif and replace the half-moon garage door windows in Model 1 with rectangular gridded windows;
- B17. Prior to the issuance of building permits for Model 2 Elevation "C", revise the elevations

by reducing the size of the circle accents by 25-50 percent of what is currently shown, to be proportionate with the building, subject to approval by planning staff;

- B18. Prior to the issuance of building permits for Model 2 Elevation "C" revise the elevations to indicate a reduction in the height of the use of stone on the garage front. The stone shall be used as a wainscot flanking the garage door and wrapping a minimum of 5-feet to the rear of the residence;
- B19. Prior to the issuance of building permits, provide four (4) color palettes of three hues each. The palettes shall include an additional stone or brick component for each model for a total of two (2) stone or brick choices. Also, a minimum of 3 barrel tile hues shall be provided. Staff shall review and approve the proposed palettes prior to issuance of building permits.
- B20. All roofing will be concrete barrel tile. A minimum 5:12 roof pitch shall be provided on the 2-story models with a 6:12 pitch provided for the one-story model.
- B21. Enhanced side elevations are required for homes located on Lots 1, 3, 12, and 13. Enhanced elevations shall include, at a minimum, trim around gridded windows and doors, veneer materials continued from front elevations where visible to the public, and a five foot return of materials on the side. On enhanced side elevations, window treatments, roof lines, and materials should match the front facade in appearance and quality. Enhanced side elevations will be as shown on the elevations for each of the house plans.
- B22. Provide seamless gutters and downspouts, for all residences, along all appropriate roof lines with downspouts as required;
- B23. Design and construct landscaping and irrigation for Lots B and C to the satisfaction of the Public Works Department, Parks and Recreation Department and the Planning Division. Developer shall maintain the landscaping, irrigation and masonry walls until the Homeowners Association takes over;
- B24. Prior to the issuance of building permits, submit the Elder Place landscaping plans to the City's Landscape Architecture Section for review and approval, Exhibits 1G and 1H;
- B25. Concurrent with the landscaping of Lots A, B, C, D, and E, the masonry walls and wrought iron fencing shall have a City approved vine or groundcover planted along the base of the walls and fence to cover the wall. Install automatic irrigation for the groundcover;
- B26. A redwood retaining wall is indicated on the Elder Place landscaping plans, Exhibits 1G and 1H, however, no retaining wall is in place on either the 65<sup>th</sup> Street Expressway or Elder Creek Road. If the approved civil engineering drawings for the retaining wall cannot be located, new drawings for the redwood retaining wall in Lots B and C of the Elder Creek Place subdivision along the 65<sup>th</sup> Street Expressway and Elder Creek Road shall be submitted to the Public Works Department for review and approval prior to the issuance of building permits;
- B27. Prior to the issuance of building permits for the homes, all the landscaping, including,

but not limited to: the construction of the redwood retaining wall, automatic irrigation systems and landscaping of Lots A, B, C, D, and E shall be installed. Construction of the automatic front and side yard irrigation and landscaping, including one 15 gallon shade tree per lot, shall be provided at the time of construction of each residence. No Final Building Permit for the residence may be issued prior to the installation of the approved landscaping and irrigation;

- B28. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project into an existing parks maintenance district prior to issuance of *any the first non-model* building permits. The applicant shall pay all city fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood park maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the costs will be spread based upon hearing report which specifies the tax rate and method of apportionment.
- B29. Negotiate with the Sacramento City Unified School District a written agreement in satisfaction of the proposed subdivision's school facilities impact on the District, as mutually agreed to by the applicant and the District, subject to ratification by the District's Board of Trustees.

**Department of Public Works -Development Services Division**

The applicant shall satisfy each of the following conditions prior to issuance of any building permit unless a different time for compliance is specifically stated in these conditions:

- B30. Construct standard improvements as noted in these conditions pursuant to section 16.48.110 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City standards.
- B31. If the existing driveway on Elder Creek Road (at the entrance to the project site) is not in compliance with ADA requirements, the Applicant shall reconstruct the said driveway to ensure compliance with the ADA requirements. All the work in this regard shall be to the satisfaction of the Department of Public Works.
- B32. Repair, replace or reconstruct any existing deteriorated curb, gutter, and sidewalk on Elder Creek Road and 65<sup>th</sup> Street Expressway per City Standards to the satisfaction of the Department of Public Works.
- B33. Construct and / or reconstruct handicap curb ramps at the southeast corner of Elder Creek Road and 65<sup>th</sup> Street Expressway to ensure compliance with ADA requirements. This may require the Applicant to construct or repair / reconstruct the ADA compliant handicap curb ramps on all the other corners of the subject intersection. The cost of construction or repair / reconstruction of the ADA compliant handicap curb ramps on the corners other than the southeast corner of the subject intersection will be reimbursed by the City. All the work in this regard shall be to the satisfaction of the Department of Public Works.
- B34. If the existing handicap ramp providing access from Rancho Pico Way / Cunningham

Way to the 5' gate located at the perimeter fence between Lot E and Rancho Pico Way / Cunningham Way is not in compliance with ADA requirements, the Applicant shall reconstruct the said ramp to ensure compliance with ADA requirements. All the work in this regard shall be to the satisfaction of the Department of Public Works.

- B35. Provide the handicap accessible ramp on the easterly side of Caina Court and construct the paved access path from the said ramp to the 5' pedestrian access gate located at the perimeter fence between Lot E and the adjacent Rancho Pico Way. All the work in this regard shall be to ADA standards and to the satisfaction of the Department of Public Works.
- B36. Prior to issuance of any building permit the Applicant shall dedicate to the City, the LOT "A" (Caina Court) as public pedestrian access easement to allow pedestrian access from Rancho Pico Way / Cunningham Way to Elder Creek Road.
- B37. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition.

#### Utilities

The following are conditions for the Special Permit, that shall be approved by the Department of Utilities prior to issuance of building permits:

- B38. The project site is located within the Sacramento County Sanitation District No. 1. Meet all County Sanitation District requirements (Call 875-6820).
- B39. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the public improvement plans. The on-site plans shall show the methods to control urban runoff pollution from the project site during construction.

#### Advisory Notes:

- B40. The project site is located in the 100-year flood plain, designated as an X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMS) date July 6, 1998. Within the X zone, there are no requirements to elevate or flood proof.

#### Building Department

- B41. The laundry facilities in the model 2 garage area shall provide a minimum ceiling height of seven (7) feet;
- B42. There are times Model 2 is placed closer than 3 feet from the property line. The following conditions will apply:

- Opening in the wall is not allowed per UBC Table 5-A.
- The wall shall have a one hour fire-resistive construction per Table 5-A.
- Parapets shall be provided per UBC Section 709, or drawings shall be provided to show compliance with the exception in UBC Section 709 if parapets are not desired.
- Roof projections will not be allowed when the building is 2 feet or less from the property line, and shall have a one hour fire-resistive construction when greater than 2 feet but less than 3 feet from the property line per UBC Section 705.
- If windows are removed to comply with the above comment, additional windows might be required in other walls to comply with light and ventilation for UBC Section 1203.

The above comments are Code requirements and can only be waived by the Construction Codes Advisory and Appeals Board.

#### **Public Works-Electrical Section**

- B43. This project shall require street lighting. There are existing street lighting, traffic signal, and interconnect systems in the project area. Improvements to the right-of-way may require modifications to the existing systems.

#### **Fire Department**

- B44. Tie water system together.

#### **Parks and Recreation**

- B45. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project into an existing parks maintenance district prior to building permit. The applicant shall pay all city fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood park maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the costs will be spread based upon hearing report which specifies the tax rate and method of apportionment.

#### **County Sanitation District 1 (CSD-1)**

- B46. Connection to the public sewer system shall be required to the satisfaction of CSD-1;
- B47. Construction of private collector sewer will be required. Provision for on-site collector sewer maintenance shall be contained in a street maintenance agreement for the project. CSD-1 will provide maintenance only in easements dedicated to CSD-1, or public right-of-ways;

- B48. Each parcel must have a separate connection to the private sewer collector system. Sacramento County Improvement Standards apply to on-site sewer construction.

CSD-1 Advisories:

- B49. Developing this property may require the payment of additional sewer impact fees. Applicant should contact the Fee Quote desk at 876-6100 for sewer impact fee information.

  
CHAIRPERSON

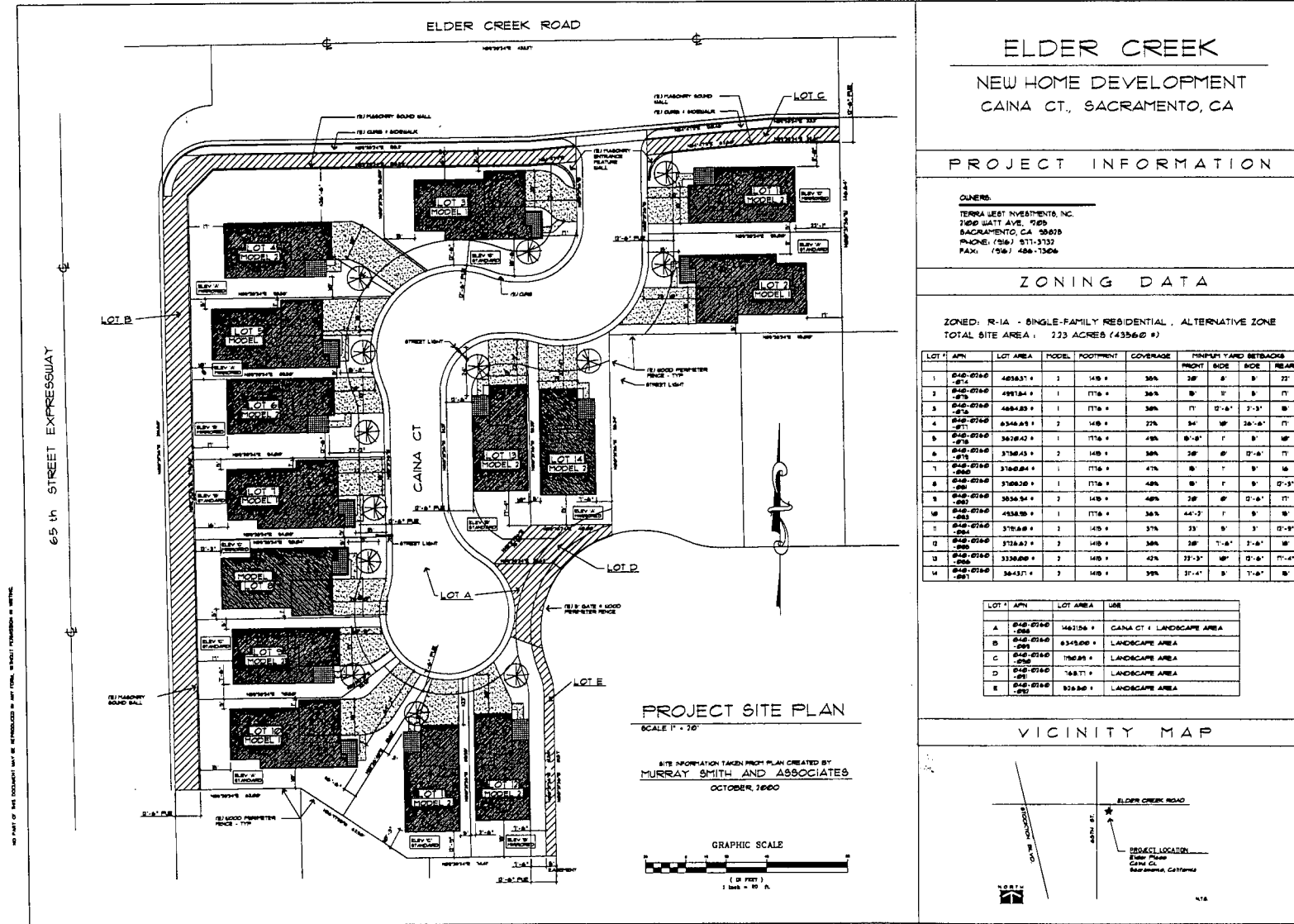
ATTEST:

  
SECRETARY TO CITY PLANNING COMMISSION

9/27/02  
DATE (P02-046)

Exhibit 1A	Site Plan
Exhibit 1B	Model 1 - Floor Plan
Exhibit 1C	Model 1 - Elevations
Exhibit 1D	Model 2 - Floor Plan
Exhibit 1E	Model 2 - Elevations
Exhibit 1F	Model 2 - Elevations
Exhibit 1G	Landscape Plan
Exhibit 1H	Landscape Plan

Exhibit 1A - Site Plan



**ELDER CREEK**  
NEW HOME DEVELOPMENT  
CAINA CT, SACRAMENTO, CA

**PROJECT INFORMATION**

**OWNER:**  
TERRA WEST INVESTMENTS, INC.  
7100 WATT AVE., 7000  
SACRAMENTO, CA 95825  
PHONE: (916) 971-3133  
FAX: (916) 486-7306

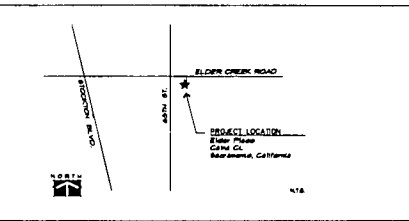
**ZONING DATA**

ZONED: R-1A - SINGLE-FAMILY RESIDENTIAL, ALTERNATIVE ZONE  
TOTAL SITE AREA: 223 ACRES (435600 ±)

LOT #	APN	LOT AREA	MODEL	FOOTPRINT	COVERAGE	MINIMUM YARD SETBACKS			
						FRONT	SIDE	REAR	
1	842-0740-013	408437 ±	2	140 ±	36%	20'	5'	5'	22'
2	842-0740-016	499184 ±	1	1776 ±	36%	0'	5'	5'	17'
3	842-0740-015	488435 ±	1	1776 ±	36%	17'	0'-6"	7'-3"	18'
4	842-0740-017	634645 ±	2	140 ±	22%	34'	0'	26'-6"	17'
5	842-0740-018	367842 ±	1	1776 ±	49%	8'-0"	7'	5'	16'
6	842-0740-019	373843 ±	2	140 ±	38%	20'	0'	0'-6"	17'
7	842-0740-020	376084 ±	1	1776 ±	47%	0'	7'	5'	16'
8	842-0740-021	370620 ±	1	1776 ±	48%	0'	7'	5'	0'-3"
9	842-0740-022	383634 ±	2	140 ±	46%	20'	0'	0'-6"	17'
10	842-0740-023	453635 ±	1	1776 ±	36%	44'-2"	7'	5'	16'
11	842-0740-024	376089 ±	2	140 ±	37%	23'	5'	3'	0'-9"
12	842-0740-025	373843 ±	2	140 ±	38%	20'	0'-6"	7'-3"	16'
13	842-0740-026	333809 ±	2	140 ±	42%	22'-3"	0'	0'-6"	17'-4"
14	842-0740-027	364371 ±	2	140 ±	39%	27'-4"	5'	7'-0"	16'

LOT #	APN	LOT AREA	USE
A	842-0740-028	146204 ±	CAINA CT + LANDSCAPE AREA
B	842-0740-029	634500 ±	LANDSCAPE AREA
C	842-0740-030	150030 ±	LANDSCAPE AREA
D	842-0740-031	76871 ±	LANDSCAPE AREA
E	842-0740-032	82630 ±	LANDSCAPE AREA

**VICINITY MAP**



**JOHN D. RUSSELL**  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
1925 FAIR OAKS BLVD.  
SACRAMENTO, CA 95833

*Elder Place*  
CAINA COURT, SACRAMENTO CA.  
for  
TERRA WEST INVESTMENTS

Project Title: \_\_\_\_\_  
Sheet No: \_\_\_\_\_  
Date: 7-11-2002  
Scale: 1/4"=1'-0"  
Project No: 0028  
Drawn by: \_\_\_\_\_  
Checked by: \_\_\_\_\_  
Approved by: \_\_\_\_\_

**C1**

Exhibit 1B - Model 1 Floor Plan

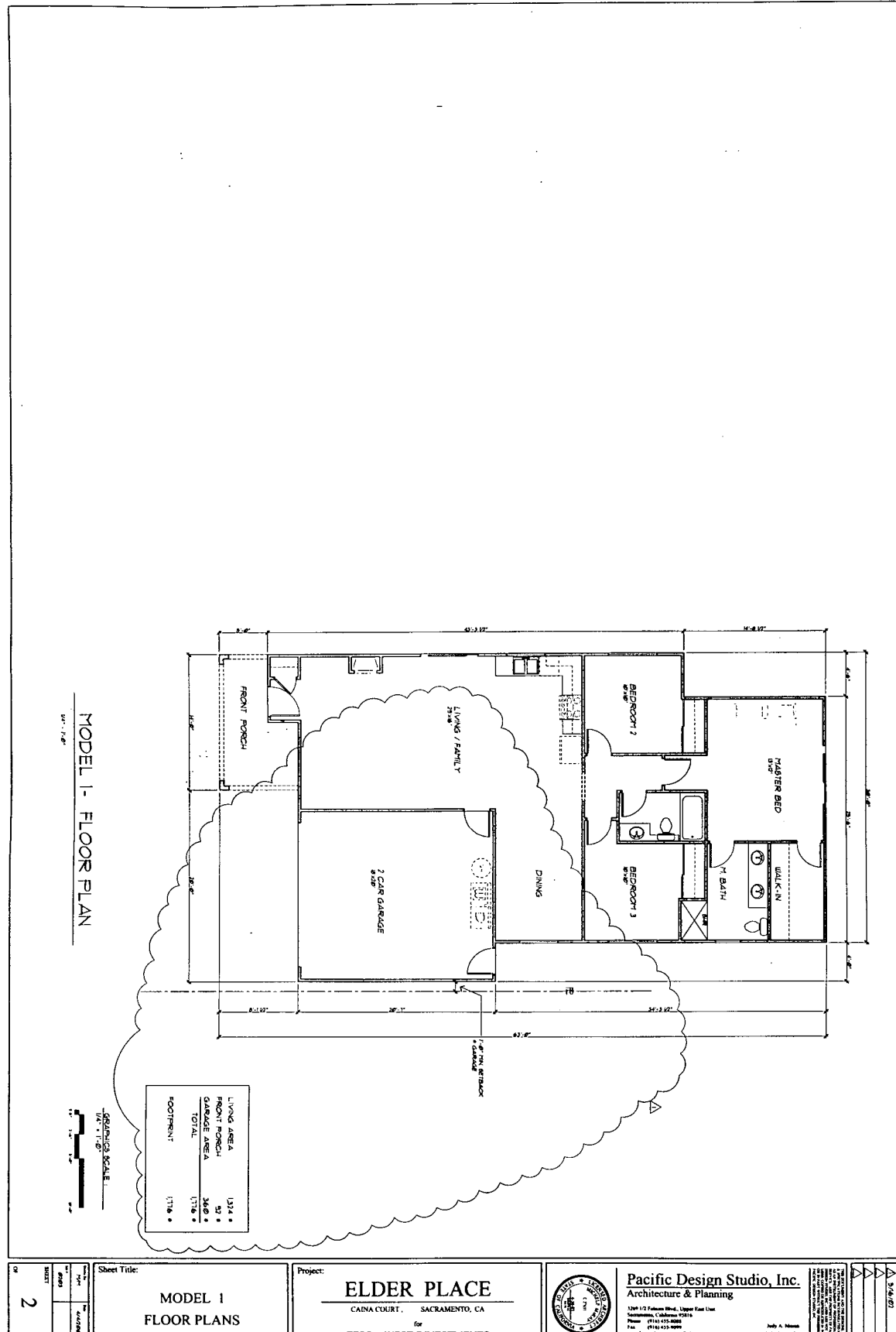




Exhibit 1D - Model 2 Floor Plan

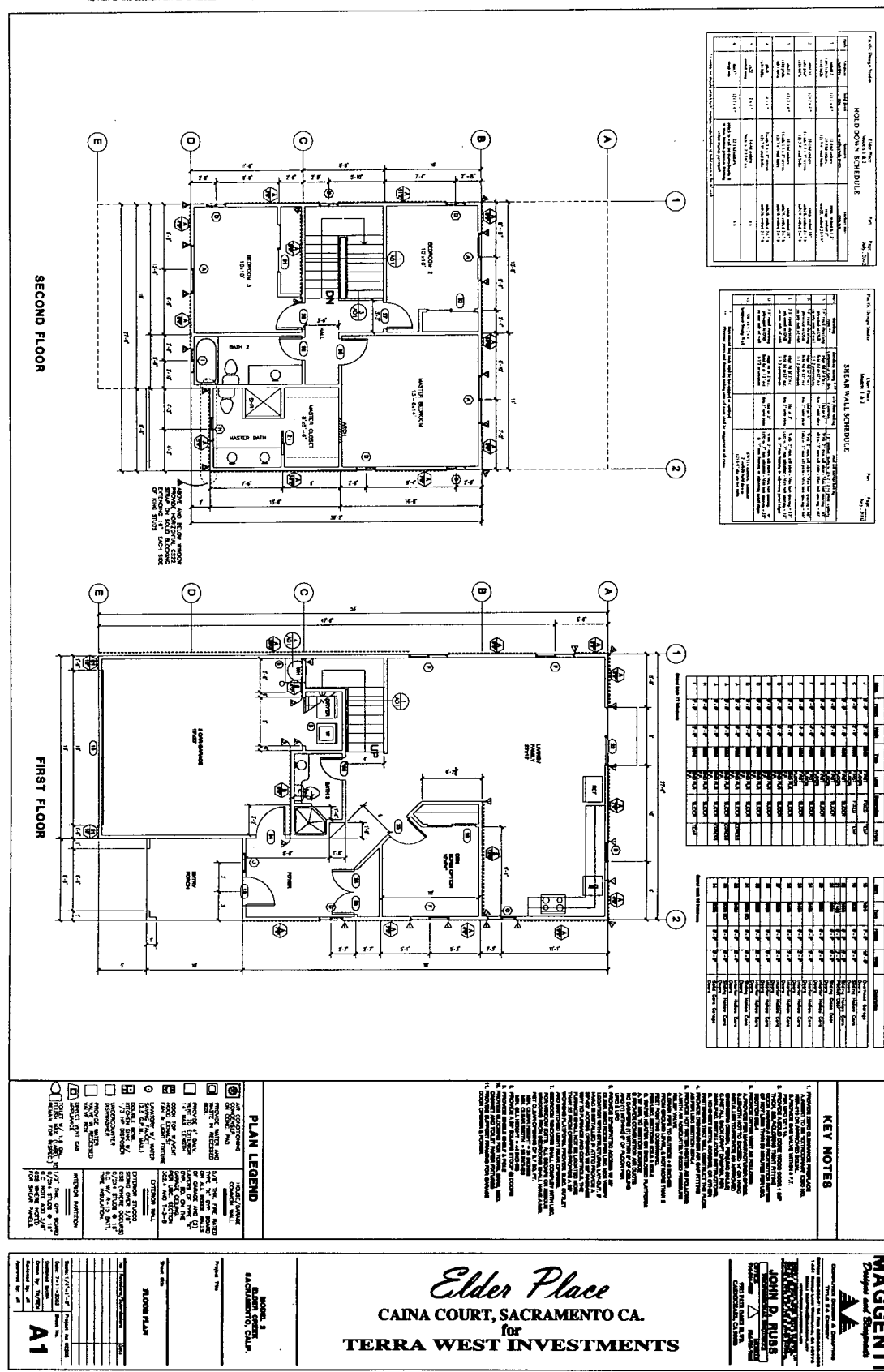




Exhibit 1F - Model 2 Elevations

ITEM #4  
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September 26, 2002

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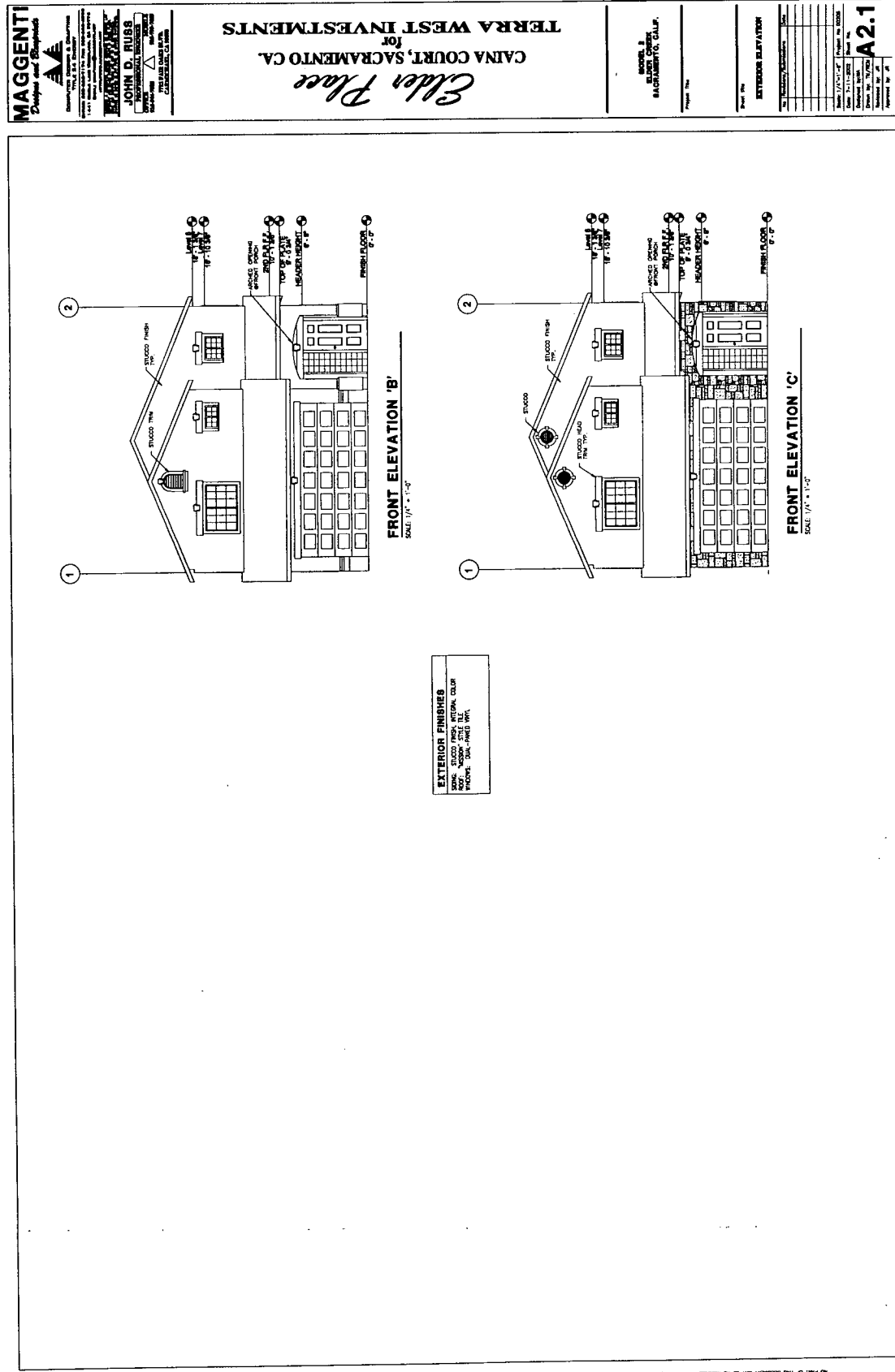


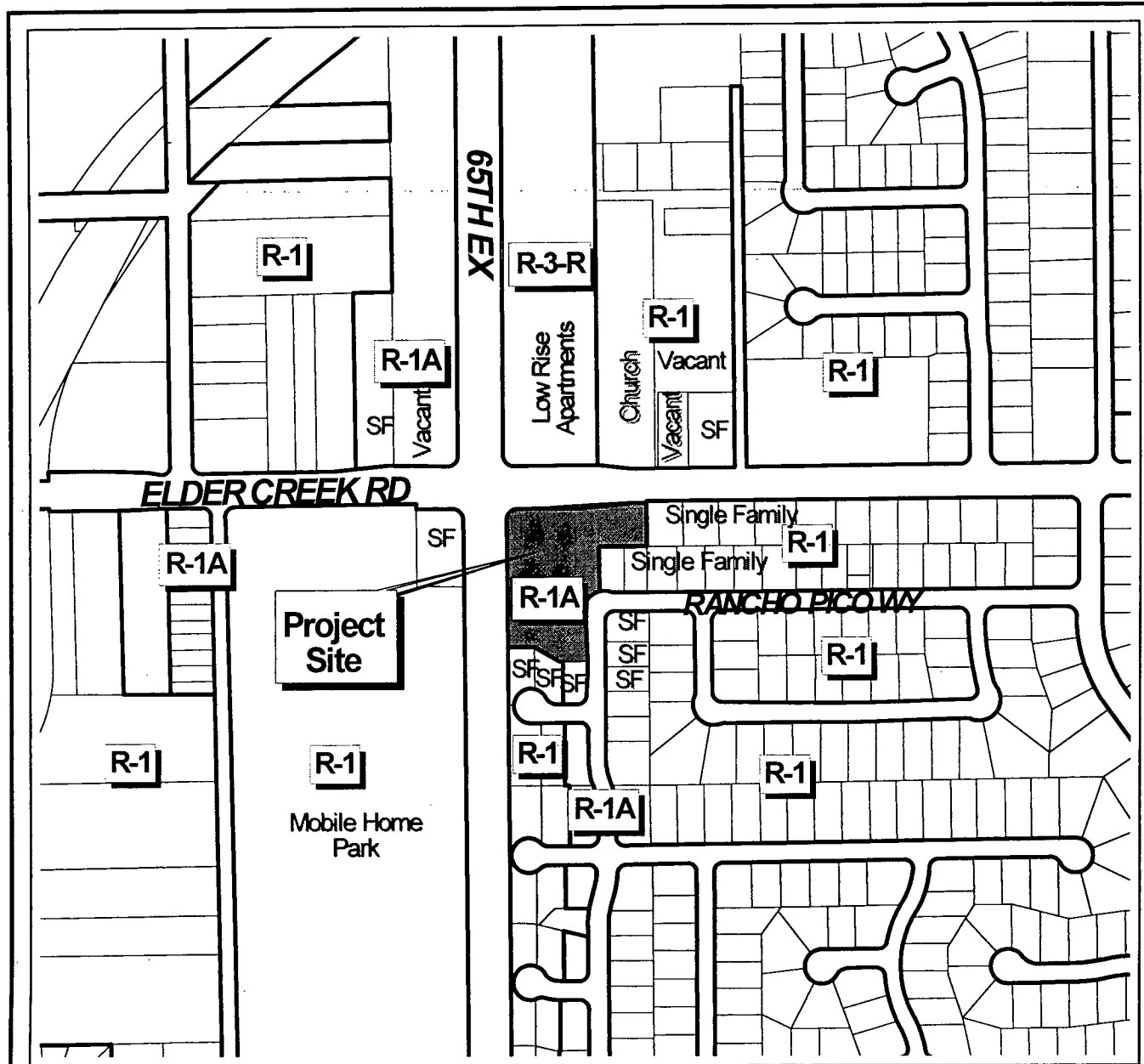
Exhibit 1G - Landscape Plan



<p>Trinity Development Corp.</p> <p>ELDER PLACE</p>	



Attachment 2 - Land Use & Zoning Map



Planning and Building  
Department

Geographic  
Information  
System

Elder Creek Place  
Land Use and Zoning

