



**CITY OF SACRAMENTO PLANNING COMMISSION
RECORD OF DECISION**

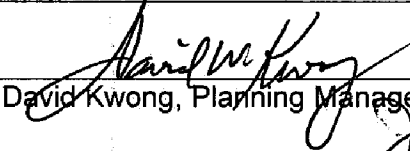
New City Hall, 915 I Street, 3rd Floor, Sacramento, CA 95814

Project Name: 5th Avenue Duplexes
Project Number: P05-046
Project Location: 3018-B 5th Avenue
Assessor's Parcel No.: 013-0137-016 and 017
Applicant: Ira Ross
Action Status: Approved Action Date: 08/24/2006

REQUESTED ENTITLEMENT(S): A. Environmental Determination: Categorically Exempt; B. Variance to allow the construction of one duplex on each of two contiguous parcels lacking public right-of-way frontage in the Multi-family (R-4) zone; C. Variance to reduce the required rear setback in the Multi-family (R-4) zone; D. Variance to reduce the required vehicular maneuvering area.

ACTIONS TAKEN: On 08/24/2006, the Planning Commission took the following actions based on the attached findings of fact and subject to the attached conditions of approval:
A. Approved the Environmental Determination: Categorically Exempt;
B. Approved the Variance to allow the construction of one duplex on each of two contiguous parcels lacking public right-of-way frontage in the Multi-family (R-4) zone;
C. Approved the Variance to reduce the required rear setback in the Multi-family (R-4) zone;
D. Approved the Variance to reduce the required vehicular maneuvering area.

Action certified by:


David Kwong, Planning Manager

Sent to Applicant: 08/25/2006

By:


Staff Signature

NOTICE OF PROTEST RIGHTS

The above conditions include the imposition of fees, dedications, reservations, or other exactions. Pursuant to California Government Code section 66020, this Notice of Decision serves as written notice to the project applicant of (1) the amount of any fees and a description of any dedications, reservations, or exactions imposed, and (2) that the applicant may file a protest against the imposition of those fees, dedications, reservations, or other exactions within 90 days of the date of this approval, which is deemed to be the date that the fees, dedications, reservations, or other exactions are imposed. If the payment of a fee is imposed as a condition of approval, but the amount of the fee is not stated in this Notice of Decision and is not otherwise available to the applicant on a fee schedule or otherwise, the 90 days protest period will begin to run when the applicant is notified of the amount of the fee.

For purposes of this notice, the following fees are deemed to be imposed upon approval of the first discretionary entitlement for the subject development project and are subject to the protest procedures set forth in Title 18 of the

Sacramento City Code as indicated: North Natomas Public Facilities Fee, Transit Fee, and Drainage Fee (SCC 18.24.160); North Natomas Land Acquisition Fee (SCC 18.24.340); North Natomas School Facilities Fee (SCC 18.24.710); Jacinto Creek Planning Area Facilities Fee (SCC 18.28.150); Willow Creek Project Area Development Fee (SCC 18.32.150); Development Impact Fees for the Railyards, Richards Boulevard, and Downtown Areas (SCC 18.36.150); Habitat Conservation Fee for the North and South Natomas Community Plan Areas (18.40.090); and Park Development Impact Fee (18.44.140).

The time within which to challenge a condition of approval of a tentative subdivision map, including the imposition of fees, dedication, reservation, or other exaction, is governed by Government Code section 66499.37

EXPIRATION

TENTATIVE MAP: Failure to record a final map within three years of the date of approval or conditional approval of a tentative map shall terminate all proceedings.

SPECIAL PERMIT: A use for which a Special Permit is granted must be established within three years after such permit is issued. If such use is not so established, the Special Permit shall be deemed to have expired.

VARIANCE: Any variance involving an action which requires a building permit shall expire at the end of three years unless a building permit is obtained within the variance term.

PLAN REVIEW: Any plan review shall expire at the end of three years unless a building permit is obtained within the plan review term.

NOTE: Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions taken on rezoning, special permits and variances.

APPEALS

Appeals of the Planning Commission decision of this item to the City Council must be filed at 915 I Street, New City Hall, 3rd Floor, within 10 calendar days of this meeting, on or before 09/05/2006. If the 10th day falls on a Sunday or holiday, the appeal may be filed on the following business day:

Findings Of Fact

A. Environmental Determination: Categorical Exemption: the City Planning Commission finds and determines the proposed project is exempt from environmental review pursuant to Section 15332 of the 2006 California Quality Act and Guidelines based on the following Findings of Fact:

1. The project is consistent with the General Plan designation of Low Density residential (4-15 du/na) and the zoning designation of Multi-family (R-4);
2. The project consists of less than five acres, is within the city limits and is surrounded by urban uses;
3. The project site has no value as habitat for endangered, rare, or threatened species;
4. The site can be adequately served by all required utilities and public services; and,
5. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

B. The Variance to allow the construction of one duplex on each of two contiguous parcels lacking public right-of-way frontage in the Multi-family (R-4) zone is approved subject to the following Findings of Fact and Conditions of Approval:

1. A variance cannot be a special privilege extended to one individual property owner. The circumstances must be such that the same variance would be appropriate for any property owner facing similar circumstances. Because the lots are existing, any proposed development would require the approval of a variance in order to comply with Zoning Ordinance requirements. Therefore no special privilege would be extended in this case.

2. The consideration of "use variances" is specifically prohibited. These are variances which request approval to locate a use in a zone from which it is prohibited by ordinance. No use variance is requested; the proposed use is permitted subject to the granting of a variance to develop on existing lots which lack public street right-of-way.

3. A variance must not be injurious to public welfare, nor to property in the vicinity of the applicant. The applicant proposes to employ high-quality construction materials, will provide adequate parking on-site for which over-size parking spaces are proposed to mitigate for the shortened maneuvering area and the vehicular maneuvering will occur outside the public right-of-way. The property will be landscaped to provide adequate shade and create private outdoor spaces for each unit. The development of the properties would eliminate the potential for nuisance activities such as illegal dumping on the vacant lots.

4. A variance must be in harmony with the general purpose and intent of this title. It must not adversely affect the general plan of the specific plans of the city, or the open space zoning regulations. The proposed development is otherwise consistent with the purpose and intent of the zoning regulations in that the safety and proper functioning of the alley and adjacent properties is not impaired. The proposal does not violate any applicable general plan policies.

C. The Variance to reduce the required rear setback in the Multi-family (R-4) zone is approved subject to the following Findings of Fact and Conditions of Approval:

1. A variance cannot be a special privilege extended to one individual property owner. The circumstances must be such that the same variance would be appropriate for any property owner facing similar circumstances.

In order to provide private outdoor space, the rear yard setback is reduced to 10', for a small section of the rear yard area, to allow the encroachment of the patio and balcony areas for each duplex flat. Given the relatively shallow depth of each lot and the development requirements that have evolved since the lots were created, the approval of the variance request is not granting a special privilege to one individual property owner who would be subject to the same development requirements. The granting of the variance would be appropriate for any property owner facing similar circumstances.

2. The consideration of "use variances" is specifically prohibited. These are variances which request approval to locate a use in a zone from which it is prohibited by ordinance. No use variance is requested; the proposed use is permitted subject to the granting of a variance to develop on existing lots which lack public street right-of-way.

3. A variance must not be injurious to public welfare, nor to property in the vicinity of the applicant. The applicant proposes to employ high-quality construction materials, will provide adequate parking on-site for which over-size parking spaces are proposed to mitigate for the shortened maneuvering area and the vehicular maneuvering will occur outside the public right-of-way. The property will be landscaped to provide adequate shade and create private outdoor spaces for each unit. The development of the properties would eliminate the potential for nuisance activities such as illegal dumping on the vacant lots.

4. A variance must be in harmony with the general purpose and intent of this title. It must not adversely affect the general plan of the specific plans of the city, or the open space zoning regulations. The proposed development is otherwise consistent with the purpose and intent of the zoning regulations in that the safety and proper functioning of the alley and adjacent properties is not impaired. The proposal does not violate any applicable general plan policies.

D. The Variance to reduce the required vehicular maneuvering area is approved subject to the following Findings of Fact and Conditions of Approval:

1. A variance cannot be a special privilege extended to one individual property owner. The circumstances must be such that the same variance would be appropriate for any property owner facing similar circumstances. In order to provide adequate living area and yard/tree area a variance is needed to

reduce the maneuvering area behind the parking spaces by 2' to 24'. Given the relatively shallow depth of each lot and the development requirements that have evolved since the lots were created, the approval of the variance request is not granting a special privilege to one individual property owner who would be subject to the same development requirements. The granting of the variance would be appropriate for any property owner facing similar circumstances.

2. The consideration of "use variances" is specifically prohibited. These are variances which request approval to locate a use in a zone from which it is prohibited by ordinance. No use variance is requested; the proposed use is permitted subject to the granting of a variance to develop on existing lots which lack public street right-of-way.

3. A variance must not be injurious to public welfare, nor to property in the vicinity of the applicant. The applicant proposes to employ high-quality construction materials, will provide adequate parking on-site for which over-size parking spaces are proposed to mitigate for the shortened maneuvering area and the vehicular maneuvering will occur outside the public right-of-way. The property will be landscaped to provide adequate shade and create private outdoor spaces for each unit. The development of the properties would eliminate the potential for nuisance activities such as illegal dumping on the vacant lots.

4. A variance must be in harmony with the general purpose and intent of this title. It must not adversely affect the general plan of the specific plans of the city, or the open space zoning regulations. The proposed development is otherwise consistent with the purpose and intent of the zoning regulations in that the safety and proper functioning of the alley and adjacent properties is not impaired. The proposal does not violate any applicable general plan policies.

Conditions Of Approval

The Variance to allow the construction of one duplex on each of two contiguous parcels lacking public right-of-way frontage in the Multi-family (R-4) zone is approved subject to the following Conditions of Approval:

B1. Current Planning

- a. Unless specified by any condition below, this project shall be developed and constructed in full compliance with the Zoning Ordinance.
- b. The project shall substantially conform to the approved plans as shown on the attached exhibits including window and door treatments and as conditioned to revise. Modifications/plan substitution will require additional planning review (and may require additional entitlements) and approval prior to the issuance of building permits.
- c. A minimum of three parking spaces shall be provided for each duplex parcel.
- d. The rear patio and balcony may encroach into the rear yard setback area by 5 feet.
- e. The required maneuvering area is reduced to 24 feet for each parcel.
- f. The siding shall consist of fiber cement lap siding of a same or similar quality to HardiPlank.
- g. Provide seamless gutters along all appropriate rooflines, including the porch, with downspouts where applicable.
- h. A minimum of 30-year laminated dimensional composition shingle shall be used and all rooflines, including the porch, shall have a heavy ridge cap.
- i. All mechanical equipment shall be enclosed in cabinet(s) or screened by landscaping and/or screens/fencing, where landscaped areas are of insufficient width to accommodate adequate landscaping. Roof-mounted HVAC units are not permitted. Final designs, including all outdoor mechanical equipment, of landscaping and/or screening shall be shown on the final landscaping plan.
- j. The applicant shall paint electrical meters/cabinets, telephone connection boxes, and other utility appurtenances to match the dwelling to which they are attached.
- k. Prior to the issuance of building permits, the developer shall submit plans for a, 6' tall enhanced and capped wooden fence with wood clad metal posts to the planning director for review and approval. Said fence shall then be installed along the north, east, and west boundaries of the development prior to the issuance of final building permit(s). The enhanced fence shall be a two-sided "good-neighbor" fence where shared between the two parcels (16 and 17). The fence shall step-down to a height of no more than 4' within the 20' front setback area. The rear yard area shall be gated outside the 20' front yard setback area w/a 6'-tall gate for privacy and security. All portions of the fence shall be maintained by the owner(s) in good working and aesthetic order. Any portion(s) of the fence in poor repair shall be replaced, with an identical fencing type, within 30 days of discovery.
- l. All driveway/parking spaces shall be paved with concrete.
- m. No Final Building permit(s) shall be issued for the duplexes until the site is fully landscaped including, but not limited to, automatic irrigation installation in front, side and rear yard areas, sidewalk/walkways and paths from the duplexes to the alleyway constructed, front, side, and rear yard landscaping, shrubbery, and duplex identification signage installed.
- n. Comply with the fifty percent shading requirement for all parking areas (Sec. 17.64.030(h) of the Zoning Ordinance.

- o. Development lighting shall be coordinated with the landscaping plan so there is minimal interference between the light standards and the required illumination, the trees, and the required shading. All light fixtures shall be vandal-resistant, ornamental and shall be no taller than 16' in height.
- p. Landscaping plans shall be submitted to the Building Division - Site Conditions Unit for review and approval by the Site Conditions Unit and the Landscape Architecture Section. The scope of the review shall include plant species selection, landscape materials, irrigation system, and calculation to ensure that the 50% shading requirement is met.
- q. Automatic front yard sprinklers and landscaping with a minimum of one 24" box shade tree and one 15 gal. shade tree, from the City's approved tree list, shall be installed in the front yard of each duplex. The approved trees are as follows: Chinese Pistache-Pistacia chinensis; Ginko-Ginko Biloba; Little Leaf Linden-Tilia cordata; Hedge Maple- Acer Campestre; Trident Maple-Acer buergeranum; Mayten Tree-Maytenus boaria; Evergreen Pear-Pyrus kawakamii, Texas Redf Oak-Quercus buckleyi. All trees shall have medium to deep roots and be medium to slow growing. No Final Building Permit for the dwellings may be issued prior to the installation of the approved landscaping and irrigation. The landscaping shall be maintained in healthy condition by the owner(s) in perpetuity.
- r. Continuous 6" high, 6" wide reinforced concrete curbing shall be provided around all planter areas within or adjacent to parking areas and alleyways. A reinforced 6" vertical curb shall extend along the entirety of the concrete parking area and maneuvering area except where the sidewalk that leads to the duplex bisects the parking area. The use/installation of parking stops is prohibited.
- s. Landscaping shall be provided to screen ground-mounted mechanical equipment, backflow preventors, transformers, and other similar appurtenances to the satisfaction of the Planning Director.
- t. The entire landscape area shall have automatic irrigation installed and operational.
- u. Adequate spacing will be provided between the trees to allow the trees to obtain full maturity growth potential. The trees shall have a minimum mature diameter of 20-30 feet and shall be planted no closer than 20'-30' on center. All landscaped area soil surfaces shall be covered with living groundcover within two years of installation. If groundcover is contraindicated beneath the trees a covering 6" deep with mulch shall be applied and maintained in perpetuity beneath and around the trees to a diameter of six feet around the base of each tree.

Lighting:

- v. Lighting fixtures shall be of a high quality decorative design, having a color and style, which is compatible with the building architecture, as determined by the Planning Director.
- w. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
- x. Each building address number shall be illuminated and be readily visible from the alleyway.
- y. Lighting levels shall be as follows: 1.5 foot-candles of minimum maintained illumination per square foot of parking space between the hours of dusk and one hour after sunrise. A minimum of 0.25 foot-candles of illumination shall be provided at the surface of any walkway, alcove, passageway, or parking area related to the development during the same hours.

B2. Utilities

- a. This project is located in the combined sanitary sewer service area and the developer will be

required to pay a fee of \$105 per unit.

B3. Fire Department

a. Roads used for Fire Department access shall have an unobstructed width of not less than 20' and unobstructed vertical clearance of 13'6" or more. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall, at a minimum, be provided with a finished road surface consisting of 2 inches of asphalt concrete (AC) over 6 inches of aggregate base (AB) or the equivalent in concrete or other approved surface.

b. Provide a fire hydrant in accordance with CFC 903.4.2 and Appendix III-B, Section 5.
OR

All structures proposed for this project shall be equipped with an approved automatic fire sprinkler system. The automatic fire sprinkler system shall be designed to NFPA 13D standards for residential applications.

c. Alley shall be marked "No Parking Fire Lane" on both sides.

B4. Police Department

a. The parking areas shall be illuminated at a minimum level of 1.5 foot-candles during hours of darkness.

b. Security and parking area lights shall be controlled by photocell and shall remain on during hours of diminished light.

c. Each entry, patio, balcony, and pedestrian walk shall be equipped with its own light source.

d. Parking areas, aisles, passageways, recesses, and grounds contiguous to any structure shall be provided with high intensity discharge lighting with sufficient wattage to provide adequate illumination for the safety and security of vehicles and pedestrians using the site during the hours of darkness or diminished light. Such lighting shall be equipped with vandal-resistant covers/lenses.

e. All exterior doors shall be adequately illuminated with their own light source.

f. Exterior door, perimeter, canopy, and parking area lights shall be controlled by photocell and shall remain on during the hours of darkness or diminished light.

g. All required lighting shall be high-pressure sodium with vandal-resistant covers/lenses.

h. Ground-level pation fences should be low profile to allow observation while still providing a sense of privacy.

i. During construction, the developer shall enclose the entire project perimeter with a chain-link fence with the necessary construction gates that shall be locked after normal construction hours.

j. Single sliding glass doors shall have the moveable section of the door adjusted so the up and down play is taken up to prevent lifting with a pry tool to defeat the locking mechanism.

k. Secondary deadlocks shall be installed on all single sliding glass doors accessible from ground level or adjacent balconies. Lock bolts shall be of hardened material or shall have hardened steel inserts.

l. Secondary locking devices are required on ground floor windows and any windows accessible from outside connecting balconies.

m. Outside hinges on all exterior doors shall be provided with non-removable pins when pin-type

hinges are used or shall be provided with hinge studs, to prevent removal of the door.

n. The residences main entrance door(s) shall be secured with single-cylinder deadbolt locks with a minimum throw of one inch, in addition to door latches with a one-half inch minimum throw. The locks should be constructed so both deadbolt and dead latch can be retracted by a single action of the inside doorknob.

o. Any glass door(s) shall be secured with a deadbolt lock with a minimum throw of one-inch. The outside ring shall be free-moving and case hardened.

p. Doors with glass panels and doors with glass panels adjacent to the door frame shall be secured with burglary-resistant glazing or the equivalent, if double-cylinder deadbolt locks are not installed.

q. Windows shall be constructed so when the window is locked it cannot be lifted from the frame (sliding).

r. The sliding portion of a sliding glass window shall be on the inside track.

s. Window locking devices shall be capable of withstanding a force of 300 pounds in any direction.

t. If the barrier is on the outside, it shall be secured with galvanized rounded-head flush bolts of at least 3/8" diameter on the outside.

u. A viewing device or peephole shall be installed in each individual entrance door and shall allow for 180 degree vision.

v. Vision panels in exterior doors (if used) or within reach of the inside activating device shall be made of burglary-resistant glazing or equivalent.

w. Windows shall be constructed so when the window is locked it cannot be lifted from the frame. The vertical play shall be taken up to prevent lifting of the movable section to defeat the locking mechanism.

x. Landscaped areas should be planned for maximum growth while also providing unobstructed observation of parking areas, buildings, and pathways day and night.

B5. Parks

a. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project to an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Development Services Department, Special Districts, Project Manager. In assessment districts, the cost of neighborhood park maintenance is equitably spread on the basis of special benefit. In special tax districts, the cost of neighborhood park maintenance is spread based upon the hearing report, which specifies the tax rate and method of apportionment.)

b. As per City Code, the applicant will be responsible to meet his/her obligations regarding:

1) Title 18, 18.44 Park Development Impact Fee (PIF), due at the time of issuance of building permit. The Park Development Impact Fee due for this project is estimated at \$13,188. This fee is based on four duplex units at \$3,297 each. Any change in these factors will change the amount of PIF due. The fee is calculated using factors at the time the project is submitted for building permit.

B6. SMUD

a. Dedicate a 5-foot public utility easement for overhead and underground facilities and appurtenances adjacent to the east property line of APN: 013-0137-017.

b. Dedicate a 5-foot public utility easement for overhead and underground facilities and appurtenances adjacent to the west property line of APN: 013-0137-016. There is an existing electrical secondary line that cuts diagonally from the southeast corner to the northwest corner which provides service to the properties to the north.

B7. Development Engineering

a. Alley improvements are required from the property boundary to the nearest public street (Franklin Boulevard). Repair/reconstruct any deteriorated portions of the existing alley. Alley improvements shall be to City standards and shall be constructed to the satisfaction of the Development Engineering Division.

b. The developer shall provide adequate lighting to the existing alley to the satisfaction of the Development Engineering Division.

c. The design of walls, fences, and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back three (3") feet behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited to 42" in height at maturity. The area of exclusion shall be determined by the Development Engineering division.

GENERAL NOTES (TYPICAL)

1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE C.I.B. STANDARDS UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION. HE SHALL PROVIDE ADEQUATE PROTECTIVE MEASURES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH APPLICABLE SAFE TYPIC REGULATIONS.
3. DETAILS NOT SPECIFICALLY SHOWN SHALL BE SUBJECT TO DETAILS FOR SIMILAR CONSTRUCTION SHOWN ON THESE DRAWINGS.
4. THE CONTRACTOR SHALL MAINTAIN THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS AND ADJUSTMENTS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL WORKERS AND TRAFFIC. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTIVE MEASURES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH APPLICABLE SAFE TYPIC REGULATIONS.
6. THE CONTRACTOR SHALL MAINTAIN THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS AND ADJUSTMENTS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
7. ALL THE INDICATED PLUMBING AND ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE C.I.B. STANDARDS UNLESS OTHERWISE NOTED.
8. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
9. CONSTRUCTION OF EXISTING STRUCTURE FOR THE BUILDING SHALL BE PROVED BEFORE COMMENCING NEW CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS AND ADJUSTMENTS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
10. THE CONTRACTOR SHALL MAINTAIN THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS AND ADJUSTMENTS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
11. THE CONTRACTOR SHALL MAINTAIN THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS AND ADJUSTMENTS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.

FOUNDATION

1. THE ELEVATION OF BOTTOMS OF FOOTINGS AS SHOWN ON THESE DRAWINGS INDICATES THE EXISTING ELEVATION OF FOUNDATION TOPS.
1. FOUNDATIONS ARE REQUIRED FOR A VARIETY OF PILES AND FOUNDATIONS SHALL BE AS SHOWN ON THESE DRAWINGS.
2. SYSTEMS OF FOOTINGS SHALL BE AS SHOWN ON THESE DRAWINGS AND SHALL BE AS SHOWN ON THESE DRAWINGS.
3. THE BOTTOMS OF ALL FOOTINGS SHALL BE AT LEAST 4" ABOVE FINISH GRADE UNLESS OTHERWISE INDICATED ON THESE DRAWINGS.
4. CENTER FOOTINGS UNDER WALLS OR COLUMNS UNLESS OTHERWISE INDICATED ON THESE DRAWINGS.

SITE

1. CONTRACTOR SHALL MAINTAIN AND NOTIFY OWNER OF ALL WORKERS AND TRAFFIC. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE SAFE TYPIC REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL PROPERLY MARKED CORNERS AND SHALL MAINTAIN ALL CONSTRUCTION TO WITHIN ALL APPLICABLE TOLERANCES AND SHALL MAINTAIN CONSTRUCTION TO WITHIN ALL APPLICABLE TOLERANCES.
3. THE ELEVATION TO BE OBSERVED BY STRUCTURES SHALL BE SUBJECT TO A SURVEY (DEPTH) TO PROVIDE SURFACE ELEVATION OF THE SITE.
4. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE REGULATIONS AND SHALL BE AS SHOWN ON THESE DRAWINGS.
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MECHANICAL

1. INSTALLATION INSTRUCTIONS OF ALL LISTED MECHANICAL EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.
2. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
3. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
4. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
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12. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.

PLUMBING

1. WATER CLOSURE TO USE NOT MORE THAN 2" DRAINAGE PER FOOT.
2. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
3. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
4. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
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11. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
12. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.

FIRE PLACE

1. ALL FIRE PLACES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE C.I.B. STANDARDS UNLESS OTHERWISE NOTED.
2. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
3. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.

STRUCTURAL

1. ALL MANUFACTURED UNITS SHALL BE PROVIDED BY A REGISTERED DEALER OF STRUCTURES. THE NAME AND ADDRESS OF THE DEALER SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AT THE TIME OF PERMIT APPLICATION. ALL MANUFACTURED UNITS SHALL BE PROVIDED BY A REGISTERED DEALER OF STRUCTURES. THE NAME AND ADDRESS OF THE DEALER SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AT THE TIME OF PERMIT APPLICATION.
2. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
3. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
4. PROVIDE MORE THAN ONE AS REQUIRED BY THE BUILDING DEPT. OR OTHER AGENCIES.
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WOOD

1. STRUCTURAL WOOD SHALL BE PROVIDED BY A REGISTERED DEALER OF WOOD. THE NAME AND ADDRESS OF THE DEALER SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AT THE TIME OF PERMIT APPLICATION. ALL WOOD SHALL BE PROVIDED BY A REGISTERED DEALER OF WOOD. THE NAME AND ADDRESS OF THE DEALER SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AT THE TIME OF PERMIT APPLICATION.
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CONCRETE

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ELECTRICAL

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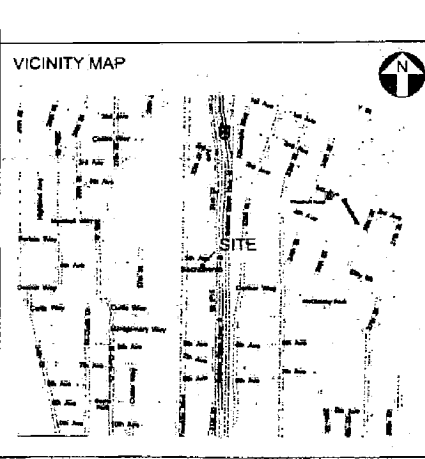
5TH AVENUE
SACRAMENTO, CA 95817
LOT 16

SCOPE OF WORK
NEW DUPLEX

FOOTAGE	
1ST FLOOR UNIT 1	2ND FLOOR UNIT 2
LIVING	LIVING
1062 SF	1140 SF
KITCHEN	KITCHEN
140 SF	140 SF
BATH	BATH
45 SF	45 SF
COVERED REAR PORCH	COVERED BALCONY
45 SF	45 SF
COVERED FRONT PORCH	GRAND TOTAL
45 SF	1185 SF
GRAND TOTAL	STRUCTURE FOOT PRINT TOTAL
1142 SF	NONE
STRUCTURE FOOT PRINT TOTAL	2250 SF

SHEET INDEX

A1	PROJECT DATA	S1	WW
A2	SITE PLAN	S2	WW
A3	FLOOR PLAN	S3	WW
A4	FOUNDATION	S4	WW
A5	ELEVATION	S5	WW
A6	ROOM LAYOUT		
A7	SECTION		
E1	ELECTRICAL		
AD1	ARCHITECTURE DETAIL		
AD2	ARCHITECTURE DETAIL		



Fineline
DRAFTING INC.

3772 Madison Ave Suite 200, Sacramento, CA 95811
PH (916) 332-2882 FAX (916) 332-2840
www.fineline-drafting.com

Client Name:
THIS PLAN SET IS DESIGNED TO COMPLY WITH THE C.I.B. STANDARDS UNLESS OTHERWISE NOTED.
GROUP 1
DIVISION 1 - utility garage
DIVISION 2 - dwelling and loggia
DIVISION 3 - dwelling and loggia
DIVISION 4 - dwelling and loggia
DIVISION 5 - dwelling and loggia
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DIVISION 100 - dwelling and loggia

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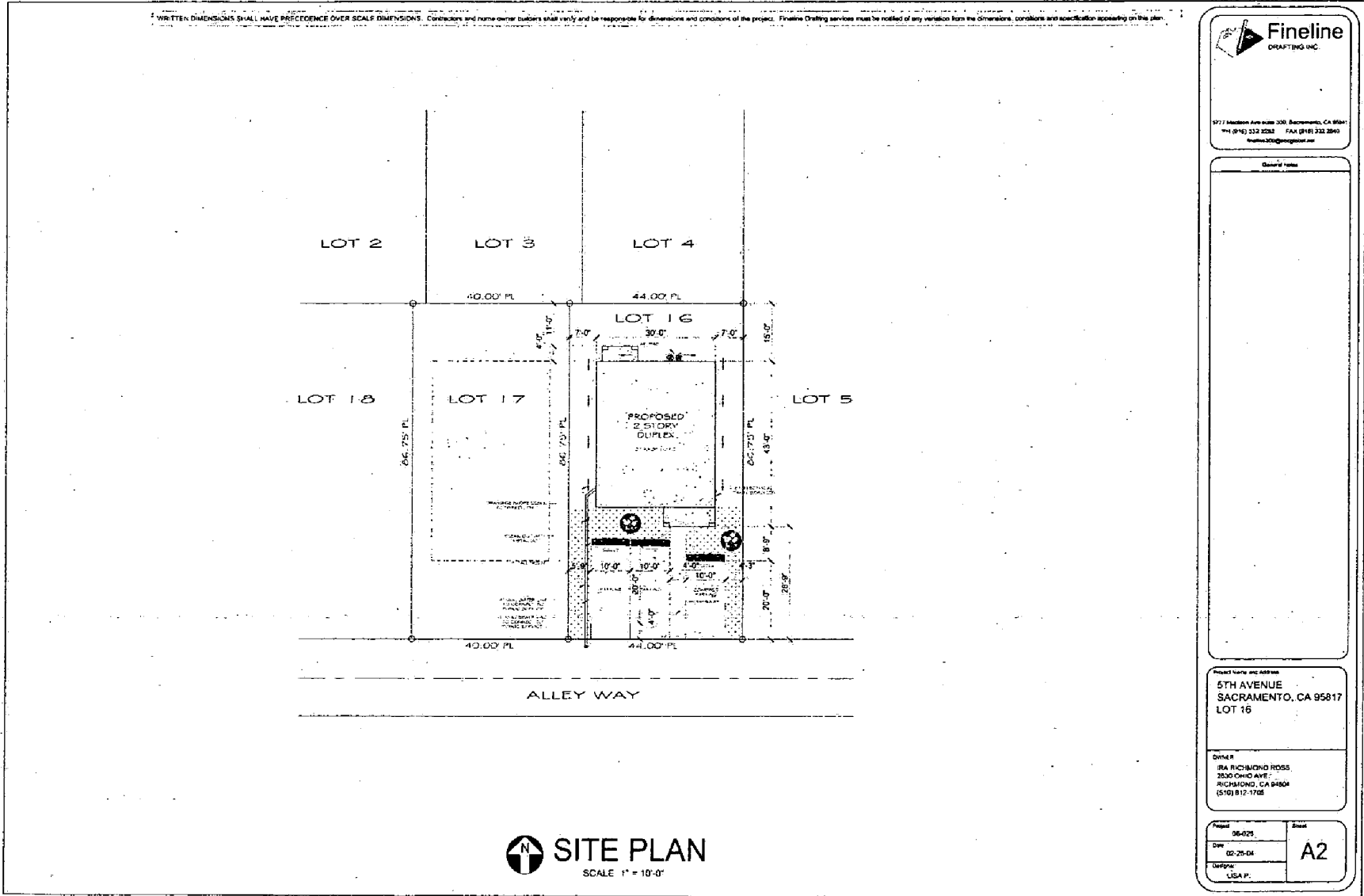
Project Name and Address
5TH AVENUE
SACRAMENTO, CA 95817
LOT 16

Owner:
554 RICHMOND ROSS
2820 4TH AVE
RICHMOND, CA 94804
(916) 612-1705

Scale:
Date:
05-028
02-26-04
Designer:
USA P.

Sheet No.:
A1

Lot 16 Site Plan



FineLine
DRAFTING INC.

5777 Madison Ave Suite 200, Sacramento, CA 95841
 Tel: (916) 332-2282 Fax: (916) 332-2840
 fine@fine3d.com

Client Name

Project Name and Address

5TH AVENUE
SACRAMENTO, CA 95817
LOT 16

Owner

IRA RICHMOND ROSS
2830 OHIO AVE
RICHMOND, CA 94804
(510) 812-1702

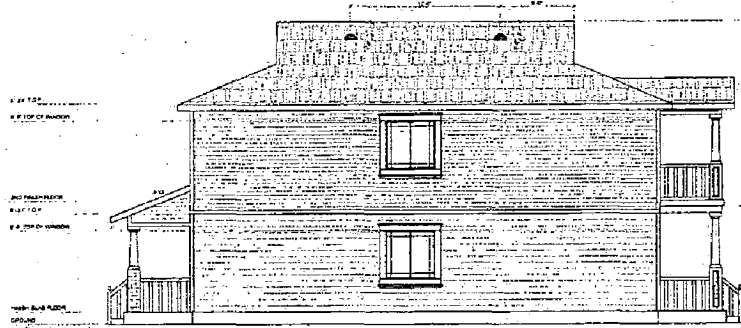
Project	05-029	Sheet	A2
Date	02-25-04		
Designer	USA P.		

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner/builders shall verify and be responsible for dimensions and conditions of the project. FineLine Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on this plan.



REAR ELEVATION-NORTH

SCALE 1/4" = 1'-0"



RIGHT ELEVATION-EAST

SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS

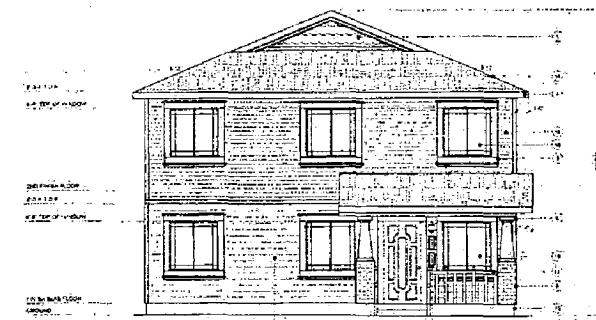
AREA OF FLOOR VENTILATION		AREA OF ROOF VENTILATION	
TYPE	AREA (SQ. FT.)	TYPE	AREA (SQ. FT.)
1	100	1	100
2	100	2	100
3	100	3	100
4	100	4	100
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AREA OF FLOOR VENTILATION		AREA OF ROOF VENTILATION	
TYPE	AREA (SQ. FT.)	TYPE	AREA (SQ. FT.)
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LEFT ELEVATION-WEST

SCALE 1/4" = 1'-0"



FRONT ELEVATION-SOUTH

SCALE 1/4" = 1'-0"

FineLine
DRAFTING INC.

5177 Madison Ave Suite 300, Sacramento, CA 95841
PH (916) 332-2282 FAX (916) 332-2845
MAIL@FIDR.COM

- General Notes
1. See all notes on all sheets.
2. All work shall be in accordance with the City of Sacramento Building Code.
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19. All work shall be in accordance with the City of Sacramento Building Code.
20. All work shall be in accordance with the City of Sacramento Building Code.

Project Name and Address

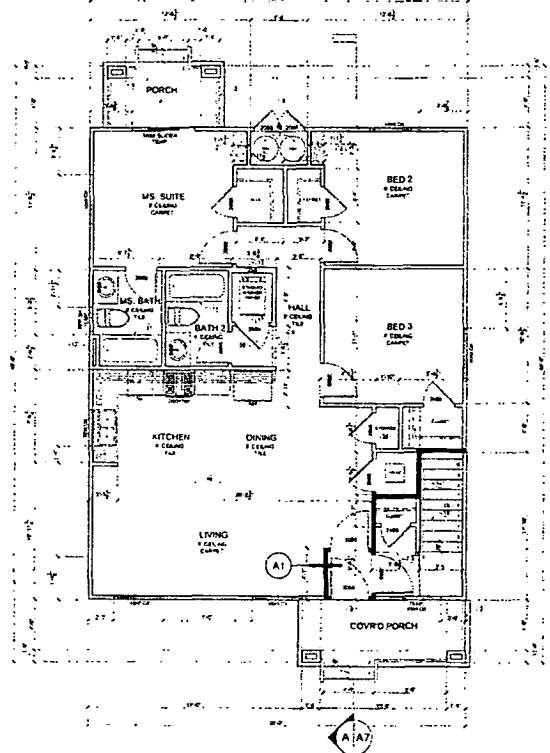
6TH AVENUE
SACRAMENTO, CA 95817
LOT 16

OWNER

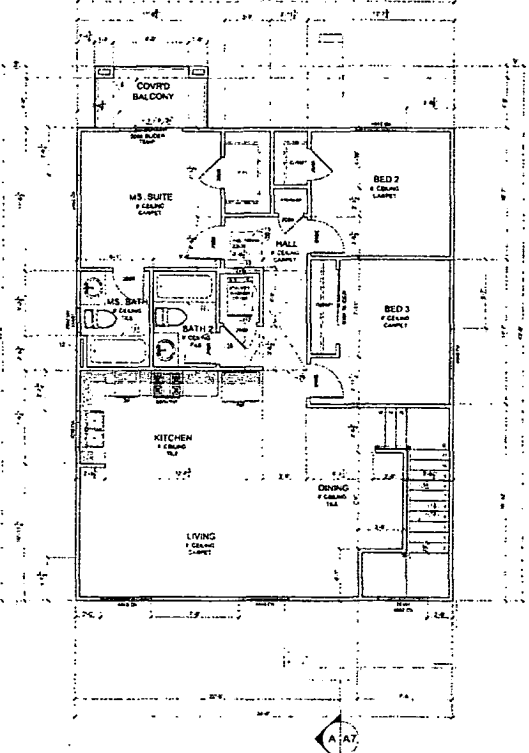
IRA RICHMOND ROSS
2828 DAVID AVE.
RICHMOND, CA 94801
(510) 872-1785

Project	06-026	Sheet	A5
Date	07-25-06		
Drawn by	LISA P		

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner builders shall verify and be responsible for dimensions and conditions of the project. Finalize Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on this plan.



1ST FLOOR PLAN-UNIT 1
SCALE 1/4" = 1'-0"



2ND FLOOR PLAN-UNIT 2
SCALE 1/4" = 1'-0"

KEY NOTES

1. 2" max. max of floor framing bay between beam and column spacing
2. Based on 2001 CBC, except where indicated by "C" or "C" not. Contractor to verify 2001 CBC code by any means on the project and report to the architect.
3. See zoning file.
4. See notes.
5. See notes.
6. See notes.
7. Construction of floor joists per plan.
8. See notes.
9. See notes.
10. See notes.
11. See notes.
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99. See notes.
100. See notes.

ALL OF THE INTERIOR WALLS OF BEDROOMS ARE INSULATED WITH R-13 FOR SOUND BARRIER TYPICAL.

1 HOUR FIRE WALL

OSI FILE NO. WFP 3320 PROPRIETARY

GYPSUM WALLBOARD, GLASS FIBER INSULATION, WOOD STUDS

Base layer 1/2" proprietary gypsum wallboard applied parallel to each side of 2 x 4 wood studs 16" o.c. with 4" closed cells, 1 1/2" long, 0.50" thick, 1/2" heads, 12" o.c. Face layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied parallel to each side with 8" wide strips of laminating compound along the edges and centerline of each board and 8" spaced nails, 1 1/4" long, 0.0815" thick, 1/4" heads, 16" o.c. at top and bottom (see only).

Joints staggered 16" each layer and side. Board tested with 1 1/2" glass fiber insulation, 0.5" per, in stud space (L-DM-BEARING)

G.P. Division PROPRIETARY GYPSUM BOARD
Lafarge North America Inc. 1/2" ToughRock® Sound Densuring Board
National Gypsum Company 1/2" SoundRock® 1/2" SoundRock® Type C 1/2" FireRock® Type C 1/2" Gold Bond® Brand FINE-SHIELD C-

Thickness: 5 1/2" Apprx. Weight: 8 psf Fire Test: See WFP 3340 (UL 2071)-1, 2, 3, 4-48, UL Design L212, U.L.C. Design R203, GAN 874-367, 4-16-80

A1 FIRE WALL

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

OSI FILE NO. WFP 4008 PROPRIETARY

WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS

Base layer 1/2" type X gypsum wallboard applied at right angles to resilient channels 16" o.c. with 1 1/4" Type S drywall screws 12" o.c. Resilient channels applied at right angles to minimum 1 1/2" deep wood joists, with minimum 1 1/4" deep x 1 1/2" wide Sanges and minimum 1/4" web, 24" o.c. with 1 1/4" Type W drywall screws. Face layer 1/2" type X gypsum wallboard applied at right angles to channels with 1 1/4" Type S drywall screws 12" o.c. Face layer and joint located midway between channels and attached to base layer with 1 1/4" Type D screws 12" o.c. Edge joints offset 24" from base layer edge joints. Wood joists supporting 1/2" oriented strand board applied at right angles to joists with 8d common nails 12" o.c.

BTC and IC tested with 1/2" gypsum concrete underlayment and 3/4" glass fiber insulation in joist spaces. Third layer of 1/2" or 5/8" type X gypsum wallboard required to achieve 1-hour fire resistance rating when glass fiber insulation is used.

Apprx. Ceiling Weight: 5 psf Fire Test: NRCC A-444.1 (Patched), 6-24-87 Sound Test: NRCC 9-3150A, 8-30-00 IC Test: NRCC 9-3150 B, 8-30-00

A2 FIRE CEILING



5771 Mission Ave. Suite 300 Sacramento, CA 95841
PH (916) 532-2252 FAX (916) 532-2940
E-mail: info@fineline.com

General Notes

Deck materials is reduced lumber and pressure treated lumber when contact with concrete surface.

Pressure treated or thermally treated lumber for NDL and DND (Barnet) shower and showerhead. Pre-act with min. of 120° degree.

A minimum 2x6 with 8 required whenever the piling with in the wall is greater than 2" of a clear diameter as per 2001 CBC section 313.7.

Board all of the metallic pipe pipes and water pipes to the finish ground as per 2001 CBC section 250-40.

Provide a minimum 4" average line as per 2001 C.P.C. Table 7-3-7.5.

The minimum capacity for water heaters shall be in accordance with the first hour ratings as per 2001 C.P.C. Table 5-1.

Showers shall be finished with a smooth, hard non-absorbent surface to a height of not less than 10 inches above the drain water per CBC 607.1.3. When gypsum board is used as a base for tile or wall panels as showers, water resistant gypsum backing board shall be used per CBC 2512. Water-resistant gypsum backing board shall not be used on ceiling framing spaced more than 12 inches on center per CBC 2512 (3).

All natural light sources (windows, skylights) of any other rooms shall be 11' 10" of the floor area (the area of 10 square feet) in all applicable rooms as per 2001 C.P.C. section 1200.2.

Non-retrofitable fireproof protection devices are required on all exterior knee walls as per 2001 CBC section 603.

Provide safety glazing for all glazing located in hazardous locations as specified in 2001 CBC Section 2408.4.

Project Name and Address
5TH AVENUE
SACRAMENTO, CA 95817
LOT 16

OWNER
ISA RICHMOND ROSS
2826 CHRYSLER
RICHMOND, CA 94804
(510) 812-1705

Project: 06-026
Date: 02-26-04
Designer: LISA P.
A3

GENERAL NOTES (TYPICAL)

1. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE C.I.C. STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE BRACING AND SHORING DURING CONSTRUCTION. CONSTRUCTION SHALL COMPLY WITH ALL LOCAL, COUNTY AND STATE REGULATIONS.
3. ALL MATERIALS SPECIFICALLY IDENTIFIED SHALL BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.
4. THE CONTRACTOR SHALL SUBMIT THE NAMES OF ALL TRUCKS AND TRAILERS TO BE USED ON THE PROJECT AND SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND BE SUBJECT TO BRACING PROCEDURES WITH THE WORK.
5. NO STRUCTURAL MEMBERS SHALL BE CUT, NOTCHED OR OTHERWISE WEAKENED UNLESS SPECIFICALLY APPROVED BY THE ENGINEER IN ADVANCE OR SHOWN WITH THE WORK.
6. FINISH FLOOR SHALL APPLY TO THE FINISH FLOOR FINISH IN THE DRAWINGS.
7. WHERE THESE SPECIFICATIONS AND FINISH FLOOR REQUIREMENTS CONTRADICT ANY SPECIFICATIONS THESE NOTES SHALL GOVERN.
8. ALL OF THE INDICATED ALPHABETIC PLANS ARE TO BE INTERPRETED FROM TOP TO BOTTOM UNLESS OTHERWISE INDICATED.
9. FINISH FLOOR SHALL BE AS SHOWN ON THESE DRAWINGS.
10. CONSTRUCTION ON FINISH FLOOR IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBJECT TO BRACING PROCEDURES WITH THE WORK.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY INTERFERENCES WHICH MAY OCCUR FROM THESE PLANS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENGINEER'S APPROVAL OF ANY CHANGES WHICH ARE MADE TO THESE PLANS AND SHALL OBTAIN APPROVAL BEFORE PROCEEDING.
13. CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF ALL MANUFACTURED PRODUCTS INCLUDING, BUT NOT LIMITED TO, ALL MANUFACTURED PRODUCTS AND MATERIALS WHICH ARE SHOWN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

FOUNDATION

1. THE ELEVATIONS OF FOOTINGS OR FOUNDATIONS AS SHOWN ON THESE DRAWINGS INDICATING THE EXISTING FINISH FLOOR FINISH.
2. FOUNDATIONS ARE REQUIRED FOR A MINIMUM DEAD LOAD PLUS LIVE LOAD AS SHOWN IN THE DRAWINGS.
3. FOOTINGS OF FOOTINGS SHALL BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.
4. THE DESIGN OF ALL FOOTINGS SHALL BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.
5. CENTER FOOTINGS UNDER WALLS OR COLUMNS UNLESS OTHERWISE INDICATED ON THE SE DRAWINGS.

SITE

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES SHALL NOT BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES SHALL NOT BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.
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MECHANICAL

1. THE INSTALLATION AND MAINTENANCE OF ALL MECHANICAL EQUIPMENT SHALL BE SUBJECT TO THE FIELD INSPECTION BY THE INSPECTOR.
2. MECHANICAL AIR DUCTS (A.C. DUCTS) SHALL BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.
3. FACTORY MADE AIR DUCTS SHALL BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.
4. AIR DUCTS SHALL BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.

PLUMBING

1. WATER CLOSURES TO BE INSTALLED AT 1/2" GALVANIZED STEEL.
2. WATER AND SEWERAGE CONNECTIONS SHALL BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.

FIRE PROTECT

1. MECHANICAL EQUIPMENT SHALL BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.

STRUCTURAL

1. ALL MANUFACTURED PRODUCTS SHALL BE SUBJECT TO INSPECTION BY LOCAL CONSTRUCTION OFFICIALS ON THESE DRAWINGS.
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WOOD

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ELECTRICAL

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5TH AVENUE
SACRAMENTO, CA 95817
LOT 17

SCOPE OF WORK
NEW DUPLEX

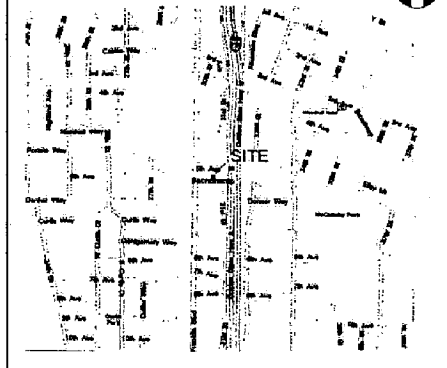
FOOTAGE

1ST FLOOR UNIT 1		2ND FLOOR UNIT 2	
LIVING	1058 SF	LIVING	1140 SF
SUB TOTAL LIVING	1058 SF	SUB TOTAL LIVING	1140 SF
COVERED REAR PORCH	45 SF	COVERED BALCONY	45 SF
COVERED FRONT PORCH	45 SF	GRAND TOTAL	1185 SF
GRAND TOTAL	1148 SF	STRUCTURE FOOT PRINT TOTAL	NONE
STRUCTURE FOOT PRINT TOTAL	1250 SF		

SHEET INDEX

A1	PROJECT DATA	S1	WW
A2	SITE PLAN	S2	WW
A3	FLOOR PLAN	S3	WW
A4	FOUNDATION	S4	WW
A5	ELEVATION	S5	WW
A6	ROOF LAYOUT		
A7	SECTION		
E1	ELECTRICAL		
AD1	ARCHITECTURE DETAIL		
AD2	ARCHITECTURE DETAIL		

VICINITY MAP



5777 Madison Ave Suite 300, Sacramento, CA 95817
PH: (916) 332-2382 FAX: (916) 332-2383
fineline00@comcast.net

THIS PLAN SET IS DESIGNED TO COMPLY WITH 2001, CBC, CMC, CPC, AND CED OF 2004.
GROUP R
DIVISION 3 - dwelling and lodging houses
GROUP U
DIVISION 1 - private garage
SEISMIC ZONE 3

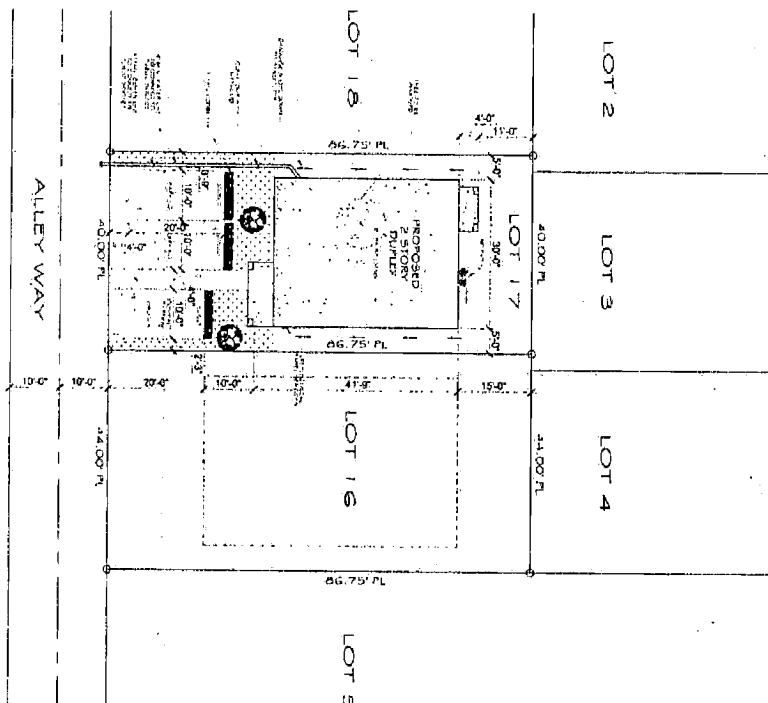
CITY OF SACRAMENTO
OCCUPANCY R-3
TYPE OF CONSTRUCTION V-N
NO. OF STORES 2
UNIT 1:
NO. OF BED ROOMS 3
UNIT 2:
NO. OF BEDROOMS 3
FIRE SPRINKLER NO.


Project Name and Address
5TH AVENUE
SACRAMENTO, CA 95817
LOT 17
Owner(s)
IRA RICHMOND ROSS
2830 OHIO AVE
RICHMOND, CA 94804
(510) 812-1705


Project 08-027
Date 04-08-09
Sheet A1

Lot 17 Site Plan

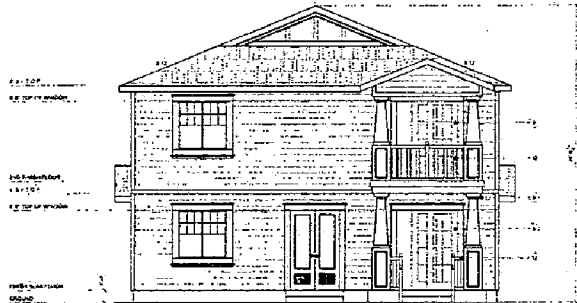
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR AND/OR OWNER SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE PROJECT. FINELINE DESIGN SOLUTIONS SHALL BE HELD HARMLESS FROM ANY DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THIS PLAN.



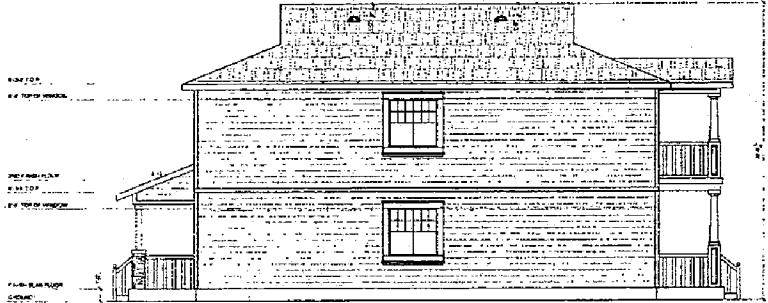
 **SITE PLAN**
SCALE 1" = 10'-0"

 <p>Fineline DESIGN FIRM, INC.</p>		<p>10711 Westline Ave, Suite 200, Sacramento, CA 95841 Phone: (916) 337-7262 Fax: (916) 337-3340 Website: www.finelinefirm.com</p>	
<p>Client Name:</p>		<p>Client Address:</p>	
<p>Project Name and Address: 5TH AVENUE SACRAMENTO, CA 95817 LOT 17</p>		<p>Client:</p>	
<p>Contract No: 04-06-08</p>		<p>Scale: A2</p>	

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner/builder shall verify and be responsible for dimensions and conditions of the project. FineLine Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on the plan.



REAR ELEVATION-NORTH
SCALE 1/4" = 1'-0"

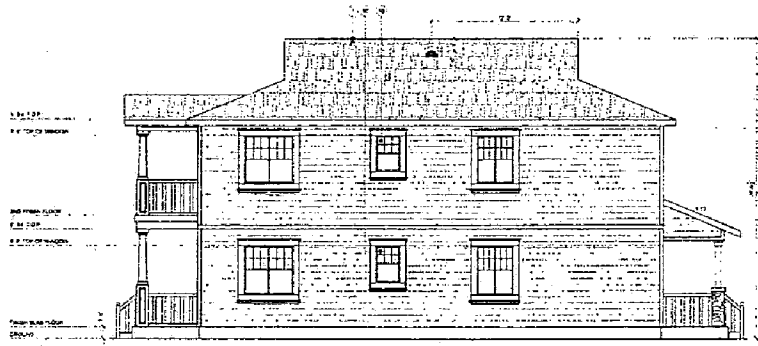


RIGHT ELEVATION-EAST
SCALE 1/4" = 1'-0"

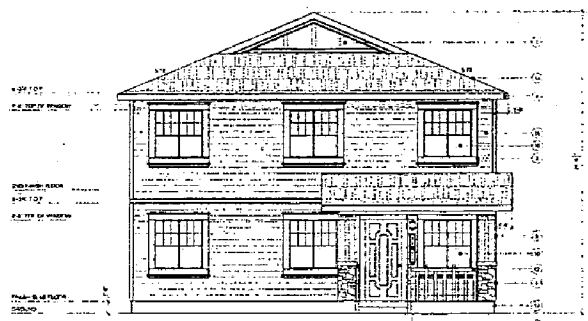
ATTIC ROOF VENTILATION CALCULATIONS

BASE INFORMATION			
Area	Volume	Area	Volume
Attic Area	1,200 sq ft	Attic Volume	12,000 cu ft
Roof Area	1,500 sq ft	Roof Volume	15,000 cu ft
Wall Area	2,000 sq ft	Wall Volume	20,000 cu ft
Floor Area	1,000 sq ft	Floor Volume	10,000 cu ft
Basement Area	1,000 sq ft	Basement Volume	10,000 cu ft
Garage Area	1,000 sq ft	Garage Volume	10,000 cu ft
Deck Area	100 sq ft	Deck Volume	1,000 cu ft
Front Porch Area	100 sq ft	Front Porch Volume	1,000 cu ft
Rear Porch Area	100 sq ft	Rear Porch Volume	1,000 cu ft
Staircase Area	100 sq ft	Staircase Volume	1,000 cu ft
Other Area	100 sq ft	Other Volume	1,000 cu ft
Total Area	10,000 sq ft	Total Volume	100,000 cu ft


BASE INFORMATION			
Area	Volume	Area	Volume
Attic Area	1,200 sq ft	Attic Volume	12,000 cu ft
Roof Area	1,500 sq ft	Roof Volume	15,000 cu ft
Wall Area	2,000 sq ft	Wall Volume	20,000 cu ft
Floor Area	1,000 sq ft	Floor Volume	10,000 cu ft
Basement Area	1,000 sq ft	Basement Volume	10,000 cu ft
Garage Area	1,000 sq ft	Garage Volume	10,000 cu ft
Deck Area	100 sq ft	Deck Volume	1,000 cu ft
Front Porch Area	100 sq ft	Front Porch Volume	1,000 cu ft
Rear Porch Area	100 sq ft	Rear Porch Volume	1,000 cu ft
Staircase Area	100 sq ft	Staircase Volume	1,000 cu ft
Other Area	100 sq ft	Other Volume	1,000 cu ft
Total Area	10,000 sq ft	Total Volume	100,000 cu ft



LEFT ELEVATION-WEST
SCALE 1/4" = 1'-0"



FRONT ELEVATION-SOUTH
SCALE 1/4" = 1'-0"



1277 Madison Ave Suite 200, Sacramento, CA 95811
 Phone (916) 232-2272 Fax (916) 232-2280
 Email: info@fineline.com

Change Order

1. Description

1. Description
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Project Name and Address:

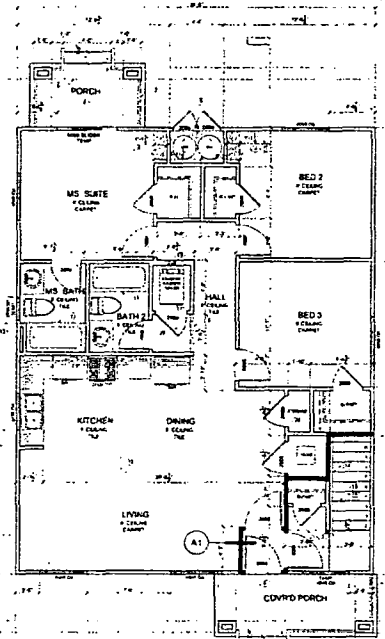
5TH AVENUE
 SACRAMENTO, CA 95817
 LOT 17

OWNER:

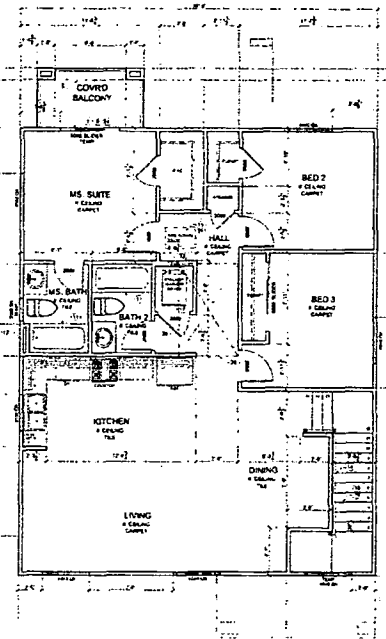
IRA RICHMOND ROGS
 2600 OAKH AVENUE
 RICHMOND, CA 94804
 (510) 812-1705

Project: 06-027	Sheet: A5
Date: 04-05-05	Designer: L

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner/builders shall verify and be responsible for dimensions and conditions of the project. Final/As-Built drawings must be notified of any variance from the drawings, conditions and specifications appearing on this plan.



1ST FLOOR PLAN-UNIT 1
SCALE 1/4" = 1'-0"



2ND FLOOR PLAN-UNIT 2
SCALE 1/4" = 1'-0"

- KEY NOTES**
1. See note of floor framing for additional notes and details.
 2. See note of floor framing for additional notes and details.
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GA FILE NO. WP 2280

PROPRIETARY

1 HOUR FIRE WALL

50 IN. IN. BY 2 IN. INSULATION

DYNAMIC WALLBOARD, GLASS FIBER INSULATION, WOOD STUDS

Base layer 1/2" proprietary gypsum wallboard applied parallel to each side of 2 x 4 wood studs 16" o.c. with 1/2" covered nails, 1 1/2" long, 0.007" thick, 1/2" heads, 12" o.c. Face layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied parallel to each side with 1" wide edges of lamination compound along the edges and corners of each board and for coated nails. 1 1/2" long, 0.0013" thick, 1/2" heads, 16" o.c. at top and bottom please only.

Joints staggered 1/2" each layer and 1/4" Sound tested with 1 1/2" glass fiber insulation, 0.8 pcf. in stud space. (LOAD-BEARING)

PROPRIETARY GYPSUM BOARD

- 1/2" ToughFloor Sound Densifying Board
- 1/2" ToughFloor PhosGuard C
- 1/2" SoundGuard
- 1/2" ProScribe Type C
- 1/2" Goro Board Steel FIBRE SHELL C

G.P. Oypsum
Lafarge North America Inc.
National Oypsum Company

Thickness: 5/8"
Approx. Weight: 9 pcf
Fire Test: See WP 2340 (A), R2717-52, 9-9-64, UL Design L1012, I.C. Design W200, GAN EN-5317, 4-19-68

Sound Test

A1 FIRE WALL

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. WP 2280

PROPRIETARY

1 HOUR FIRE CEILING

50 IN. IN. BY 2 IN. INSULATION

WOOD-KERNEL STYPHEN WALLBOARD, KEYLEIGHT CHANNELS

Base layer 1/2" type X gypsum wallboard applied at right angles to wood channels 1 1/2" o.c. with 1 1/2" Type B drywall screws 12" o.c. Rafter/Key Channels applied at right angles to minimum 2x4 wood joists, with minimum 1/4" deep 1 1/2" wide hangers and minimum 1/2" wide, 24" o.c. with 1 1/2" Type W drywall screws. Face layer 1/2" type X gypsum wallboard applied at right angles to channels with 1/2" Type B drywall screws 12" o.c. Face layer and joints located midway between channels and attached to base layer with 1 1/2" Type C screws 12" o.c. Edge joints offset 1/2" from base layer edge joints. Wood joists supporting 1/2" finished strand board applied at 12" angles to 1-1/2" studs with 8d common nails 12" o.c.

ETC and IC tested with 1/2" gypsum concrete underlayment and 3/16" glass fiber insulation in joint spaces. Third layer of 1/2" or 5/8" type X gypsum wallboard required to sustain 1 hour fire resistance rating when glass fiber insulation is used.

Approx. Ceiling Weight: 8 pcf
Fire Test: NFCC A-4440 1 (Firewall), 8-24-67
Sound Test: NFCC B-3100, 6-30-00
IC & Test: NFCC B-3100, 6-30-00

A2 FIRE CEILING

Fineline
DRAFTING INC.

8775 Madison Ave. Suite 300, Sacramento, CA 95841
Ph: (916) 332-7282 Fax: (916) 332-2840
fineline300@comcast.net

General Notes

Deck material to be removed, and pressure treated lumber when contact with concrete surface.

Pressure balance or differential control valve for hot and cold faucet of shower and shower tub. Pressure bump with max. of 120 F degrees.

A minimum 2x4 wall is required whenever the depth of the wall is greater than 7" of 4" outer diameter as per 2001 CBC section 213.2.

Seal all of the metallic gas pipes and water pipes to the surface ground as per 2001 CBC section 250-00.

Provide a minimum of 4" average free air per 2001 C.P.C. Table 13.3.7.6.

The minimum capacity for water heaters shall be in accordance with the first hour rating as per 2001 C.P.C. Table 5-1.

Showers shall be finished with a smooth, hard non-absorbent surface to a height of not less than 70 inches above the drain line per CBC 807.1.3. When gypsum board is used as a base for tile or wall panels or showers, water resistant gypsum backing board shall be used per CBC 2512. Water-resistant gypsum backing board shall not be used on ceiling. Hanging brackets more than 12 inches on center per CBC 2512 (3).

All natural light source (window, skylight or any other room shall be 1% of the floor area with the ratio of 10 square feet in 100 square foot room as per 2001 C.P.C. section 1203.2.

Non-removable location prevention devices are required on all interior doors as per 2001 C.P.C. section 800.

Provide safety glazing for all glazing located in hazardous locations as specified in 2001 CBC Section 2406.6.

Project Name and Address

5TH AVENUE
SACRAMENTO, CA 95817
LOT 17

Owner

IRA RICHMOND ROSS
2830 OAKHAY
RICHMOND, CA 94804
(510) 875-1706

Phone: 06-227
Date: 04-05-05
Sheet: **A3**



SACRAMENTO CITY PLANNING DIVISION
915 I Street, Suite 300, New City Hall, Sacramento, CA 95814
(916) 808-5656 x3

Application taken by: B. Surgeon/ Date: 03-22-05

Project Location: 3018 5th Avenue
Assessor's Parcel No.: 013-0137-016, 017
Owner: Ira Ross
Address: 3032 5th Avenue, Sacramento, CA 95817
Applicant: Ira Ross
Address: 3032 5th Avenue, Sacramento, CA 95817

**REQUESTED
ENTITLEMENT(S):**

- Item A: Environmental Exemption (CEQA Section 15332);
- Item B: Variance to allow the construction of one (1) duplex on each of two (2) contiguous parcels lacking public right-of-way frontage in the multi-family (R-4) zone
- Item C: Variance to reduce the required rear setback in the multi-family (R-4) zone;
- Item D: Variance to reduce the required 26-foot vehicular maneuvering area.

ACTIONS TAKEN:

Items A-D were approved.

Sent to Applicant: _____

Date: 09-19-07

By: Renee Enos

Customer Service Representative

EXPIRATION

TENTATIVE MAP: Failure to record a final map within two years of the date of approval or conditional approval of a tentative map shall terminate all proceedings.

SPECIAL PERMIT: A use for which a Special Permit is granted must be established within two years after such permit is issued. If such use is not so established, the Special Permit shall be deemed to have expired.

VARIANCE: Any variance involving an action which requires a building permit shall expire at the end of two years unless a building permit is obtained within the variance term.

NOTE: Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions taken on rezonings, special permits and variances.

Original to Applicant
Copies: File & Permit Book

P05-046



Development Services
Department

CITY OF SACRAMENTO
CALIFORNIA

New City Hall
915 I Street, Suite 300
Sacramento, CA 95814
Phone: 916/808-5656 x3

Date: September 19, 2007

Sacramento County Assessor
Real Property Support
3701 Power Inn Road #3000
Sacramento, California 95826-4329

RE: 013-0137-016, 017

Pursuant to Section 65862 of the Government Code of the State of California, we are hereby notifying your office of the following action taken by the City of Sacramento with respect to the above-numbered property:

Variance to allow the construction of one (1) duplex on each of two (2) contiguous parcels lacking public right-of-way frontage in the multi-family (R-4) zone

Variance to reduce the required rear setback in the multi-family (R-4) zone;

Variance to reduce the required 26-foot vehicular maneuvering area.

Yours truly,

Renee Enos
Customer Service Representative

Cc: Ira Ross(OWNER)

As owner of record of the above mentioned property, you are hereby notified pursuant to Government Code Section 6863.5 that the County Assessor has been notified of the granting of a zoning change, variance, special permit or other action for your property.

P05-046