



CITY OF SACRAMENTO

20

CITY MANAGER'S OFFICE
RECEIVED

MAR 21 1980

CITY PLANNING DEPARTMENT

915 "I" STREET
CITY HALL - ROOM 308

SACRAMENTO, CALIF. 95814
TELEPHONE (916) 449-5804

Marty Van Duyn

PLANNING DIRECTOR

March 20, 1980

City Council
Sacramento, California

Honorable Members in Session:

SUBJECT: Appeal of City Planning Commission's denial of a request for extension of a Special Permit to allow an off-site Subdivision Directional sign (P-8356)

LOCATION: North side of Riverside Boulevard at Florin Road

SUMMARY

This is a request to allow the placement of a five-foot by ten-foot subdivision directional sign to continue for one additional year. The purpose of the sign is to direct traffic to the Parkway Oaks Subdivision. The Planning Commission in concurrence with staff's recommendations denied the request for extension and the decision was subsequently appealed to the City Council.

BACKGROUND INFORMATION

The Sign Ordinance allows the placement of subdivision directional signs in any zone subject to approval of a special permit by the Planning Commission. The ordinance also limits the placement of the sign for a period of one year; however, the Planning Commission may grant a one-time, one-year extension to allow the placement of a sign for a total of two years.

The subject sign was approved by the Planning Commission on October 12, 1978 and the sign was subsequently erected. The Special Permit for the sign has expired and the applicant is requesting a one-year extension in order to allow the sign to remain for one additional year.

The staff and Planning Commission are concerned with the amount of signs that have been erected for this particular subdivision. There are at least four other signs located in the general area that give direction to the subdivision; there are signs located along Florin Road and Riverside Boulevard. Many of these signs were placed illegally without approval of a special permit.

APPROVED
BY THE CITY COUNCIL

HONG. CLSD.

MAR 25 1980

INTENT TO DENY

APPEAL TRASSO ON

OFFICE OF THE
CITY CLERK

F. G. F. DUS 4-1-80

March 20, 1980

The subject sign faces east and it is intended to direct westbound traffic straight ahead to the Parkway Oaks Subdivision. The staff and Planning Commission question the need for this sign because when traffic travels westbound on Riverside Boulevard towards the subdivision, there should not be any reason for traffic to turn onto Florin Road because another sign near the intersection of 43rd Avenue and Riverside Boulevard (approximately three-fourths mile east) gives the same direction as the subject sign.

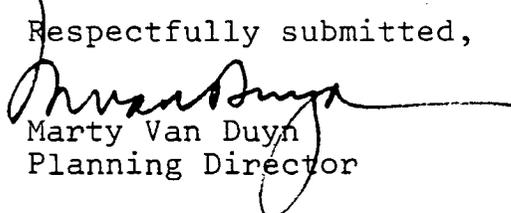
VOTE OF PLANNING COMMISSION

On February 14, 1980, the Planning Commission by a vote of 7 ayes, 2 absent denied the request for extension of the Special Permit.

RECOMMENDATION

The staff and Planning Commission recommend denial of the appeal.

Respectfully submitted,


Marty Van Duyn
Planning Director

FOR TRANSMITTAL TO CITY COUNCIL:


Walter J. Slupe, City Manager

MVD:HY:bw

March 25, 1980
District No. 8

Attachments
P-8356

SACRAMENTO CITY PLANNING COMMISSION

MEETING DATE February 14, 1980
 ITEM NO. 27 FILE NO. P-8356
 M-

REZONING
 Extension of SPECIAL PERMIT
 VARIANCE
 SUBD. MOD.
 TENTATIVE MAP
 EIR DETERMINATION
 EXT. OF PERMIT
 OTHER

Recommendation:

Favorable
 Unfavorable Petition Correspondence

LOCATION: NE corner of Riverside Blvd. & Florin Road.

PROponents

NAME

ADDRESS

OPponents

NAME

ADDRESS

MOTION NO. _____

	YES	NO	MOTION	2ND
Augusta	<i>absent</i>			
Flores	✓			✓
Fong	✓			
Goodin	<i>absent</i>			
Hunter	✓			
Muraki	✓			
Simpson P	✓			
Simpson S	✓		✓	
Silva	✓			

MOTION:

- TO APPROVE
- TO DENY
- TO APPROVE ~~SUBJECT TO COND.~~ ^{dir. by} & BASED ON FINDINGS OF FACT IN STAFF REPORT
- INTENT TO APPROVE SUBJ. TO COND. & BASED ON FINDINGS OF FACT DUE _____
- TO RECOMMEND APPROVAL _____ & FORWARD TO CITY COUNCIL
- TO RATIFY NEGATIVE DECLARATION
- TO CONTINUE TO _____ MEETING
- OTHER _____

EXHIBITS: A. Site Plan
 B. Floor Plan
 C. Elevation
 D. Landscaping

P-8356

NOTICE OF APPEAL OF THE DECISION OF THE CITY PLANNING COMMISSION
SACRAMENTO CITY PLANNING COMMISSION

FEB 25 1980

DATE: 2-25-80

RECEIVED

TO THE PLANNING DIRECTOR:

I do hereby make application to appeal the decision of the City Planning

Commission of 2-14-80 when:
(Date)

Rezoning Application Variance Application
 Special Permit Application

was: Granted, Denied by the Commission

GROUNDS FOR APPEAL: _____

PROPERTY LOCATION: RIVERSIDE BLVD. @ N. TERMINUS OF FLORIN RD

PROPERTY DESCRIPTION: RIVERSIDE

ASSESSOR'S PARCEL NO. 030 - 041 - 05

PROPERTY OWNER: L + P LAND DEVELOPMENT, INC.

ADDRESS: 6355 RIVERSIDE BLVD. SACTO. 95831

APPLICANT: DIAMOND SIGNS, INC.

ADDRESS: 757 COMMERCIAL ST. SAN JOSE 95112

APPELLANT: *Douglas E. Kearney*
(SIGNATURE)

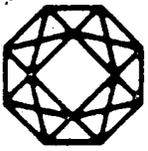
ADDRESS: 757 COMMERCIAL ST. SAN JOSE 95112

FILING FEE: \$50.00. Receipt No. 5048

FORWARDED TO CITY COUNCIL ON DATE OF: Meeting = MARCH 25, 1980

P- 8356

(4 COPIES REQUIRED)



- 1) No consideration of entire directional program or sequence of directional information.
- 2) No consideration of project location or accessibility in relation to the number of signs, that might be required for an effective directional program.
- 3) Signs represent key locations in that signs would direct traffic from two key I-5 exits (Riverside and Florin) leading to the project.
- 4) Denial of locations would render 3 previously approved locations on 4 loin ineffective, as traffic directed from 99 and I-5 would lock the key directional information at the intersection of Riverside and Florin.
- 5) Proposed signs represent a temporary use with no lasting environmental impact and, therefore, do not warrant the same consideration or conditions as those of a permanent use.

DIAMOND

interior-exterior graphics

757 Commercial St. / San Jose, CA 95112 / (408) 295-5722

P-8356

City Planning Commission
Sacramento, California

Members in Session:

Subject: Time Extension Request for Temporary, Off-Site Subdivision
Directional Sign - Special Permit P-8356.

LOCATION: Northeast corner of Riverside Boulevard and Florin Road.

BACKGROUND: On October 12, 1978 the Planning Commission approved a special permit (P-8356) to allow the applicant to install one 5' x 10', 14' high, single-faced, non-illuminated, off-site temporary subdivision directional sign at the northeast corner of the intersection of Riverside Boulevard and Florin Road. The Commission's approval was subject to the applicant complying with the following conditions:

1. The permit shall be granted for one year, or to October 12, 1979.
2. The sign shall be set back approximately 40', or the same distance as the existing sign.
3. The (existing illegal) sign (at this location) shall be removed or appropriate permits be obtained from the Planning Commission prior to issuance of sign permits under this application.

Condition number two of this special permit has not yet been complied with. The present setback of this sign is approximately 10+' instead of the required 40'. Condition number three which stipulated that the existing illegal sign be removed was complied with sometime during December of 1979, approximately 13 months after the issuance of the special permit.

In addition to not complying with the conditions of the special permit, the applicant has since relocated another sign on the subject parcel without obtaining a special permit. The applicant was notified of this sign violation and he subsequently submitted a special permit request P-8839 for the illegal sign, which is also before the Commission tonight.

STAFF EVALUATION: Since the subject site is the location of two special permit requests (P-8356 and P-8839) staff feels that this request should not only be evaluated on its own merits but also on the merits of the cumulative impact of both of these requests.

The subject request, P-8356, faces east and it is intended to direct westbound traffic straight ahead to the Parkway Oaks subdivision. Staff questions the need for this subdivision sign because when traffic travels westbound on Riverside Boulevard towards the subdivision there should not be any reason for traffic to turn onto Florin Road because another sign near the intersection of 43rd Avenue and Riverside Boulevard (approximately 3/4 mile east) gives the same directions as this subject sign.

Staff notes that, in addition to these two signs, the applicant has four other subdivision signs in the general area, one located near the intersection of 43rd Avenue and Riverside Boulevard, and the others located at various sites along Florin Road. Staff feels that the applicant has a sufficient amount of signage throughout this area and that there is no need for this sign.

The Sign Ordinance specifies that these special permits may be renewed for additional periods of up to one year. So far this sign (P-8356) has been up for a period of 16 months. As mentioned earlier, an additional application for special permit has been requested for this same parcel (P-8839). If the Commission were to grant this special permit time extension request, and if the Commission were also to grant this new request, it will mean that "temporary" signs could be at this location for a time period of at least two years and possibly longer. Furthermore, as other subdivisions in the pocket area develop there will be a demand for more subdivision directional signs for this site. In conclusion, staff is concerned that this site could easily become a permanent location for signs.

STAFF RECOMMENDATION: Staff recommends that the request for time extension of special permit P-8356 be denied.

Findings of Fact

1. The granting of a time extension on special permit P-8356 would be detrimental to the public welfare in that:
 - a. The continued existance of signage at this site causes too much distraction and visual clutter at this location.
 - b. Temporary signage at this location is not in keeping with existing development in this area.
2. The granting of a time extension on special permit P-8356 would not be based upon sound principles of land use in that such signage is supposed to be temporary in nature and an extension would allow the signs to remain for longer periods of time.

SCALE

1" = 40'



ELMO
LODGE

VACANT

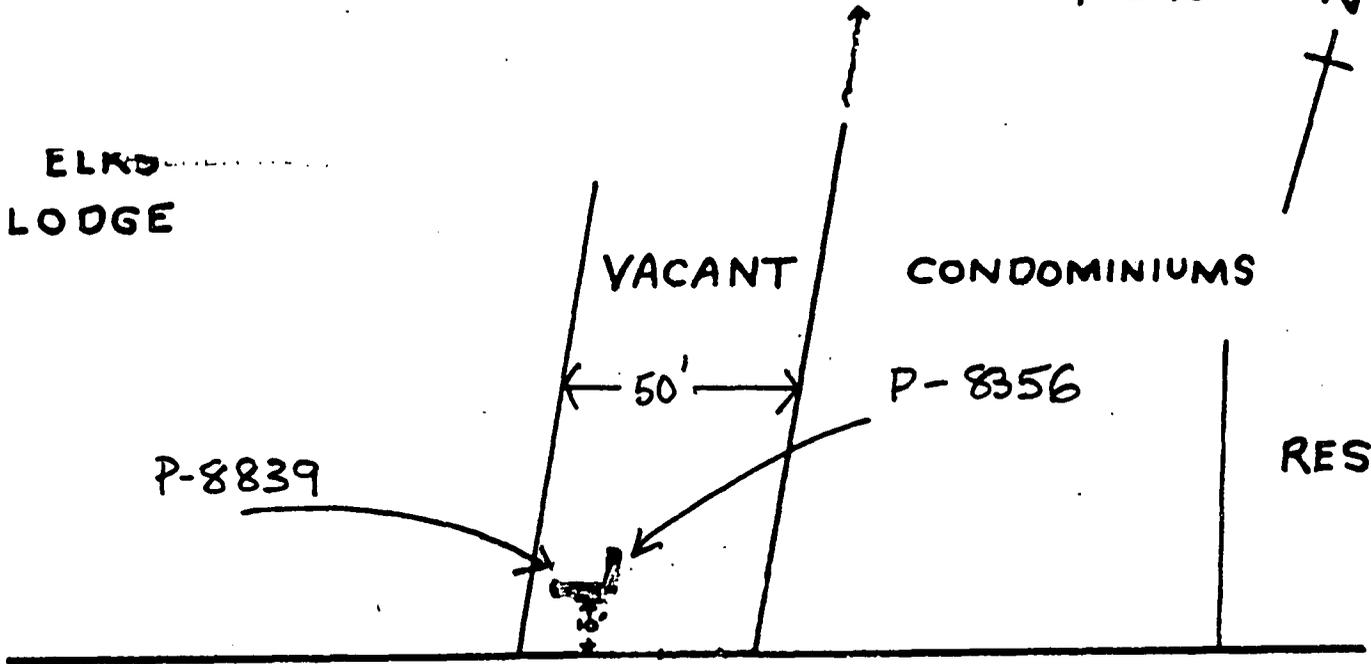
CONDOMINIUMS

← 50' →

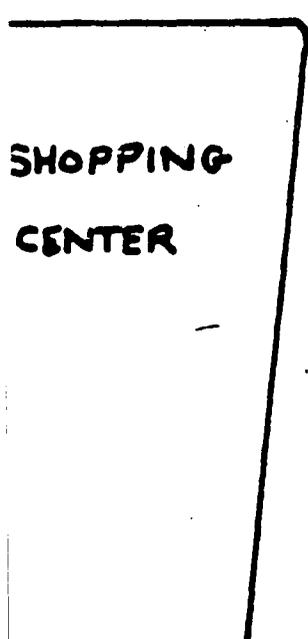
P-8356

P-8839

RES.

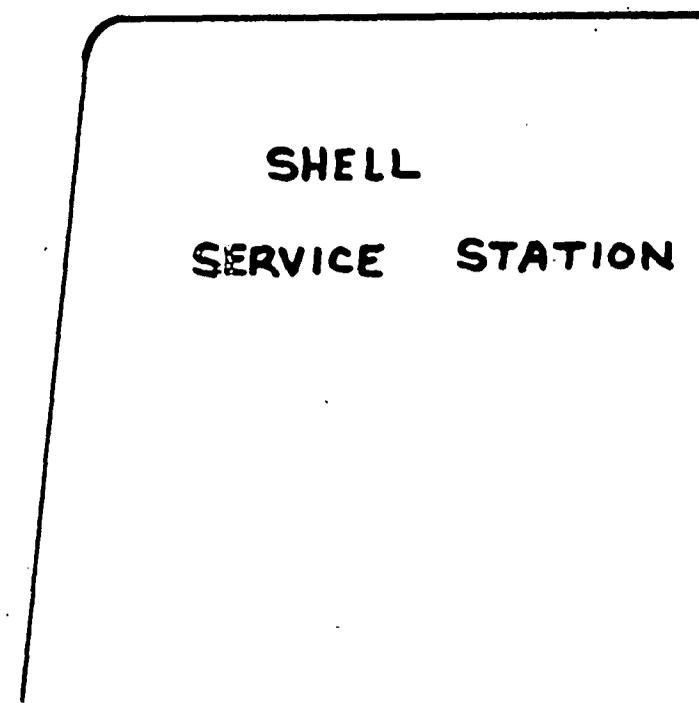


RIVERSIDE BLVD.



SHOPPING
CENTER

FLORIN

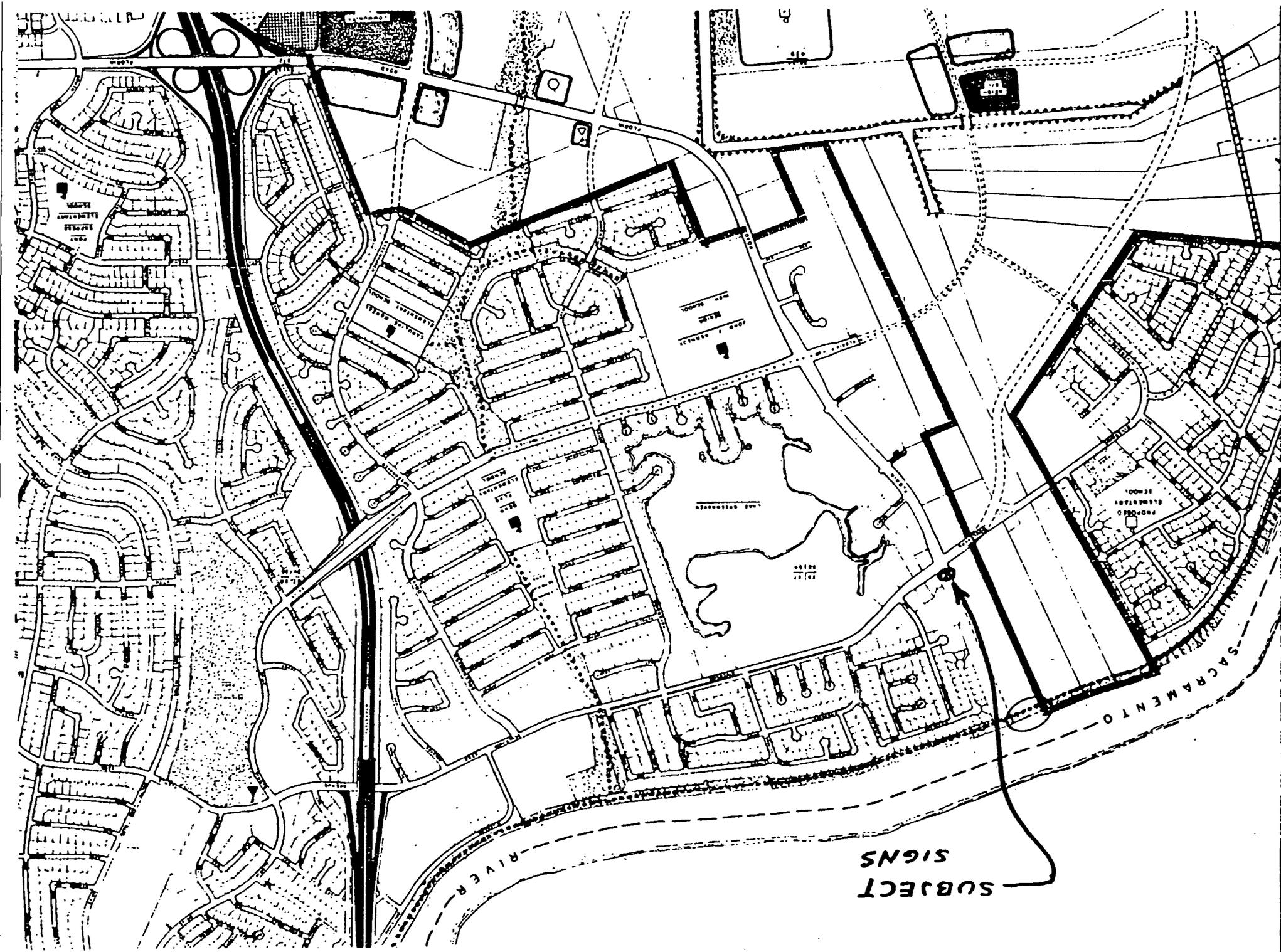


SHELL
SERVICE STATION

P-8356

2-14-80

Item 27



SUBJECT
SIGNS

P-8356

2-14-80

Item 27

10'

PARKWAY
OAKS

BY SHEA HOMES

5'

4" X 12"
PRESSURE
TREATED POSTS

9'

7'6"

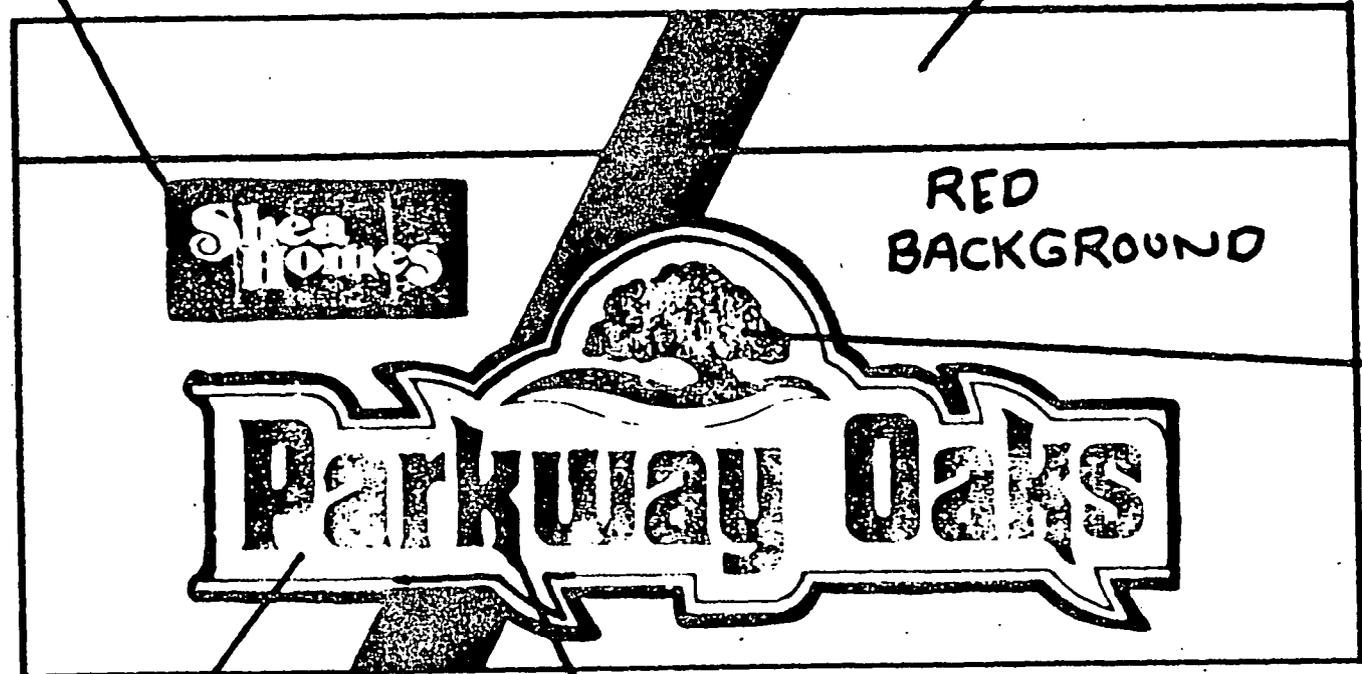
←2'→

←2'→

P-8356

BLUE BACKGROUND
W/WHITE LETTERS

RED BACKGROUND w/
WHITE LETTERS
FOR DIRECTIONAL COPY



RED
BACKGROUND

GREEN
TREE

BLACK LETTERS + TRIM

WHITE
BACKGROUND

3-11-80

Item 27