

**CITY OF SACRAMENTO
DEPARTMENT OF DEVELOPMENT SERVICES
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Wednesday, August 4, 2004, the Zoning Administrator approved with conditions a plan review to legalize existing structures and site operations for a roofing company and approved a future storage building for the project known as Z04-108. The Zoning Administrator denied a variance to waive the required wall between the industrial use and adjacent residential use. Findings of Fact and conditions of approval for the project are listed on pages 4-9.

Project Information

- Request:
1. **Zoning Administrator Plan Review** to legalize a previously constructed 900 square foot office building and a 1255 square foot storage/garage building and to construct a new 2,400 square foot storage building, and approximately 26,000 square feet of paving on 2.39 ± developed acres in the Light Industrial-Review (M-1S-R) zone.
 2. **Zoning Administrator Special Permit** to allow a 900 square foot building be 100 percent office for a total of 27.9 percent office for all structures on site within an industrial zone. **(WITHDRAWN BY STAFF, NO LONGER NEEDED)**
 3. **Zoning Administrator Variance** to waive the required six foot high masonry wall.

Location: 1520 Main Avenue (D2, Area 4)

Assessor's Parcel Number: 237-0060-063

Applicant: Eileen and David Knutson
1520 Main Avenue
Sacramento, CA 95838

Property Owner: Same as Applicant

Project Planner: Sandra Yope

General Plan Designation: Heavy Commercial or Warehouse
North Sacramento
Community Plan Designation: Industrial
Existing Land Use of Site: Residence and Roofing Business.
Existing Zoning of Site: Light Industrial-Review (M-1S-R)

| Surrounding Land Use and Zoning: | Setbacks | Required | Existing | Proposed |
|----------------------------------|-----------|----------|----------|----------|
| North: M-1S-R; Industrial | Front: | 25' | 54' | 54' |
| South: M-1S-R; Residential | Side (E): | 0' | 33' | 33' |

| | | | | | |
|-------|--------------------|-----------|----|------|------|
| East: | M-1S-R; Vacant | Side(W.): | 0' | 71' | 30' |
| West: | M-1S-R; Industrial | Rear: | 0' | 422' | 356' |

| | |
|------------------------------|--|
| Property Dimensions: | 163 feet x 660 feet |
| Property Area: | 2.39+ acres |
| Parking Provided: | 11 spaces (Including 2 Carports) |
| Parking Required: | Office: 2 spaces |
| | Storage/Industrial: 4 spaces (1space: 1,000 sq ft) |
| | Residence: 1 space |
| | Total: 7 spaces (minimum, 11 spaces maximum) |
| Square Footage of Buildings: | Existing 4,340 square feet |
| | Proposed 2,400 square feet |
| | Total- 6,740 square feet |
| Height of Buildings: | One Story, 14 feet |
| Exterior Building Materials: | Wood Siding, and Steel |
| Roof Materials: | Tile and Metal |
| Topography: | Flat |
| Street Improvements: | Existing |
| Utilities: | Existing |

Project Plans: See Exhibits A-C

Previous Files: Z97-071

Background Information: On December 17, 1997, the Zoning Administrator approved an "R" Development Plan Review to legalize a previously constructed 900 square foot office building, a 1,255 square foot storage/garage building, a 300 square foot shed, 13,600 square feet of paving, and a 2,700 square foot concrete pad (Z97-071). The project submission was the result of a Code Enforcement action for new construction without permits and operating a roofing business without approved site improvements. Specific conditions of approval were placed on the project to bring the site into compliance with current codes at the time. No permits were ever obtained and the approvals expired.

New code enforcement action regarding expanded operations on the site and other issues prompted the applicant to reapply for the same entitlements and new expansion. The applicant is requesting to again legalize existing structures, construct a new structure, and pave a large portion of the site.

Additional Information: The applicant proposes to legalize all the illegal structures and paving constructed on the lot in order to continue operating a roofing business. Additionally, the applicant proposes to construct a new 2,400 square foot storage building and pave approximately 26,000 square feet for storage. The parcel is zoned M-1S-R.. The site has an "R" suffix in the zoning which means all new development requires review and approval. There are six existing buildings on the site, many have been built without proper permits. The existing residence is 1,072 square feet. There is a 160 square foot pump house, a 1,238 square foot garage, a 886 square foot building used as an office, a 672 square foot carport, and a 312 square foot carport for a total of 4,340 square feet of structures. The existing buildings have wood or vinyl siding with tile and composition shingle roofs. The applicant also proposes a new 30 foot wide by 80 foot long single story metal building with a metal roof for storage. The proposed building will be located approximately 214 feet from the front property line on the west side of the property.

The proposed 900 square feet of office represents 21 percent of the total existing building square footage on the site and will be only 13 percent with the construction of the new building. An

industrial use is allowed to have up to 25 percent of the structures dedicated to office use. Therefore the proposed office use will meet the allowed percentage for an industrial zone according to the Zoning Code. The original request for a Special Permit is not needed and staff has withdrawn the entitlement.

There are nine proposed parking spaces and two existing carports on site for a total of eleven parking spaces. The Zoning Code requires a total of seven spaces and a maximum of 10 would be allowed for the office and industrial use. The residential use has a one space requirement and no maximum. All the proposed parking will need to meet the shading requirements of the Zoning Code.

The existing and proposed structures meet the required setbacks for the zone. The "S" suffix in the zoning has an additional requirement of a 25 foot landscaped front setback as well as screening all outdoor storage. Additionally, the site is adjacent to a residential use to the south. The Zoning Code requires a six foot masonry wall be constructed between a residential use or zone and a non-residential use or zone. The applicant has requested a variance to waive the wall requirement.

The Zoning Ordinance requires that Zoning Administrator consider the following items when reviewing the Plan review application:

- a. the site layout, the orientation and location of buildings, signs, other structures, open space, landscaping and other development features in relation to the physical characteristics, zoning, and land use of the site and surrounding properties;
- b. traffic safety and traffic congestion, including the effect of the site development plan on traffic conditions on abutting streets, and pedestrian entrances, exits, driveways, and walkways, the adequacy of off-street parking facilities to prevent traffic congestion, and the circulation patterns within the boundaries of the development;
- c. insure that the proposed development is consistent with the General Plan, and all applicable community and specific plans;
- d. energy conservation, including, but not limited to the presence and orientation of structures, vegetation and other objects, both on and off the site to provide shading and protection from the wind on the lot and nearby sites; the presence of adequate structure orientation to maximize south wall solar access; and
- e. the availability of City services, including but not limited to water, sewer, drainage, police and fire, and parks and community services; and whether such services are adequate based upon City standards.

The Zoning Administrator must also be able to make the following findings for the project:

- a. the proposed development is consistent with the General Plan and any applicable community or specific plan;
- b. facilities, including utilities, access roads, sanitation and drainage are adequate and consistent with City standards, and the proposed improvements are properly related to existing and proposed streets and highways;
- c. the property involved is of adequate size and shape to accommodate the proposed use and required yard, building coverage, setback, parking area and other requirements of the Zoning Ordinance; and

- d. approval of the Plan Review will not be contrary to the public health or safety or injurious to the property or improvements of adjacent properties.

The proposed site plan indicates the site has adequate access and parking. The proposed project meets all setback requirements. No bicycle parking is required for the addition.

The project has been noticed and staff received no calls concerning the project.

Agency Comments: The proposed project has been reviewed by the City Utilities Department, the Building Division, the Police Department, the Fire Department, and the Development Engineering And Finance Division. The comments received pertaining to the project are listed as conditions.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to California Environmental Quality Act Guidelines, Section 15332.

Conditions of Approval

1. **The applicant shall resolve all existing Code Violations in the time frames established by Code Enforcement and Housing and Dangerous Buildings enforcement actions.**
2. Size and location of the building shall conform to the plans submitted. **The applicant shall obtain building permits for all structures existing and proposed and all proposed paved areas.**
3. The applicant shall make the following design enhancements to the proposed storage building and submit to planning for review and approval prior to submitting for building permits:
 - a. one or two man doors shall be added to the east elevation with trim around the door and painted with a paint scheme submitted to planning for review and approval prior to the submission for building permits;
 - b. an awning shall be constructed above the man door(s) to be a minimum of 18 inches deep and 42 inches wide, painted to match the door;
 - c. a three foot brick veneer wainscot or real brick shall be placed along the base of the north elevation or a two foot high brick planter a minimum of two feet deep shall be constructed along the length of the north elevation and planted with shrubs, irrigation system and maintained;
 - d. an eight inch trim band shall be painted a the plate line around the entire building with a paint scheme submitted to planning for review and approval prior to the submission for building permits;
 - e. the roll up doors on the east side shall be painted to match the trim and man door;
 - f. a paint band to match the brick wainscot or brick planter in color and height around the base of the east elevation of the building.
4. The applicant shall meet the 50 percent shading of all new paved driveways, and parking areas per Zoning Code requirements. The proposed trees must be on the authorized list.

5. If dumpsters are used, they must be stored inside the building or construct a trash enclosure. The trash enclosure shall be built to the standards in the Zoning Ordinance. The enclosures shall provide adequate receptacles for recycling in accordance with the recycling requirements of the Zoning Ordinance.
6. All out door storage areas shall be on an approved paved surface and screened by a solid masonry wall or a chain link fence with vinyl slats according to the Zoning Code. Additionally, the applicant shall construct a fence or bollards to separate the paved outdoor storage area from the remaining undeveloped portion of the site. **Nothing maybe stored on the undeveloped portion of the site.**
7. The existing fencing along the front property line (north) may remain; however, a new gate shall be installed on both the east and west sides for the driveways. The gates shall be decorative and can be solid (would or another suitable material reviewed and approved by Planning prior to installation) or decorative wrought iron. All gates shall be set back a minimum of 25 feet from the street edge. The west gate shall remain open during normal business hours.
8. A 25 foot landscaped setback with irrigation shall be provided.
9. All new signage must have a sign permit and meet the requirements of the Sign Code. Any detached signs shall be a monument type and not exceed six feet in height.
10. Additional office space may be converted within the structures **with building permits** up to 25 percent of existing structures on the site at the time of expansion. Additional parking maybe required.
11. The applicant shall construct a minimum six foot high solid masonry wall along the length of the south property line.

Development Engineering And Finance Division:

12. Construct standard subdivision improvements as noted in these conditions pursuant to section 16.48.110 of the City Code. Improvements shall be designed and constructed to City standards in place at the time that the Building Permit is issued. All improvements shall be designed and constructed to the satisfaction of the Development Engineering and Finance Division. Improvements required shall be determined by the city, but at a minimum, streets shall include half-streets and at least one travel lane in each direction. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards.
13. The applicant shall construct full frontage improvements on Main Avenue. Frontage improvements shall include construction of Main Avenue, adjacent to the subject property, to a 63-foot (Local Industrial Street) half-street section. This shall include a 5' separated sidewalk, landscaped planter, 8" vertical curb plus gutter, and a 20' travel way (with on-street parking) - measured from the face-of-curb to the street centerline. On the north side of Main Avenue, a minimum 12-foot travel lane shall also be provided, plus a 2-foot shoulder and drainage. The design and construction of such improvements shall be to City Standards and to the satisfaction of the Development Engineering and Finance Division.
14. All new driveways shall be designed and constructed to City Standards to the satisfaction of the Development Engineering and Finance Division. Any existing site driveways shall be redesigned and reconstructed, if necessary, to City Standards to the satisfaction of the

Development Engineering and Finance Division.

15. The minimum throat distance for all site driveways shall be 40' (throat distance is that distance a vehicle can move from the public right-of-way into a given site before encountering a conflict with parking stalls, aisles, etc).
16. The site plan shall conform to A.D.A. requirements in all respects.
17. The site plan shall conform to the parking requirements set forth in chapter 17 of City Code (Zoning Ordinance).
18. The design of walls, fences, signage, and landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Development Engineering and Finance Division.

Utilities:

19. The applicant shall be required to provide standard street frontage improvements per Section 18.04.010 of the City Code.
20. Only one domestic water service is allowed per parcel. Any new domestic water services shall be metered.
21. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the fire suppression systems.
22. No sewer service exists in Main Avenue. Either an on-site sewage disposal system shall be designed to the satisfaction of the County Environmental Management Department, or an off-site sewer extension shall be provided.
23. The master drainage plan for this area requires that parcels located on Main Avenue will ultimately drain to Sump 144. Infrastructure for this plan includes, (1) piped drainage systems located in Main Avenue, Raley Boulevard, and downstream to Bell Avenue; (2) regional detention basins located downstream of the site; and (3) pipes connecting the detention basins to the existing and proposed storm drain pipes.

Presently there are no improved drainage facilities in the project area. The applicant shall (1) work with the Department of Utilities to finalize the existing master drainage plan for this area and (2) develop an engineering cost estimate for the improvements identified in the master drainage plan. The master drainage plan and engineering cost estimate shall be approved by the Department of Utilities.

The applicant shall work with the Department of Utilities and the Special Districts Section of the Public Works Department to form an assessment district, fee district, or other financing mechanism to construct the ultimate drainage system. The applicant shall construct or contribute fees for its fair share of the ultimate drainage improvements.

The applicant is required to construct permanent on-site drainage facilities. Until the regional detention basin and downstream pipe system is constructed, the applicant is required to build interim drainage facilities including an on-site detention facility which provides no net increase in peak flow rate and volume run-off above undeveloped site conditions. Interim drainage facilities that are not consistent with the approved drainage master plan are not reimbursable through the financing district. The interim drainage facilities, including the on-site detention basin, shall be constructed to the satisfaction of the Department of Utilities. Contact the Department of Utilities for design standards.

24. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
25. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
26. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Only source control measures are required. This will not affect site design. Refer to the "Guidance Manual for On-Site Stormwater Quality Control Measures" dated January 2000 for appropriate source control measures.
27. If this project disturbs greater than 1 acre of property, the project is required to comply with the State "NPDES General Permit for Stormwater Discharges Associated with Construction Activity" (State Permit). To comply with the State Permit, the applicant will need to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) prior to construction. A copy of the State Permit and NOI may be obtained at www.swrcb.ca.gov/stormwtr/construction.html. The SWPPP will be reviewed by the Department of Utilities prior to issuing a grading permit or approval of improvement plans to assure the following items are included: 1) vicinity map, 2) site map, 3) list of potential pollutant sources, 4) type and location of erosion and sediment BMPs, 5) name and phone number of person responsible for SWPPP, 6) certification by property owner or authorized representative.
28. **Advisory Note:** The proposed project is located in the Flood zone designated as an X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) dated July 6, 1998. Within the X zone, there are no requirements to elevate or flood proof.

Fire:

29. Dead ends exceeding 150 feet in length require an approved Fire Department turnaround (45' radius cul-de-sac or city standard hammerhead).
30. A reciprocal ingress egress agreement shall be provided for review by City Attorney for all shared driveways being used for Fire Department access.
31. **Timing and Installation:** When fire protection, including fire apparatus access roads and water

supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.

32. Provide a water flow test. (Contact Department of Utilities at 916-808-5371.)
33. Provide the required fire hydrants in accordance with CFC 903.4.2 and Appendix III-B, Section 5.
34. Provide appropriate Knox access for site.
35. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.

Building:

36. A Building permit shall be obtained for a change of occupancy from a residence to an office and from a garage to a storage building. The submitted plan shall show compliance construction type, exterior wall protection and handicap accessible for the new type of uses.


Findings of Fact- Plan Review:

1. The project, **as conditioned**, is based upon sound principles of land use in that the proposed industrial use and proposed structures are compatible with the surrounding industrial uses.
2. The project, **as conditioned**, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
 - a. adequate on-site parking, maneuvering, and setbacks will be provided;
 - b. the proposed buildings are of adequate shape and size for the proposed use and will be compatible with the existing industrial building in the area; and
 - c. the outdoor storage areas will be on a paved surface with adequate drainage and screened from view.
3. The project, **as conditioned**, meets the requirements of the Zoning Ordinance for land use and site design requirements.
4. The project is consistent with the General Plan and the North Sacramento Community Plan which designate the site as Heavy Commercial or Warehouse and Industrial respectively.

Findings of Fact for Denial -Variance:

1. The variance request does constitute a special privilege extended to one property owner. Similar variances have not been granted to industrial uses adjacent to residential uses.
2. Waiving the masonry wall will be materially detrimental to the other properties or uses in the area in that:
 - a. the adjacent property is a single family residence adjacent to a large scale industrial business with extensive outdoor storage of materials and truck operations,

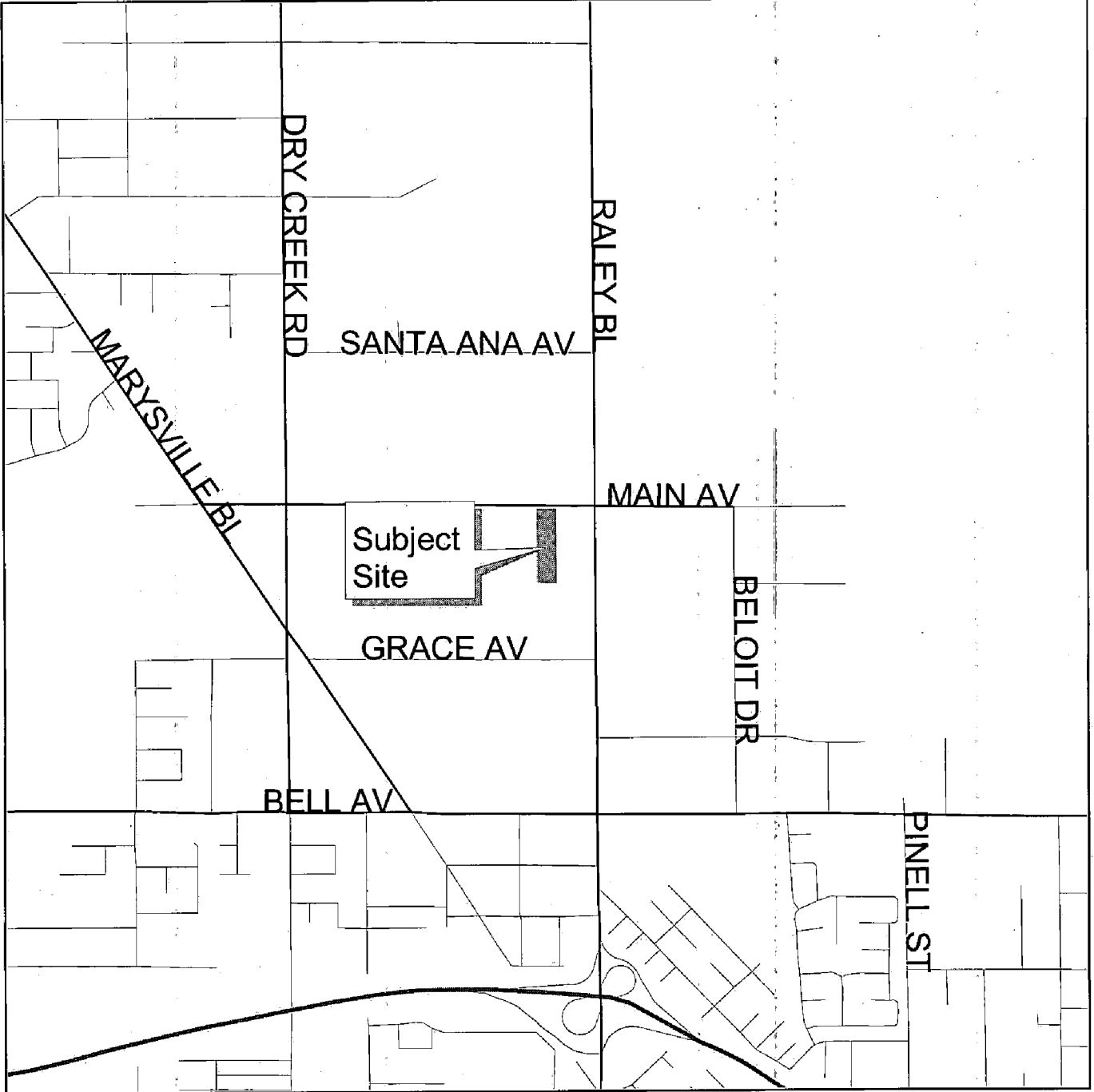
- b. without a solid masonry wall there will not be an adequate buffer between the adjacent residential use and the industrial use; and
- c. the area has been identified as a transitional residential area where existing industrial zoned parcels maybe eventually retain their current residential uses.


Joy D. Patterson
Zoning Administrator

A use for which a Plan Review is granted must be established within two years after such permit is approved. If such use is not so established the Plan Review shall be deemed to have expired and shall be null and void. A Plan Review use that requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

- cc: File
Applicant
ZA Log Book
Max Fernandez, Area 4 Director
Bob Rose, Code Enforcement
Ron O'Connor, Housing and Dangerous Buildings
Josh Pino, Housing and Dangerous Buildings
Caroline McNorton, Code Enforcement



0 1000 2000 Feet

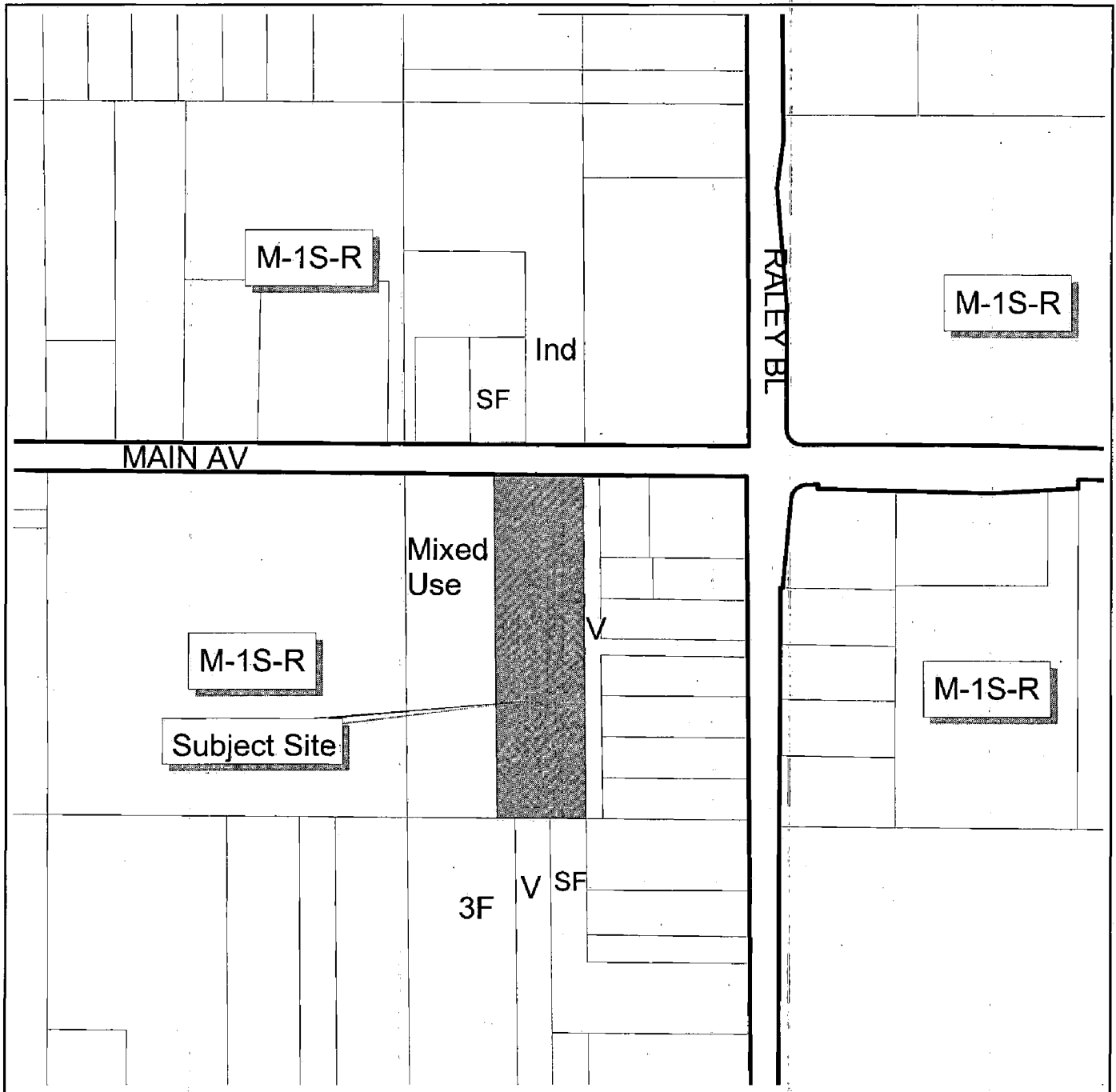


Planning & Building
Department

Geographic
Information
Systems

Vicinity Map





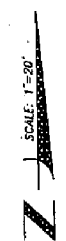
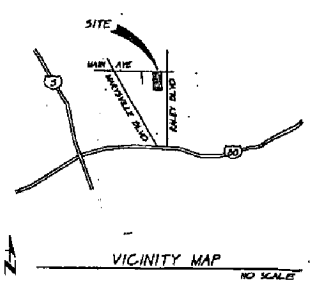
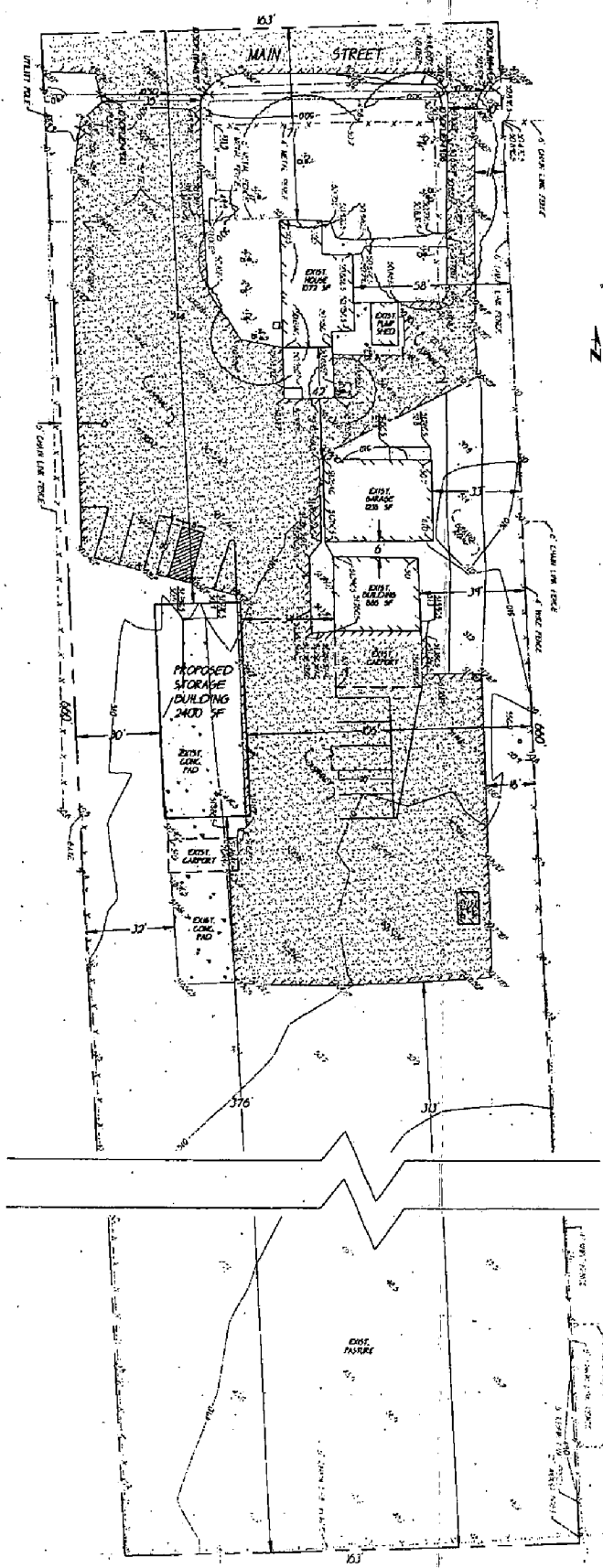
Planning & Building
Department

Geographic
Information
Systems

Land Use & Zoning



TENTATIVE DEVELOPMENT PLAN
EXHIBIT A FOR
1520 MAIN AVENUE
 SACRAMENTO, CALIFORNIA



OWNER/DEVELOPER
 EILEEN AND DAVID KNUTSON
 1520 MAIN AVENUE
 SACRAMENTO, CA 95838
 PH: 927-4243

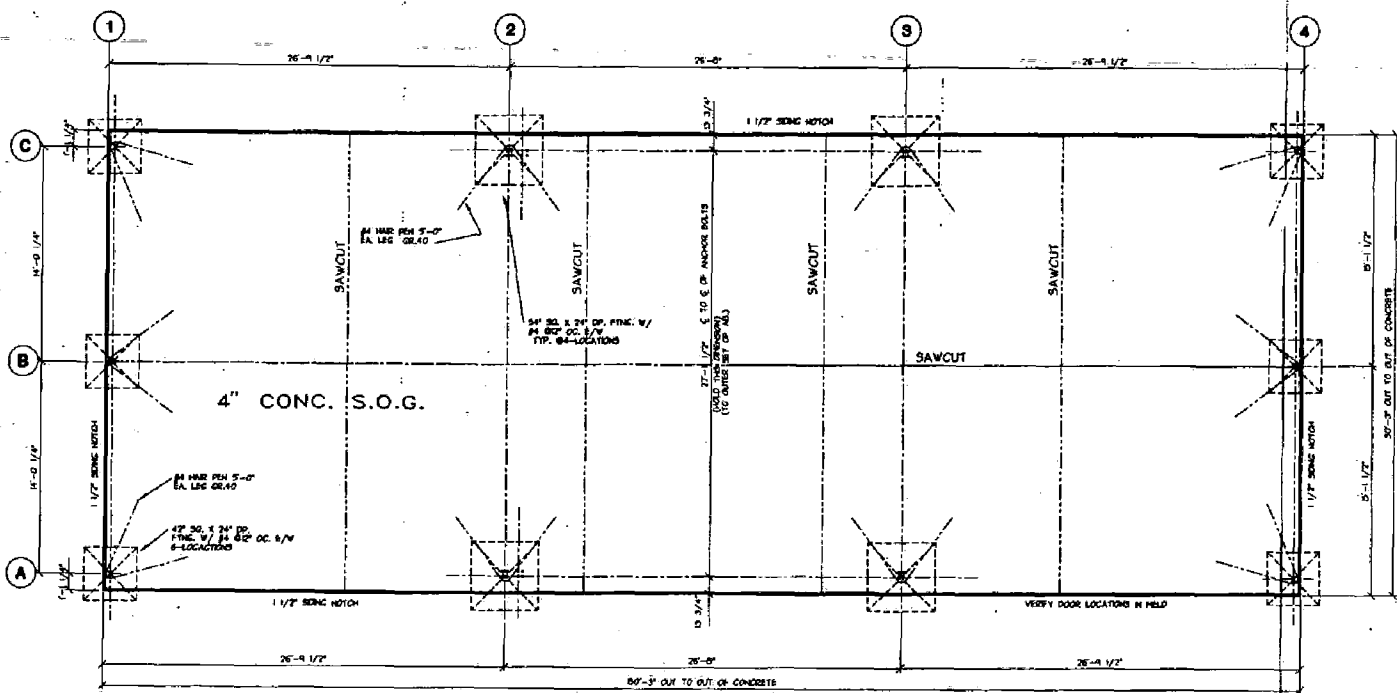
SURVEYOR
 SHELDON LAND SURVEYING
 2005 PERSIFER STREET
 FOLSOM, CA 95630
 PH: 925-4875

ENGINEERS
 REN ENGINEERING
 P.O. BOX 145
 MEADOW VISTA, CA 95722
 925-678-4500

ZONING
 M-15-R (EXISTING)
 M-15-R (PROPOSED)

AREA
 2.31 ACRES

Z04-108
 4-20-04



FOUNDATION PLAN

SCALE: 1/4"=1'-0"

306051866.BUILDING.COM

SAW CUTS & CURES

SAW CUTS SHALL BE MADE WITH 1/2" LONGITUDINALLY & 1/2" TRANSVERSELY. CUTS ON COLUMN LINES SHALL STOP SHORT 24" FROM EDGE, TRIM 45° OUT TO SLAB EDGE BOTH DIRECTIONS. SAW CUTS SHALL BE 1 1/2" DEEP BUT NOT LESS THAN 30% OF THE SLAB THICKNESS. THE SAW CUT SHALL BE 1/2" WIDE. (MAINTAIN FRESH COVER ON REBAR TO CLEAR SAW CUTS BY 1/4")

SAW CUTS SHALL BE MADE AS SOON AS THE SLAB WILL SUPPORT THE SAW AND THE SAW WILL NOT DAMAGE THE CUT. APPROXIMATELY 4 TO 12 HOURS AFTER FINISHING.

IT SHALL BE THE CONTRACTOR RESPONSIBILITY TO PROPERLY CURE THE SLAB TO REDUCE CRACKING. TO FURTHER REDUCE CRACKING IT IS STRONGLY RECOMMENDED THAT THE SLAB CURS BE DAMPPROOF TO CONCRETE PLACEMENT AND THAT SURFACE WATER OR 'BLED WATER' BE REMOVED.

NOTE :

THE STEEL BUILDING MANUFACTURER'S REACTORS, DRAWINGS AND LOAD CONDITIONS HAVE BEEN USED DURING PREPARATION OF THE FOUNDATION DRAWINGS.

NOTE :

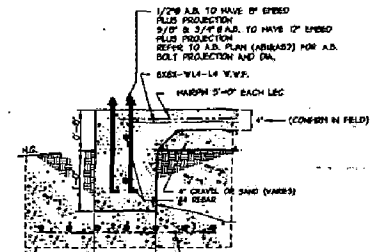
ALL ANCHOR BOLT, HOLDINGS & REINFORCEMENT SHALL BE IN PLACE AND TEMPLATED AT FOUNDATION INSPECTION NO VET. SETTING OF A.B., HOLDINGS, OR REINFORCEMENT IS PERMITTED.

NOTE :

1. SEE ANCHOR BOLT PLAN TO VERIFY ALL DIMENSIONS.
2. ALL EXTERIOR CONCRETE TO BE BROOM FINISH.
3. ALL EXTERIOR CONCRETE TO BE NON-REINFORCED.
4. ALL CONCRETE TO BE 5 SACK / 3/4" MINUS AGGREGATE.
5. INSTALL 6X6 #14X14 W.W.F. @ 50C.

NOTE :

REFER TO ANCHOR BOLT PLAN, STEELBUILDING.COM DRAWING ABB42 TO VERIFY ALL DIMENSIONS AND FOR LOCATION OF ANCHOR BOLTS



TYPICAL FOOTING

STB-1165

| REVISIONS | DATE |
|-----------|------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

SROKA'S
 Design & Drafting
 1410 Don Ave., Norwalk, CA 95001
 PHONE (530) 747-8460



FOUNDATION PLAN FOR:
30' X 80' STEELBUILDING.COM
TK ROOFING
 SACRAMENTO, CA.
 C 12 - 012 - 0321

| DRAWN | CHKD | DATE |
|-------|------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SCALE: 1/2" = 1'-0"
 SHEET NO. 1