



CITY OF SACRAMENTO  
CALIFORNIA

NEIGHBORHOODS, PLANNING AND  
DEVELOPMENT SERVICES DEPARTMENT

1231 I STREET  
ROOM 200  
SACRAMENTO, CA  
95814-2998

**PLANNING DIRECTOR'S SPECIAL PERMIT  
FOR SINGLE FAMILY RESIDENTIAL IN A PUD**

**FILE:** P00-016

**PREVIOUS FILE NUMBER(S):** P95-085, P97-043

**PROJECT NAME:** Northborough Village 1

**ASSESSOR'S PARCEL NUMBER(S):** 201-040-001 thru 096

**APPLICANT'S NAME/ADDRESS:** Lennar Renaissance (Pete Winn)  
2240 Douglas Boulevard, #250, Roseville, CA 95661  
(916) 773-7471

**APPROVAL:** This Planning Director's Special Permit (PDSP) approval is for **96 lots** in Northborough Village 1, located west of Maybrook Drive, south of Club Center Drive, and west of Northborough Drive. After approval of the PDSP, the following entitlement is required prior to construction of the residential development: 1) Building Permit.

**PROJECT INFORMATION:**

Typical Lot -	52'-6" x 82'-0"	Zoning -	R-1-A-PUD
Typical Lot Size -	4,264 square feet	Range in House Size -	1,557 to 2,290 s.f.
Number of Lots -	96 lots	Range in Price -	\$150,000- 240,000
Gross Acres -	16.318 acres	Number of Models -	4
Net Acres -	12.92 acres	Number of Elevations -	3
Net Density -	7.43 du/na	No. of Color Palettes -	12 (total)

**BACKGROUND:** Northborough Planned Unit Development (PUD) was established on August 7, 1997 by the City Council, which also approved the Development Agreement, General Plan and North Natomas Community Plan Amendments, and a Rezone, along with the PUD Schematic Plan and PUD Guidelines (Resolution No. 97-451). Also on August 7, 1997, City Council approved the amendment of the boundaries for Neighborhoods #9 and #10, Northborough Planned Unit Development (PUD). On December 3, 1996, the Planning Commission had approved the Tentative Master Parcel Map and Tentative Subdivision Map for Northborough, together with various Subdivision Modifications (P95-085), along with forwarding recommendations for approval on the aforementioned entitlements approved by City Council. In approving the PUD Guidelines, the Council determined that a Planning Director's Special Permit would be required in lieu of a Planning Commission Special Permit for single and two family residential development within the PUD. The PUD Guidelines have been subsequently amended on January 21, 1999 and March 25,

1999 (P98-133 and P99-022, respectively), primarily with respect to setback and lot coverage requirements.

The applicant is requesting approval of a Planning Director's Special Permit for four single family house plans on 96 lots within Northborough Village 1 (see Vicinity Map). Village 1 is located west of Maybrook Drive, south of Club Center Drive, and west of Northborough Drive.

**PROJECT DETAILS:**

**House Plans:** Please see Table 1 below for information regarding each house plan. The square footage given is the total living space as provided by the applicant. Also note that a negative value under Garage Recess indicates that the garage projects out in front of the house instead of being recessed; and a negative value under Porch Projection indicates that the porch (or covered entry, as the case may be) is recessed behind the forward most living space rather than projecting out in front.

**Table 1  
HOUSE PLANS**

	House Plan Model Number	Square Footage	No. of Stories	No. of Bedrms	Garage Stalls	Max House Dims		Garage Recess	Porch Projection
						(width)	(depth)		
1	171	1557	1	3	2	49.00	47.50	3.50	4.50
2	172	1686	1	3	2	47.00	54.00	6.00	-1.00
3	173	2007	2	3/4	2	49.00	40.50	12.00	3.00
4	174	2290	2	4/5	2	47.00	47.00	24.00	3.00

Other features and options of the house plans include:

171: Bedroom 3/Den option;

172: Bedroom 2/Den option;

173: Bedroom 4/Loft option; Second Floor Veranda option at front;

174: Bedroom 5/Den option; Second Floor Veranda option at front.

**Models:** The model home complex for this development will include an example of the 174, 173, and 172 plans. These models will be located on lots 65, 66, and 67, facing Brynmar Court.

**Height, Setbacks, and Lot Coverage:** One and two story homes are proposed for all lots in the subdivision, which is in compliance with the maximum of two stories allowed by the amended PUD Guidelines. The minimum setbacks required by the PUD Guidelines are shown in Table 2 below:

**Table 2  
SETBACKS**

Minimum Setbacks	Front	Rear	Side	Street Side
Living Area	10	10	4 or 5&0	10
Porch	10	10	4 or 5&0	10
Garage	20	10	5	N/A

Note that the City of Sacramento encourages variation in front setback, beyond the minimum, from house to house along the street. The Natomas Park DRC also believes that the appearance of the streetscape is a critical element in achieving an attractive community; therefore, a condition of approval is that home setbacks are staggered to create an open and diverse streetscape.

The typical lot size in Northborough Village 1 is 52'-6" wide by 82' deep, or 4,308 square feet. There are no lots in the subdivision smaller than this typical size. However, all of the plans submitted will fit on any lot in the subdivision with respect to setbacks, except on lots 2, 4, 90, 92, and 93, as indicated on the site plan (see exhibit 1). Three of the five lots with deficient setbacks must be resolved (the 171 on lot 93, the 173 on lots 90 and 92, and the 174 on lot 91). The applicant proposes a variation on plan 174 on lots 2 and 4 to meet the 5' & 0' side setback requirements in which the overall building width will be reduced by decreasing the garage width by approximately two feet. This proposal is consistent with the City of Sacramento Single Family Residential Design Principles which encourage minimizing the impact and dominance of garages on the streetscape.

**Table 3  
LOT COVERAGE**

		GROUND FLOOR AREAS (SF)							
	House Plan Model Number	Living Space	Garage Area	Front Porch	Total Footprint	Allowance Area	% Lot Coverage	% with Allowance	
1	171	1557	402	63	2022	63	44%	43%	
2	172	1686	415	78	2179	285	51%	44%	
3	173	939	496	63	1498	311	35%	28%	
4	174	1142	506	76	1724	329	40%	32%	

The lot coverages shown in Table 3 above are calculated based on the typical lot size of 4,308 square feet, except the lot size for model 171 is based on a minimum lot size of 4,608 square feet: first using the total footprint area, which includes all first floor living space, garage, and front porch areas; and secondly, taking allowances into consideration, which consist of all front porch area, plus 50% of all garage area for plans on which the garage is recessed four feet or more behind the forward most living area.

According to the amended PUD Guidelines, the maximum lot coverage is 45 percent for single story homes and 40 percent for two story homes, with allowances for porches and recessed garages on both; however, no more than 50 percent of all lots in the subdivision may exceed 40 percent coverage. As Table 3 shows, all of the proposed plans except for the 172 are within the maximum allowed lot coverage *without* allowances; and *with* allowances, all plans, including the 172, are more than acceptable.

**Corner Lots:** There are twelve corner lots in Northborough Village 1 (see Exhibit 1). All of the plans are acceptable on corner lots. (Plans with side entry garages are generally not appropriate for corner lots because of the requirement that on corner lots the driveway must be located away from the intersection of streets; and likewise, locating the garage toward the corner on a corner lot is also inappropriate.)

**Elevations, Materials, and Colors:** Three elevations are proposed for each house plan. The building materials and features proposed for each elevation are shown below:

<u>Elevation</u>	<u>Materials</u>	<u>Features</u>
A	Stucco	Open railing on porch, except on plan 174, open railing on balcony option in plans 173, 174
B	Stucco/ wood	Open railing on porch in plan 171, 172, open railing on balcony option in plans 173, 174, open railing on front 2 <sup>nd</sup> floor open area window in plan 173
C	Stucco/ stone	Arched soffit on porch entry in plans 171, 172, two columnades on porch in plans 173, 174, three columnades on porch with 2 <sup>nd</sup> floor, 3 <sup>rd</sup> center pillar, and on plan 174, except with veranda option, open railing on porch in plan 171, open railing on balcony option on plans 173, 174

In addition to the material elevations described above, variations in other architectural elements are also provided. These include the use of different distinctive treatments on porch columns and entry structures from one elevation to another; the use of arched windows versus squared windows; arched soffits on porch entries and over doors versus squared soffits; hipped roofs versus gabled roofs; and variations on the use of shutters from one elevation and plan to another.

A variety of wood and stone materials are offered, including two different choices of Cascade Rustic Ledge, and one choice of Stream Stone. A total of 12 color palettes have been provided, and these have been coordinated with the wood and stone materials. Of the 12, four are provided for Elevation A (stucco), four are provided for Elevation B (stucco and wood), and another four are provided for Elevation C (stucco and stone).

Roofing will be flat concrete tile. Seven color choices are provided, with variations of browns, greys, and greens. A 5:12 roof pitch is shown for all C elevations; a 4:12 roof pitch is specified for all B elevations; a 8:12 roof pitch is shown for plan 171, elevation A; and a combination of roof pitches 5:12 & 8:12, 4:12 & 10:12, and 5:12 & 10:12 are specified for plan 171, 172, and 173 for elevation A, respectively. The amended PUD Guidelines require a minimum 5:12 roof pitch for all plans; however, it is the prerogative of the Natomas Park DRC to permit a roof pitch of less than five in twelve if the roof is harmonious with the overall design of the proposed improvement and is aesthetically pleasing to the Natomas Park DRC. Staff concurs with the roof pitch selection, as the 4:12 roof pitch is generally more compatible with the craftsman styles.

Enhanced side and rear elevations are required whenever either of those elevations face a public street, school, park, canal, or other public space. Twelve corner lots are included in the village that will require such treatments; and also lots 83 and 84, which side the park site, and lots 91 to 96, 1 to 6, 23, 24, 41, 42, 57, 58, 71 to 78, which back and side on to public streets. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house; and a four foot return of materials on the side elevation. The PUD Guidelines specifies that on enhanced side and rear elevations, window treatments, roof lines, and materials should match the front facade in appearance and quality.

**Landscaping:** Exhibits 2 and 3 illustrates the typical landscaping plan. Approximately two street trees per lot are required on street frontage, at an average spacing of 20 to 30 feet on center. Also, each corner lot will be planted with two street trees at 20 to 30 feet on center and three accent trees. The street trees are shown on the diagram in the Natomas Park Design Review Handbook and accent trees are listed in the Recommended Plant Material List in the Northborough PUD Guidelines. Front yard landscaping materials shall include, in addition to the street trees: one 15-gallon accent tree, one 5-gallon specimen

shrub, 20 1-gallon foundation and accent shrubs, ground cover with a minimum spacing of 12 inch on center with decorative bark, and turf. Side yard landscaping shall include, in addition to the street and accent trees: one 5-gallon specimen shrub, ground cover with minimum spacing of 12 inch on center with decorative bark, and turf. Plant materials shall be selected from the plant list in the Northborough PUD Guidelines Exhibit 9 or in the Natomas Park Design Review Handbook Figure VII-1, page 43.

**Fences and Walls:** Wood fence with wood posts will be provided in the village per Natomas Park DRC requirements (see Exhibit 9). All fencing visible to the public shall have a semi-transparent stain in a neutral tone to be specified by the Natomas Park DRC. A maximum six foot tall fence may be used behind the front and street side setbacks; and within the front setback area, no fence or wall shall be greater than 3'-6" in height. On corner lots, the backyard fence shall commence at the back corner of the house leaving the side yard landscaping exposed to the side street.

**Air Quality Mitigation Strategy:** The master developer of Natomas Park, which includes Northborough PUD and this village, has submitted an Air Quality Mitigation Plan. The Plan was adopted by Planning and Public Works. The homebuilder of this village is responsible for the following mitigation measures: 1) participation in the North Natomas Transportation Management Association (TMA); 2) installation of energy efficient windows, low emission water heaters, gas or electric outlets in the backyard, and ISDN wiring and connections (or current technological equivalent) in all of the homes; and 3) provision of information to homebuyers about electric vehicles and lawn equipment, and the TMA.

#### **COMMENTS:**

Public notice was mailed to adjacent property owners by the applicant on February 18, 2000. No comments have been received in response to the public notice. Review of the project plans was completed by the Natomas Park Design Review Committee on March 2, 2000 with comments and conditions provided in the letter from Don Barnett of Lennar Communities attached as Exhibit 10. The project plans were presented by the applicant to the Natomas Community Association on December 7, 2000, where they were well received with no specific comments.

On August 7, 1997, the City Council ratified a Negative Declaration for the original project (P95-085). Potentially significant environmental issues regarding Air, Water, Plant/ Animal Life, Transportation and Circulation, Human Health, and Cultural Resources were discussed and mitigated in this document. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. Section 15162 of the California Environmental Quality Act Guidelines provides that an additional Negative Declaration (or Environmental Impact Report) need not be prepared unless subsequent changes are proposed to the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan was prepared for the mitigation measures identified in the previous Negative Declaration. The applicant shall comply with the Mitigation Monitoring Plan, when applicable to the proposed project.

Public Works staff comments require that a minimum 20 foot driveway be provided on each Plan. Also, Public Works staff has reviewed and approved the Transportation Systems Management and Air Quality (TSM&Q) Plan for Natomas Park, including Northborough PUD. TSM measures are being provided with these plans, and are included as conditions of approval.

Planning staff finds all of the house plans and elevations to be of a high quality and excellent design. Staff appreciates the following features of the house plans: 1) garages located at or near the back of the house, or recessed back from the front on all of the four plans; 2) extensive porch features on all of the plans; and 3) only two-car garages.

Staff finds that the proposed house plans comply with all applicable General Plan, Community Plan, and Zoning Ordinance requirements, and are consistent with the Northborough PUD Guidelines and Schematic Plan.

**ACTION:**

The Planning Director approves the requested Planning Director's Special Permit based on the following findings and subject to the following conditions:

**Findings:**

1. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
  - o the project is consistent with the General Plan land use designations;
  - o the project is consistent with the 1994 North Natomas Community Plan land use designations;
  - o the project is consistent with policies related to land use, including residential densities and open space proximity;
  - o the project continues to develop planned North Natomas neighborhoods each focused on an elementary school, with a variety of housing densities and types, with commercial, civic, transit, and park uses close by; and
  - o the project advances City transportation management and air quality goals.
2. The proposed residential development is consistent with the adopted PUD Guidelines and Schematic Plan for the Northborough PUD in that the housing designs provided comply with requirements related to setbacks, height, and lot coverage and meet the purposes and criteria stated in the City Zoning Ordinance Chapter 5, Sections 4A and 4B, in that the PUD facilitates mixed residential uses designed to assure that new development is healthy and of long lasting benefit to the North Natomas community and the City; and
3. The proposed residential development will not be detrimental to the public health, safety or welfare in that the single family residential development will be in harmony with the general purposes and intent of the Zoning Ordinance in that the approved elevations are well-designed; and that the proposed uses will not create a negative impact on any nearby sensitive uses.

**Conditions:**

1. The design of the proposed house plans shall conform substantially to the plans as shown on Exhibits 5 thru 8, and specifically:
  - a. Elevation B shall have stucco and wood standard; and Elevation C shall have stucco and stone standard;
  - b. On corner lots, the driveway shall be located away from the intersection of streets;
  - c. None of the house plans may be placed on more than two adjacent/consecutive lots, and shall be different elevations when adjacent;
  - d. Four color palette options shall be offered for each of Elevations A, B, and C;

- e. Roofing shall be concrete tile; references to other options on any of the plans submitted must be removed prior to submitting for building permit;
- f. The roof shall be finished with end and ridge caps; and
- g. Roof pitch shall be no less than a 5 to 12 pitch, except for 4 to 12 pitches as recommended for approval by the Natomas Park DRC.

Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.

2. Prior to development of a model home complex, the applicant shall obtain a Zoning Administrator's Model Home Special Permit.
3. The plans with deficient setbacks as indicated in the site development plan shall be modified to meet setback requirements as per Northborough Planned Unit Development Guidelines.
4. The applicant shall obtain all necessary building permits prior to commencement of construction.
5. The applicant shall comply with the originally approved Mitigation Monitoring Plan (P95-085) on file at the Planning Department.
6. The Planning Director's Special Permit shall expire two years from date of issue, on March 23, 2002.
7. Air Quality Mitigation: The applicant shall comply with the Natomas Park TSMAQ Plan for residential development, including but not limited to the following:
  - a. Participate in the North Natomas Transportation Management Association (TMA);
  - b. Install low nitrogen oxide emitting, and/or high efficiency water heaters;
  - c. Install gas or electric outlets in the backyard;
  - d. Install energy efficient dual-pane windows, and/or energy efficient windows treated with reflective coatings; and
  - e. Provide new homeowners with information regarding alternative travel modes.
8. Street Trees: The parcel builder shall provide and install an average of two 15-gallon size trees per lot frontage, with the trees specified in the Street Tree Diagram and Matrix in the Natomas Park Design Review Handbook. These trees shall have an average spacing of 20' to 30' on center, as measured along the entire length of the street. For corner lots, the exposed side yard facing the street shall also be planted with two 15-gallon size trees as per the Street Tree Matrix and three accent trees selected from the Recommended Plant Material list in the Northborough PUD Guidelines Exhibit 9. If spacing is interrupted by street lights or driveways, the trees shall be re-spaced to accommodate required clearances while maintaining the required quantity of trees on average. All planting shall conform to City standards for sight line requirements at intersections and driveways.
9. Landscaping: Front yard landscaping materials shall include, in addition to the street trees: one 15-gallon accent tree, one 5-gallon specimen shrub, 20 1-gallon foundation and accent shrubs, ground cover at a maximum spacing of 12 inch on center with decorative bark, and turf. Side yard landscaping shall include, in addition to the street and accent trees: one 5-gallon specimen shrub, ground cover with a maximum spacing of 12 inch on center with decorative bark, and turf. Plant


materials shall be selected from the plant list in the Northborough PUD Guidelines Exhibit 12 or the Natomas Park Design Review Handbook Figure VII-1, page 43. All planting shall conform to City standards for sight line requirements at intersections and driveways. See Exhibit 3 for the Typical Lot Landscaping plan.

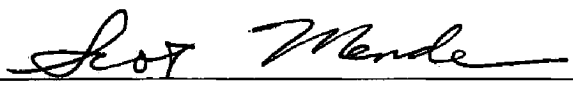
10. Fencing and Walls: All fencing shall be wood fence with wood posts per Natomas Park DRC requirements. Side and rear yard fences visible from the park and other public areas which are composed of wood shall have continuous top and bottom rails; and all fencing visible to the public shall have a semi-transparent stain in a neutral tone to be specified by the Natomas Park DRC. A maximum six foot tall fence may be used behind the front and street side setbacks; and within the front setback area, no fence or wall shall be greater than 3'-6" in height. On corner lots, the backyard fence shall commence at the back corner of the house leaving the side yard landscaping exposed to the side street. All fencing shall conform to City standards for sight line requirements at intersections and driveways.
11. Design Enhancements on Visible Elevations: Enhanced side and rear elevations shall be required whenever either of those elevations face a public street, school, park, canal, or other public space. Twelve corner lots are included in the village that will require such treatments; and also lots 83 and 84, which side the park site, and lots 91 to 96, 1 to 6, 23, 24, 41, 42, 57, 58, 71 to 78, which back and side on to public streets. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house; and a four foot return of materials on the side elevation. On enhanced side and rear elevations, window treatments, roof lines, and materials shall match the front facade in appearance and quality.
12. Driveways: Driveways shall have a pattern of score lines that will create a pleasing texture compatible with the architecture and minimize the expanse of concrete.
13. Garage: Each house plan shall provide at least one garage space with minimum *inside* dimensions of 10 feet wide by 20 feet long, as required by the City Zoning Ordinance.

#### **Advisory Notes:**

14. Driveways: Staff recommends "Hollywood style" driveways to be provided with a minimum 2 foot 6 inch planter strip between the two driveways.

APPROVED ON: March 23, 2000

PREPARED BY:   
Ted Kozak, Junior Planner

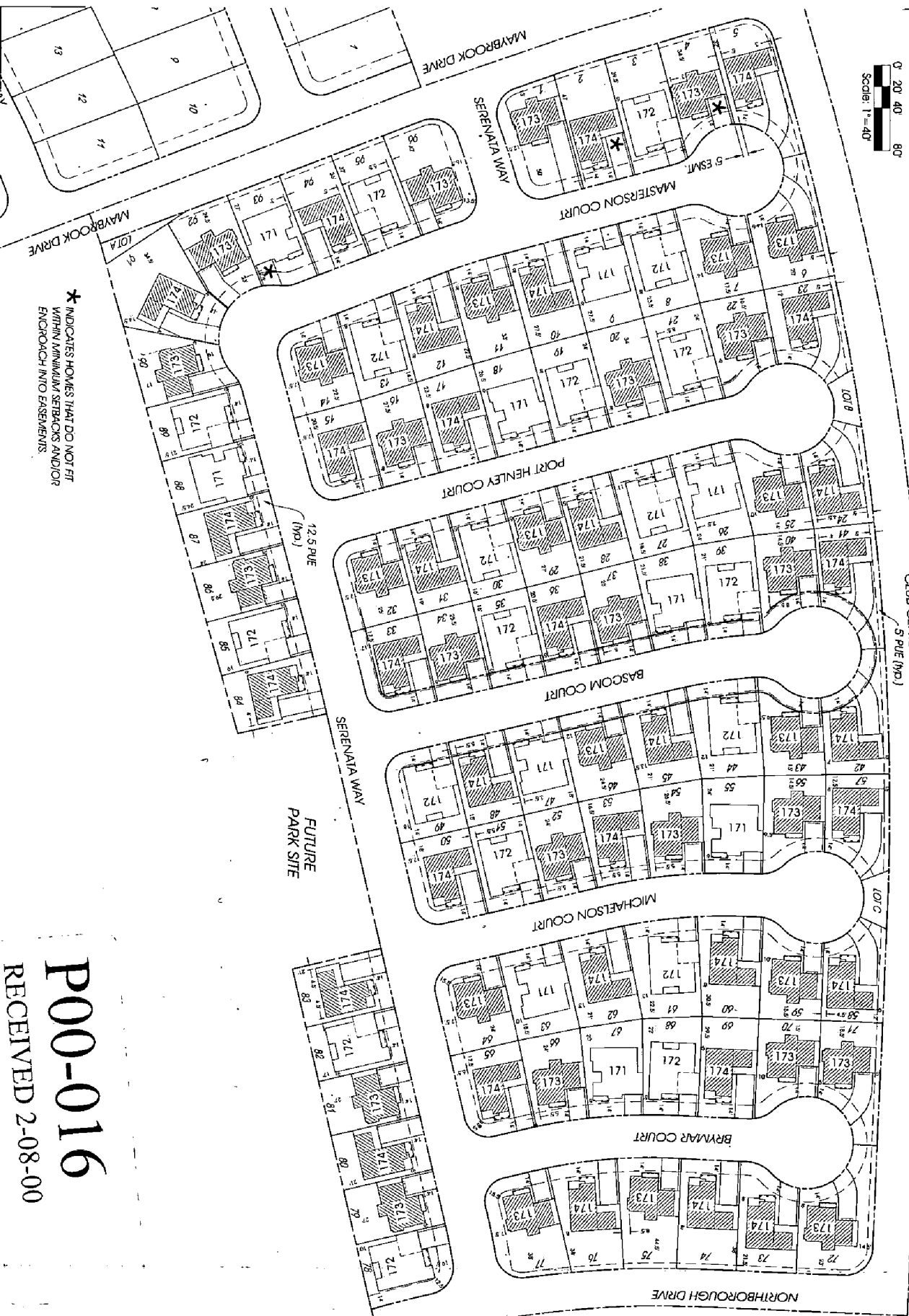
APPROVED BY:   
Scot Mende, Senior Planner

- Attachments:
- Vicinity Map
  - Exhibit 1: Site Plan/ Setback Exhibit
  - Exhibit 2: Planting Plan
  - Exhibit 3: Production Landscape
  - Exhibit 4: Irrigation Plan
  - Exhibit 5: 171 - (a) and (b) Elevations, and (c) Floor Plan
  - Exhibit 6: 172 - (a) (b) and (c) Elevations, and (d) Floor Plan
  - Exhibit 7: 173 - (a) (b) (c) (d) (e) and (f) Elevations, and (g) (h) and (i) Floor Plans
  - Exhibit 8: 174 - (a) (b) (c) (d) (e) and (f) Elevations, and (g) (h) and (i) Floor Plans
  - Exhibit 9: Fence detail
  - Exhibit 10: Natomas Park Design Review Committee Approval Letter
  - Exhibit 11: Letter of Agreement

File: Original  
cc: Applicant  
Development Services - Building Division (2)  
PUD Binder



0 20 40 80  
Scale: 1"=40'



\* INDICATES HOMES THAT DO NOT FIT WITHIN MINIMUM SETBACKS AND/OR ENDOURCH INTO EASEMENTS

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Exhibit 1 - Site Plan/Setbacks

**general notes**

1. SITE PLAN/SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF SACRAMENTO ZONING ORDINANCE AND THE CALIFORNIA ZONING ACT.

**project information**

Project Name	County
Address	City
Parcel No.	Map
Scale	Date
Drawn by	Checked by
Revised by	Approved by
Project No.	Sheet No.
Total	of

**provisions**

1. All setbacks shall be in accordance with the City of Sacramento Zoning Ordinance.



2340 DOUGLAS BLVD., SUITE 200  
ROSEVILLE, CALIFORNIA 95661

**SITE DEVELOPMENT PLAN**

**NORTHBOROUGH VILLAGE I  
CITY OF SACRAMENTO  
STATE OF CALIFORNIA**

1 of 1



Exhibit 3: Production Landscape

**SHEET L2**

**TYPICAL PRODUCTION LANDSCAPE**

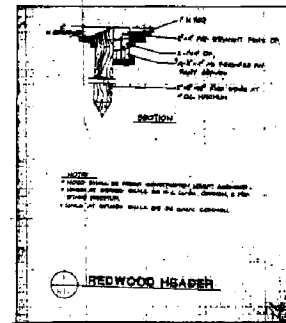
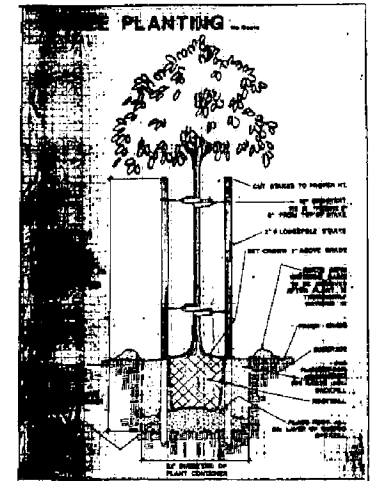
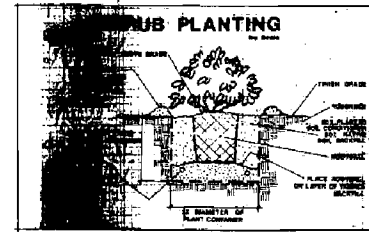
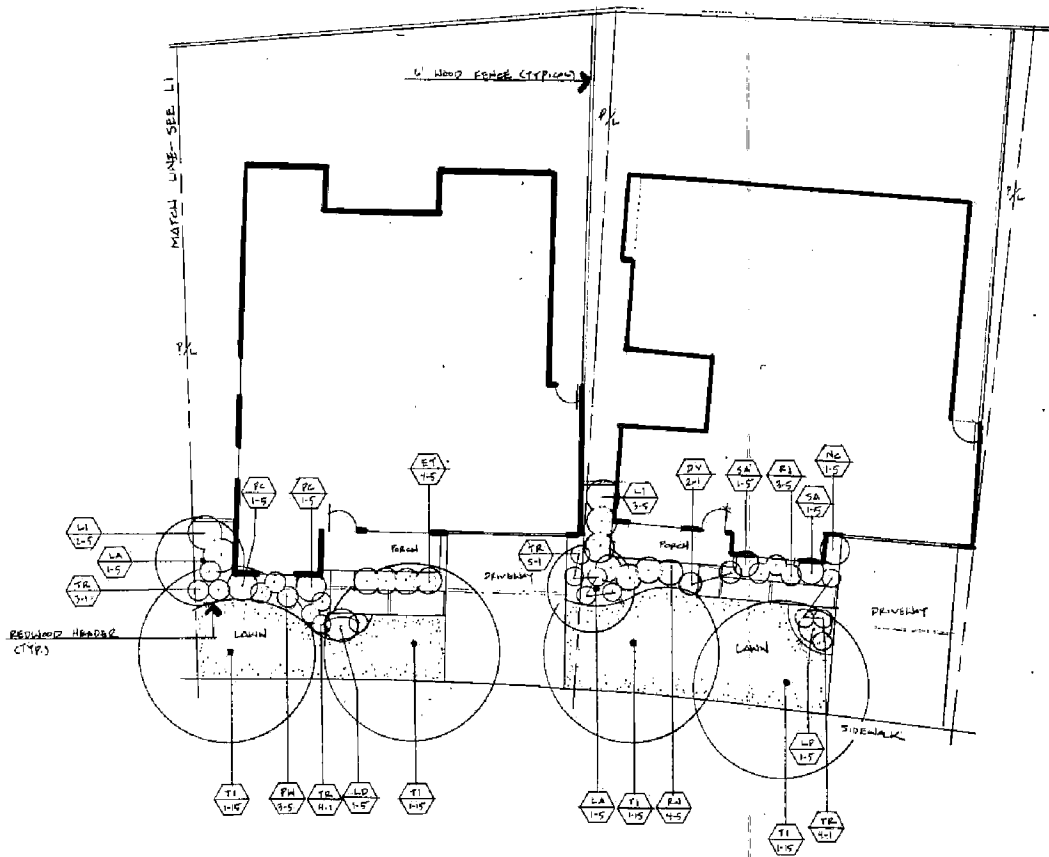
**NORTHBOROUGH VILLAGE 1**

**SACRAMENTO, CA**



**WINNCREST HOMES**

**SCALE: 1/8" = 1'-0"**



**P00-016**  
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# Exhibit 4: Irrigation Plan

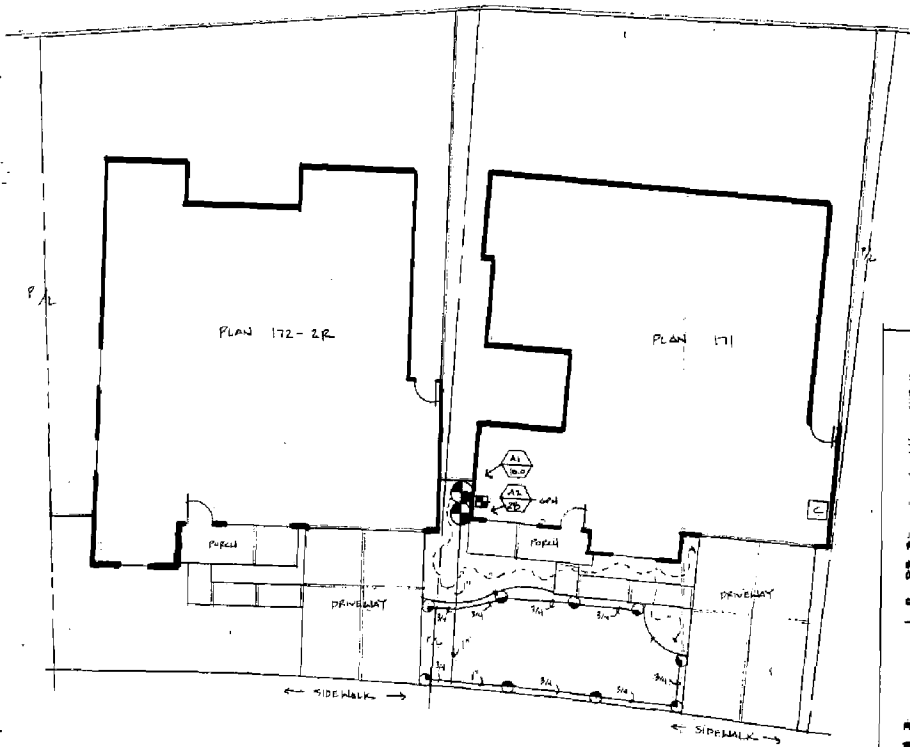
## IRRIGATION PLAN

SHEET 63



WINNCREST HOMES

SCALE: 1/8" = 1'-0"



IRRIGATION LEGEND				
SYMBOL	MODEL #	DESCRIPTION	GPM	PREC. RATE (IN/HR)
○	1800-120	POP-UP SPRAY SPRINKLER WITH PCB SCREEN AS REQUIRED	0.53	2.54
○	1800-127		0.7	2.84
○	1800-124		1.05	2.34
○	48-4V-1405	1/2" DIAMETER POLYETHYLENE BUBBLE TUBING WITH (3) 1/2" SPACER SUPPORTS PER 60" AND (3) 1/2" GPM BATTERY PORTS GAL. AND LARGER		
○	# 713DPR	AIR-SPRING CONTROL VALVE (1" SIZE)		
○	R0600-N	WOOD MOUNT AUTOMATIC CONTROLLER		
○	801-40	SCHEDULE 40 PVC MAIN PRESSURE LINE		
○	CLASS 200	CLASS 200 PERIPHERAL NON-PRESSURE IRRIGATION LINE		
○	CF-21	COMPRESSION PLUMB CAP INSTALLED BELOW GRADE IN PLUMB VALVE BOX (SEE DETAIL)		
○	N/A	POINT OF CONNECTION AT WATER SERVICE TEE (PROVIDED BY PLUMBING CONTRACTOR)		

IRRIGATION SCHEDULE							
NORTHBOROUGH - VILLAGE 1							
SPRING (MARCH, APRIL, MAY)							
STATION	ZONE	EXTENSION	SPACERS	CYCLES DLY	CYCLE LENGTH	DATE WEEK	RENEW MONTH
1	SPRAY	LAWN PERG	10	2	10	1	5/27
2	DRP	SHRUB (MED.)	20	2	20	1	5/10

IRRIGATION SCHEDULE							
NORTHBOROUGH - VILLAGE 1							
SUMMER (JUNE, JULY, AUGUST)							
STATION	ZONE	EXTENSION	SPACERS	CYCLES DLY	CYCLE LENGTH	DATE WEEK	RENEW MONTH
A	1	SPRAY	LAWN PERG	10	2	10	16/29
A	2	DRP	SHRUB (MED.)	20	2	20	6/28

IRRIGATION SCHEDULE							
NORTHBOROUGH - VILLAGE 1							
AUTUMN (SEPT., OCT., NOV.)							
STATION	ZONE	EXTENSION	SPACERS	CYCLES DLY	CYCLE LENGTH	DATE WEEK	RENEW MONTH
1	SPRAY	LAWN PERG	10	2	10	1	9/27
2	DRP	SHRUB (MED.)	20	2	20	1	2/27

IRRIGATION SCHEDULE							
NORTHBOROUGH - VILLAGE 1							
WINTER (DEC., JAN., FEB.)							
STATION	ZONE	EXTENSION	SPACERS	CYCLES DLY	CYCLE LENGTH	DATE WEEK	RENEW MONTH
A	1	SPRAY	LAWN PERG	10	0	0	0
A	2	DRP	SHRUB (MED.)	20	0	0	0

IRRIGATION SCHEDULE							
NORTHBOROUGH - VILLAGE 1							
ESTABLISHMENT PERIOD - (BY DATE FOLLOWING PLANTING)							
STATION	ZONE	EXTENSION	SPACERS	CYCLES DLY	CYCLE LENGTH	DATE WEEK	RENEW MONTH
1	SPRAY	LAWN PERG	10	2	10	3	
2	DRP	SHRUB (MED.)	20	2	20	3	

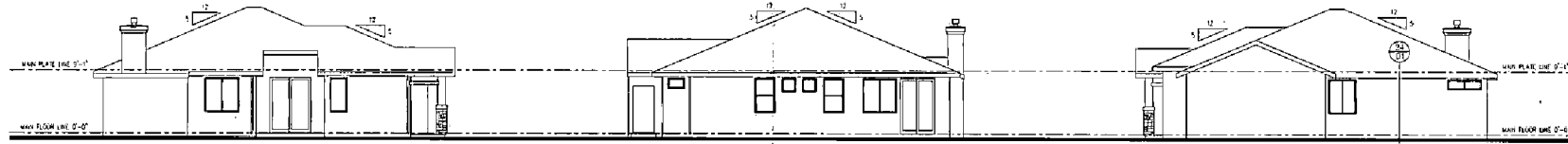
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Exhibit 5 (b) - elevations

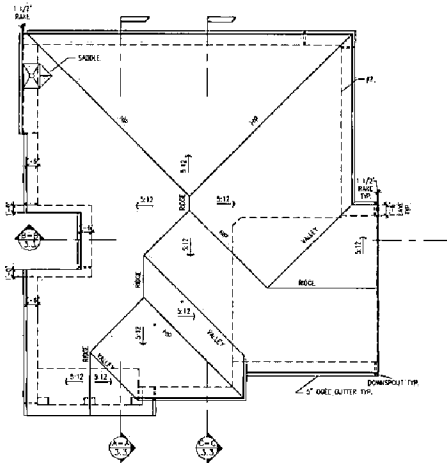


ELEVATION C  
EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'-0"  
-10C

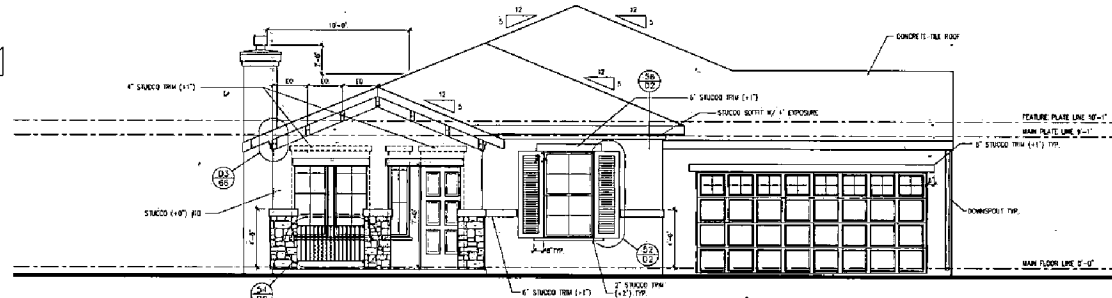
LEFT SIDE

REAR

RIGHT SIDE

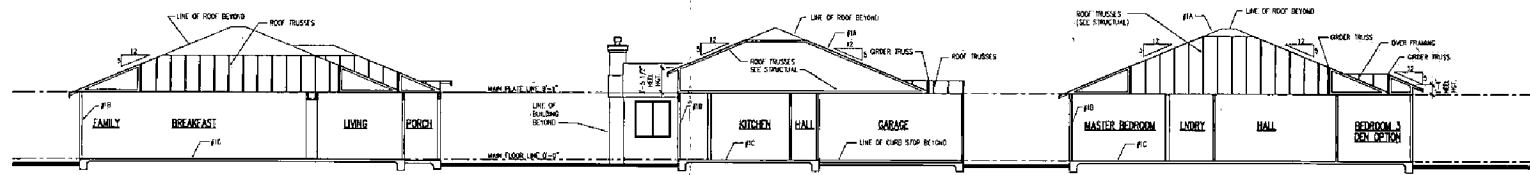


ELEVATION C  
ROOF PLAN  
SCALE: 1/8"=1'-0"  
-10C



ELEVATION C  
FRONT ELEVATION  
SCALE: 1/8"=1'-0"  
-10C

- EXTERIOR ELEVATION NOTES:**
1. LOCAL APPLICABLE CODES
  2. LOCAL CONSTRUCTION
  3. QUANTITIES FOR THE ROOF SHALL BE FOR THE ROOF ONLY. ALL ROOFING MATERIALS SHALL BE NOTED ON STRUCTURAL DRAWINGS.
  4. ROOFING SHALL BE AS SPECIFIED BY BUILDER OVER ALL ROOFING AS NOTED ON STRUCTURAL DRAWINGS.
  5. ROOFING SHALL BE AS SPECIFIED BY BUILDER OVER ALL ROOFING AS NOTED ON STRUCTURAL DRAWINGS.
  6. ROOFING SHALL BE AS SPECIFIED BY BUILDER OVER ALL ROOFING AS NOTED ON STRUCTURAL DRAWINGS.
  7. ROOFING SHALL BE AS SPECIFIED BY BUILDER OVER ALL ROOFING AS NOTED ON STRUCTURAL DRAWINGS.
  8. ROOFING SHALL BE AS SPECIFIED BY BUILDER OVER ALL ROOFING AS NOTED ON STRUCTURAL DRAWINGS.
  9. ROOFING SHALL BE AS SPECIFIED BY BUILDER OVER ALL ROOFING AS NOTED ON STRUCTURAL DRAWINGS.
  10. ROOFING SHALL BE AS SPECIFIED BY BUILDER OVER ALL ROOFING AS NOTED ON STRUCTURAL DRAWINGS.



ELEVATION C  
BUILDING SECTIONS  
SCALE: 1/8"=1'-0"  
-10C

A-A

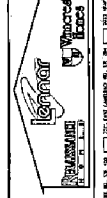
B-B

C-C

**PERMIT SET**  
 2/11/2000

**ASHFORD PLACE AT NATOMAS PARK**  
**SACRAMENTO, CALIFORNIA**

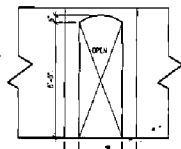
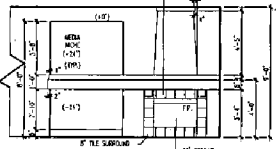
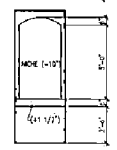
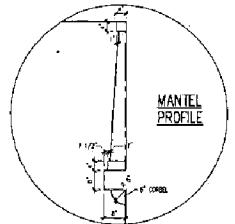
220 DONALD BURT RD. #10  
 SACRAMENTO, CA 95834  
 (916) 778-1000



**BLOODGOOD SHARP BUSTER**  
 ARCHITECTS & PLANNERS, INC.

DATE OF PERMIT	2/11/2000
PROJECT NAME	ASHFORD PLACE AT NATOMAS PARK
PROJECT ADDRESS	SACRAMENTO, CALIFORNIA
PROJECT NUMBER	171
SHEET NUMBER	3.3

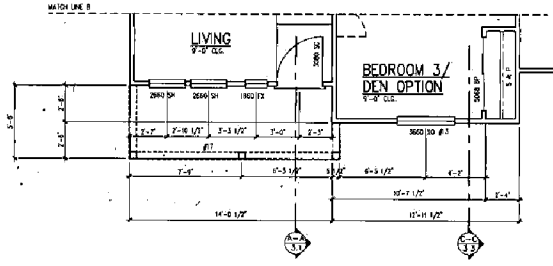




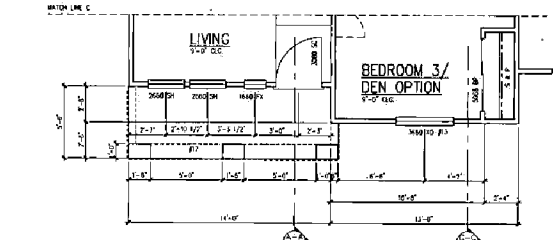
1/ FIREPLACE AND MEDIA

INTERIOR ELEVATIONS  
SCALE: 1/4" = 1'-0"

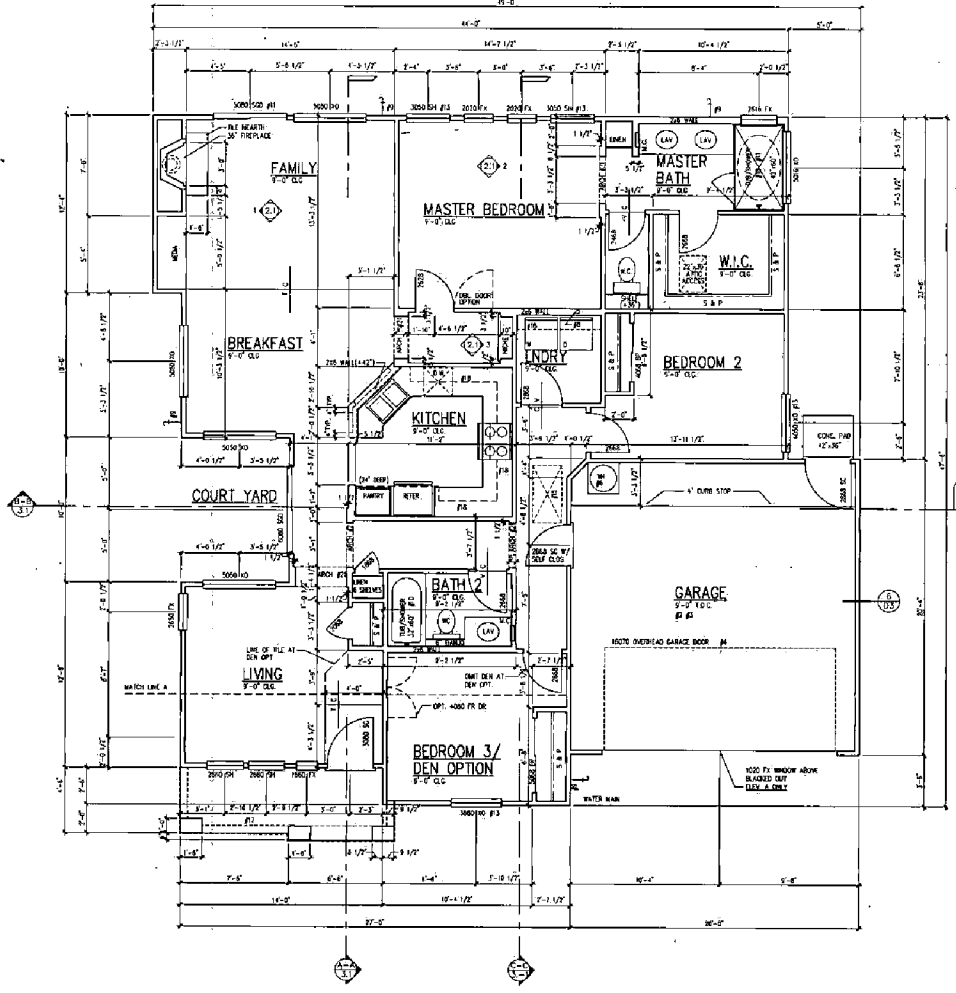
2/ M. BEDROOM (TYP.)



ELEVATION B  
PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ELEVATION C  
PARTIAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ELEVATION A  
MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. SEE ARCHITECTURE.
2. CONCRETE FLOORING SHALL BE OVER 3/4" POLY OVER JOIST.
3. FLOORING SHALL BE INSTALLED AS NOTED ON STRUCTURAL DRAWINGS.
4. SEE ARCHITECTURE FOR FINISHES.
5. SEE ARCHITECTURE FOR FINISHES.
6. SEE ARCHITECTURE FOR FINISHES.
7. SEE ARCHITECTURE FOR FINISHES.
8. SEE ARCHITECTURE FOR FINISHES.
9. SEE ARCHITECTURE FOR FINISHES.
10. SEE ARCHITECTURE FOR FINISHES.
11. SEE ARCHITECTURE FOR FINISHES.
12. SEE ARCHITECTURE FOR FINISHES.
13. SEE ARCHITECTURE FOR FINISHES.
14. SEE ARCHITECTURE FOR FINISHES.
15. SEE ARCHITECTURE FOR FINISHES.
16. SEE ARCHITECTURE FOR FINISHES.
17. SEE ARCHITECTURE FOR FINISHES.
18. SEE ARCHITECTURE FOR FINISHES.
19. SEE ARCHITECTURE FOR FINISHES.
20. SEE ARCHITECTURE FOR FINISHES.

SQUARE FOOTAGES	
MAIN FLOOR	1557
UPPER FLOOR	N/A
BASEMENT	1877
CARPORT	422
TOTAL	3856
OPTION #1	N/A
OPTION #2	N/A
OPTION #3	N/A
OPTION (OPTION)	N/A



**PERMIT SET**  
2/17/2000

**ASHFORD PLACE AT NATOMAS PARK**  
SACRAMENTO, CALIFORNIA

THE DAVIES CENTER FOR DESIGN  
SACRAMENTO, CA 95811  
916 442-4000

BLOODGOOD SHARP BUSTER  
ARCHITECTS & PLANNERS, LLC

SHEET TITLE		SHEET NO.	
MAIN FLOOR	P00-016	1	1
PARTIAL FLOOR PLANS			
IN KIND ELEVATIONS			

P00-016

RECEIVED 2-08-00









Exhibit 7 (a) - elevations



ELEVATION A  
EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'-0"  
-10A

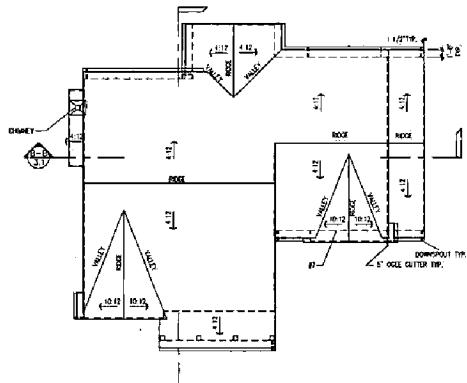
LEFT SIDE

REAR

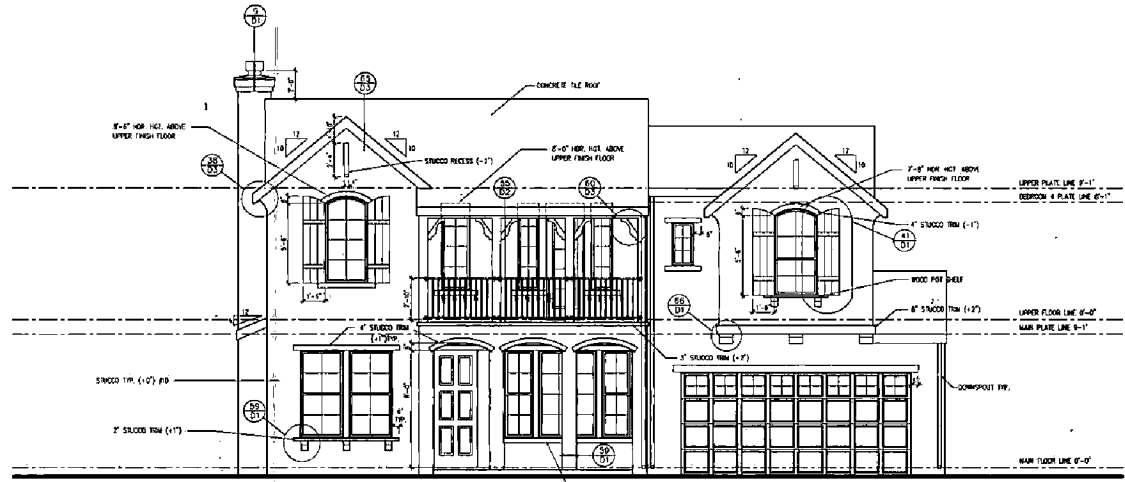
RIGHT SIDE

EXTERIOR ELEVATION NOTES

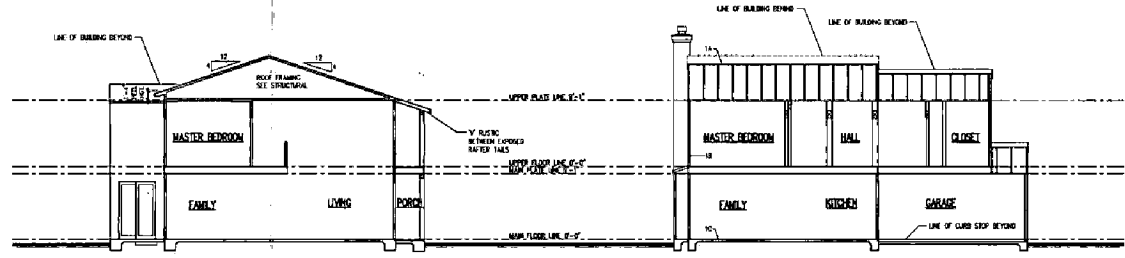
- 1. GENERAL CONSTRUCTION - SEE NOTES
- 2. ROOF CONSTRUCTION - GABLE ROOF ALL OVER AND FULL OVER PORCH AND CHIMNEY AND FINISH AS NOTED ON STRUCTURAL DRAWINGS
- 3. WALLS - 8" CMU BLOCK WORK WITH 1/2" GYPSUM BOARD & FINISH AS NOTED ON STRUCTURAL DRAWINGS
- 4. FLOOR CONSTRUCTION - 1 1/2" GYPSUM BOARD OVER 1/2" OSB OR 1/2" OSB OVER 2" LATHES OVER 2" RIGID POLYURETHANE INSULATION AS NOTED ON STRUCTURAL DRAWINGS
- 5. CEILING CONSTRUCTION - 1/2" GYPSUM BOARD OVER 1/2" OSB OR 1/2" OSB OVER 2" LATHES OVER 2" RIGID POLYURETHANE INSULATION AS NOTED ON STRUCTURAL DRAWINGS
- 6. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 7. WINDOW SIZES - WINDOW SIZES TO BE SPECIFIED BY OWNER
- 8. DOOR SIZES - DOOR SIZES TO BE SPECIFIED BY OWNER
- 9. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 10. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 11. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 12. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 13. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 14. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 15. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 16. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 17. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 18. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 19. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER
- 20. FINISH MATERIALS - FINISH MATERIALS TO BE SPECIFIED BY OWNER



ELEVATION A  
ROOF PLAN  
SCALE: 1/8"=1'-0"  
-87A



ELEVATION A  
FRONT ELEVATION  
SCALE: 1/8"=1'-0"  
-17A



ELEVATION A  
BUILDING SECTIONS  
SCALE: 1/8"=1'-0"  
-10A

A-A

B-B

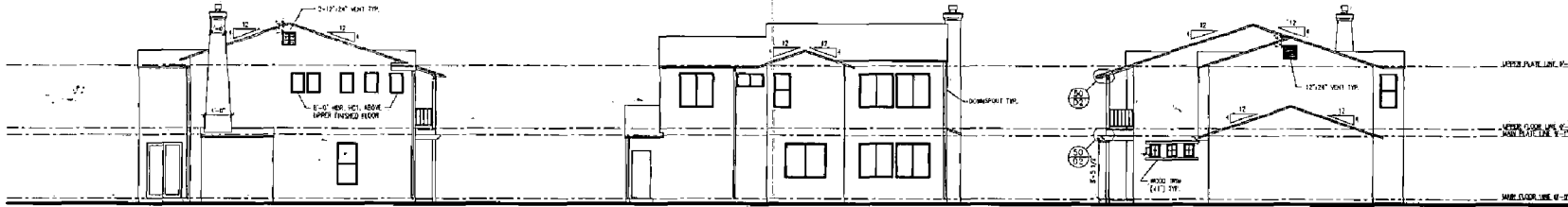
PERMIT SET  
2/1/2000

ASHFORD PLACE AT NATOMAS PARK  
SACRAMENTO, CALIFORNIA

AS PER  
PROJECT NO.  
PLAN 173  
SHEET  
3.18

P00-016  
RECEIVED 2-08-00





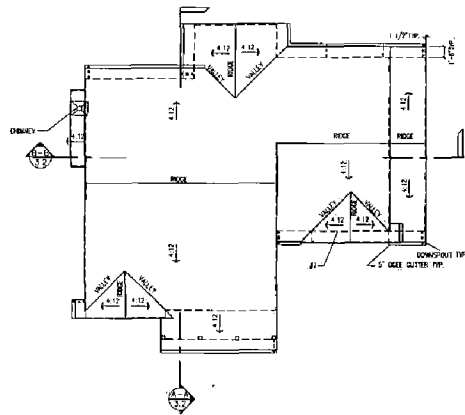
ELEVATION B  
EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'-0"  
-466

LEFT SIDE

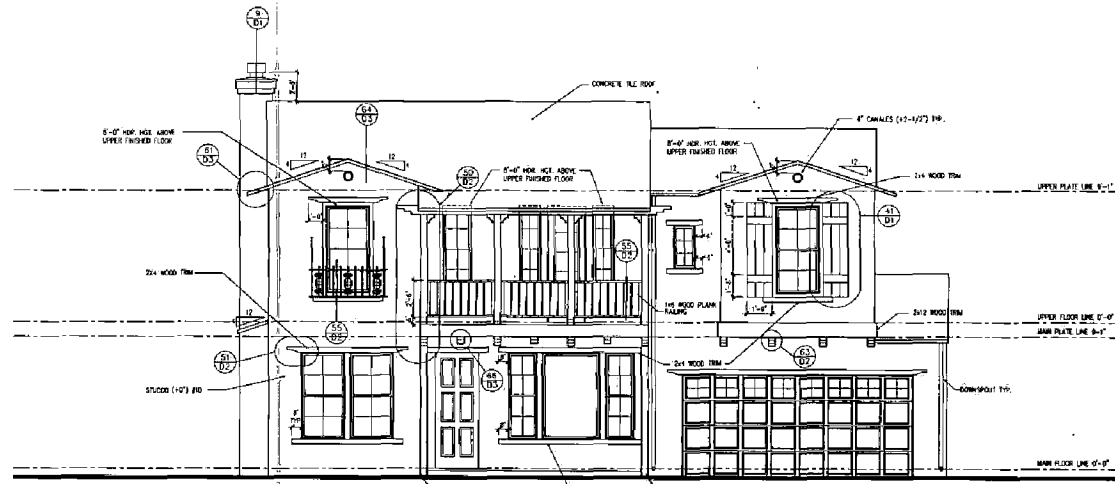
REAR

RIGHT SIDE

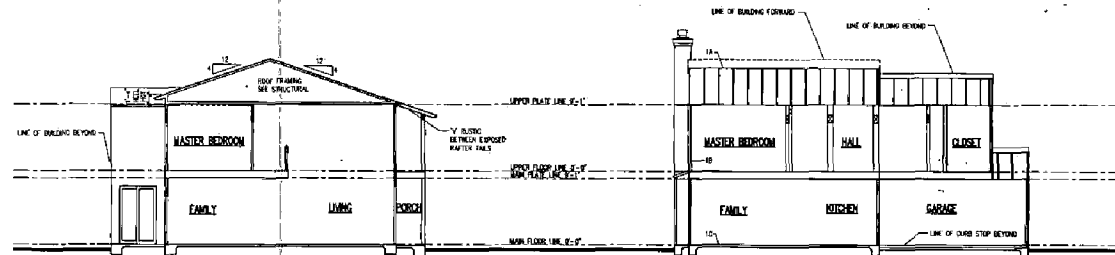
**GENERAL ELEVATION NOTES**  
 1. GENERAL CONSTRUCTION SPECIFICATIONS  
 2. SEE STRUCTURAL DRAWINGS FOR ALL DIMENSIONS AND FINISHES UNLESS NOTED OTHERWISE.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 4. ALL FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS UNLESS NOTED OTHERWISE.  
 5. ALL MATERIALS ARE TO BE AS SHOWN ON THE DRAWINGS UNLESS NOTED OTHERWISE.  
 6. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.  
 7. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.  
 8. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.  
 9. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.  
 10. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.



ELEVATION B  
ROOF PLAN  
SCALE: 1/8"=1'-0"  
-472



ELEVATION B  
FRONT ELEVATION  
SCALE: 1/8"=1'-0"  
-478



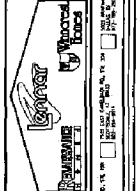
ELEVATION B  
BUILDING SECTIONS  
SCALE: 1/8"=1'-0"  
-488

A-A

B-B



3240 DOUGLASS BLVD. STE. 200  
ROSELILLE, CA 95821  
(916) 774-4223

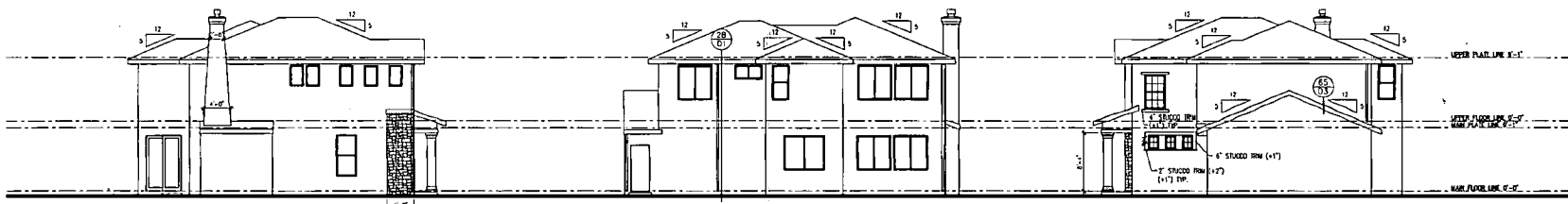


**PERMIT SET**  
 2/1/2000  
**ASHFORD PLACE AT NATOMAS PARK**  
**SACRAMENTO, CALIFORNIA**

DATE OF PERMIT: 2/1/2000  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
**PLAN 173**  
 SHEET NO. 3.2B

**P00-016**  
 RECEIVED 2-08-00





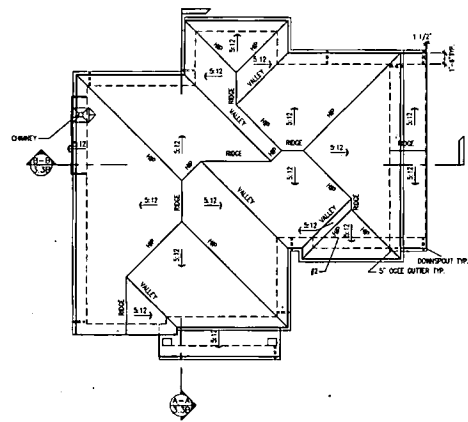
ELEVATION C  
EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'-0"  
-100-0

LEFT SIDE

REAR

RIGHT SIDE

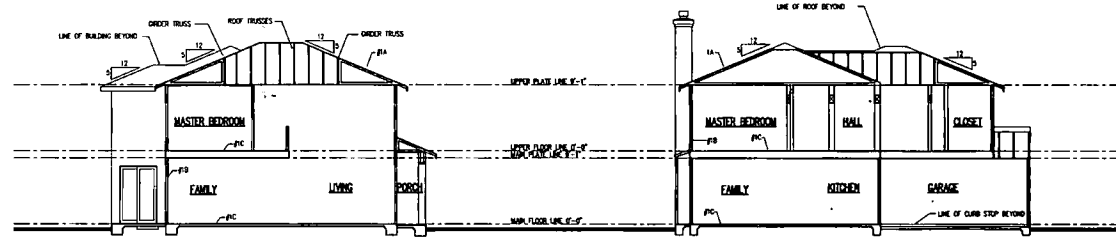
- EXTERIOR ELEVATION NOTES:**
- A. **GENERAL CONSTRUCTION ASSUMPTIONS:**  
 1. ROOF: CONCRETE TILE ROOF.  
 2. WALLS: EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" EPS INSULATION AND 1/2" GYPSUM BOARD. INTERIOR WALLS SHALL BE 5/8" CMU WITH 1/2" GYPSUM BOARD.  
 3. FLOORING: 3/4" OSB FLOOR BOARD WITH 1/2" GYPSUM BOARD ON TOP.  
 4. FINISHES: SEE FINISH SCHEDULE.
  - B. **EXTERIOR FINISHES:**  
 1. EXTERIOR WALLS: STUCCO WITH 1/2" EPS INSULATION AND 1/2" GYPSUM BOARD ON TOP.  
 2. ROOF: CONCRETE TILE ROOF.  
 3. WINDOWS: 1/2" GYPSUM BOARD WITH 1/2" EPS INSULATION AND 1/2" GYPSUM BOARD ON TOP.  
 4. DOORS: 1/2" GYPSUM BOARD WITH 1/2" EPS INSULATION AND 1/2" GYPSUM BOARD ON TOP.
  - C. **FLOOR CONSTRUCTION:**  
 1. FLOORING: 3/4" OSB FLOOR BOARD WITH 1/2" GYPSUM BOARD ON TOP.  
 2. SUBFLOORING: 1/2" GYPSUM BOARD WITH 1/2" EPS INSULATION AND 1/2" GYPSUM BOARD ON TOP.
  - D. **EXTERIOR FINISHES:**  
 1. EXTERIOR WALLS: STUCCO WITH 1/2" EPS INSULATION AND 1/2" GYPSUM BOARD ON TOP.  
 2. ROOF: CONCRETE TILE ROOF.  
 3. WINDOWS: 1/2" GYPSUM BOARD WITH 1/2" EPS INSULATION AND 1/2" GYPSUM BOARD ON TOP.  
 4. DOORS: 1/2" GYPSUM BOARD WITH 1/2" EPS INSULATION AND 1/2" GYPSUM BOARD ON TOP.



ELEVATION C  
ROOF PLAN  
SCALE: 1/8"=1'-0"  
-100-0



ELEVATION C  
FRONT ELEVATION  
SCALE: 1/4"=1'-0"  
-100-0



ELEVATION C  
BUILDING SECTIONS  
SCALE: 1/8"=1'-0"  
-100-0

A-A

B-B

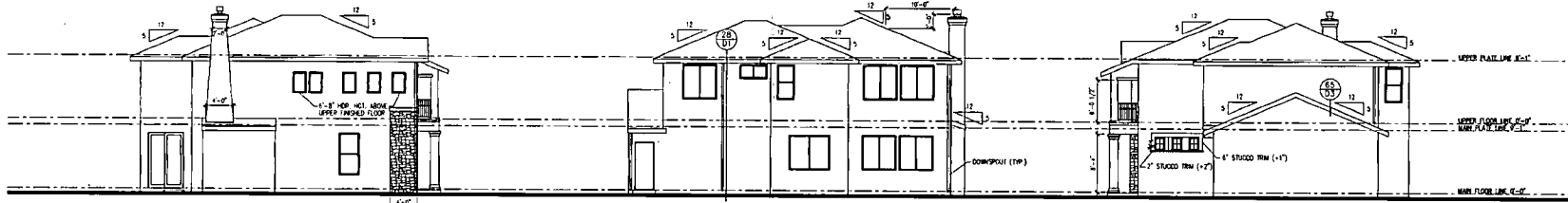
PERMIT SET  
 2/1/2000

ASHFORD PLACE AT NATOMAS PARK  
 SACRAMENTO, CALIFORNIA

PROJECT NO.	DATE	SHEET NO.
100-000000	02/01/2000	33
PLAN 73 FRONT ELEVATION ROOF PLAN BUILDING SECTIONS		

P00-016

RECEIVED 2-08-00



ELEVATION C  
EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'-0"  
-10C

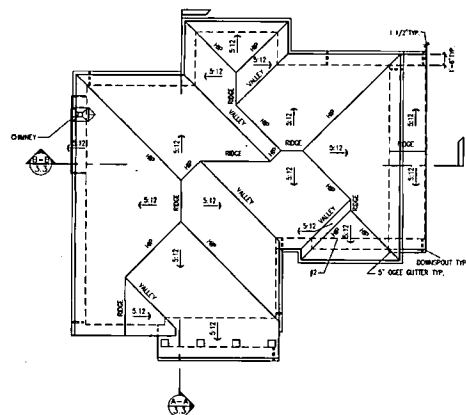
LEFT SIDE

REAR

RIGHT SIDE

EXTERIOR ELEVATION NOTES:

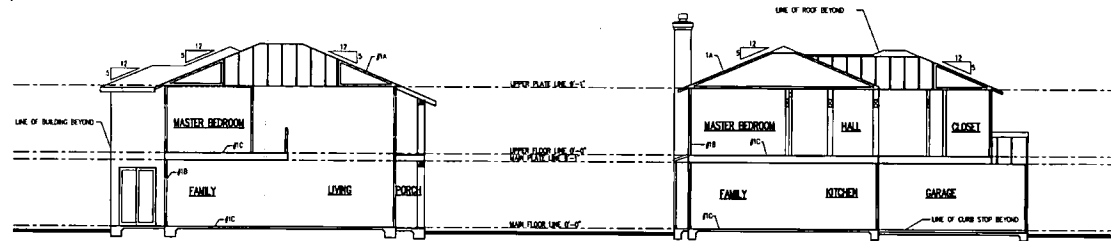
- A. LOCAL CONSTRUCTION APPROVALS:
  - 1. ROOF CONSTRUCTION: CONCRETE ROOF TILE OVER 3/4" FELT OVER ROOF SHEATHING AND FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  - 2. WALLS: PER ENERGY REQUIREMENTS: 2" EPS CORE BOARD & FRAMING MEMBERS 2" O.C., 1/2" GYP BOARD & FRAMING MEMBERS 16" O.C.
- B. WINDOW & DOOR DETAIL:
  - 1. WINDOW: WINDOW OVER 14" HIG. 20 GA. W/4" W/4" FABRIC OVER 1" SPUNND POLYESTER BOND OVER 2 LAYERS 3/8" GYP BOARD OVER WALL FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
  - 2. DOOR: DOOR OVER 14" HIG. 20 GA. W/4" W/4" FABRIC OVER 1" SPUNND POLYESTER BOND OVER 2 LAYERS 3/8" GYP BOARD OVER WALL FRAMING AS NOTED ON STRUCTURAL DRAWINGS.
  - 3. WALL: PER ENERGY REQUIREMENTS: 2" EPS CORE BOARD & FRAMING MEMBERS 2" O.C., 1/2" GYP BOARD & FRAMING MEMBERS 16" O.C.
  - 4. CEILING: PER ENERGY REQUIREMENTS: 2" EPS CORE BOARD & FRAMING MEMBERS 2" O.C., 1/2" GYP BOARD & FRAMING MEMBERS 16" O.C.
  - 5. FLOOR: PER ENERGY REQUIREMENTS: 2" EPS CORE BOARD & FRAMING MEMBERS 2" O.C., 1/2" GYP BOARD & FRAMING MEMBERS 16" O.C.
- C. FLOOR CONSTRUCTION:
  - 1. FLOOR CONSTRUCTION - 3/4" FLOOR BEARING OVER FLOOR JOISTS AS NOTED ON STRUCTURAL DRAWINGS.
  - 2. WALL: PER ENERGY REQUIREMENTS: 2" EPS CORE BOARD & FRAMING MEMBERS 2" O.C., 1/2" GYP BOARD & FRAMING MEMBERS 16" O.C.
  - 3. CEILING: PER ENERGY REQUIREMENTS: 2" EPS CORE BOARD & FRAMING MEMBERS 2" O.C., 1/2" GYP BOARD & FRAMING MEMBERS 16" O.C.
- D. STUCCO FINISH:
  - 1. STUCCO FINISH: PER ENERGY REQUIREMENTS: 1/2" STUCCO OVER 1/2" GYP BOARD & FRAMING MEMBERS 16" O.C.
  - 2. STUCCO FINISH: PER ENERGY REQUIREMENTS: 1/2" STUCCO OVER 1/2" GYP BOARD & FRAMING MEMBERS 16" O.C.



ELEVATION C  
ROOF PLAN  
SCALE: 1/8"=1'-0"  
-10C



ELEVATION C  
FRONT ELEVATION  
SCALE: 1/8"=1'-0"  
-10C



ELEVATION C  
BUILDING SECTIONS  
SCALE: 1/8"=1'-0"  
-10C

A-A

B-B

PERMIT SET  
 2/1/2000

210 DOUGLAS BLVD, STE 204  
 SACRAMENTO, CA 95811  
 (916) 779-4000  
**ASHFORD PLACE AT NATOMAS PARK**  
**SACRAMENTO, CALIFORNIA**  
 BLODGOOD SHARP BUSTER  
 ARCHITECTS & PLANNERS, INC.

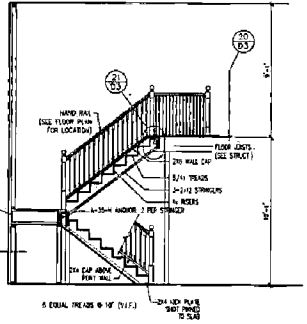
DESIGNED BY	CHECKED BY	DATE
SCALE	DATE	DATE
PLAN 173		
SHEET NO.	SHEET	
3.38		

P00-016

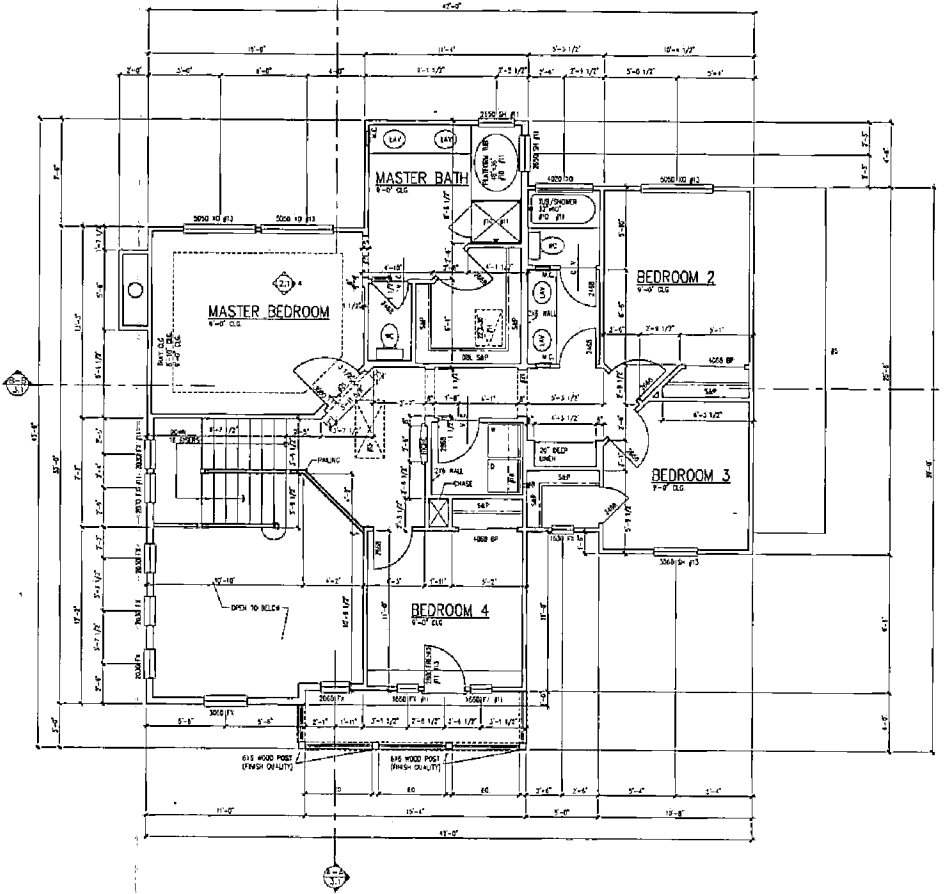
RECEIVED 2-08-00



NOTE: VERIFY RISER HEIGHTS w/ ACTUAL DIMENSIONS IN THE FIELD. NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES.



STAIR SECTION  
SCALE: 1/4" = 1'-0"



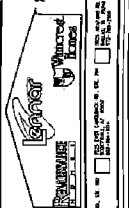
ELEVATION A  
UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

1. GENERAL CONSTRUCTION SPECIFICATIONS:
  - A. FLOORING: SEE SPECIFICATIONS.
  - B. WALLS: SEE SPECIFICATIONS.
  - C. CEILING: SEE SPECIFICATIONS.
  - D. ROOFING: SEE SPECIFICATIONS.
  - E. EXTERIOR FINISHES: SEE SPECIFICATIONS.
  - F. INTERIOR FINISHES: SEE SPECIFICATIONS.
  - G. PAINTS AND COATINGS: SEE SPECIFICATIONS.
  - H. GLASS: SEE SPECIFICATIONS.
  - I. METALS: SEE SPECIFICATIONS.
  - J. WOOD: SEE SPECIFICATIONS.
  - K. PLASTER: SEE SPECIFICATIONS.
  - L. CONCRETE: SEE SPECIFICATIONS.
  - M. MECHANICAL: SEE SPECIFICATIONS.
  - N. ELECTRICAL: SEE SPECIFICATIONS.
  - O. SANITARY: SEE SPECIFICATIONS.
  - P. SPECIALTIES: SEE SPECIFICATIONS.
2. FINISHES: SEE SPECIFICATIONS.
3. WALLS: SEE SPECIFICATIONS.
4. CEILING: SEE SPECIFICATIONS.
5. ROOFING: SEE SPECIFICATIONS.
6. EXTERIOR FINISHES: SEE SPECIFICATIONS.
7. INTERIOR FINISHES: SEE SPECIFICATIONS.
8. PAINTS AND COATINGS: SEE SPECIFICATIONS.
9. GLASS: SEE SPECIFICATIONS.
10. METALS: SEE SPECIFICATIONS.
11. WOOD: SEE SPECIFICATIONS.
12. PLASTER: SEE SPECIFICATIONS.
13. CONCRETE: SEE SPECIFICATIONS.
14. MECHANICAL: SEE SPECIFICATIONS.
15. ELECTRICAL: SEE SPECIFICATIONS.
16. SANITARY: SEE SPECIFICATIONS.
17. SPECIALTIES: SEE SPECIFICATIONS.



240 SHIELDS BLVD, STE. 100  
SACRAMENTO, CA 95811  
916 487-1000



**PROGRESS SET**  
1/10/00

**NORTHBOROUGH**  
SACRAMENTO, CALIFORNIA

J. BLOODOOD, SHARP BUSTER  
ARCHITECTS & PLANNERS, INC.

SQUARE FOOTAGES	
AREA	1,200
PERIMETER	1,200
TOTAL	2,400

JOB NO. 173	
DATE	1/10/00
BY	J. BLOODOOD
CHECKED BY	J. BLOODOOD
PLAN 173	
SHEET NO.	2.2

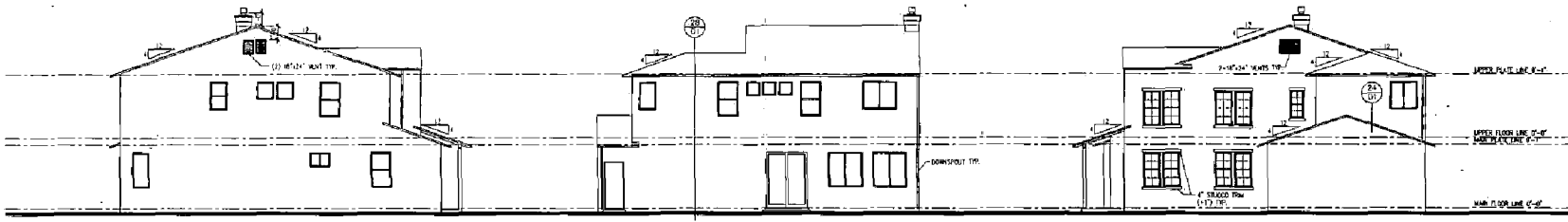
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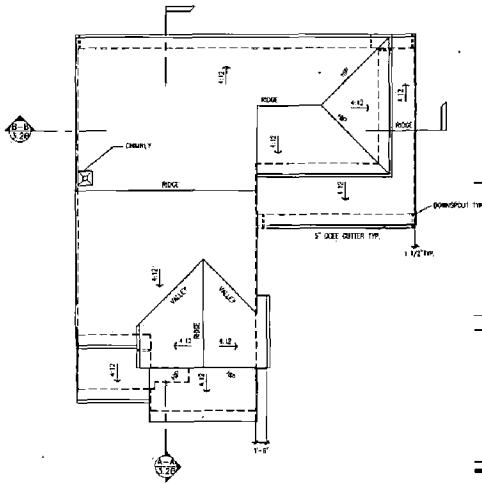


ELEVATION B  
EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'-0"  
-EB-6

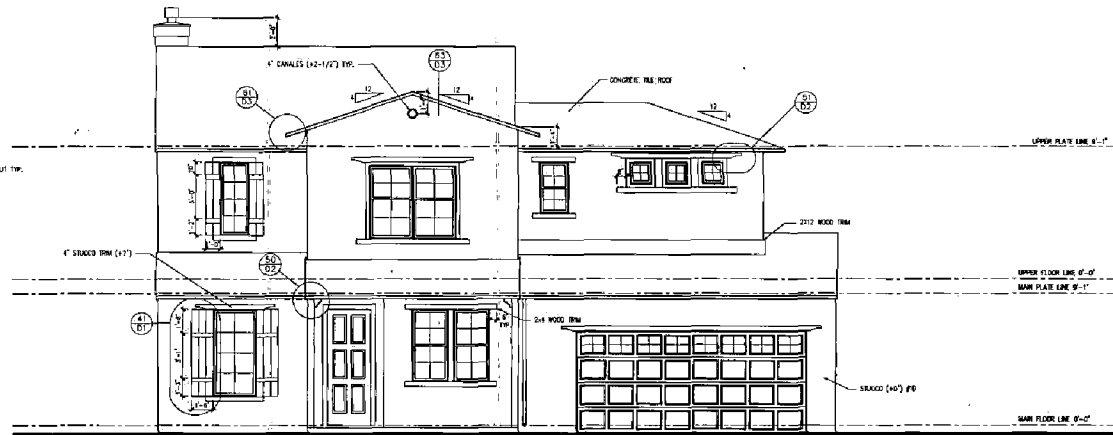
LEFT SIDE

REAR

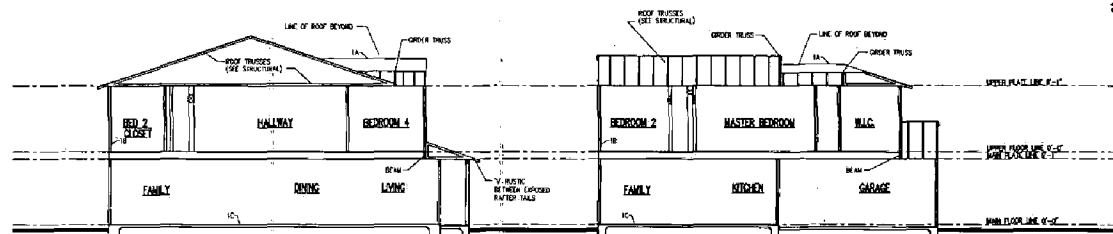
RIGHT SIDE



ELEVATION B  
ROOF PLAN  
SCALE: 1/8"=1'-0"  
-EB-0



ELEVATION B  
FRONT ELEVATION  
SCALE: 1/8"=1'-0"  
-EB-0



ELEVATION B  
BUILDING SECTIONS  
SCALE: 1/8"=1'-0"  
-EB-0

A-A

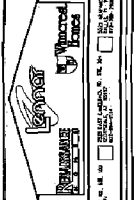
B-B

EXTERIOR ELEVATION NOTES:

- 1. TOTAL CONSTRUCTION MATERIALS:
  - A. ROOF: SHINGLES
  - B. EXTERIOR WALLS: BRICK
  - C. EXTERIOR FLOORING: CERAMIC TILE
  - D. EXTERIOR PAINTING: WHITE
- 2. FINISHES:
  - A. ROOF: SHINGLES
  - B. EXTERIOR WALLS: BRICK
  - C. EXTERIOR FLOORING: CERAMIC TILE
  - D. EXTERIOR PAINTING: WHITE
- 3. MATERIALS:
  - A. ROOF: SHINGLES
  - B. EXTERIOR WALLS: BRICK
  - C. EXTERIOR FLOORING: CERAMIC TILE
  - D. EXTERIOR PAINTING: WHITE
- 4. FINISHES:
  - A. ROOF: SHINGLES
  - B. EXTERIOR WALLS: BRICK
  - C. EXTERIOR FLOORING: CERAMIC TILE
  - D. EXTERIOR PAINTING: WHITE
- 5. MATERIALS:
  - A. ROOF: SHINGLES
  - B. EXTERIOR WALLS: BRICK
  - C. EXTERIOR FLOORING: CERAMIC TILE
  - D. EXTERIOR PAINTING: WHITE



DAVID DOUGLAS DAVIS, PE  
REGISTERED PROFESSIONAL ENGINEER  
NO. 0-38827  
SACRAMENTO, CALIFORNIA

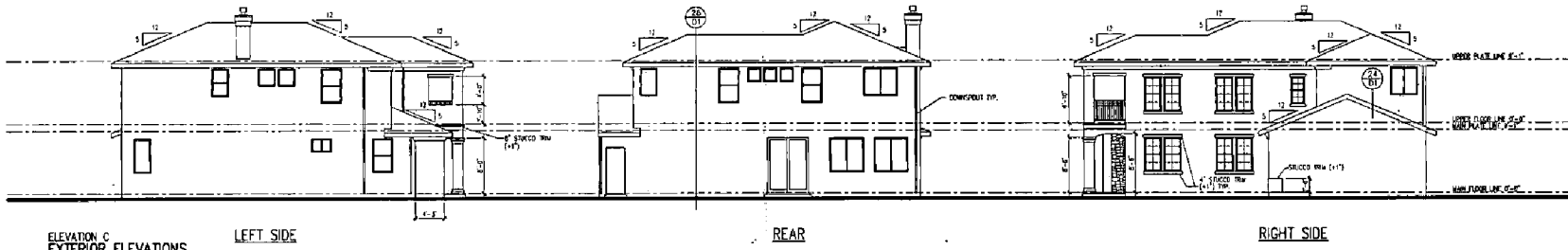


PERMIT SET  
2/1/2000  
ASHFORD PLACE AT NATOMAS PARK  
SACRAMENTO, CALIFORNIA

DATE OF PERMIT	2/1/2000
PROJECT NO.	174
SHEET NO.	3.2

P00-016  
RECEIVED 2-08-00





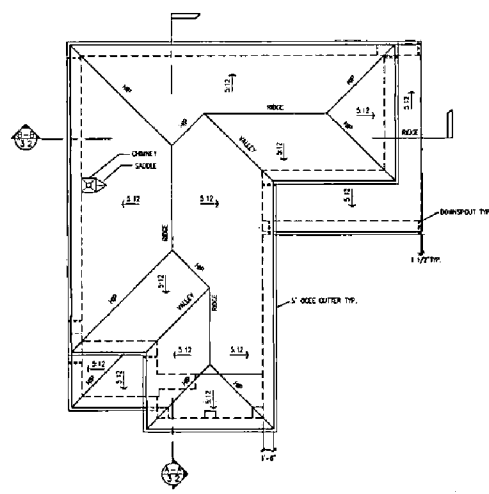
ELEVATION C  
EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'-0"  
-10C-

LEFT SIDE

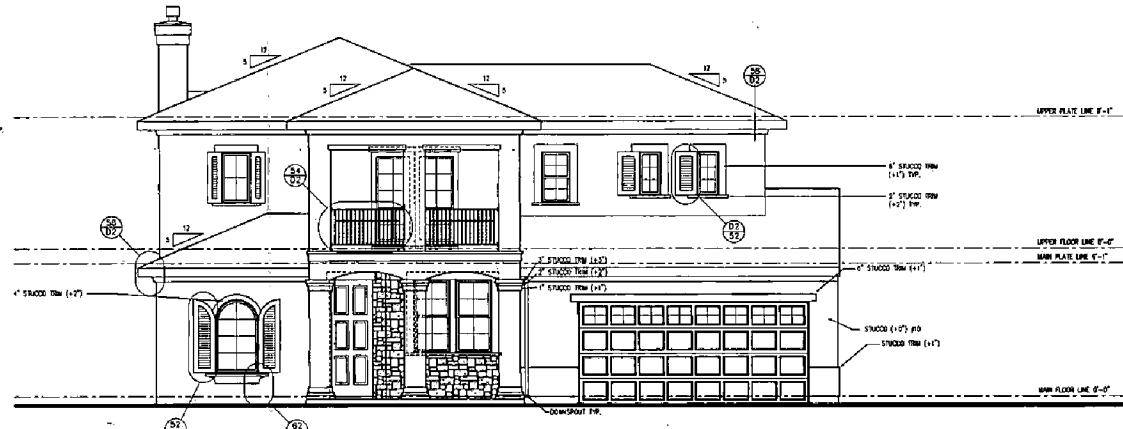
REAR

RIGHT SIDE

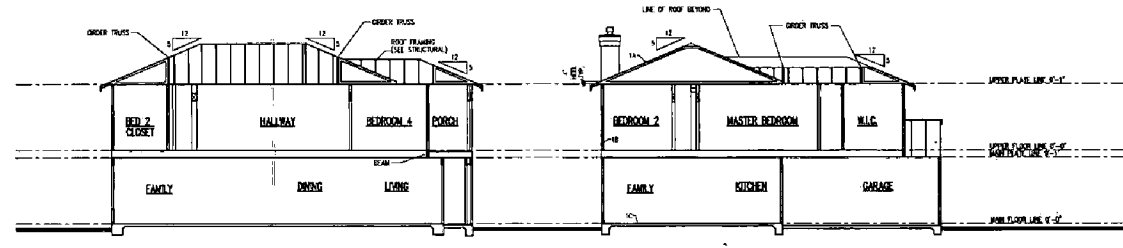
- EXTERIOR ELEVATION NOTES:**
- 1. SEE PLAN.
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  - 98. SEE PLAN.
  - 99. SEE PLAN.
  - 100. SEE PLAN.



ELEVATION C  
ROOF PLAN  
SCALE: 1/8"=1'-0"  
-10C-



ELEVATION C  
FRONT ELEVATION  
SCALE: 1/4"=1'-0"  
-10C-



ELEVATION C  
BUILDING SECTIONS  
SCALE: 1/8"=1'-0"  
-10C-

A-A

B-B

**PERMIT SET**  
**2/1/2000**

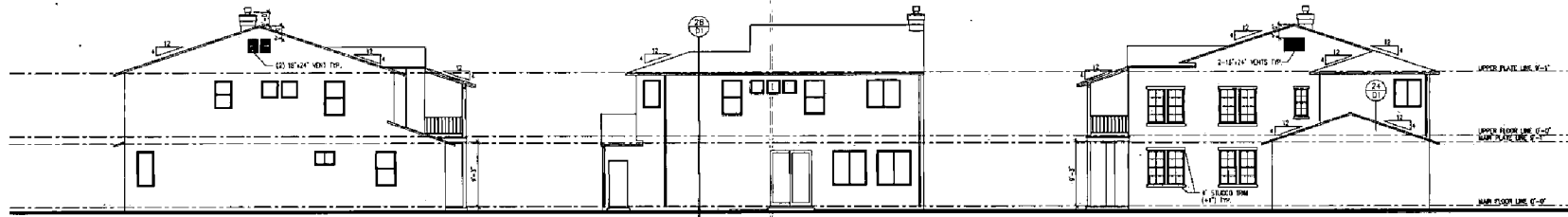


200 BUCKLEY AVENUE #200  
 SACRAMENTO, CA 95811  
 (916) 775-4233  
**BLOODGOOD SHARP BUSTER**  
 ARCHITECTS & PLANNERS, INC.

**ASHFORD PLACE AT NATOMAS PARK**  
**SACRAMENTO, CALIFORNIA**

SHEET NO. PLAN 174	SHEET TITLE FRONT ELEVATION ROOF PLAN BUILDING SECTIONS	SHEET NO. 3.38
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**P00-016**  
 RECEIVED 2-08-00

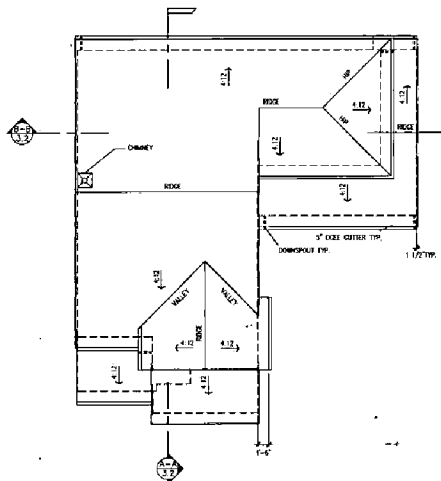


ELEVATION B  
EXTERIOR ELEVATIONS  
SCALE: 1/8"=1'-0"  
-101

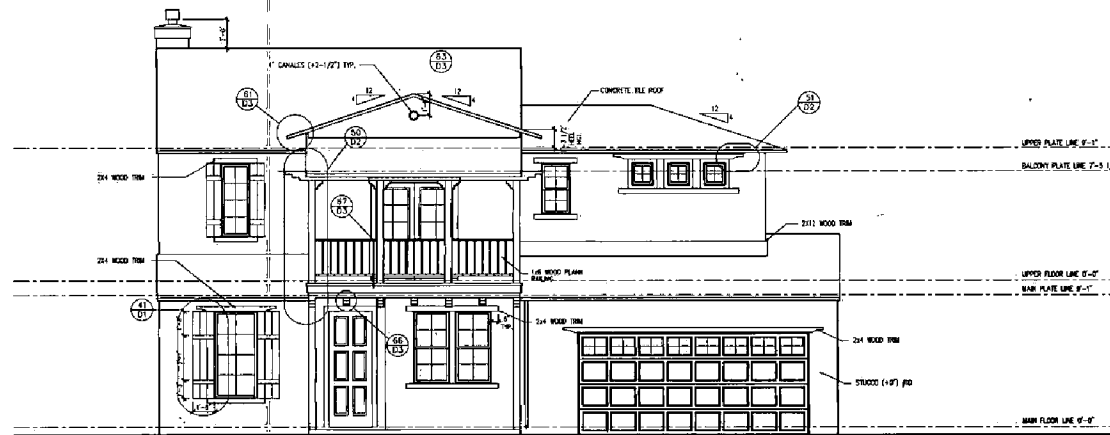
LEFT SIDE

REAR

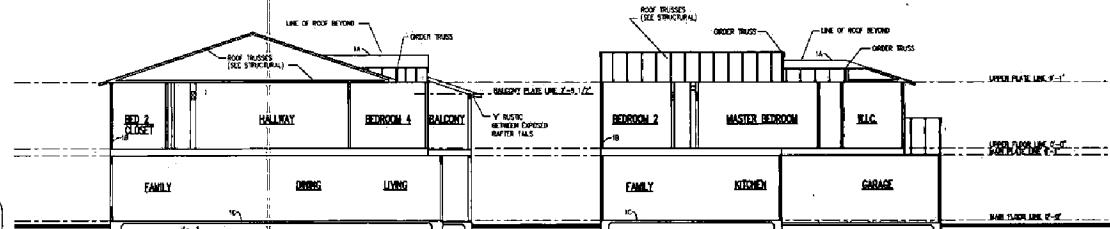
RIGHT SIDE



ELEVATION B  
ROOF PLAN  
SCALE: 1/8"=1'-0"  
-102



ELEVATION B  
FRONT ELEVATION  
SCALE: 1/8"=1'-0"  
-103



ELEVATION B  
BUILDING SECTIONS  
SCALE: 1/8"=1'-0"  
-104

A-A

B-B

- EXTERIOR ELEVATION NOTES:**
1. TYPICAL CONSTRUCTION ASSUMED: BRICK ON BLOCK.
  2. CONCRETE ROOF (SEE STRUCTURAL) WITH 2" MIN. INSULATION AND FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  3. INSULATION PER ENERGY CODE REQUIREMENTS. EXTERIOR FINISH: 1/2" GYPSUM BOARD OR FRAMING MEMBERS 1/2" G.C. 1/2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  4. EXTERIOR WALL CONSTRUCTION: 12" MIN. (SINGLE STUD) OR 16" (DOUBLE STUD) MIN. INSULATION PER ENERGY CODE REQUIREMENTS. EXTERIOR FINISH: 1/2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  5. 2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  6. 2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  7. 2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  8. 2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
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  16. 2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  17. 2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  18. 2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  19. 2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.
  20. 2" GYPSUM BOARD OR FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS.



NO.	DATE	REVISION

210 DOUGLASS BLVD. STE. 200  
SACRAMENTO, CA 95811  
(916) 474-4233



**PERMIT SET**  
2/1/2000

**ASHFORD PLACE AT NATOMAS PARK**  
**SACRAMENTO, CALIFORNIA**

BLOODGOOD SHARP RUSTER ARCHITECTS & PLANNERS, INC.

NO.	DATE	REVISION

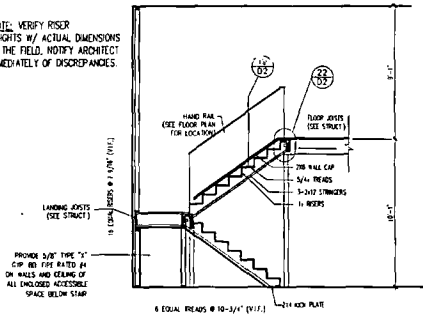
PLAN 174

SHEET NO.	3.28
TOTAL SHEETS	3.28

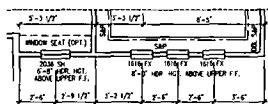
**P00-016**  
RECEIVED 2-08-00



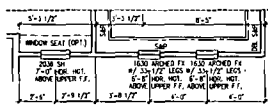
NOTE: VERIFY RISER HEIGHTS W/ ACTUAL DIMENSIONS IN THE FIELD. NOTIFY ARCHITECT IMMEDIATELY OF DISCREPANCIES.



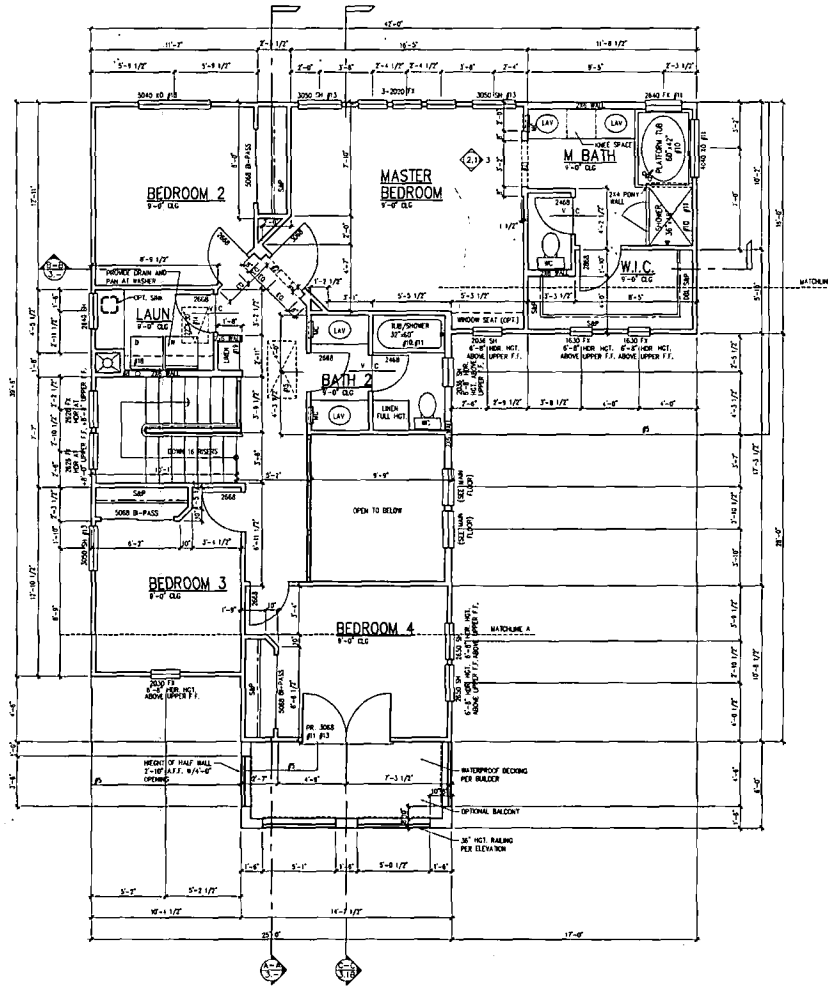
STAIR SECTION  
SCALE: 1/4" = 1'-0"



ELEVATION B  
PARTIAL UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ELEVATION A  
PARTIAL UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ELEVATION C  
UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES:

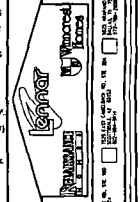
1. SPECIAL CONSTRUCTION ACCESSIBLE.
2. FLOOR CONSTRUCTION:
  - a. FLOOR CONSTRUCTION: 1 1/2" FLOOR CONCRETE OVER 1 1/2" FLOOR JOISTS AS NOTED ON STRUCTURAL DRAWINGS.
  - b. FLOOR FINISH: PER ENERGY DOCUMENTATION.
  - c. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - d. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - e. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - f. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - g. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - h. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - i. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - j. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - k. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - l. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
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  - n. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - o. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - p. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - q. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - r. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - s. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - t. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - u. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - v. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - w. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - x. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - y. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
  - z. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
3. FLOOR FINISH: PER ENERGY DOCUMENTATION.
4. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.
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20. FLOOR JOISTS: 2x8 ON 16" OC PER. HCT. ABOVE UPPER F.F. AS NOTED ON STRUCTURAL DRAWINGS.

SQUARE FOOTAGES	
MAIN FLOOR	1145
UPPER FLOOR	1145
TOTAL	2290
OPTION #1	
OPTION #2	
OPTION #3	
OPTION #4	
OPTION #5	
OPTION #6	
OPTION #7	
OPTION #8	
OPTION #9	
OPTION #10	
OPTION #11	
OPTION #12	
OPTION #13	
OPTION #14	
OPTION #15	
OPTION #16	
OPTION #17	
OPTION #18	
OPTION #19	
OPTION #20	



240 DOUGLAS BLVD. STE. 200  
ROCKVILLE, CA 94601  
916 778-4300

PERMIT SET  
2/11/2000



ASHFORD PLACE AT NATOMAS PARK  
SACRAMENTO, CALIFORNIA

SHEET TITLE	
UPPER FLOOR PLAN	2-2
PARTIAL FLOOR PLAN	
STAIR SECTION	

P00-016  
RECEIVED 2-08-00





January 26, 2000

Mr. Pete Winn  
Winncrest Homes  
2240 Douglas Boulevard, Suite 250  
Sacramento, CA 95661

**RE: Design Review – Winncrest Homes – Natomas Park  
Northborough 1**

Dear Pete:

The plans you submitted for Northborough 1 have been reviewed by the Natomas Park Design Review Committee. We would like to compliment you on these plans. The attention to detail on the elevations and garage layouts will be a unique addition to Natomas Park. The submitted items, listed below, are approved with the following conditions:

Floor plans & Elevations

Floor plans are approved as submitted.

Exterior elevations approved with following conditions:

1. Please provide side and rear yard elevations for all of the plans. Several of the plans were lacking the side and rear yard elevations.
2. Homes with back or sides to streets, parks, open space and schools need to continue trim along visible side of house, as noted on plans. Please provide "pop-outs" around windows and doors rather than a change in paint color and stucco scoring.
3. Materials shall wrap on the sides of the homes, as noted on the plans.
4. The accent materials shown on plans are to be standard materials, not options.
5. Driveways shall have a pattern of score lines that will create a pleasing texture compatible with the architecture.
6. Please include shutters on the front bedroom of Plan 172-Monterey

In addition to these conditions, we recommend that any roof projections (i.e.: vents, pipes) be located in the back of the home, not visible from the street.

Landscape Plans

Please submit landscape plans for DRC approval.

Site/Lot Plans – Including lot coverage, setbacks and building square footage

Please submit Site/Lot plans for DRC approval.

We believe that the appearance of the streetscape is a critical element in achieving an attractive community. For this reason, we request that you stagger your home setbacks to create an open and diverse streetscape.

Exterior colors and Materials

Exterior colors, masonry samples and roof tile samples are approved as submitted.

Please be aware that the adopted guidelines require diversity in streetscape, i.e.: variation of colors and elevations. Please provide evidence during the project development of achieving the required diversity.

Your model home complex site plan, neighborhood identification signage and/or monumentation is also subject to approval by the NPDRC. Please submit for review when available.

Your plans were reviewed for compliance with the Design Review Handbook. You are responsible to ensure that the plans are in compliance with the City of Sacramento Zoning Code and all applicable building codes. Compliance with the City of Sacramento Zoning Code includes compliance with building setback and lot coverage standards.

For your reference, please find enclosed the garage mitigation compliance form and a checklist that we used during our review. Please give me a call should you have any questions.

Respectfully,


LENNAR COMMUNITIES



Don Barnett  
Community Planning Manager

Cc: DRC file

By signing below, you acknowledge your acceptance of these comments and conditions, and you agree to comply with them.



Pete Winn

1-27-2000

Date

## DESIGN REVIEW CHECKLIST

BUILDER:

Winncrest Homes

VILLAGE:

Northborough Village 1

### ARCHITECTURAL ITEMS

#### **Porches**

Minimum size 5 ft. deep x 8 ft. long

#### **Garages**

If 3 or more cars, garage doors not in same plane

All garage doors shall have minimum 6" recess from frame

#### **Roof Pitch**

Minimum shall be 5 ft. vertical in 12 ft. horizontal

Due to the varied and interesting architectural styles, 4:12 roof pitch is approved on certain plans as submitted

#### **Material Changes**

Changes must occur at reverse corners or return on a side wall towards the privacy screen

Side wall return shall be no less than 4 ft, unless material being used to create column effect

### LANDSCAPE ITEMS

NOT SUBMITTED YET

#### FRONT YARD:

#### **Street Trees**

One 15-gal per 30 linear ft. of street, 4 ft. from back of walk

#### **Ground Cover Edge**

At least 3 laminated 3/8" x 4" redwood benderboard

#### **Ground Cover to Turf**

2/3 front yard turf, 1/3 ground cover and shrubs

#### **Accent Tree**

One per front yard, min. 15 gal.

#### **Specimen Shrubs**

Min. one per front yard, min. 5 gal.

#### **Foundation and Accent Shrub Mix**

Min. 20 per front yard, min. 1 gal.

**Ground Cover from Flats**  
Max. spacing 12" on center

**Turf from Sod**  
Dwarf Fescue, Bluegrass Blend 95/5

**Decorative Bark**  
Required in all ground cover areas, max. size 3/4"

**SIDE YARD:**

**Accent Trees**  
Min. 3 per side yard, min. 15 gal.

**Specimen Shrub**  
Min. 1 per side yard, min. 5 gal.

**Ground Cover**  
Max. spacing 12" on center

**Turf from Sod**  
Dwarf Fescue, Bluegrass Blend 95/5

**Decorative Bark**  
Max. size 3/4"

**SITE/LOT PLAN ITEMS**

NOT SUBMITTED YET

**SETBACKS:**

**Porch**  
Min. 16 ft. from front property line

**Front of Building**  
Min. 18 ft. from front property line, excluding porch

**Side Yard**  
Min. 5 ft. on each side (Bay windows, fireplaces, etc. may encroach 2 ft.)  
Min 10 ft. sideyard setback adjacent to street

**Rear Yard**  
Min. 15 ft.

**Garage**  
Min. 20 ft. from property line for front or street side driveways  
Min. 16 ft. from property line for side entry garages

**Projections and Bays**

Can encroach up to 3 ft. into front yard building setback

Can encroach up to 2 ft. into side yard building setback

Not allowed within the min. 14 ft. setback.

**Screening and Fences**

Fences adjacent to park site, open space or school - galvanized steel posts

Fence attachment to pilasters on corners: 90 degree, then 45 degree to fence extended from house

**ADDITIONAL APPROVAL LETTER ITEMS:**

List submittal items still needed

Garage mitigation needed, if any

Homes with back or side to streets need to continue trim along visible side of house

Wall and fence conditions, if any

Driveway surface shall have pattern of score lines to create pleasing texture

Confirm that accent materials shown (i.e.: shutters, columns, trim, siding, etc.) are standard, not options

## GARAGE MITIGATION COMPLIANCE

BUILDER/NEIGHBORHOOD: Winncrest Homes-Northborough Village 1

% compliance  
of total  
# of homes

PLAN	A	B	C	D	
171	garage recessed behind porch and living area  full credit	garage recessed behind porch and living area  full credit	garage recessed behind porch and living area  full credit		25%
172	garage recessed behind porch and living area  full credit	garage recessed behind porch and living area  full credit	garage recessed behind porch and living area  full credit		25%
173	garage recessed behind porch and living area  full credit	garage recessed behind porch and living area  full credit	garage recessed behind porch and living area  full credit		25%
174	garage recessed behind porch and living area  full credit	garage recessed behind porch and living area  full credit	garage recessed behind porch and living area  full credit		25%

TOTAL COMPLIANCE %:

100%

Exhibit 11: Letter of Agreement

**PLANNING DIRECTOR'S SPECIAL PERMIT  
FOR SINGLE FAMILY RESIDENTIAL IN A PUD  
LETTER OF AGREEMENT**

**P00-016: LENNAR RENAISSANCE - Northborough VILLAGE 1**

**PROJECT NAME/FILE #:** Lennar Renaissance - Northborough Village 1 (96 Units total), P00-016

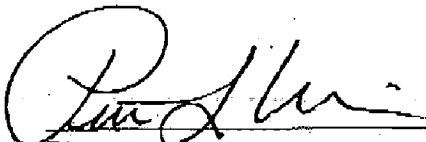
**ASSESSOR'S PARCEL NUMBER(S):** 201-040-001 to 096

**ZONING:** R-1A-PUD

**APPLICANT'S NAME/ADDRESS:** Lennar Renaissance. (Pete Winn)  
2240 Douglas Boulevard, #250, Roseville, CA 95661  
(916) 773-7471, fax (916) 773-4606

PETER L. WINN (please print and include title).  
I agree to amend the project application, P00-016, to incorporate the attached PDSP Conditions of Approval dated March 6, 2000.

I acknowledge that this project, P00-016, is subject to these PDSP Conditions of Approval. These PDSP Conditions of Approval will establish responsibilities for the monitoring of my project by various City Departments, and by other public agencies under the terms agreed upon in the PDSP Conditions of Approval. I understand that the PDSP Conditions of Approval for my project may require the expenditure of owner/developer funds where necessary to comply with the provisions of said PDSP Conditions of Approval

  
Signature

DIRECTOR OF OPERATIONS  
Title

3/10/00  
Date