



10.3

DEPARTMENT OF
PLANNING AND DEVELOPMENT

CITY OF SACRAMENTO
CALIFORNIA

1231 I STREET
SACRAMENTO, CA

June 4, 1992

ADMINISTRATION
ROOM 300
95814-2987
916-449-5571

City Council
Sacramento, California

APPROVED
BY THE CITY COUNCIL

JUN 04 1992

OFFICE OF THE
CITY CLERK

ECONOMIC DEVELOPMENT
ROOM 300
95814-2987
916-449-1223

NUISANCE ABATEMENT
ROOM 301
95814-3982
916-449-5948

Honorable Members in Session:

- SUBJECT:
1. NEGATIVE DECLARATION
 2. MITIGATION MONITORING PLAN
 3. TWO YEAR TIME EXTENSION FOR A TENTATIVE MAP TO SUBDIVIDE 4.5± ACRES INTO 20 SINGLE FAMILY AND SIX HALF PLEX LOTS IN THE R-1 ZONE (P91-278)

LOCATION: Northwest corner of Dry Creek Road and Jessie Avenue
DISTRICT NO. 2

Owner: Kris & Dorothy La Point, 1061 Ski Park Court, Rio Linda, CA 95673
Applicant: Glenn F. Williams & Associates, 6020 Rutland Dr. #19, Carmichael, CA 95608

SUMMARY

This request is for a Two Year Time Extension for a Tentative Map to subdivide 4.5± acres into twenty single family lots and six halfplex lots in the R-1 Zone. This is the first time extension request. Planning Staff recommends approval of the extension to April 28, 1993.

VOTE OF THE SUBDIVISION REVIEW COMMITTEE

The Subdivision Review Committee voted to recommend approval of the map extension.

RECOMMENDATION

The Planning Staff recommends the City Council take the following actions:

1. Ratify the Negative Declaration;
2. Adopt the attached resolution which approves the Mitigation Monitoring Plan;
3. Adopt the attached resolution which approves the Tentative Map time extension to April 28, 1993.

BACKGROUND

The subject site consists of 4.5± acres and is zoned Standard Single Family (R-1). The General Plan designates the site Residential (4-15 du/na) and the North Sacramento Community Plan designates the site Residential (7-15 du/na). The proposal has 7.4 units per acre.

The City Council approved the original Tentative Map on April 28, 1988. The current request is for a Two Year Time Extension for a Tentative Map to subdivide 4.5± acres into twenty Single Family lots and six halfplex lots in the (R-1) Zone. The Planning Staff recommends approval of the request.

FINANCIAL DATA

Not applicable.

POLICY MATTERS

This project is consistent with the General Plan and North Sacramento Community Plan. This is the first time extension request. The State Map Act allows a total of six years for a map.

MBE/WBE EFFORTS

Not applicable.

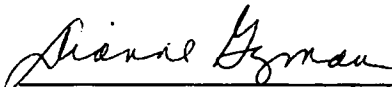
Respectfully submitted,



GARY L. STONEHOUSE
Planning Director

FOR CITY COUNCIL INFORMATION:
WALTER J. SLIPE
CITY MANAGER

APPROVED:



DIANNE GUZMAN, AICP
Director of Planning & Development

Contact Person:

Will Weitman, Principal Planner
(916) 264-5604

June 4, 1992
District No. 2

DG:GS:WW:vr
b:\cc6-04\P91-278.te
Attachments

RESOLUTION NO. 92-389

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

MITIGATION MONITORING PLAN FOR P91-278 DRY CREEK ACRES FOR A TENTATIVE MAP TO SUBDIVIDE 4.5+ PARTIALLY DEVELOPED ACRES INTO 20 SINGLE FAMILY AND SIX HALFPLEX LOTS AT THE INTERSECTION OF DRY CREEK ROAD AND JESSE AVENUE IN THE NORTH SACRAMENTO COMMUNITY PLAN AREA. (APN: #237-0140-056)

WHEREAS, the City Council held a public hearing to review the above described project;

WHEREAS, the above described project has been given a Negative Declaration by the Environmental Coordinator; and

WHEREAS, the proposed Negative Declaration finds that the proposed project will not have a significant effect on the environment because mitigation measures have been added to the project; and

WHEREAS, in accordance with Section 21081.6 of the California Public Resources Code, the City of Sacramento requires that a Mitigation Monitoring Plan be developed for implementing mitigation measures as identified in the Initial Study for the project; and

WHEREAS, the applicant for the project has agreed to the provisions of the Mitigation Monitoring Plan as indicated on the Agreement contained in the attached Mitigation Monitoring Plan.

APPROVED
BY THE CITY COUNCIL
JUN 04 1992
OFFICE OF THE
CITY CLERK

FOR CITY CLERK USE ONLY
16

RESOLUTION NO.: _____

DATE ADOPTED: _____

(H)

6-4-92
10.3

Recording
Not
Required

-
-
-
-
-

MITIGATION MONITORING PLAN

FOR

DRY CREEK ACRES / P91-278

Initial Study

Prepared By:
City of Sacramento Environmental Services Division
December 4, 1991

Adopted By:
City of Sacramento City Council

Date: June 5, 1992

Aune Kuden
MAYOR

Marie P. Burrows
City Clerk

CITY OF SACRAMENTO

MITIGATION MONITORING PLAN

This Mitigation Monitoring Plan has been required and prepared by the Department of Planning and Development, Environmental Services Division, 1231 I Street, Suite 301, Sacramento, CA 95814, (916)449-2037, pursuant to California Environmental Quality Act Guidelines Section 21081.

SECTION 1: PROJECT IDENTIFICATION

Project Name / File Number: Dry Creek Acres / P91-278
Applicant - Name: Kris and Dorothy La Point
Address: P.O. Box 2086
Granite Bay, CA 95746

Project Location / Legal Description of Property (if recorded):

All that portion of Lot 48, Subdivision section 11, Rancho Del Paso, R.M. Bk. 14, Pg. 5, Sacramento County, California. Description as follows: The South 307.00 feet of said Lot 48. Excepting therefrom the North 75.00 feet of the East 215.00 feet thereof.

SECTION 2: GENERAL INFORMATION

The project as approved includes mitigation measures placed on Cultural Resources. The intent of the Plan is to prescribe and enforce a means for properly and successfully implementing the mitigation measures as identified within the Negative Declaration for this project. Unless otherwise noted, the cost of implementing the mitigation measures as prescribed by this Plan shall be funded by the applicant identified above.

SECTION 3: PLAN CONTENTS

A: Tree Preservation Plan

- A. **The mature Catalpa located on the eastern section of the site plan shall be preserved. The tree shall be identified for preservation on the final subdivision map.**
- B. **In order to replace the trees removed along Dry Creek Road and on the eastern portion of the site, a total of five replacement trees, minimum of 24 inch box in size, shall be provided for by the applicant. Acceptable species include Sycamore, Tupelo, or similar species approved by the City Arborist. A planting plan identifying the species type and location shall be presented as part of the final map approval process. Trees shall be planted and established prior to issuance of a Certificate of Occupancy for the homesites fronting on Dry Creek Road.**

ENTITY RESPONSIBLE FOR ENSURING COMPLIANCE

Department of Planning and Development, City of Sacramento
Department of Public Works, City of Sacramento

MONITORING PROGRAM

Prior to the issuance of any Building Permit, the Building Division shall require that the project plans incorporate tree protection measures as specified above and by the following:

- A six foot high construction barrier shall be installed around the dripline of all trees to be saved, prior to the commencement of any work on the site. No surface or grade changes, parking of vehicles, installation of incompatible landscaping, trenching for utility or irrigation lines, or storage of materials shall occur within the dripline of these trees. These trees and protective measures shall be noted on the grading and improvement plans for the subdivision and on project plans submitted for Building Permits.

Prior to the issuance of a Notice to Proceed, the Public Works Department shall require that the project plans incorporate the tree protection measures as specified by the above paragraph.

If any protective barriers are penetrated, moved or removed as a result of construction activities, the Building Division/Public Works Department shall require the developer to provide an analysis from a certified arborist identifying the condition of the affected trees. In such a case, the responsible City department shall be that department with responsibility for inspection of the particular component of the project which is affected by the discovery.

In the event that any protective barriers are penetrated, moved or removed as described above, the responsible City department shall require that all work within the driplines of affected trees, as shown on the original project plans, be ceased. The responsible City department shall verify the accuracy of the required arborist report by referring the report to the Environmental Services Division for review. If the trees are determined to be damaged or removed as a result of construction activities, the Building Division/Public Works Department shall require that alternative mitigation measures be developed and implemented subject to approval by the Environmental Services Division. The Building Division/Public Works Department shall require the approved alternative measures to be incorporated into the project plans, prior to resumption of work with the affected area.

In the case of additional review as required above, the developer shall deposit with the City, adequate funds as determined by the Environmental Services Division, to provide funding for City review of revised mitigation measures and monitoring program provisions. These funds will be deposited prior to resumption of work within the affected area.

Documentation of completion of the required mitigation measures shall be placed in the project record by the applicable City Entity as follows:

- The Building Division shall document implementation of all mitigation measures prior to issuance of final building permits, a Certificate of Occupancy or a Certificate of Compliance for the project.
- The Public Works Department shall document implementation of all mitigation measures prior

to the issuance of a Notice of Completion.

B: Noise Exposure

General:

- A. All penetrations of exterior walls shall include a 1/2" airspace. This space shall be filled loosely with fiberglass insulation. The space shall then be sealed airtight on both sides of the wall with a resilient, non-hardening caulking or mastic.
- B. Window or through-the-wall ventilation and air conditioning units shall not be permitted.
- C. All sleeping spaces shall be provided with carpet and pad.
- D. There shall be no through-the-door or through-the-wall mail or paper chutes.
- E. Exterior walls shall have a minimum STC rating of 46.
- F. For surfaces finished with wood siding, a minimum 1/2" sheathing shall be nailed on the outside face of the 2"x 4" wood stud construction. The top and bottom edges of the sheathing shall be sealed with the resilient caulking. The sheathing shall be butted tightly together and covered with a minimum 15 lb. felt paper. The siding shall be fastened to the sheathing and sealed at the perimeter. The sheathing and finish material shall have a minimum weight of 3 lbs./sq. ft.
- G. For surfaces finished with 7/8" dense stucco, stucco will be applied over 15 lb. felt paper and 1" wire mesh fastened to the studs. All seams at the top and bottom are to be sealed.
- H. For surfaces finished with wood siding, a minimum 1/2" gypsum board shall be screwed to resilient channels which have been screwed to the wood studs at a maximum 24" on center.
- I. Windows shall have an air infiltration rate of less than or equal to 0.20 CFM/lin. ft. when tested with 25 mile per hour wind.
- J. **Living/Dining Room**
 - a. Windows shall have a minimum STC rating of 29.
 - b. Window shall not be operable
- K. **Master Bedroom & Bedroom #2**
 - a. Windows, maximum 16 sq. ft., shall have a minimum STC rating of 29, Except Lot #3.
 - b. Windows shall have a minimum STC rating of 34, for Lot #3.
- L. **Bedroom #3**
 - a. Windows, maximum 20 sq. ft., shall have a minimum STC rating of 34.



- b. Windows shall have a minimum STC rating of 29 if maximum size is 16 sq. ft.
- M. **Kitchen**
- a. Window above sink shall have a minimum STC rating of 29.
 - b. Windows at nook shall have a minimum STC rating of 34.
- N. **Master Bathroom**
- a. Window shall have a minimum STC rating of 29.
- O. Sliding glass doors shall have a minimum STC rating of 29. Air infiltration rates shall not exceed those given for window. Glass shall be minimum 1/4" thick.
- P. Other exterior doors shall be a maximum 3'x6'8".
- Q. Exterior doors shall have a minimum STC rating of 30 including any lites and shall include complete door seals. The door shall be solid core.
- R. The combined roof and ceiling shall have an STC rating of 45 or better.
- S. The roof shall be constructed using a minimum 1/2" sheathing, 15 lb. felt paper, and composition shingles.
- T. Skylights shall not be used.
- U. A HVAC system shall be installed that will provide minimum air circulation and fresh air requirements.
- V. Gravity vent openings in attic space shall not exceed code minimums in number and size. The openings shall be fitted with transfer ducts at least 3' in length and shall be lined with 1" duct liner full length. Each duct shall include a lined 90 degree bend such that there is no direct line of sight from the exterior through the duct into the attic.
- W. If a fan is used for forced ventilation, the attic inlet and discharge openings shall be fitted with sheet metal transfer ducts of at least 20 gauge galvanized steel. The duct shall be a minimum of 6' long and lined for its entire length with 1" duct liner. Each duct shall include a lined 90 degree bend to prevent direct line of sight.
- X. All exhaust fans connecting the interior to the exterior shall be connected with a minimum 10' duct, lined with 1" fiberglass liner and containing one 90 degree bend with the exception of the kitchen range exhaust.
- Y. Domestic range exhaust ducts connecting the interior space to the outdoors shall contain a baffle plate across the exterior termination which allows proper ventilation. The dimensions of the baffle plate should extend at least one diameter beyond the line of sight into the vent duct. The baffle plate shall be of the same material and thickness as the vent duct material.

ENTITY RESPONSIBLE FOR ENSURING COMPLIANCE

Department of Planning and Development, City of Sacramento

MONITORING PROGRAM

Prior to issuance of any Building Permit, the Building Division shall require that the approved construction plans incorporate all applicable noise attenuation measures. The Building Division shall also require that site inspections are included on the Special Conditions Attachment. Prior to issuance of any Final Permits, Certificate of Occupancy, or Certificate of Compliance, the Building Division shall require full compliance and completion of the specified noise attenuation measures.

C: Cultural Resources

If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work shall stop immediately and a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction continues.

ENTITY RESPONSIBLE FOR ENSURING COMPLIANCE

Department of Planning and Development, City of Sacramento

Department of Public Works, City of Sacramento

MONITORING PROGRAM

Both the subdivision improvement plans and the building permit plans shall include notes stating that if subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, all work within 50 meters of the affected area shall stop immediately. The construction plans for the project shall include the phone number of the City inspector to be contacted in the event of such a discovery. The plans shall note that a qualified archaeologist and a representative of the Native American Heritage Commission shall be consulted in the event that any archaeological materials are found.

Site inspections by the Building Division and the Department of Public Works shall watch for any potential archaeological resources during site visits. A Site Conditions Unit staff person/resident engineer in the Building Division/Public Works Department and a representative of the Environmental Services Division shall be notified in case of an archaeological discovery. The Building Division shall include this measure as a random inspection item on the Special Conditions Attachment.

If subsurface archaeological or historical remains (including unusual amounts of bones, stones, or shells) are discovered during excavation or construction of the site, work within 50 meters of the affected area shall stop immediately. The developer shall contact a qualified archaeologist and a representative of the Native American Heritage Commission to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less-than-significant level before construction within the affected area continues. The City department responsible for inspection and approval of the construction project shall verify the adequacy of the proposed

mitigation measures by referring the mitigation plans to the Environmental Services Division for approval. A six foot high construction barrier shall be placed around the affected area until such mitigation measures have been implemented.

NOW THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Mitigation Monitoring Plan for the Dry Creek Acres, (P91-278) project be approved and adopted as shown in the attached Mitigation Monitoring Plan dated December 4, 1991.

MAYOR

ATTEST:

CITY CLERK

P91-278

FOR CITY CLERK USE ONLY

17

RESOLUTION NO.: _____

DATE ADOPTED: _____

5

92-390

Revised 6/4/92**

RESOLUTION NO. 92-390

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A TENTATIVE MAP FOR PROPERTY LOCATED AT THE NORTHWEST CORNER OF DRY CREEK ROAD AND JESSIE AVENUE

(P91-278) (APN: 237-0140-056)

WHEREAS, the City Council on , held a public hearing on the request for approval of a tentative map for property located at the above described location;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Service Manager has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration (refer to Initial Study Discussion in the Planning Commission File No. P91-278);

WHEREAS, the City Planning Commission and/or Planning staff has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

FOR CITY CLERK USE ONLY

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein, as follows:
 - A. An Initial Study was conducted by the Environmental Coordinator in order to evaluate the potential for adverse environmental impact;
 - B. There is no evidence before the City to indicate that the proposed project will have any potential for adverse effect on wildlife resources.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provision for its design and improvement, is consistent with the City's General Plan and the North Sacramento Community Plan which designates the site for residential use(s).
4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
 - a. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
 - b. Prepare a sewer and drainage study for the review and approval of the City Engineer; may require off-site extensions ad/or oversizing;
 - c. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____ **5**

- d. Pursuant to City Code Section 40.1302 (parkland dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the Final Map. (.3784 ac.)
- e. Meet all County Sanitation District requirements;
- f. Submit a soils test prepared by a registered engineer to be used in street design;
- g. Provide 12 feet of paving on south side of Jessie Avenue and 15 feet of pavement on east side of Dry Creek Road;
- h. Dedicate Springtime and Morning Dew to a 50 foot right-of-way for 150 feet from Jessie Avenue;
- i. Dedicate a standard 12.5 foot Public Utility Easement for underground electrical facilities and appurtenances adjacent to Springtime Drive, Morning Dew Drive and Jessie Avenue;
- j. Dedicate a 12.5 foot Public Utility Easement for underground and overhead electrical facilities and appurtenances adjacent to Dry Creek Road;
- k. Submit an acoustical report prepared by a registered acoustical engineer verifying consistence with the Sacramento General Plan and California Administrative Code, Title 25, to the satisfaction of City/County Health Department and City Planning Director;
- l. Dedicate right-of-way along Jessie Avenue to a 27 foot half-section;
- m. Dry Creek Road shall be dedicated to 30 foot half-section and constructed to a standard 27 foot half street section;
- n. Extend off-site sewer line if Bell Avenue sewer has not been constructed to the Dry Creek Interceptor in Rio Linda Boulevard. Developer shall construct said sewer per plans on file with the Public Works Department. If sewer is under construction and Bell Avenue A/D has not been formed,

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____

developer shall join sewer A/D and/or provide fair share of costs. If sewer has been previously constructed, developer shall pay fair share of district costs to be used for necessary pavement overlay on work on Dry Creek Road and Bell Avenue to the satisfaction of the Public Works Department;

- o. Abandon existing septic tank, if necessary, to the satisfaction of Building Inspections.
- * p. Notice: Property to be subdivided in accordance with this map may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. Base flood elevations are contained in the U.S. Army Corps of Engineers Flood Insurance Study Working Map for the Sacramento Community, dated January 1989, available for review at the City of Sacramento's Department of Public Works, Development Services Division, 927 10th Street, Room 100;
- * q. Prior to recordation of the Final Map, applicant shall negotiate with the Robla School District, a written agreement in satisfaction of the proposed subdivision's school facilities impacts on the District, as mutually agreed to by the applicant and the District, subject to ratification by the District's Board of Trustees.
- * r. Individual dwellings shall be subject to Design Review Board staff approval prior to the issuance of a building permit. If models are provided for the subdivision, only the model homes shall require approval.
- ** s. The applicant/owner shall remove all debris and fallen trees from the property within 60 days or by August 7, 1992.

MAYOR

ATTEST:

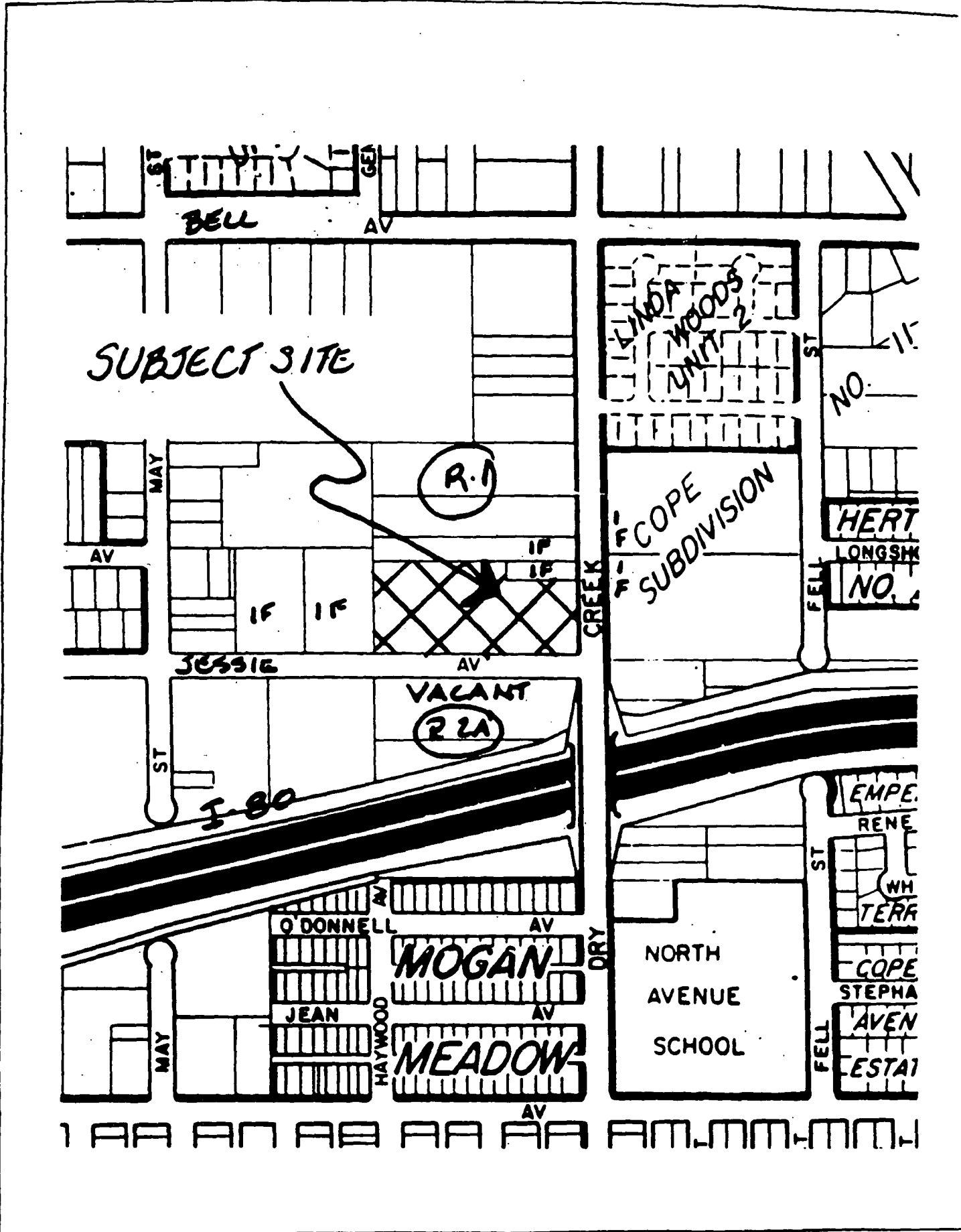
CITY CLERK

* revised 6/4/92 by staff
** revised 6/4/92 cc

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____ 7



SUBJECT SITE

R-1

VACANT
R-2A

MOGAN

MEADOW

SCOPE
SUBDIVISION

LINDA
WOODS
UNIT 2

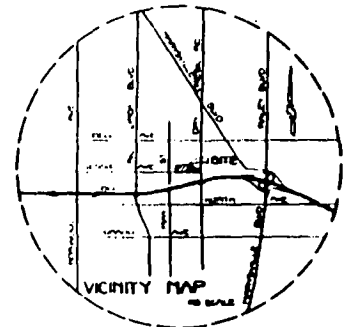
NORTH
AVENUE
SCHOOL

HERT
LONGSH
NO.

EMPE.
RENE
WH
TERR
COPE
STEPHA
AVEN
ESTA1

VICINITY - LAND USE - ZONING

TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
 A PORTION OF SECTION 11 OF RANGE 02 DEL PASO
 T2S R12E IN BOOK 21 OF MAPS PAGE 94
 SACRAMENTO CALIFORNIA
 FEBRUARY, 1988 SCALE: 1"=60'

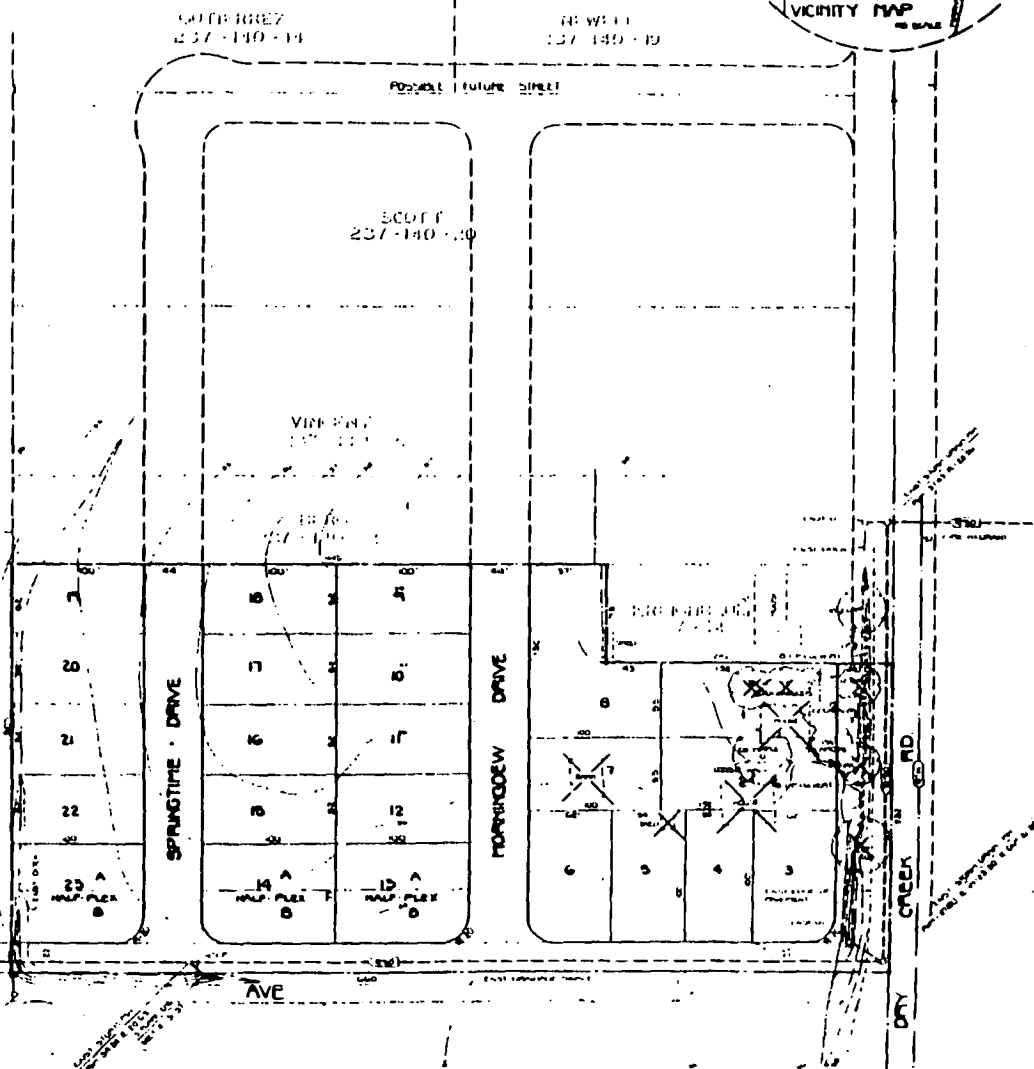


OWNER / DEVELOPER
 HNS & COMPANY LAPOINT
 PO BOX 18822
 SAN DIEGO, CA 92160 - PH (619) 450-3775

GLENN WILLIAMS - CIVIL ENGINEERING & SURVEYING
 6000 OUTLAND DRIVE, SUITE 11
 OAKLAND, CA 94660 - PH (415) 331-4336

GENERAL NOTES:
 ASSUMEDS PER ALL TO ESTIMATED
 ACRES: 4.4 ACRES
 DENSITY: 6 UNITS PER ACRE
 TOTAL NO OF LOTS: 28
 ZONING: R-1
 PROPOSED ZONING: R-1
 EXISTING USE: SINGLE FAMILY RESIDENCES
 PROPOSED USE: SINGLE FAMILY 60 MAX. AREA RESIDENCES
 MINIMUM LOT SIZE: 5000 SQ. FT.
 SEWER SERVICE: CITY OF SACRAMENTO
 WATER SUPPLY: CITY OF SACRAMENTO
 FIRE PROTECTION: CITY OF SACRAMENTO
 ELECTRIC SERVICE: S.F.U.D.
 GAS SUPPLY: PG&E
 TELEPHONE SERVICE: PACIFIC BELL
 SCHOOL DISTRICT: NODIA
 PARK DISTRICT: CITY OF SACRAMENTO

APPROVED TENTATIVE MAP
 FOR CINDY WOODS



HOLY CHURCH
 OF GOD
 237-140-49

MC NEELY
 237-140-48

HAYNES
 237-140-34

MC NEELY
 237-140-35

MC NEELY
 237-140-36

LAYONE
 237-140-33

LAYONE
 237-140-32

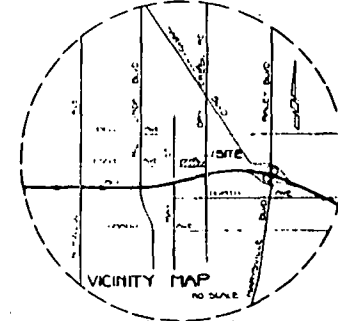
DATE	DESCRIPTION	BY	APP.	REVISIONS	SCALE	DATE	BY	APP.	PROJECT	TITLE	CITY	STATE
					AS SHOWN	01-09-73			DRY CREEK ACRES	SACRAMENTO	CALIFORNIA	

GAW GLENN WILLIAMS CIVIL ENGINEERING & SURVEYING
 6000 OUTLAND DRIVE, SUITE 11 OAKLAND, CA 94660 PHONE (415) 331-4336
 FEBRUARY 1988

TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
 CITY OF SACRAMENTO CALIFORNIA



TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
 A PORTION OF SECTION 11 OF RANCHO DEL PASO
 FILED IN BOOK 'A' OF MAPS PAGE 94
 SACRAMENTO CALIFORNIA
 FEBRUARY, 1988 SCALE: 1"=40'



OWNER / DEVELOPER
 MRS & DOROTHY LAFORT
 P.O. BOX 8986
 FARM OAKS, CA 95628 - PH (916) 480-9175

GLEN F. WILLIAMS - CIVIL ENGINEERING & SURVEYING
 6020 RUTLAND DRIVE, SUITE 19
 OAKMICHAM, CA 95608 - PH (916) 531-4336

GENERAL NOTES:
 ACCESSORY PARCEL NO: EST-140-26
 ACREAGE: 4.4 ACRES
 DENSITY: 6 UNITS PER ACRE
 TOTAL NO OF LOTS: 22
 EXISTING ZONING: R-1
 PROPOSED ZONING: R-1
 EXISTING USE: 2 SINGLE FAMILY RESIDENCES
 PROPOSED USE: 10 SINGLE FAMILY & 6 HALF-PLEX RESIDENCES
 MINIMUM LOT SIZE: 5200 SQ. FT.
 SEWER SERVICE: CITY OF SACRAMENTO
 WATER SUPPLY: CITY OF SACRAMENTO
 FIRE PROTECTION: CITY OF SACRAMENTO
 ELECTRIC SERVICE: S.M.U.D.
 GAS SUPPLY: PG & E.
 TELEPHONE SERVICE: PACIFIC BELL
 SCHOOL DISTRICT: R08LA
 PARK DISTRICT: CITY OF SACRAMENTO

APPROVED TENTATIVE MAP
 FOR CINDY WOODS

HOLY CHURCH
 OF GOD
 237-140-49

MC NEELY
 237-140-48

HAYNES
 237-140-34

MC NEELY
 237-140-35

MC NEELY
 237-140-36

LASYONE
 237-140-33

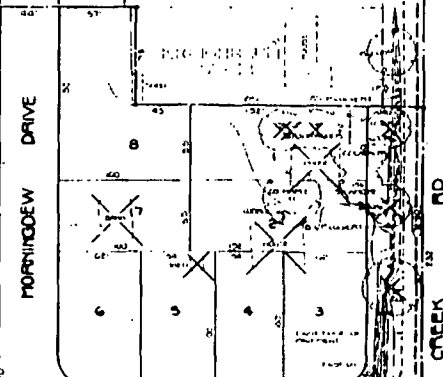
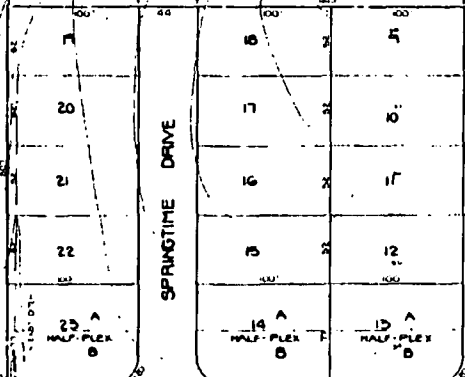
LASYONE
 237-140-26

VILLARREAL
 237-140-14

LEWEL
 237-140-10

SCOTT
 237-140-20

VINCENT
 237-140-11



JESSIE AVE

JESSIE AVE

DRY CREEK RD

NO.	DATE	DESCRIPTION	BY	APP.	BENCHMARK: BN 2310 elev. 2254.0

SCALE:	DESIGNED BY:	CHECKED BY:	DATE:
1"=40'			81-09-73

GAW GLEN F. WILLIAMS CIVIL ENGINEERING & SURVEYING
 6020 RUTLAND DRIVE, SUITE 19 OAKMICHAM, CA 95608 PHONE (916) 531-4336
 81-09-73

TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
 CITY OF SACRAMENTO CALIFORNIA

10.3

Revised 6/4/92

RESOLUTION NO. 92-390

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A TENTATIVE MAP FOR PROPERTY LOCATED AT THE NORTHWEST CORNER OF DRY CREEK ROAD AND JESSIE AVENUE

(P91-278) (APN: 237-0140-056)

WHEREAS, the City Council on , held a public hearing on the request for approval of a tentative map for property located at the above described location;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Service Manager has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration (refer to Initial Study Discussion in the Planning Commission File No. P91-278);

WHEREAS, the City Planning Commission and/or Planning staff has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

APPROVED
BY THE CITY COUNCIL

JUN 04 1992

OFFICE OF THE
CITY CLERK

FOR CITY CLERK USE ONLY

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein, as follows:
 - A. An Initial Study was conducted by the Environmental Coordinator in order to evaluate the potential for adverse environmental impact;
 - B. There is no evidence before the City to indicate that the proposed project will have any potential for adverse effect on wildlife resources.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provision for its design and improvement, is consistent with the City's General Plan and the North Sacramento Community Plan which designates the site for residential use(s).
4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
 - a. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code;
 - b. Prepare a sewer and drainage study for the review and approval of the City Engineer; may require off-site extensions ad/or oversizing;
 - c. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____

developer shall join sewer A/D and/or provide fair share of costs. If sewer has been previously constructed, developer shall pay fair share of district costs to be used for necessary pavement overlay on work on Dry Creek Road and Bell Avenue to the satisfaction of the Public Works Department;

- o. Abandon existing septic tank, if necessary, to the satisfaction of Building Inspections.
- * p. Notice: Property to be subdivided in accordance with this map may be subject to flooding. Interested parties should ascertain whether and to what extent such flooding may occur. The applicable base flood elevations for the property should be reviewed. Base flood elevations are contained in the U.S. Army Corps of Engineers Flood Insurance Study Working Map for the Sacramento Community, dated January 1989, available for review at the City of Sacramento's Department of Public Works, Development Services Division, 927 10th Street, Room 100;
- * q. Prior to recordation of the Final Map, applicant shall negotiate with the Robla School District, a written agreement in satisfaction of the proposed subdivision's school facilities impacts on the District, as mutually agreed to by the applicant and the District, subject to ratification by the District's Board of Trustees.
- * r. Individual dwellings shall be subject to Design Review Board staff approval prior to the issuance of a building permit. If models are provided for the subdivision, only the model homes shall require approval.

MAYOR

ATTEST:

CITY CLERK

* revised 6/4/92 by staff

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

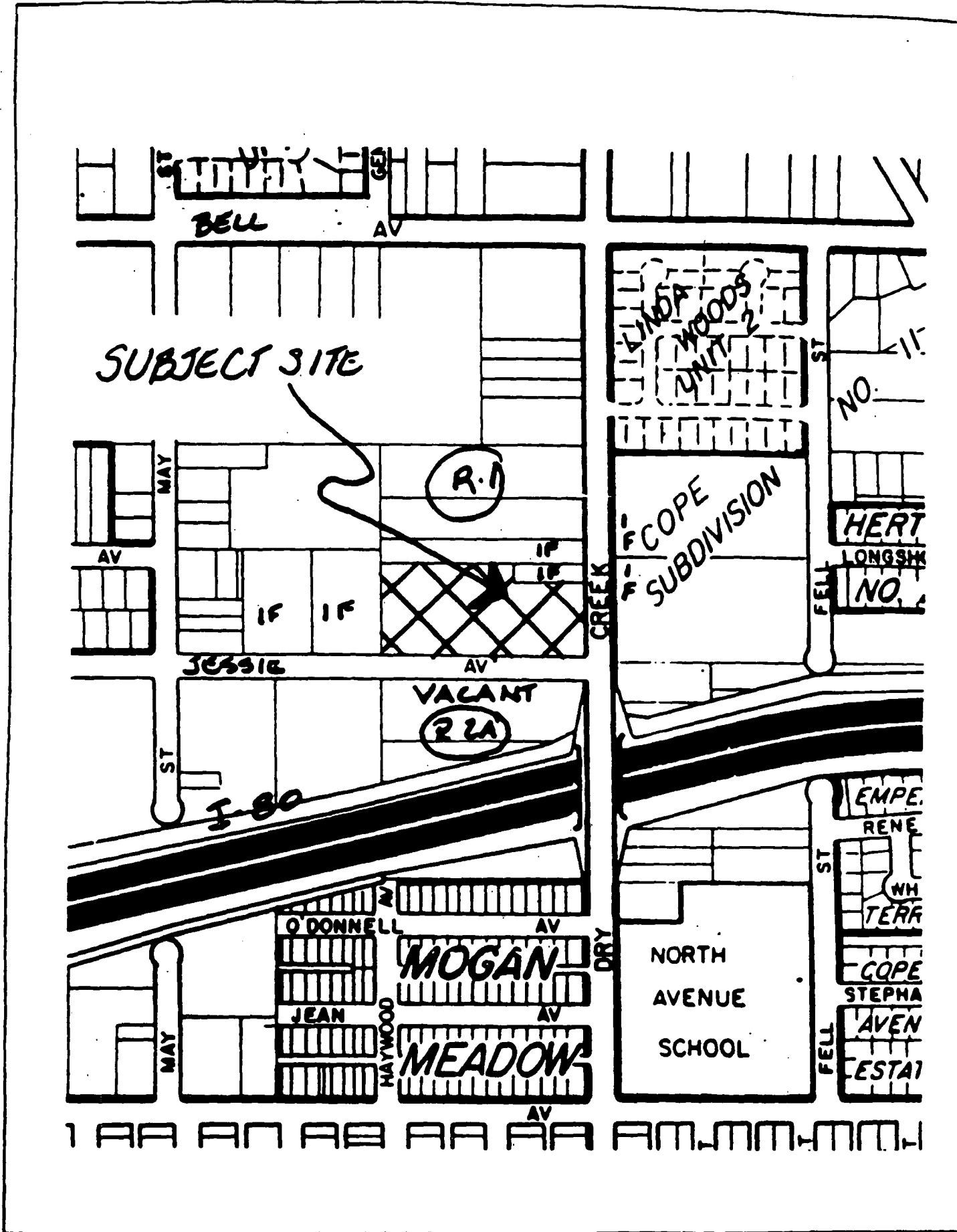
DATE ADOPTED: _____

- d. Pursuant to City Code Section 40.1302 (parkland dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the Final Map. (.3784 ac.)
- e. Meet all County Sanitation District requirements;
- f. Submit a soils test prepared by a registered engineer to be used in street design;
- g. Provide 12 feet of paving on south side of Jessie Avenue and 15 feet of pavement on east side of Dry Creek Road;
- h. Dedicate Springtime and Morning Dew to a 50 foot right-of-way for 150 feet from Jessie Avenue;
- i. Dedicate a standard 12.5 foot Public Utility Easement for underground electrical facilities and appurtenances adjacent to Springtime Drive, Morning Dew Drive and Jessie Avenue;
- j. Dedicate a 12.5 foot Public Utility Easement for underground and overhead electrical facilities and appurtenances adjacent to Dry Creek Road;
- k. Submit an acoustical report prepared by a registered acoustical engineer verifying consistence with the Sacramento General Plan and California Administrative Code, Title 25, to the satisfaction of City/County Health Department and City Planning Director;
- l. Dedicate right-of-way along Jessie Avenue to a 27 foot half-section;
- m. Dry Creek Road shall be dedicated to 30 foot half-section and constructed to a standard 27 foot half street section;
- n. Extend off-site sewer line if Bell Avenue sewer has not been constructed to the Dry Creek Interceptor in Rio Linda Boulevard. Developer shall construct said sewer per plans on file with the Public Works Department. If sewer is under construction and Bell Avenue A/D has not been formed,

FOR CITY CLERK USE ONLY

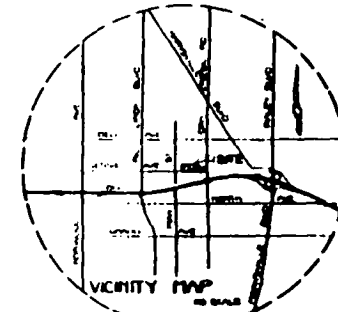
RESOLUTION NO.: _____

DATE ADOPTED: _____ **6**



VICINITY - LAND USE - ZONING

TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
 A PORTION OF SECTION 11 OF RANGE 10 DEL PASO
 FILED IN BOOK N OF MAPS PAGE 34
 SACRAMENTO CALIFORNIA
 FEBRUARY, 1988 SCALE: 1"=60'



OWNER / DEVELOPER
 1988 & DORIS LARSEN
 PO BOX 2880
 FORT GRANT, CA 95628 - PH (916) 430-8775

ALSO EMPLOYED - CIVIL ENGINEERING & SURVEYING
 6820 RUTLAND DRIVE, SUITE 11
 SACRAMENTO, CA 95820 - PH (916) 331-4336

GENERAL NOTES:
 1. RESUBDIVISION MAP NO. 127480-25
 2. ACRES: 6.4 ACRES
 3. DENSITY: 6 UNITS PER ACRE
 4. TRACT NO OF LOTS: 22
 5. EXISTING ZONING: R-1
 6. PROPOSED ZONING: R-1
 7. PROPOSED LOTS: 2 SINGLE FAMILY RESIDENCES
 8. PROPOSED LOTS: 10 SINGLE FAMILY 1 1/2 BATH-RM RESIDENCES
 9. PROPOSED LOT SIZE: 2800 SQ. FT.
 10. WATER SERVICE: CITY OF SACRAMENTO
 11. WASTE WATER SERVICE: CITY OF SACRAMENTO
 12. FIRE PROTECTION: CITY OF SACRAMENTO
 13. ELECTRIC SERVICE: S.F.U.D.
 14. GAS SUPPLY: P.O.E.
 15. TELEPHONE SERVICE: PACIFIC BELL
 16. SCHOOL DISTRICT: RUCDA
 17. PARK DISTRICT: CITY OF SACRAMENTO

APPROVED TENTATIVE MAP
 FOR CINDY WOODS

HAY CHURCH
 OF GOD
 237-140-49

MC NEELY
 237-140-48

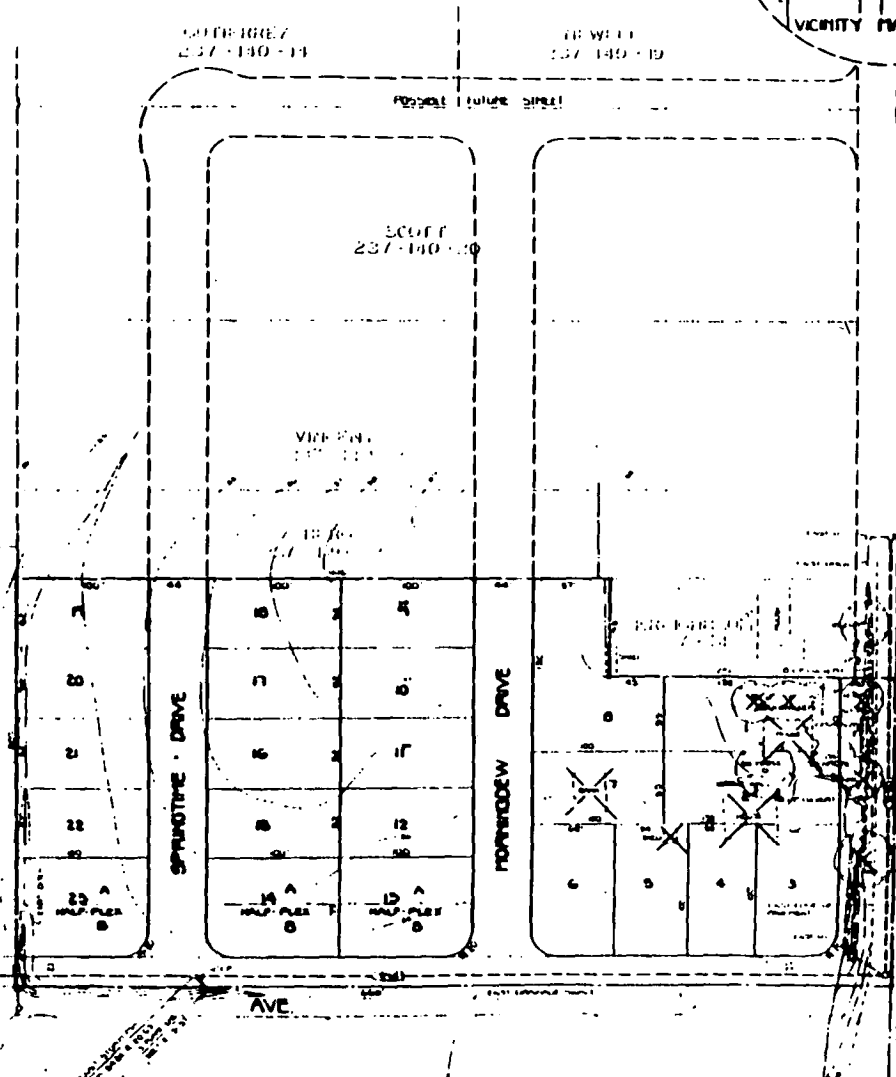
HAYNES
 237-140-34

MC NEELY
 237-140-35

MC NEELY
 237-140-36

LAYTONE
 237-140-33

LAYTONE
 237-140-32



Lot	Area	Area/acre	Lot	Area	Area/acre
1	0.17	0.17	11	0.17	0.17
2	0.17	0.17	12	0.17	0.17
3	0.17	0.17	13	0.17	0.17
4	0.17	0.17	14	0.17	0.17
5	0.17	0.17	15	0.17	0.17
6	0.17	0.17	16	0.17	0.17
7	0.17	0.17	17	0.17	0.17
8	0.17	0.17	18	0.17	0.17
9	0.17	0.17	19	0.17	0.17
10	0.17	0.17	20	0.17	0.17
11	0.17	0.17	21	0.17	0.17
12	0.17	0.17	22	0.17	0.17

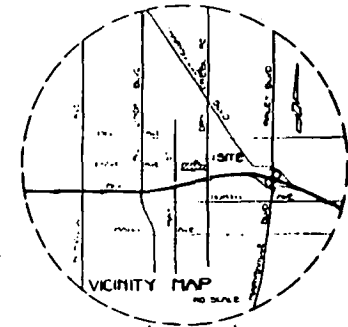
SCALE: 1"=60'
 DATE: 7-80
 PREPARED BY: GFW
 CHECKED BY: GFW
 DATE: 07-09-13
 GFW

GFW GLENNE WILLIAMS CIVIL ENGINEERING & SURVEYING
 6820 RUTLAND DRIVE, SUITE 11 SACRAMENTO, CA 95820
 (916) 331-4336

TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
 CITY OF SACRAMENTO CALIFORNIA

TENTATIVE SUBDIVISION MAP DRY CREEK ACRES

A PORTION OF SECTION 11 OF RANGE DEL PASO
FILED IN BOOK A OF MAPS PAGE 95
SACRAMENTO CALIFORNIA
FEBRUARY, 1988 SCALE: 1"=60'



OWNER / DEVELOPER

WES & DOROTHY LARSON
PO BOX 2885
P.O. BOX 2885 - PM (76) 180 - 2173
DUNSMUIR, CA 95628

GLEN WILLIAMS - CIVIL ENGINEERING & SURVEYING
6020 RUTLAND DRIVE, SUITE 10
DUNSMUIR, CA 95628 - PM (76) 331-4336

GENERAL NOTES:

- PROPOSED MAP NO: 137-140-36
- ACREAGE: 4.4 ACRES
- DENSITY: 6 UNITS PER ACRE
- TOTAL NO OF LOTS: 22
- EXISTING ZONING: R-1
- PROPOSED ZONING: R-1
- EXISTING USE: 2 SINGLE FAMILY RESIDENCES
- PROPOSED USE: 10 SINGLE FAMILY & 6 HALF-PLX RESIDENCES
- MINIMUM LOT SIZE: 5000 SQ. FT.
- SEWER SERVICE: CITY OF SACRAMENTO
- WATER SUPPLY: CITY OF SACRAMENTO
- FIRE PROTECTION: CITY OF SACRAMENTO
- ELECTRIC SERVICE: S.M.U.D.
- GAO SUPPLY: PG&E
- TELEPHONE SERVICE: PACIFIC BELL
- SCHOOL DISTRICT: RIBOLA
- PARK DISTRICT: CITY OF SACRAMENTO

APPROVED TENTATIVE MAP
FOR CINDY WOODS

HOLY CHURCH
OF GOD
237-140-49

MC NEELY
237-140-48

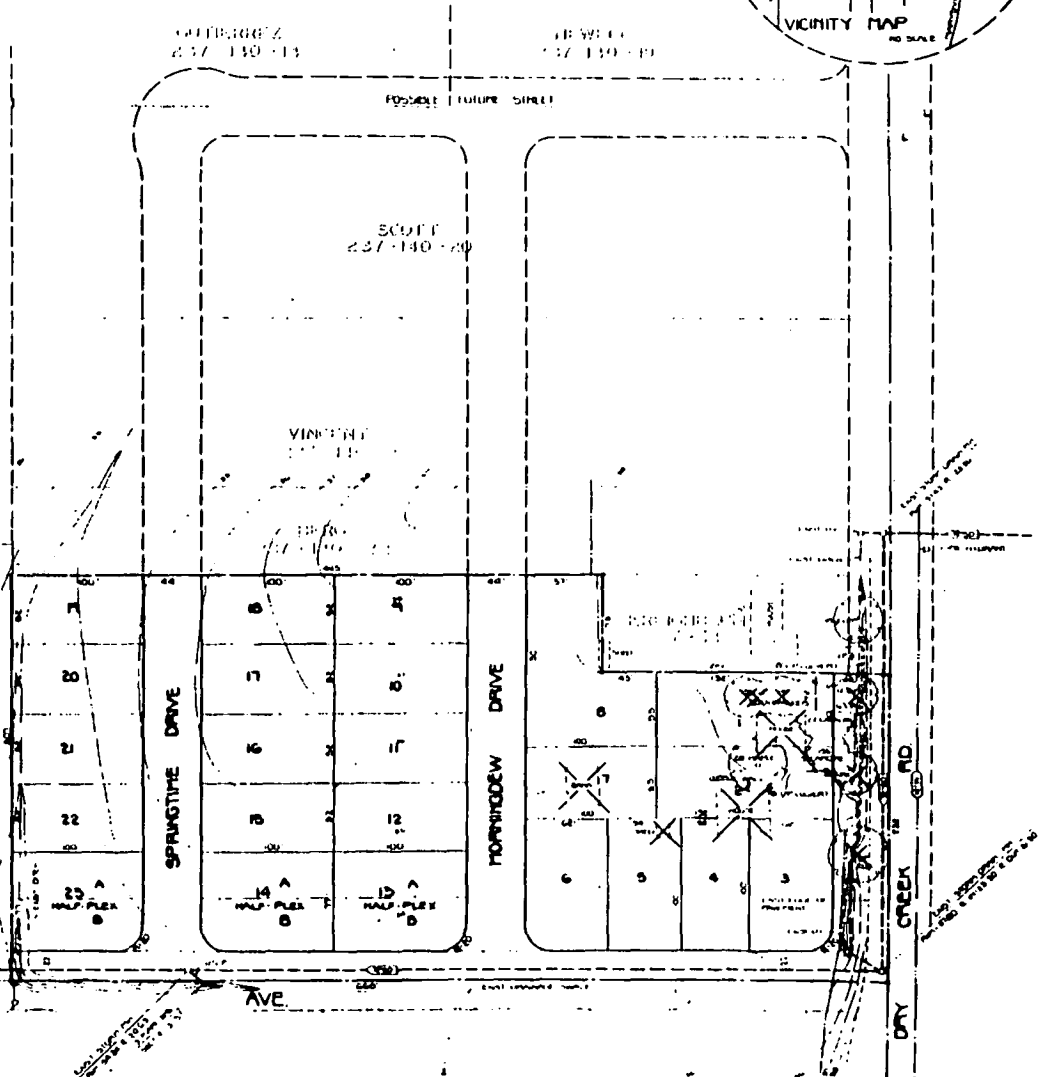
HAYNES
237-140-34

MC NEELY
237-140-35

MC NEELY
237-140-36

LASYONE
237-140-33

LASYONE
237-140-26

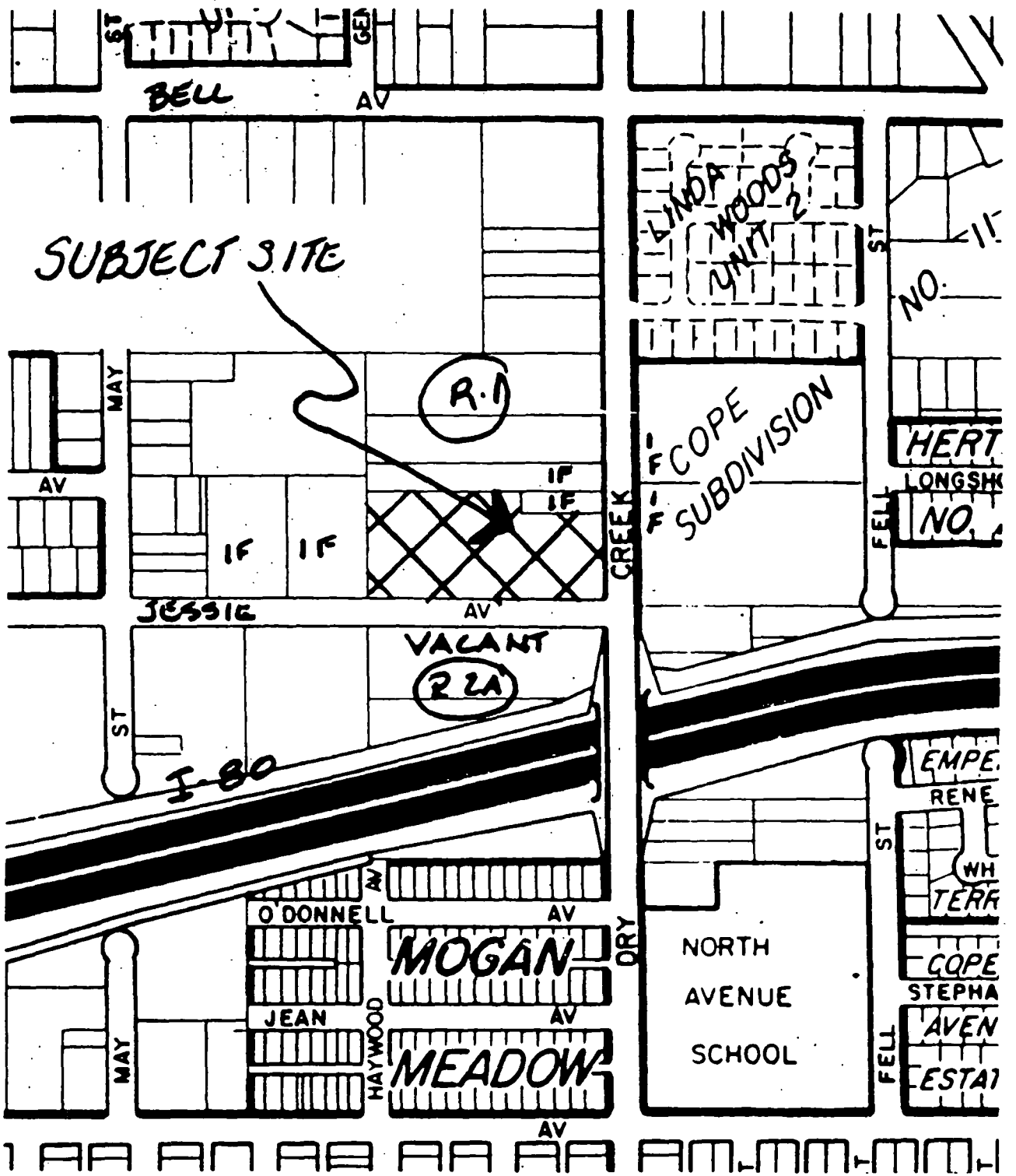


DATE	DESCRIPTION	BY	APP	REVISIONS

SCALE	DATE	BY	APP
AS SHOWN	07-09-13		

GAW GLEN WILLIAMS CIVIL ENGINEERING & SURVEYING
6020 RUTLAND DRIVE, SUITE 10, DUNSMUIR, CA 95628
PHONE: (916) 331-4336
FAX: (916) 331-4337
E-MAIL: GAW@GAW.COM
WWW.GAW.COM

TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
CITY OF SACRAMENTO CALIFORNIA



VICINITY - LAND USE - ZONING

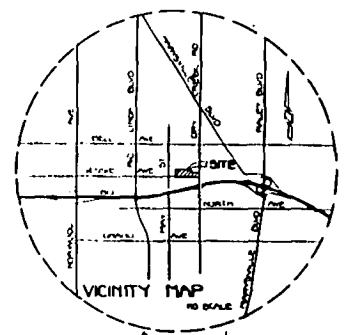
P88-132

4-28-88 6

Item 18/17

TENTATIVE SUBDIVISION MAP DRY CREEK ACRES

A PORTION OF SECTION 11 OF RANCHO DEL PASO
FILED IN BOOK 'A' OF MAPS PAGE 74
SACRAMENTO CALIFORNIA
FEBRUARY, 1988
SCALE: 1"=40'



OWNER / DEVELOPER
MRS & DONALD LAPONTE
P.O. BOX 8486
FAIR OAKS, CA 95628 - PH (916) 780-2773

GLEN WILLIAMS - CIVIL ENGINEERING & SURVEYING
6020 RUTLAND DRIVE, SUITE 11
CARPENTERS, CA 95608 - PH (916) 331-4336

GENERAL NOTES:
ASSESSORS PARCEL NO: 237-140-36
ACREAGE: 8.4 ACRES ±
DENSITY: 6 UNITS PER ACRE
TOTAL NO OF LOTS: 22
EXISTING ZONING: R-1
PROPOSED ZONING: R-1
EXISTING USE: 2 SINGLE FAMILY RESIDENCES
PROPOSED USE: 20 SINGLE FAMILY & 6 HALF-FLEX RESIDENCES
MINIMUM LOT SIZE: 5200 SQ. FT.
SEWER SERVICE: CITY OF SACRAMENTO
WATER SUPPLY: CITY OF SACRAMENTO
FIRE PROTECTION: CITY OF SACRAMENTO
ELECTRIC SERVICE: S.F.U.D.
GAS SUPPLY: PG & E.
TELEPHONE SERVICE: PACIFIC BELL
SCHOOL DISTRICT: ROSA
PARK DISTRICT: CITY OF SACRAMENTO

APPROVED TENTATIVE MAP
FOR CINDY WOODS

HOLY CHURCH
OF GOD
237-140-49

MC NEELY
237-140-48

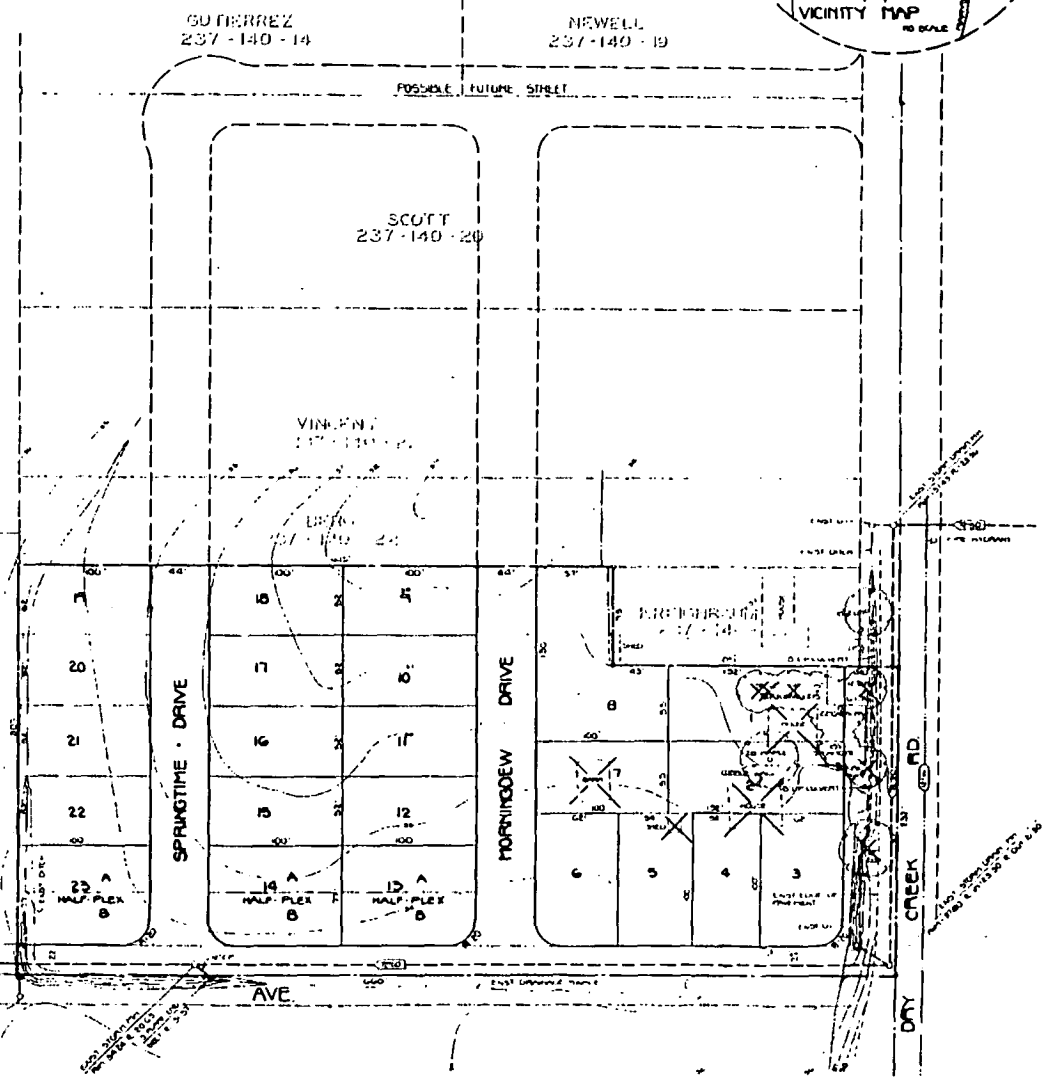
HAYNES
237-140-34

MC NEELY
237-140-35

MC NEELY
237-140-36

LASYONE
237-140-33

LASYONE
237-140-32



REV	DATE	DESCRIPTION	BY	APP

SCALE: 1"=40'

DATE: 08-11-73

DESIGNED BY: G.L.D.

DRAWN BY: G.L.D.

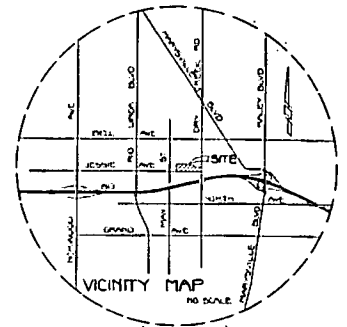
CHECKED BY: G.L.D.

GAW GLEN WILLIAMS CIVIL ENGINEERING & SURVEYING
CITY ENGINEER - LAND & SURVEY - BUREAU
SPECIAL PROJECTS
6020 RUTLAND DRIVE, SUITE 11 CARPENTERS, CA 95608 PHONE 331-4336
GLEN WILLIAMS 1988-1-0001

TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
CITY OF SACRAMENTO CALIFORNIA

181

TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
 A PORTION OF SECTION 11 OF RANCHO DEL PASO
 FILED IN BOOK 'A' OF MAPS PAGE 94
 SACRAMENTO CALIFORNIA
 FEBRUARY, 1988 SCALE: 1"=40'

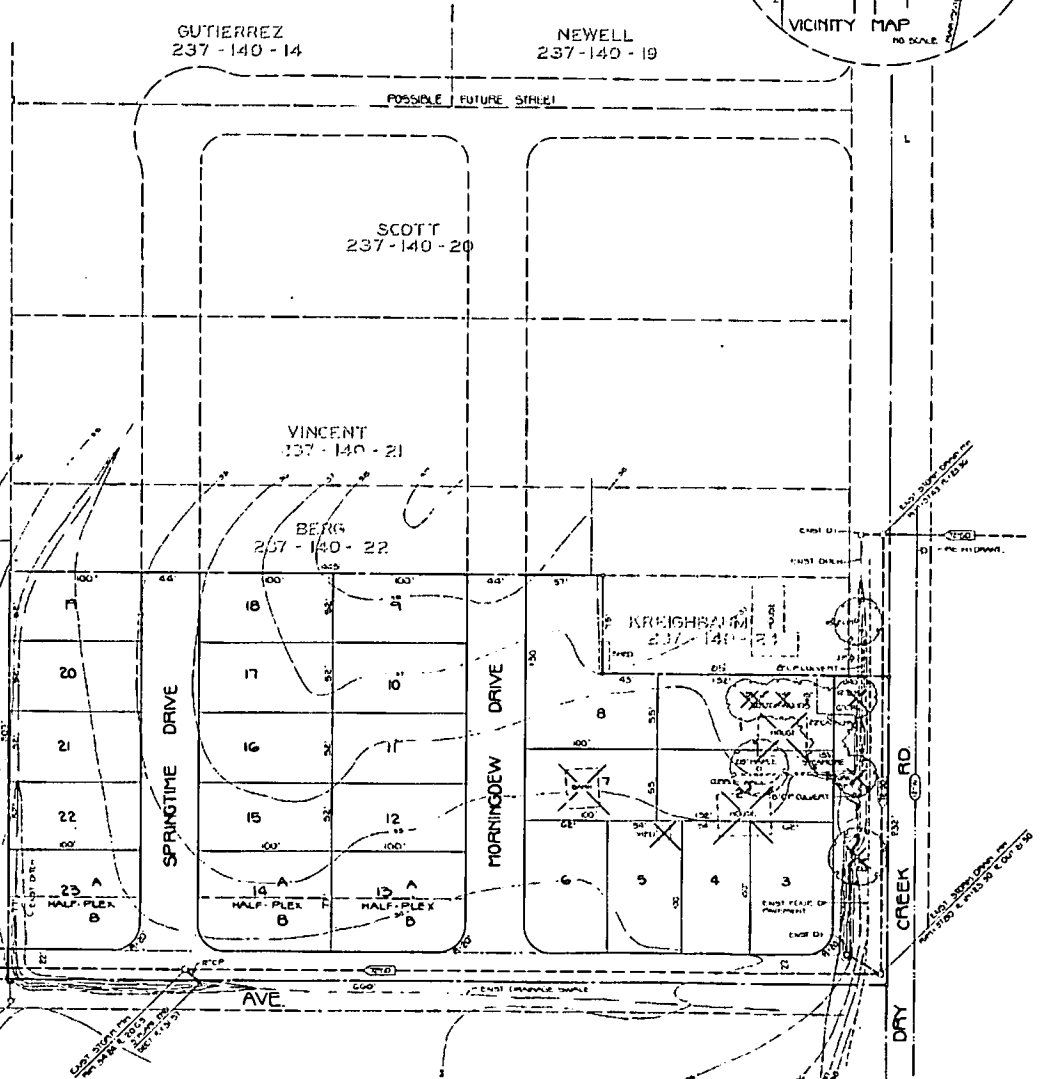
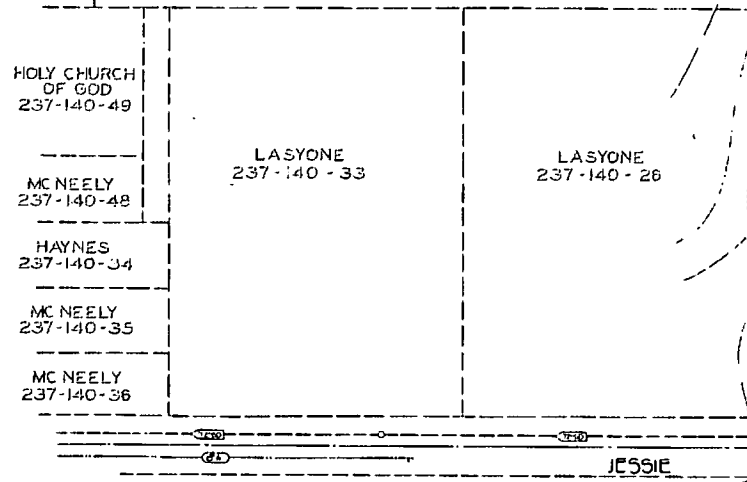


OWNER / DEVELOPER
 KRIS & DOROTHY LAPORTI
 P.O. BOX 2486
 FAIR OAKS, CA 95628 - PH. (916) 920-3775

GLENN WILLIAMS - CIVIL ENGINEERING & SURVEYING
 6020 RUTLAND DRIVE, SUITE 19
 CARMICHAEL, CA 95600 - PH. (916) 331-4336

GENERAL NOTES:
 ASSESSORS PARCEL NO.: 237-140-50
 ACREAGE: 4.4 ACRES ±
 DENSITY: 6 UNITS PER ACRE
 TOTAL NO. OF LOTS: 22
 EXISTING ZONING: R-1
 PROPOSED ZONING: R-1
 EXISTING USE: 2 SINGLE FAMILY RESIDENCES
 PROPOSED USE: 10 SINGLE FAMILY & 6 HALF-PLEX RESIDENCES
 MINIMUM LOT SIZE: 5200 SQ. FT.
 SEWER SERVICE: CITY OF SACRAMENTO
 WATER SUPPLY: CITY OF SACRAMENTO
 FIRE PROTECTION: CITY OF SACRAMENTO
 ELECTRIC SERVICE: S.M.U.D.
 GAS SUPPLY: P.G. & E.
 TELEPHONE SERVICE: PACIFIC BELL
 SCHOOL DISTRICT: R00LA
 PARK DISTRICT: CITY OF SACRAMENTO

APPROVED TENTATIVE MAP
 FOR CINDY WOODS



REV	DATE	DESCRIPTION	BY	APP	REVISIONS: BM: 237.0 elev. 2966.8

SCALE: 1"=40'	DESIGNED BY: G.L.D.
DATE: 81-09-13	CHECKED BY:
DATE:	DATE:

GLW GLENN WILLIAMS CIVIL ENGINEERING & SURVEYING
 SITE ENGINEERING, LAND SURVEYING, SURVEYING
 SPECIAL PROJECTS
 6020 RUTLAND DRIVE, SUITE 19, CARMICHAEL, CA 95600 PHONE (916) 331-4336
 GLENN WILLIAMS 1924 - 1927

TENTATIVE SUBDIVISION MAP
DRY CREEK ACRES
 CITY OF SACRAMENTO CALIFORNIA

19

P# 91-278

Meeting Date 3-18-92

Item# 7

Voting Record

	Yes	No	Abstain	Motion	2nd	Absent
Planning	X			X		
Engineering	X				X	
Traffic	X					
Fire						X
Water/ Sewer	X					
Comm. Services	X					
Police						X
County Health	X					
Attorney						X

The Subdivision Review Committee recommends: X Approval / Denial of the Tentative Map subject to the following conditions:

(20)

DECLARED AS TRUE COPY
of Resolution No. 88-467

JUN 15 1988

DATE CERTIFIED
BY
CITY CLERK

RESOLUTION No. 88-467

Adopted by The Sacramento City Council on date of
JUN 8 1988

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A TENTATIVE MAP FOR PROPERTY LOCATED AT THE NORTHWEST CORNER OF DRY CREEK ROAD AND JESSIE AVENUE

(P88-132) (APN: 237-0140-056)

WHEREAS, the City Council on June 8, 1988, held a public hearing on the request for approval of a tentative map for property located at the northwest corner of Dry Creek Road and Jessie Avenue;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the City Planning Commission has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan, and Chapter 40 of the City Code, which is a Specific Plan of the City. Both the City General Plan and the North Sacramento Community Plan designate the subject site for residential use(s).

4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
 - a. Provide standard subdivision improvements including off-site sewer lateral pursuant to Section 40.811 of the City Code;
 - b. Prepare a sewer and drainage study for the review and approval of the City Engineer, sewers shall be extended to Bell Avenue;
 - c. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;
 - d. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required Parkland Dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map (.3784 ac.);
 - e. Meet all County Sanitation District requirements;
 - f. Submit a soils test prepared by a registered engineer to be used in street design;
 - g. Provide 12 feet of paving on south side of Jessie Avenue and 15 feet of pavement on east side of Dry Creek Road;
 - h. Dedicate Springtime and Morning Dew to a 50 foot right-of-way for 150 feet from Jessie Avenue;
 - i. Dedicate a standard 12.5 foot Public Utility Easement for underground electrical facilities and appurtenances adjacent to Springtime Drive, Morning Dew Drive and Jessie Avenue;
 - j. Dedicate a 12.5 foot Public Utility Easement for underground and overhead electrical facilities and appurtenances adjacent to Dry Creek Road;

- k. **Submit** an acoustical report prepared by a registered acoustical engineer verifying consistence with the Sacramento City General Plan and California Administrative Code, Title 25, to the satisfaction of City/County Health Department and City Planning Director;
- l. Dedicate right-of-way along Jessie Avenue to a 27 foot half-section;
- m. Dry Creek Road shall be dedicated to 30 foot half-section and constructed to a standard 27 foot half street section;
- n. Extend off-site sewer line if Bell Avenue sewer has not been constructed to the Dry Creek Interceptor in Rio Linda Boulevard. Developer shall construct said sewer per plans on file with the Public Works Department. If sewer is under construction and Bell Avenue A/D has not been formed, developer shall join sewer A/D and/or provide fair share of costs. If sewer has been previously constructed, developer shall pay fair share of district costs to be used for necessary pavement overlay on work on Dry Creek Road and Bell Avenue to the satisfaction of the Public Works Department.
- o. Abandon existing septic tank, if necessary, to the satisfaction of Building Inspections.

- NOTE:
- 1. The school district is imposing development fees at building permits.
 - 2. A portion or all of the property may lie in Zone X of FEMA (FIRM) Flood Maps.

DAVID SHORE

VICE MAYOR

ATTEST:

LORRAINE MAGANA

CITY CLERK

P88-132

RESOLUTION NO. 92-390

ADOPTED BY THE SACRAMENTO CITY COUNCIL

ON DATE OF _____

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING A TENTATIVE MAP FOR PROPERTY LOCATED AT THE NORTHWEST CORNER OF DRY CREEK ROAD AND JESSIE AVENUE

(P91-278) (APN: 237-0140-056)

WHEREAS, the City Council on , held a public hearing on the request for approval of a tentative map for property located at the above described location;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Service Manager has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration (refer to Initial Study Discussion in the Planning Commission File No. P91-278);

WHEREAS, the City Planning Commission and/or Planning staff has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

FOR CITY CLERK USE ONLY

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained herein, as follows:
 - A. An Initial Study was conducted by the Environmental Coordinator in order to evaluate the potential for adverse environmental impact;
 - B. There is no evidence before the City to indicate that the proposed project will have any potential for adverse effect on wildlife resources.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provision for its design and improvement, is consistent with the City's General Plan and the North Sacramento Community Plan which designates the site for residential use(s).
4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
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6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to filing of the final map unless a different time for compliance is specifically noted:
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 - b. Prepare a sewer and drainage study for the review and approval of the City Engineer; may require off-site extensions ad/or oversizing;
 - c. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____

- d. Pursuant to City Code Section 40.1302 (parkland dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the Final Map. (.3784 ac.)
- e. Meet all County Sanitation District requirements;
- f. Submit a soils test prepared by a registered engineer to be used in street design;
- g. Provide 12 feet of paving on south side of Jessie Avenue and 15 feet of pavement on east side of Dry Creek Road;
- h. Dedicate Springtime and Morning Dew to a 50 foot right-of-way for 150 feet from Jessie Avenue;
- i. Dedicate a standard 12.5 foot Public Utility Easement for underground electrical facilities and appurtenances adjacent to Springtime Drive, Morning Dew Drive and Jessie Avenue;
- j. Dedicate a 12.5 foot Public Utility Easement for underground and overhead electrical facilities and appurtenances adjacent to Dry Creek Road;
- k. Submit an acoustical report prepared by a registered acoustical engineer verifying consistence with the Sacramento General Plan and California Administrative Code, Title 25, to the satisfaction of City/County Health Department and City Planning Director;
- l. Dedicate right-of-way along Jessie Avenue to a 27 foot half-section;
- m. Dry Creek Road shall be dedicated to 30 foot half-section and constructed to a standard 27 foot half street section;
- n. Extend off-site sewer line if Bell Avenue sewer has not been constructed to the Dry Creek Interceptor in Rio Linda Boulevard. Developer shall construct said sewer per plans on file with the Public Works Department. If sewer is under construction and Bell Avenue A/D has not been formed,

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____

15

developer shall join sewer A/D and/or provide fair share of costs. If sewer has been previously constructed, developer shall pay fair share of district costs to be used for necessary pavement overlay on work on Dry Creek Road and Bell Avenue to the satisfaction of the Public Works Department;

- o. Abandon existing septic tank, if necessary, to the satisfaction of Building Inspections.

- NOTE: 1. The school district is imposing development fees at building permits.
2. A portion or all of the property may lie in Zone X of FEMA (FIRM) Flood Maps.

MAYOR

ATTEST:

CITY CLERK

FOR CITY CLERK USE ONLY

RESOLUTION NO.: _____

DATE ADOPTED: _____ 7

(Handwritten mark)

COUNCIL AGENDA MATERIAL

10.3

~~FILE NO. 64~~ ~~FILE NO. 10.3~~
~~DATE OF LAST OFFER~~

Carl & Karen Kreighbaum
4221 Dry Creek Rd.
SACTO, Ca 95838
916-929-6779

May 29, 1992 -

City Planning Division
1231 I O St
SACTO, CALIF.

Concerning property located at the
Northwest corner of Dry Creek Rd. +
Jesse ave. (D-2) (APNs: 237-0140-056)
(P91-278)

Item C. Time extension for a Tentative
map.

We do not believe such extension
should be granted without certain
concerns taken care of.

The property contains several dead
cotton wood trees which if not
already - soon will be a hazard to
our adjacent property. They
need removed.

Carl G. Kreighbaum
Karen K. Kreighbaum

[Faint, illegible text covering the majority of the page, likely bleed-through from the reverse side.]

10/1/10

ITEM 10.3



ITEM 10.3



Recording
Not
Required

-
-
-
-
-

MITIGATION MONITORING PLAN

FOR

DRY CREEK ACRES / P91-278

Initial Study

Prepared By:
City of Sacramento Environmental Services Division
December 4, 1991

Adopted By:
City of Sacramento City Council

Date: _____

MAYOR

City Clerk



**OFFICE OF THE
CITY CLERK**

VALERIE A. BURROWES, CMC/AE
CITY CLERK

OPERATIONAL SERVICES

CITY OF SACRAMENTO
CALIFORNIA

CITY HALL
ROOM 304
915 I STREET
SACRAMENTO, CA
95814-2671

PH 916-264-5426
FAX 916-264-7672

May 11, 1992

Kris and Dorothy LaPoint
P.O. Box 2086
Granite Bay, CA 95746

On May 8, 1992, the following matter was filed with the Office of the City Clerk to set a hearing date before the City Council:

Various requests for property located at the northwest corner of Dry Creek Road and Jesse Avenue. (D-2) (APN: 237-0140-056) (P91-278)

- A. Negative Declaration
- B. Mitigation Monitoring Plan
- C. Time Extension for a Tentative Map to subdivide 4.5± partially developed acres into 20 single family and six halfplex lots in the Standard Single Family (R-1) zone

This hearing has been set for June 6, 1992, 7:30 p.m., City Council Chambers, Second Floor, City Hall, 915 "I" Street, Sacramento, California. Interested parties are invited to appear and speak at the hearing.

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Office of the City Clerk at or prior to the public hearing.

Pursuant to Council Rules of Procedure 4.5, continuance of the above matter may be obtained only by the property owner of the above property, applicant, or appellant, or their designee, by submitting a written request delivered to this office no later than noon the day prior to the scheduled hearing date. If written request is not delivered to this office as specified herein, a continuance may only be obtained by appearing before the City Council at the time of the hearing and submitting a verbal request to the Council.

Any questions regarding this hearing should be directed to the City Planning Division, 1231 I Street, Sacramento, California, phone 264-5604.

Valerie A. Burrowes
Valerie A. Burrowes
City Clerk

cc: MAILING LIST - P91-278 (17)
Kris and Dorothy LaPoint



**OFFICE OF THE
CITY CLERK**

VALERIE A. BURROWES, CMC/AAE
CITY CLERK

OPERATIONAL SERVICES

**CITY OF SACRAMENTO
CALIFORNIA**

CITY HALL
ROOM 304
915 I STREET
SACRAMENTO, CA
95814-2671

PH 916-264-5426
FAX 916-264-7672

May 22, 1992

AMENDED

Kris and Dorothy LaPoint
P.O. Box 2086
Granite Bay, CA 95746

On May 8, 1992, the following matter was filed with the Office of the City Clerk to set a hearing date before the City Council:

Various requests for property located at the northwest corner of Dry Creek Road and Jesse Avenue. (D-2) (APN: 237-0140-056) (P91-278)

- A. Negative Declaration
- B. Mitigation Monitoring Plan
- C. Time Extension for a Tentative Map to subdivide 4.5± partially developed acres into 20 single family and six halfplex lots in the Standard Single Family (R-1) zone

This hearing has been set for **June 4, 1992, 7:30 p.m.**, City Council Chambers, Second Floor, City Hall, 915 "I" Street, Sacramento, California. Interested parties are invited to appear and speak at the hearing.

If you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Office of the City Clerk at or prior to the public hearing.

Pursuant to Council Rules of Procedure 4.5, continuance of the above matter may be obtained only by the property owner of the above property, applicant, or appellant, or their designee, by submitting a written request delivered to this office no later than noon the day prior to the scheduled hearing date. If written request is not delivered to this office as specified herein, a continuance may only be obtained by appearing before the City Council at the time of the hearing and submitting a verbal request to the Council.

Any questions regarding this hearing should be directed to the **City Planning Division, 1231 I Street, Sacramento, California, phone 264-5604.**

Valerie A. Burrowes
City Clerk

cc: MAILING LIST - P91-278 (17)
Kris and Dorothy LaPoint



OFFICE OF THE
CITY CLERK

VALERIE A. BURROWES, CMC/AAE
CITY CLERK

OPERATIONAL SERVICES
June 11, 1992

CITY OF SACRAMENTO
CALIFORNIA

CITY HALL
ROOM 304
915 I STREET
SACRAMENTO, CA
95814-2671

PH 916-264-5426
FAX 916-264-7672

Kris & Dorothy La Point
1061 Ski Park Court
Rio Linda, CA. 95673

On June 4, 1992, the City Council took the following action(s) for property located at the northwest corner of Dry Creek Road and Jesse Avenue: (P91-278)

Adopted Resolutions No. 92-389 and 92-390 adopting Findings of Fact and approving a one year time extension for a tentative map to subdivide 4.5± partially developed acres into 20 single family and six halfplex lots in the standard single family (R-1) zone; mitigation monitoring plan, and ratifying negative declaration.

Enclosed, for your records, is a fully certified copy of the above referenced resolutions.

Sincerely,

Valerie Burrowes
City Clerk

ds/10.3

Enclosure

cc: Planning Division
Glenn F. Williams & Associates, 6020 Rutland Drive #19, Carmichael, CA. 95673