

CITY OF SACRAMENTO
1231 I Street, Sacramento, CA 95814

Permit No: 0303082

Insp Area: 2

Thos Bros: 317-B5

Site Address: 6032 PARK VILLAGE ST SAC

Parcel No: EAST LAND PARK VILLAGE LOT 23

Sub-Type: NSFR

Housing (Y/N): N

CONTRACTOR
TIM LEWIS COMMUNITIES
5750 SUNRISE BLVD
CITRUS HIGHTS 95610

OWNER

ARCHITECT

Nature of Work: MP2177 2 STORY 9 ROOM SFR

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class 5 License Number 492827 Date 3-18-03 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

_____, I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

_____, I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

_____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 3-18-03 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:
_____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

✓ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier State Comp Policy Number 538-0000125 Exp Date 10-1-03

_____ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with these provisions.

Date 3-18-03 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

RESIDENTIAL SUBDIVISION BUILDING PERMIT APPLICATION

2

Project Address: 6032 Park Village St Assessor Parcel # 035-0039-009
Lot Number: 23 Subdivision East Land park Village 3

OWNER INFORMATION:

Legal Property Owner: Tim Lewis Communities Phone# 966-8047
Owner Address: 5750 Sunrise Blvd #225 City Citrus Heights State Ca Zip 95610

CONTRACTOR INFORMATION:

Contractor: Tim Lewis Construction Lic. # 492827 Phone # 966-8047 Fax 723-1082

PROJECT INFORMATION:

Land Use Zone R1A Occupancy Group R3 Construction Type VN Fed Code 1A

No. of Stories: 2 No. of Rooms: _____ Street Width: _____

1st Floor Area 1197 2nd Floor Area 910 Basement _____ Roof Material _____

AREA IN SQUARE FOOT OF:

Dwelling/Living 2177

Garage/Storage 502

Decks/Balconies _____

Carports _____

0303082

SCOPE OF WORK: _____

Information Above Complete AR Flood Waiver Required Planning Approval

Violation Files Checked Flood Elevation Certificate Required Design Review Approval

Standard Setbacks Water Development Infill Area Special Fee Districts Apply:

County Sewer _____

THE FOLLOWING MUST BE PROVIDED IN ORDER TO SUBMIT FOR PERMIT

2 COMPLETE PLOT PLANS, LEGIBLE & DRAWN TO SCALE

11 X 17 COPY OF FLOOR PLAN WITH FOLLOWING INFORMATION

a) Assessor's Parcel Number c) Owners Name

b) New Floor Area d) Project Address

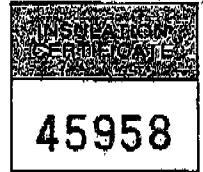
Date: _____ Received by: (staff) _____ Permit # _____

FOR OFFICE USE ONLY

424-2190



**INSULATION CONTRACTORS
ASSOCIATION
OF AMERICA**



1321 DUKE STREET, SUITE 303 • ALEXANDRIA, VA 22314 • (703) 739-0356

THIS IS TO CERTIFY THAT INSULATION HAS BEEN INSTALLED IN CONFORMANCE WITH CURRENT ENERGY REGULATIONS, CALIFORNIA ADMINISTRATIVE CODE TITLE 24, STATE OF CALIFORNIA, IN THE BUILDING LOCATED AT:

Tim Lewis LOT # 23 TRACT # EAST LAND

STREET 6532 PAIX VILLAGE CITY SAC

EXTERIOR WALLS:

MANUFACTURER FG THICKNESS/TYPE 3 1/2 / 5 1/2 R-VALUE 13 / 19

CEILING:

BATTS:
MANUFACTURER FG THICKNESS/TYPE 10 R-VALUE 30

BLOWN IN:
MANUFACTURER CT THICKNESS 12 R-VALUE 36

SQUARE FOOTAGE COVERED 1149 NUMBER OF BAGS USED 21

FLOORS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

SLAB ON GRADE:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

WIDTH OF INSULATION _____ INCHES

FOUNDATION WALLS:

MANUFACTURER _____ THICKNESS/TYPE _____ R-VALUE _____

GENERAL CONTRACTOR _____

CALIFORNIA CONTRACTORS LICENSE # _____

DATE _____

SIGNATURE _____

TITLE _____

INSULATION CONTRACTOR **ARCADE INSULATION**

CALIFORNIA CONTRACTORS LICENSE #815286

NEVADA CONTRACTORS LICENSE #55201

DATE 8-19-03

[Signature]
SIGNATURE

Rigman
TITLE



WALLACE-KUHL & ASSOCIATES, INC.

Concrete Anchor Test Report

Project Name East Level Park Job Number 4877-03 Date 7-2-03

Approved Plans/Detail Dated _____ Manufacturer's Instructions Other _____

EPOXY INSTALLATION OBSERVATION

Lot Number/Location	Anchor/Dowel Type	Cleaned By	Embedment	Product

TORQUE TEST

Lot Number/Location	No. of Bolts Tested	Total No. of Bolts	Ft./Lbs. Required	Ft./Lbs. Loaded Torque

LOAD TEST

Lot Number/Location	No. of Bolts Tested	Total No. of Bolts	Lbs. Required	Load Gauge Reading	Actual Loaded Lbs.
lot 20 East wall, bedroom H2104	1	1	9540	4000	9540
lot 23 East wall East room PH26	1	4	5860	2600	5860
lot 23 south wall living room H1722	1	1	5250	2200	5250
lot 24 East wall East rooms H1764	2	2	7460	3200	7460
Anchors tested passed - painted green.					

Copy of report was left at the job site

Additional Report Attached

[Signature]
Signed

West Sacramento Office: (916) 372-1434

Rocklin Office (916) 435-9722

Stockton Office (209) 234-7722



WALLACE • KUHL & ASSOCIATES INC.
 GEOTECHNICAL ENGINEERING • CONSTRUCTION TESTING

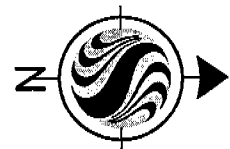
3050 Industrial Blvd.
 PO Box 1137
 West Sacramento
 California 95691
 916-372-1434

DATE 6-27-03		JOB NO. 4877.03			WEATHER		TEMP. ° at		AM	
PROJECT East Laurel Park					Technician I <input type="checkbox"/>		Staff E/G <input type="checkbox"/>			
LOCATION Lot 23 - Park village st.					Technician II <input type="checkbox"/>		Project E/G <input type="checkbox"/>			
TYPE OF WORK pull test					Technician III <input type="checkbox"/>		Senior E/G <input type="checkbox"/>			
Inside 50 mi. radius <input checked="" type="checkbox"/>			Outside 50 mi. radius <input type="checkbox"/>		Nuclear Densities <input type="checkbox"/>		Principal E/G <input type="checkbox"/>			
PERSONNEL		REG. HRS	OT HRS	TOTAL HRS	TRAVEL	ON JOB	VEHICLE		MILES	
Aaron Schmitt										

OBSERVATIONS:
 Pull tested one 3/8" all thread anchor for a pHD6 hold down to 5860 pounds of tension and a 5/8" all thread anchor for a HTT22 hold down to 5250 pounds of tension, per the simpson books for allowable loads. 3 of 4 pHD6's were inaccessible due to bad threads on anchor or insufficient room for equipment. Tested 1 of 4 pHD6's and 1 of 1 HTT22's. Anchors tested were painted green, tests passed.

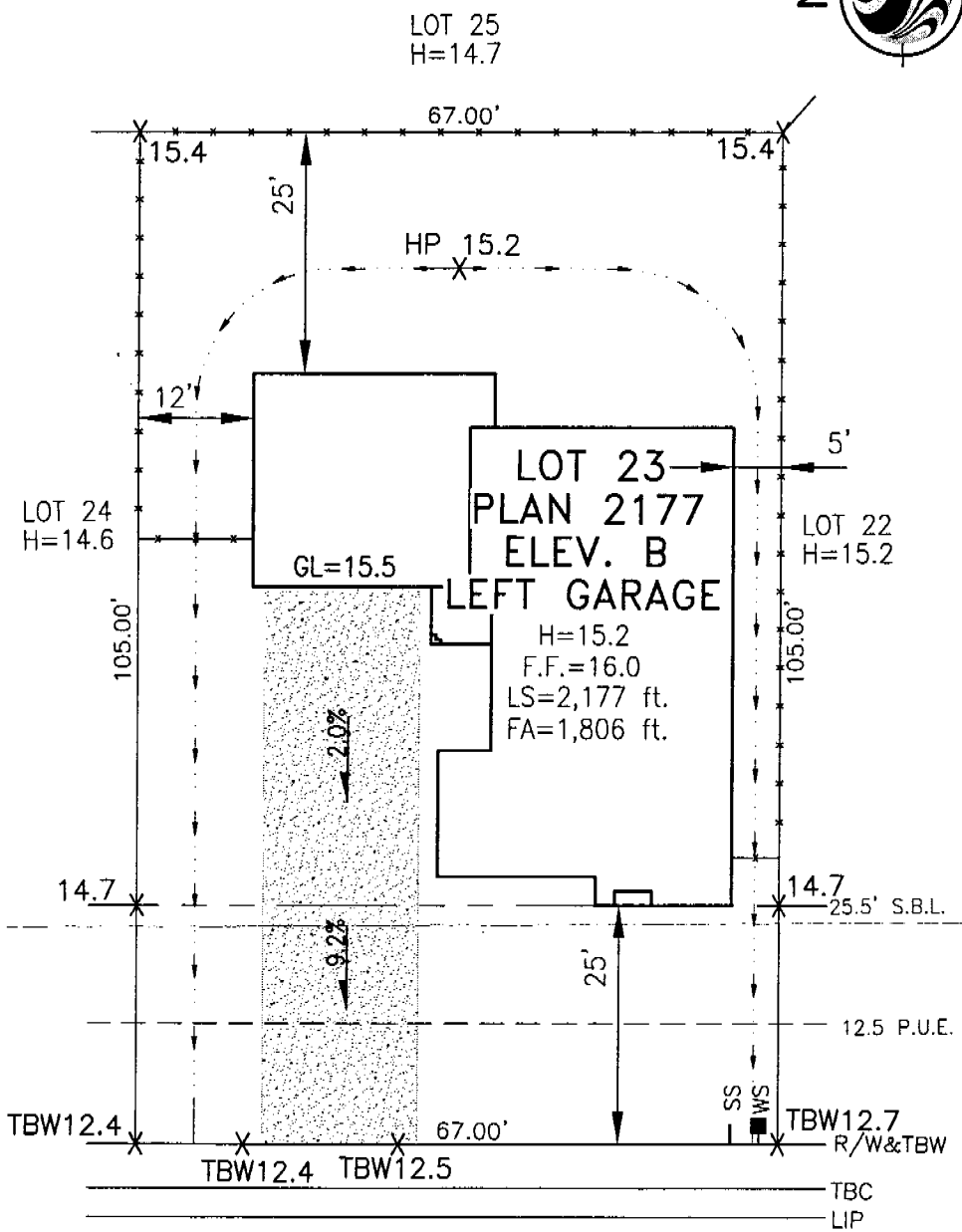
Note: No Epoxied anchors for hold downs were found in lots 2 or 11.

FIELD REPORT Signed Aaron Schmitt



LEGEND

DRAINAGE SWALE	---X---
WOOD FENCE	---X---
PROPERTY LINE	---X---
GRADED ELEV.	15.5 X
SEWER SERVICE	---SS---
WATER SERVICE	---WS---
DRAIN INLET	■ DI
FIRE HYDRANT	● FH
UTILITY SERVICE	□
STREET LIGHT	⊗ LT
DRIVEWAY	---X---
HOUSE PAD ELEV.	H=13.4
FINISH FLOOR ELEV.	F.F.=14.2
LIVING SPACE	LS=8,888 ft ²
HOUSE FOOTPRINT AREA	FA=9,999 ft ²
TOP BACK OF CURB	TBC
TOP BACK OF WALK	TBW
RIGHT OF WAY	R/W
HIGH POINT	HP
STREET CENTERLINE	C/L
GARAGE LIP	GL
SLOPE	---V---
SECOND FLOOR	---/---
AIR CONDITIONING UNIT	□ AC

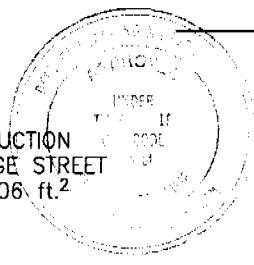


PARK VILLAGE STREET

This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification shall not be held to permit or approve the violation of any City Ordinance or State Law.

BUILDER: TIM LEWIS CONSTRUCTION
 ADDRESS: 6532 PARK VILLAGE STREET
 HOUSE FOOTPRINT AREA: 1806 ft.²
 LOT AREA: 7035 ft.²
 LOT COVERAGE: 25.7%



SCALE: 1"=20'

NOTE:

Due to the unique conditions of this lot, the buyer has walked and approved the site. Final grading conditions may vary. The information on this plot plan is provided for your convenience as a guide to the general location of the subject property. The accuracy of this plot plan is not guaranteed nor is it a part of any policy, report or guarantee to which it may be attached. Actual dimensions may vary or change without prior notice due to actual site conditions.

Client/Project

TIM LEWIS CONSTRUCTION
 EAST LAND PARK VILLAGE
 CITY OF SACRAMENTO, CA

Title

PLOT PLAN
LOT 23
 FEBRUARY 3, 2002
 844 00220



Stantec
 stantec.com