

PRESERVATION BOARD

| | | | |
|------------------|---|-------------|------------|
| PROJECT LOCATION | 2122 22nd Street | | |
| APPLICANT | Mr. & Mrs. Wm. F. McGuire, 1611 5th Street, Apt. 30 Sac. CA 95814 | | |
| OWNER | Same | | |
| PLANS BY | L. Pasqualini | | |
| FILING DATE | _____ | ACTION DATE | _____ |
| EQ Fee: | NA | ED NEG.DEC. | _____ |
| | | APN: | 010-102-05 |
| REPORT BY: | CSL:jb | | |

PROPOSAL: Alteration to a Priority Structure in Preservation Area 11.

PROJECT INFORMATION:

The applicant proposes to add a dormer addition to the structure which will extend across the rear elevation. The dormer will have three double hung steel sash windows of Black Walnut color. The addition will have horizontal siding to match the existing siding. Existing windows will be replaced with double hung steel sash windows of Black Walnut color. The roof will be resingled with 20 year John Mensville Fiberglass. The applicant also proposes to replace a "lean to" off of the kitchen with a deck. The deck will be framed in lattice work. The existing double windows on the rear elevation, off of the living room, will be replaced by double doors which will lead onto the deck. Double doors will also be added to the north elevation and will lead onto the front porch. A portion of the front porch on the north elevation will be enclosed with glass. Finally, the existing front door will be replaced by an enlarged 42" door.

EVALUATION:

The project as proposed will alter the design integrity of the building in that the original design will be changed and some of the original materials will be replaced. However, the alterations are not objectionable because they are compatible with the original design and era of the structure.

The steel sash windows and the fiberglass shingles, although modern materials, are acceptable because they will not change the building's overall feeling and its relationship to its surroundings.

RECOMMENDATION:

Staff recommends approval of the project with the following conditions:

1. All new windows and doors shall display molded trim identical to that found on the original part of the house.
2. The replacement door shall be of a type compatible with the style and era of the house.

MEETING DATE October 15, 1980

PB ITEM NO. 1



LEFT ELEVATION

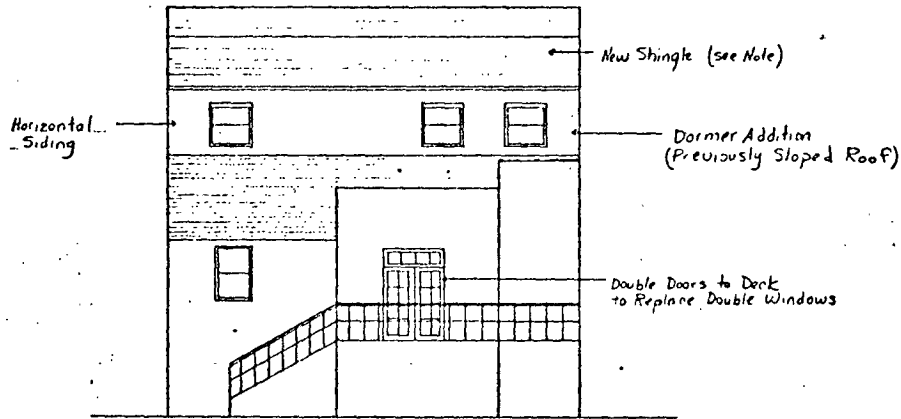
Note:

The alterations of the building consists of Dormer Windows extending across the rear of the building. —
 Replacement of existing windows with double-hung Blomberg's steel sash windows of Dark Walnut Color. —
 The roof will be resingled with 20 year John Mansville Fiberglass. —

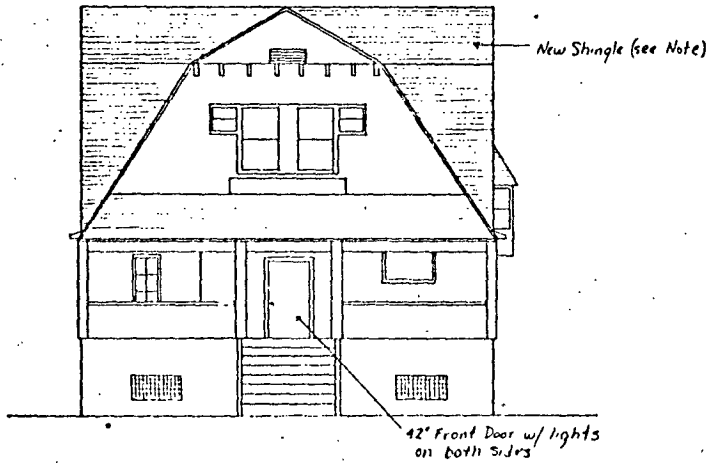
A deck will replace a "lean to" off the Kitchen. It will be framed with lattice work similar to the enclosed picture. —
 Double windows from the living room will be replaced by double doors leading onto the deck. —



RIGHT ELEVATION



REAR ELEVATION



FRONT ELEVATION

| | | |
|-------------------------------------|--------------|----------------------------|
| RESIDENCE OF MR. AND MRS. MAQUIRE | | |
| SCALE: 1/4" = 1'-0" | APPROVED BY: | DRAWN BY: <i>Logan</i> |
| DATE: Sept 14, 1980 | | REVISED |
| 2122 22ND ST. SACRAMENTO, CA. 95818 | | |
| EXTERIOR ELEVATION | | DRAWING NUMBER -1 of 4- |



CHARLES HALL PAGE & ASSOCIATES

Urban & Environmental Planning & Design

400 Montgomery Street • San Francisco, California 94104 • (415) 362-5154

HISTORICAL/ARCHITECTURAL SURVEY FORM

Street Address: 2122 22nd Street

File Number:

Name of Structure:

Date of Construction: ca. 1900

Present Owner:

Building Type: 1-1/2 story wood frame

Original Owner: Timothy W. Sheehan

Building Material: Clapboard

Present Use: Res.

Builder:

Original Use: Res.

Architect:

Occupant(s):

Style: Delta Type Colonial Revival

Additions & Alterations:

None

Significant Architectural Features:

Gambrel roof with bracketed shingled gable end, unusual configuration of windows in gable, shed roof over porch on large, flaring posts.

Ancillary Structures:

None

Adjacent Land Uses:

Res.

Intrusion on Neighborhood?:

EVALUATION

Historical/Cultural Significance

Exceptional —

Major —

Contributing —

Non-Contributing X

Architectural Significance

Exceptional —

Major —

Contributing X

Non-Contributing —

Environmental Significance

Exceptional —

Major X

Contributing —

Non-Contributing —

Design Integrity: Alterations

None or Little X

Moderate —

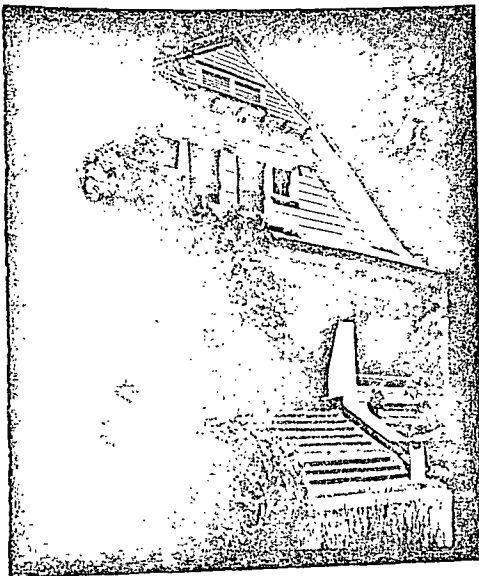
Considerable —

Physical Condition

Good, or Minor Repairs X

Major Repairs —

Dilapidated —



98645-17

Date: 5/4/76

By: MC

Checked: MC

Mapped: X

Priority - II

Architectural Analysis:

A Delta Type Colonial Revival house with a gambrel roof that overhangs a full porch on large, flaring columns. There is a bracketed, shingled gable end, and an unusual configuration of windows in the gable.

Historical Information:

Built ca. 1900 by Timothy W. Sheehan, manager of the Record-Union, who apparently lived across the street. The house was occupied by his widow, Nellie and (daughter?), Rose M., supervisor of Kindergartens for the City schools.

Present Zoning:

Assessed Value - Land:

Improvements:

Total:

Lot Size:

Additional Comments:



CITY OF SACRAMENTO

CITY PRESERVATION BOARD

725 "J" Street

SACRAMENTO, CALIF. 95814

TELEPHONE (916) 449-5604

October 10, 1980

MEMORANDUM

TO: Preservation Board Members

FROM: Cynthia St. Louis, Assistant Planner

SUBJECT: Items Two and Three
816 20th Street
1927 "I" Street

The Negative Declarations have not been processed, therefore, Item 2 (816 20th Street) and Item 3 (1927 "I" Street) are being continued until the next regularly scheduled meeting on October 27, 1980.

Cynthia St. Louis

CSL:jb

ITEMS 2 & 3