

REPORT TO PLANNING COMMISSION City of Sacramento

915 I Street, Sacramento, CA 95814-2671

STAFF REPORT
August 24, 2006

Honorable Members of the Planning Commission

Subject: 5th Avenue Duplexes. A request to construct two duplexes on two contiguous parcels lacking public right-of-way in the Multi-family (R-4) zone.

- A. Environmental Determination:** Categorically Exempt;
- B. Variance** to allow the construction of one duplex on each of two contiguous parcels lacking public right-of-way frontage in the Multi-family (R-4) zone;
- C. Variance** to reduce the required rear setback in the Multi-family (R-4) zone;
- D. Variance** to reduce the required vehicular maneuvering area.

Location/Council District:

3018-B 5th Avenue, Sacramento, California 95817

Assessor's Parcel Numbers: 013-0137-016 and 017;

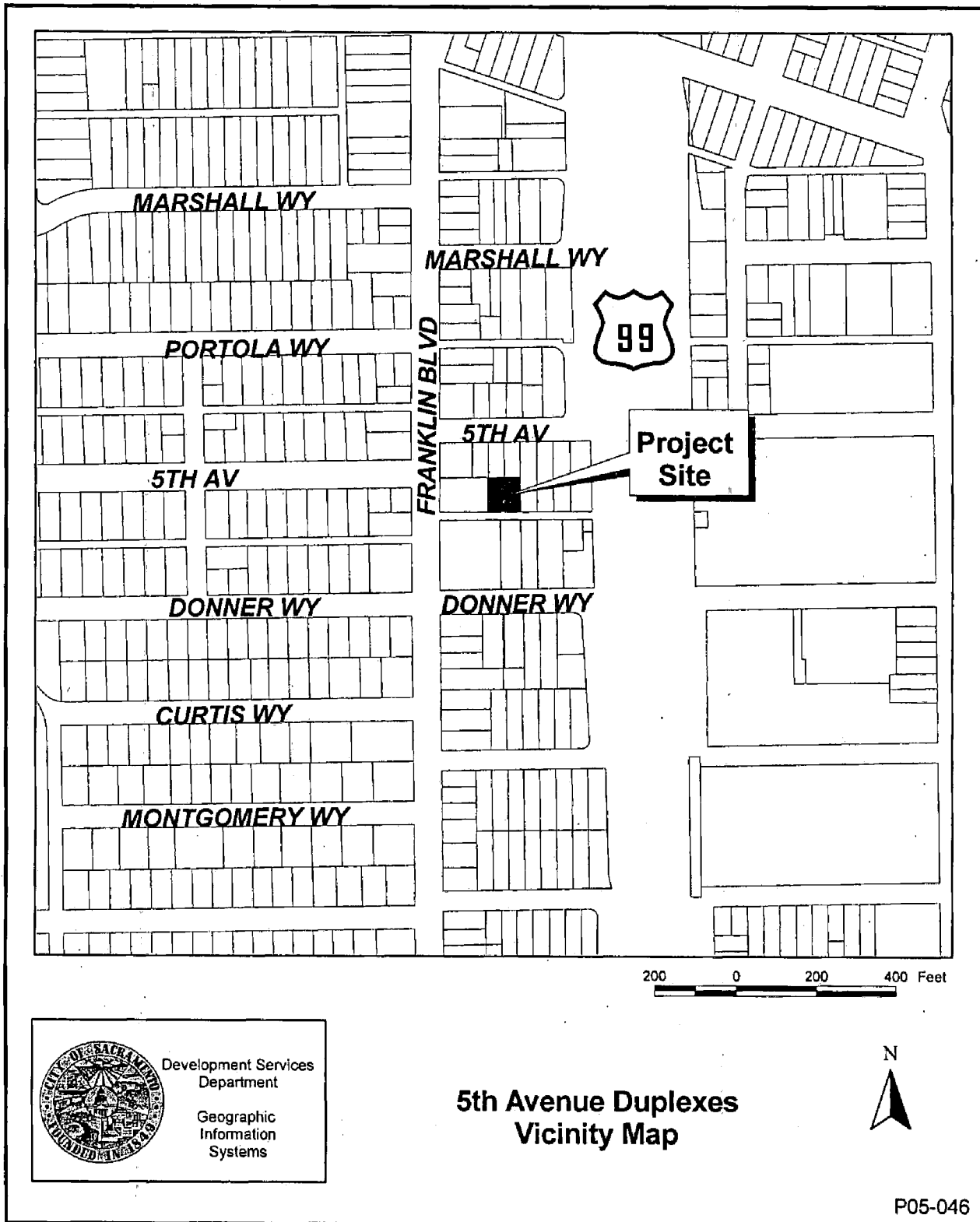
Council District 5

Recommendation: Staff recommends the Commission approve the request based on the findings and subject to the conditions listed in Attachment 1. At the time of writing this report **the outstanding issues are:** neighbor concerns regarding the project density and existing parking issues in the alleyway. The Commission has final approval authority over items A-D above, and its decision is appealable to City Council. The Commission's action on items A-D may be appealed to the City Council.

Contact: Kimberly Kaufmann-Brisby, Associate Planner, 916-808-5590

Applicant: Ira Ross, 3032 5th Avenue, Sacramento, CA 95817, 510-812-1820,

Owner: Ira Ross, 3032 5th Avenue, Sacramento, CA 95817



Development Services
Department

Geographic
Information
Systems

5th Avenue Duplexes Vicinity Map



P05-046

Summary: The applicant is requesting the required entitlement approvals to construct two duplexes on two contiguous parcels lacking public right-of-way in the Multi-family (R-4) zone. Initial project issues related to the proposed architectural design. The applicant has addressed staff concerns with the current project proposal. A neighbor has voiced concerns regarding the development of the two alley lots and the project is considered to be somewhat controversial.

Table 1: Project Information
General Plan designation: Low Density Residential (4-15 dwelling units per net acre)
Existing zoning of site: R-4 (Multi-family)
Existing use of site: vacant
Property area: ±0.168 acres
Project Density: 24 dwelling units per net acre (du/na)

Background Information: There is one previous entitlement for this site, a variance to reduce parking space depth from 14' to 10' (P7984). No additional records of prior planning approvals including when the two existing alley-fronting lots were created were found.

Public/Neighborhood Outreach and Comments: The Sierra Curtis Neighborhood Association and Mike Nelson, an interested neighbor, were sent early project notification packets. Mike Nelson contacted staff regarding his concerns about the proposed project on several occasions. His concerns related to the proposed project density and existing alley parking issues.

Staff visited the project site to ascertain current site and alley conditions. The project site is zoned Multi-family (R-4) which allows up to 58 du/na and requires a minimum lot area of 750 square feet per dwelling unit. The proposed project density is 24 du/na and provides an area of ±1,822 square feet per dwelling unit. The proposed density is appropriate for the area. The entirety of the alleyway is fenced on both sides except where a residence fronts on the alley as is the case at the eastern alley dead end. The lack of fencing at the existing residence serves to open the alley area and make it more visually appealing. Staff anticipates the proposed project will serve to open the northwestern portion of the alley, near Franklin Boulevard, and will enhance as well as provide activity and eyes on the alleyway.

Environmental Considerations: The proposed project is exempt from environmental review pursuant to CEQA Guidelines Section 15332. Section 15332 exempts projects such as the current application, as "in-fill development", because the proposed project "is consistent with the General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations."

The proposed development is within city limits on a site of less than five acres that is substantially surrounded by urban uses. The site has no value as habitat for

endangered, rare or threatened species. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and the site is adequately served by all required utilities and public services.

Policy Considerations: The proposed project is consistent with the zoning designation of Multi-family (R-4) which allows up to 58 dwelling units per net acre (du/na) with a proposed project density of 24 du/na. However, the project density is not consistent with the General Plan designation of Low Density Residential (4-8 du/na). As stated in the General Plan, "The General Plan land use designation is not intended to provide an exact correspondence with the site specific zoning rather the intent of the designation is to show the general relationship of the various land uses." (GP 9-3) Also, "the General Plan land use categories have been developed in a manner to allow the broadest range of a particular type of use within the designation. Specific uses and density ranges are identified by the community plan and zoning." (GP 9-3) With the site consisting of less than five acres, the General Plan does not need to be amended because "the land use designations on the more specific map are applicable" (GP 9-15) which in this instance is the zoning designation with which the project is consistent and no plan amendments are needed.

The proposed project follows the General Plan Guiding Principle of providing affordable and safe places to live. By developing the existing lots with the proposed duplexes the applicant is providing safe and affordable dwellings for all residents and providing a balanced of housing choices for the neighborhood.

Project Design:

The two existing alley-fronting lots are $\pm 87'$ deep, limiting the available developable area after complying with the required development standards. Each lot would be developed with nearly identical layouts; the distinction between them is lot 17 has a width of 40' and lot 16 has a width of 44'. The applicant has designed the front yard area to provide adequate room for two medium to large size shade trees. Adequate parking is proposed with three parking spaces per lot, the required parking is one space per dwelling unit or two spaces per duplex. The overall design is consistent with the Single-family Residential Design Principles.

Land Use

The applicant proposes to develop duplexes on each of two existing lots which deviate from right-of-way (Section 17.68.030(C), setback (Section 17.60.30[2]) and minimum maneuvering area (Section 17.64.030[F]) requirements. As a result, a variance is required to deviate from each of the three aforementioned requirements (Chapter 17.216). The following findings must be made in order to grant a variance:

- A. A variance cannot be a special privilege extended to one individual property owner. The circumstances must be such that the same variance would be appropriate for any property owner facing similar circumstances.

The lots are existing, developable parcels for which a variance is required because they lack public-right-of-way frontage. In order to provide private outdoor space, the rear yard setback is reduced to 10', for a small section of the rear yard area, to allow the encroachment of the patio and balcony areas for each duplex flat. In order to provide adequate living area and yard/tree area a variance is needed to reduce the maneuvering area behind the parking spaces by 2' to 24'. Given the relatively shallow depth of each lot and the development requirements that have evolved since the lots were created, the approval of the variance requests is not granting a special privilege to one individual property owner who would be subject to the same development requirements. The granting of the variances would be appropriate for any property owner facing similar circumstances.

- B. The consideration of "use variances" is specifically prohibited. These are variances which request approval to locate a use in a zone from which it is prohibited by ordinance.

No use variance is requested; the proposed use is permitted subject to the granting of a variance to develop on existing lots which lack public street right-of-way.

- C. A variance must not be injurious to public welfare, nor to property in the vicinity of the applicant.

The applicant proposes to employ high-quality construction materials, will provide adequate parking on-site for which over-size parking spaces are proposed to mitigate for the shortened maneuvering area and the vehicular maneuvering will occur outside the public right-of-way. The property will be landscaped to provide adequate shade and create private outdoor spaces for each unit. The development of the properties would eliminate the potential for nuisance activities such as illegal dumping on the vacant lots.

- D. A variance must be in harmony with the general purpose and intent of this title. It must not adversely affect the general plan of the specific plans of the city, or the open space zoning regulations.

The proposed development is otherwise consistent with the purpose and intent of the zoning regulations in that the safety and proper functioning of the alley and adjacent properties is not impaired. The proposal does not violate any applicable general plan policies.

Because of the existing lots and current design and development requirements, a unique hardship does exist and because there is a lack of harm to public safety, staff supports the variance requests.

Setbacks, height and bulk

Standard	Allowed	Proposed	Deviation?
Height	35'	±25'	no
Front setback	20'	29'	no
Side setback	5'	5'-7'	no
Street side setback	12.5'	na	na
Rear setback	15'	10'	Yes
Courtyard	n/a	n/a	n/a
Lot coverage	60% max.	30-33%	no
Density	58 du/na max.	24 du/na	no

As indicated above, the project requires approval of a variance to reduce the required rear yard setback.

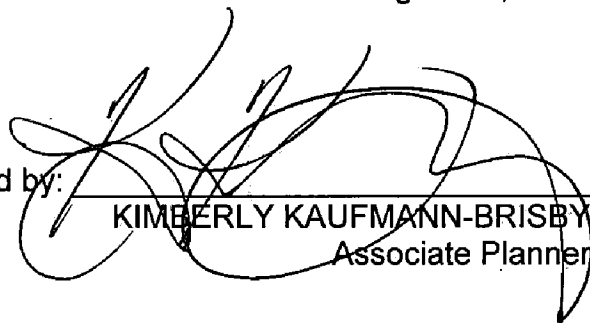
Building design, signage and landscaping

The architectural design of the duplex units is consistent with the Single-family Residential Design Guidelines. The use of quality materials and design details, lending visual interest to the dwellings' distinctive character and identity would add aesthetically to the surrounding neighborhood. All sides of the structures present consistent level of architectural detailing and window treatments, breaking the long side wall expanses.

The units provide clearly defined entries, facing the "street/alleyway" with large, usable covered porches provided, affording the occupants the opportunity to interact with their neighbors along the alleyway and providing "eyes on the street", contributing to pedestrian safety and activity.

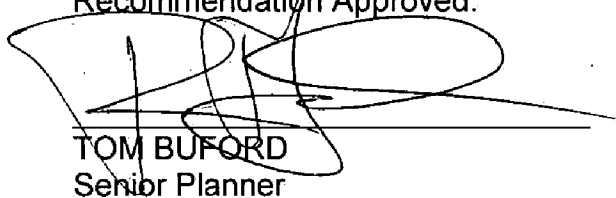
No garages or carports are proposed, rather three parking spaces per lot are provided with two medium to large shade trees proposed for the front yard areas of each lot. The parking areas will be separated from the yard with a wall of shrubbery and the rear yard areas will be enclosed with privacy fencing. Neither lot has a large area available for landscaping but adequate private outdoor space, in the form of patios, porches and balconies is provided. Additionally, there is adequate landscaped yard area for passive recreation. Curtis Park is just two blocks away, across Franklin Boulevard, where typical outdoor activities and entertainment may occur. Staff finds the architectural design to be satisfactory and a good addition that will blend well with the neighborhood.

Respectfully submitted by:



KIMBERLY KAUFMANN-BRISBY
Associate Planner

Recommendation Approved:



TOM BUFORD
Senior Planner

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Attachment 1
Recommended Findings and Conditions

Findings Of Fact

- A. Environmental Determination:** Categorical Exemption: the City Planning Commission finds and determines the proposed project is exempt from environmental review pursuant to Section 15332 of the 2006 California Quality Act and Guidelines based on the following Findings of Fact:
1. The project is consistent with the General Plan designation of Low Density residential (4-15 du/na) and the zoning designation of Multi-family (R-4);
 2. The project consists of less than five acres, is within the city limits and is surrounded by urban uses;
 3. The project site has no value as habitat for endangered, rare, or threatened species;
 4. The site can be adequately served by all required utilities and public services; and,
 5. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- B. The Variance** to allow the construction of one duplex on each of two contiguous parcels lacking public right-of-way frontage in the Multi-family (R-4) zone is approved subject to the following Findings of Fact and Conditions of Approval:
1. A variance cannot be a special privilege extended to one individual property owner. The circumstances must be such that the same variance would be appropriate for any property owner facing similar circumstances. Because the lots are existing, any proposed development would require the approval of a variance in order to comply with Zoning Ordinance requirements. Therefore no special privilege would be extended in this case.
 2. The consideration of "use variances" is specifically prohibited. These are variances which request approval to locate a use in a zone from which it is prohibited by ordinance. No use variance is requested; the proposed use is permitted subject to the granting of a variance to develop on existing lots which lack public street right-of-way.
 3. A variance must not be injurious to public welfare, nor to property in the vicinity of the applicant. The applicant proposes to employ high-quality construction materials, will provide adequate parking on-site for which over-size parking spaces are proposed to mitigate for the shortened maneuvering

area and the vehicular maneuvering will occur outside the public right-of-way. The property will be landscaped to provide adequate shade and create private outdoor spaces for each unit. The development of the properties would eliminate the potential for nuisance activities such as illegal dumping on the vacant lots.

4. A variance must be in harmony with the general purpose and intent of this title. It must not adversely affect the general plan of the specific plans of the city, or the open space zoning regulations. The proposed development is otherwise consistent with the purpose and intent of the zoning regulations in that the safety and proper functioning of the alley and adjacent properties is not impaired. The proposal does not violate any applicable general plan policies.

C. The Variance to reduce the required rear setback in the Multi-family (R-4) zone is approved subject to the following Findings of Fact and Conditions of Approval:

1. A variance cannot be a special privilege extended to one individual property owner. The circumstances must be such that the same variance would be appropriate for any property owner facing similar circumstances.

In order to provide private outdoor space, the rear yard setback is reduced to 10', for a small section of the rear yard area, to allow the encroachment of the patio and balcony areas for each duplex flat. Given the relatively shallow depth of each lot and the development requirements that have evolved since the lots were created, the approval of the variance request is not granting a special privilege to one individual property owner who would be subject to the same development requirements. The granting of the variance would be appropriate for any property owner facing similar circumstances.

2. The consideration of "use variances" is specifically prohibited. These are variances which request approval to locate a use in a zone from which it is prohibited by ordinance. No use variance is requested; the proposed use is permitted subject to the granting of a variance to develop on existing lots which lack public street right-of-way.
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city, or the open space zoning regulations. The proposed development is otherwise consistent with the purpose and intent of the zoning regulations in that the safety and proper functioning of the alley and adjacent properties is not impaired. The proposal does not violate any applicable general plan policies.

D. The **Variance** to reduce the required vehicular maneuvering area is approved subject to the following Findings of Fact and Conditions of Approval:

1. A variance cannot be a special privilege extended to one individual property owner. The circumstances must be such that the same variance would be appropriate for any property owner facing similar circumstances. In order to provide adequate living area and yard/tree area a variance is needed to reduce the maneuvering area behind the parking spaces by 2' to 24'. Given the relatively shallow depth of each lot and the development requirements that have evolved since the lots were created, the approval of the variance request is not granting a special privilege to one individual property owner who would be subject to the same development requirements. The granting of the variance would be appropriate for any property owner facing similar circumstances.
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Conditions Of Approval

The **Variance** to allow the construction of one duplex on each of two contiguous parcels lacking public right-of-way frontage in the Multi-family (R-4) zone is approved subject to the following Conditions of Approval:

B1. Current Planning

- a. Unless specified by any condition below, this project shall be developed and constructed in full compliance with the Zoning Ordinance.
- b. The project shall substantially conform to the approved plans as shown on the attached exhibits including window and door treatments and as conditioned to revise. Modifications/plan substitution will require additional planning review (and may require additional entitlements) and approval prior to the issuance of building permits.
- c. A minimum of three parking spaces shall be provided for each duplex parcel.
- d. The rear patio and balcony may encroach into the rear yard setback area by 5 feet.
- e. The required maneuvering area is reduced to 24 feet for each parcel.
- f. The siding shall consist of fiber cement lap siding of a same or similar quality to HardiPlank.
- g. Provide seamless gutters along all appropriate rooflines, including the porch, with downspouts where applicable.
- h. A minimum of 30-year laminated dimensional composition shingle shall be used and all rooflines, including the porch, shall have a heavy ridge cap.
- i. All mechanical equipment shall be enclosed in cabinet(s) or screened by landscaping and/or screens/fencing, where landscaped areas are of insufficient width to accommodate adequate landscaping. Roof-mounted HVAC units are not permitted. Final designs, including all outdoor mechanical equipment, of landscaping and/or screening shall be shown on the final landscaping plan.
- j. The applicant shall paint electrical meters/cabinets, telephone connection boxes, and other utility appurtenances to match the dwelling to which they are attached.

- k. Prior to the issuance of building permits, the developer shall submit plans for a, 6' tall enhanced and capped wooden fence with wood clad metal posts to the planning director for review and approval. Said fence shall then be installed along the north, east, and west boundaries of the development prior to the issuance of final building permit(s). The enhanced fence shall be a two-sided "good-neighbor" fence where shared between the two parcels (16 and 17). The fence shall step-down to a height of no more than 4' within the 20' front setback area. The rear yard area shall be gated outside the 20' front yard setback area w/a 6'-tall gate for privacy and security. All portions of the fence shall be maintained by the owner(s) in good working and aesthetic order. Any portion(s) of the fence in poor repair shall be replaced, with an identical fencing type, within 30 days of discovery.
- l. All driveway/parking spaces shall be paved with concrete.
- m. No Final Building permit(s) shall be issued for the duplexes until the site is fully landscaped including, but not limited to, automatic irrigation installation in front, side and rear yard areas, sidewalk/walkways and paths from the duplexes to the alleyway constructed, front, side, and rear yard landscaping, shrubbery, and duplex identification signage installed.
- n. Comply with the fifty percent shading requirement for all parking areas (Sec. 17.64.030(h) of the Zoning Ordinance.
- o. Development lighting shall be coordinated with the landscaping plan so there is minimal interference between the light standards and the required illumination, the trees, and the required shading. All light fixtures shall be vandal-resistant, ornamental and shall be no taller than 16' in height.
- p. Landscaping plans shall be submitted to the Building Division - Site Conditions Unit for review and approval by the Site Conditions Unit and the Landscape Architecture Section. The scope of the review shall include plant species selection, landscape materials, irrigation system, and calculation to ensure that the 50% shading requirement is met.
- q. Automatic front yard sprinklers and landscaping with a minimum of one 24" box shade tree and one 15 gal. shade tree, from the City's approved tree list, shall be installed in the front yard of each duplex. The approved trees are as follows: Chinese Pistache-Pistacia chinensis; Ginko-Ginko Biloba; Little Leaf Linden-Tilia cordata; Hedge Maple- Acer Campestre; Trident Maple-Acer buergeranum; Mayten Tree-Maytenus boaria; Evergreen Pear-Pyrus kawakamii, Texas Redf Oak-Quercus buckleyi, . All trees shall have medium to deep roots and be medium to slow growing. No Final Building Permit for the dwellings may be issued prior to the installation of the approved landscaping and irrigation. The landscaping shall be maintained in healthy condition by the owner(s) in perpetuity.

- r. Continuous 6" high, 6" wide reinforced concrete curbing shall be provided around all planter areas within or adjacent to parking areas and alleyways. A reinforced 6" vertical curb shall extend along the entirety of the concrete parking area and maneuvering area except where the sidewalk that leads to the duplex bisects the parking area. The use/installation of parking stops is prohibited.
- s. Landscaping shall be provided to screen ground-mounted mechanical equipment, backflow preventors, transformers, and other similar appurtenances to the satisfaction of the Planning Director.
- t. The entire landscape area shall have automatic irrigation installed and operational.
- u. Adequate spacing will be provided between the trees to allow the trees to obtain full maturity growth potential. The trees shall have a minimum mature diameter of 20-30 feet and shall be planted no closer than 20'-30' on center. All landscaped area soil surfaces shall be covered with living groundcover within two years of installation. If groundcover is contraindicated beneath the trees a covering 6" deep with mulch shall be applied and maintained in perpetuity beneath and around the trees to a diameter of six feet around the base of each tree.

Lighting:

- v. Lighting fixtures shall be of a high quality decorative design, having a color and style, which is compatible with the building architecture, as determined by the Planning Director.
- w. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
- x. Each building address number shall be illuminated and be readily visible from the alleyway.
- y. Lighting levels shall be as follows: 1.5 foot-candles of minimum maintained illumination per square foot of parking space between the hours of dusk and one hour after sunrise. A minimum of 0.25 foot-candles of illumination shall be provided at the surface of any walkway, alcove, passageway, or parking area related to the development during the same hours.

B2. Utilities

- a. This project is located in the combined sanitary sewer service area and the developer will be required to pay a fee of \$105 per unit.

B3. Fire Department

- a. Roads used for Fire Department access shall have an unobstructed width of not less than 20' and unobstructed vertical clearance of 13'6" or more. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall, at a minimum, be provided with a finished road surface consisting of 2 inches of asphalt concrete (AC) over 6 inches of aggregate base (AB) or the equivalent in concrete or other approved surface.
- b. Provide a fire hydrant in accordance with CFC 903.4.2 and Appendix III-B, Section 5.
OR
All structures proposed for this project shall be equipped with an approved automatic fire sprinkler system. The automatic fire sprinkler system shall be designed to NFPA 13D standards for residential applications.
- c. Alley shall be marked "No Parking Fire Lane" on both sides.

B4. Police Department

- a. The parking areas shall be illuminated at a minimum level of 1.5 foot-candles during hours of darkness.
- b. Security and parking area lights shall be controlled by photocell and shall remain on during hours of diminished light.
- c. Each entry, patio, balcony, and pedestrian walk shall be equipped with its own light source.
- d. Parking areas, aisles, passageways, recesses, and grounds contiguous to any structure shall be provided with high intensity discharge lighting with sufficient wattage to provide adequate illumination for the safety and security of vehicles and pedestrians using the site during the hours of darkness or diminished light. Such lighting shall be equipped with vandal-resistant covers/lenses.
- e. All exterior doors shall be adequately illuminated with their own light source.

- f. Exterior door, perimeter, canopy, and parking area lights shall be controlled by photocell and shall remain on during the hours of darkness or diminished light.
- g. All required lighting shall be high-pressure sodium with vandal-resistant covers/lenses.
- h. Ground-level pation fences should be low profile to allow observation while still providing a sense of privacy.
- i. During construction, the developer shall enclose the entire project perimeter with a chain-link fence with the necessary construction gates that shall be locked after normal construction hours.
- j. Single sliding glass doors shall have the moveable section of the door adjusted so the up and down play is taken up to prevent lifting with a pry tool to defeat the locking mechanism.
- k. Secondary deadlocks shall be installed on all single sliding glass doors accessible from ground level or adjacent balconies. Lock bolts shall be of hardened material or shall have hardened steel inserts.
- l. Secondary locking devices are required on ground floor windows and any windows accessible from outside connecting balconies.
- m. Outside hinges on all exterior doors shall be provided with non-removable pins when pin-type hinges are used or shall be provided with hinge studs, to prevent removal of the door.
- n. The residences main entrance door(s) shall be secured with single-cylinder deadbolt locks with a minimum throw of one inch, in addition to door latches with a one-half inch minimum throw. The locks should be constructed so both deadbolt and dead latch can be retracted by a single action of the inside doorknob.
- o. Any glass door(s) shall be secured with a deadbolt lock with a minimum throw of one-inch. The outside ring shall be free-moving and case hardened.
- p. Doors with glass panels and doors with glass panels adjacent to the door frame shall be secured with burglary-resistant glazing or the equivalent, if double-cylinder deadbolt locks are not installed.
- q. Windows shall be constructed so when the window is locked it cannot be lifted from the frame (sliding).
- r. The sliding portion of a sliding glass window shall be on the inside track.

- s. Window locking devices shall be capable of withstanding a force of 300 pounds in any direction.
- t. If the barrier is on the outside, it shall be secured with galvanized rounded-head flush bolts of at least 3/8" diameter on the outside.
- u. A viewing device or peephole shall be installed in each individual entrance door and shall allow for 180 degree vision.
- v. Vision panels in exterior doors (if used) or within reach of the inside activating device shall be made of burglary-resistant glazing or equivalent.
- w. Windows shall be constructed so when the window is locked it cannot be lifted from the frame. The vertical play shall be taken up to prevent lifting of the movable section to defeat the locking mechanism.
- x. Landscaped areas should be planned for maximum growth while also providing unobstructed observation of parking areas, buildings, and pathways day and night.

B5. Parks

- a. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project to an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Development Services Department, Special Districts, Project Manager. In assessment districts, the cost of neighborhood park maintenance is equitably spread on the basis of special benefit. In special tax districts, the cost of neighborhood park maintenance is spread based upon the hearing report, which specifies the tax rate and method of apportionment.)
- b. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
 - 1) Title 18, 18.44 Park Development Impact Fee (PIF), due at the time of issuance of building permit. The Park Development Impact Fee due for this project is estimated at \$13,188. This fee is based on four duplex units at \$3,297 each. Any change in these factors will change the amount of PIF due. The fee is calculated using factors at the time the project is submitted for building permit.

B6. SMUD

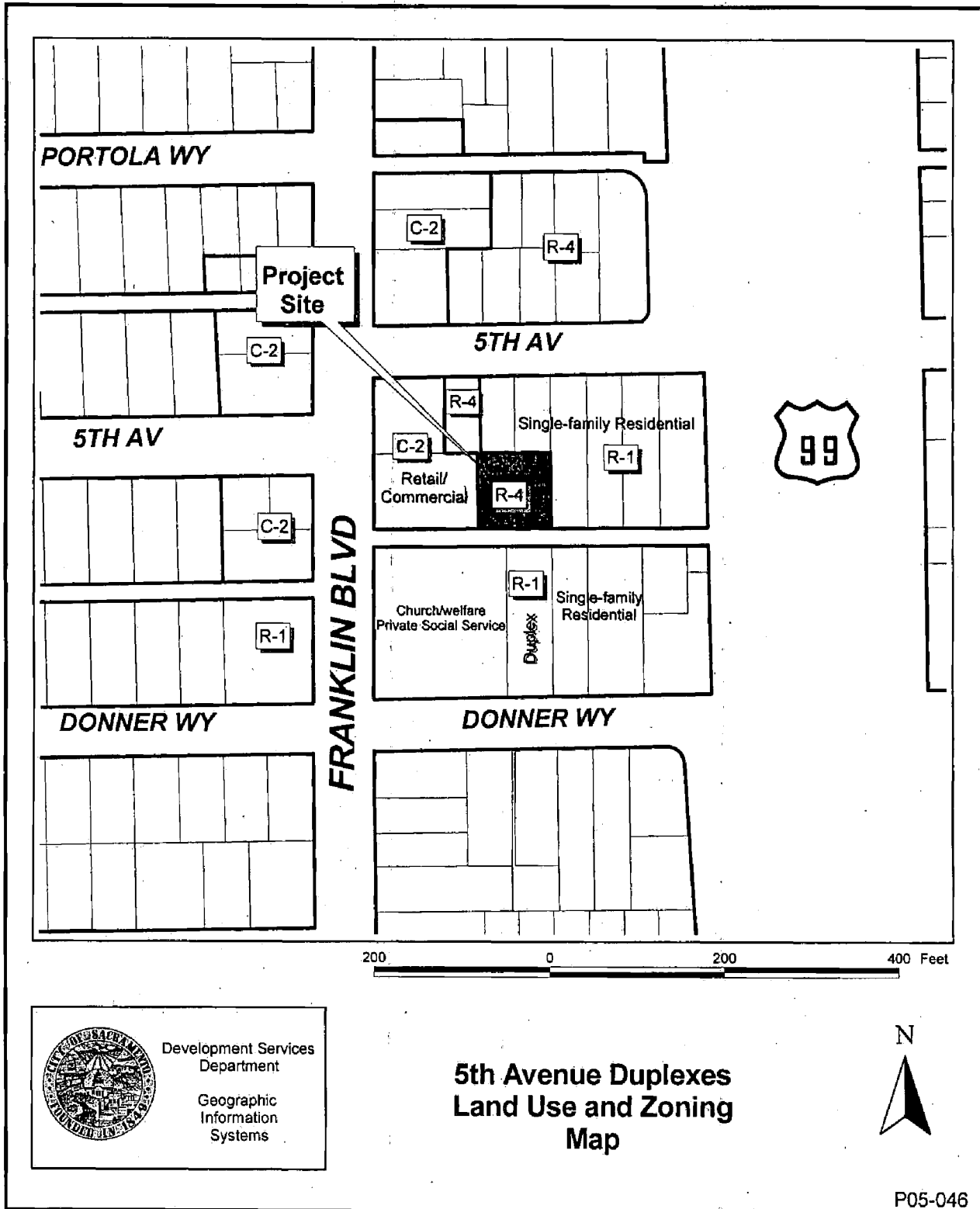
- a. Dedicate a 5-foot public utility easement for overhead and underground facilities and appurtenances adjacent to the east property line of APN: 013-0137-017.
- b. Dedicate a 5-foot public utility easement for overhead and underground facilities and appurtenances adjacent to the west property line of APN: 013-0137-016.

There is an existing electrical secondary line that cuts diagonally from the southeast corner to the northwest corner which provides service to the properties to the north.

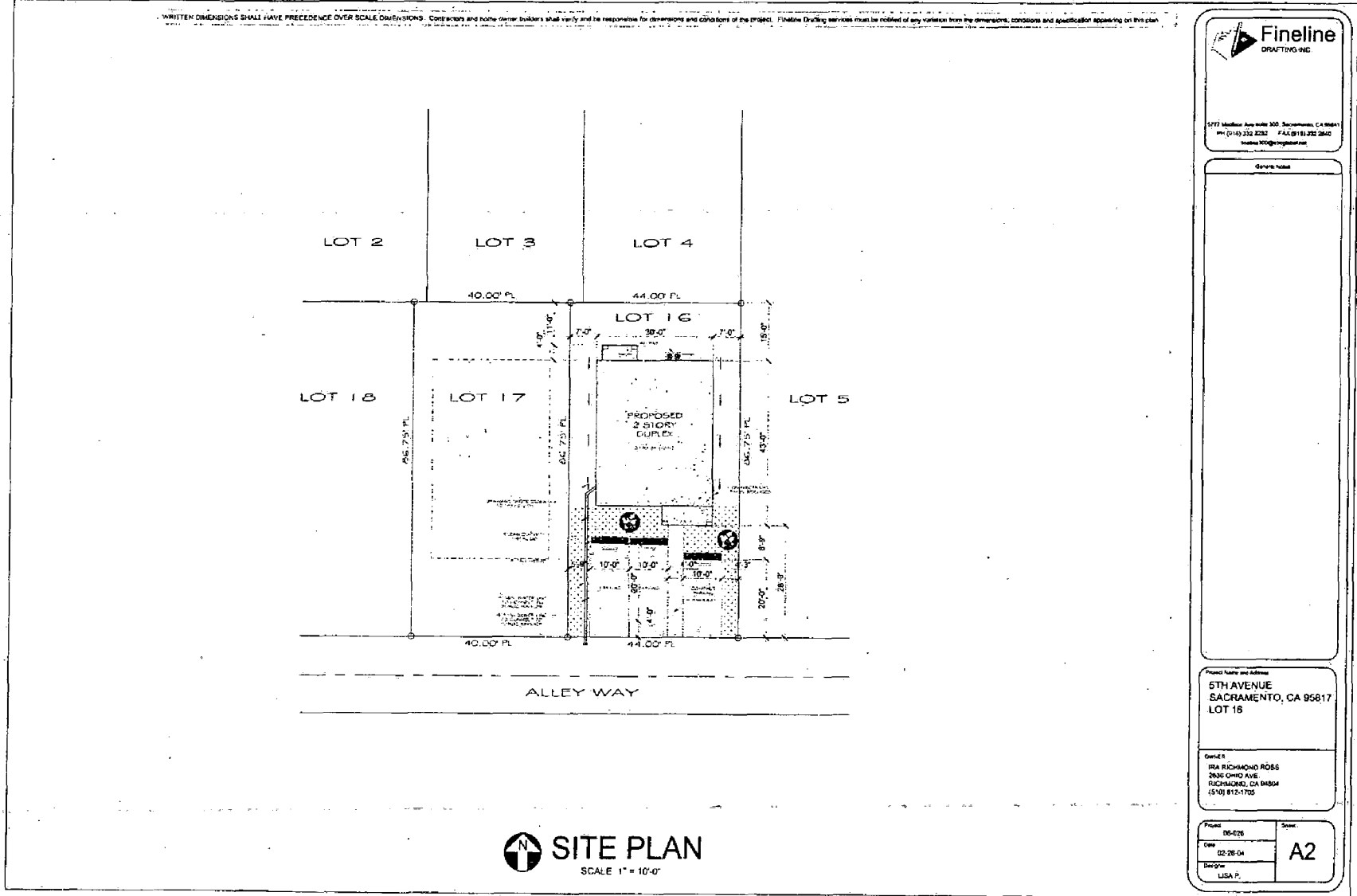
B7. Development Engineering

- a. Alley improvements are required from the property boundary to the nearest public street (Franklin Boulevard). Repair/reconstruct any deteriorated portions of the existing alley. Alley improvements shall be to City standards and shall be constructed to the satisfaction of the Development Engineering Division.
- b. The developer shall provide adequate lighting to the existing alley to the satisfaction of the Development Engineering Division.
- c. The design of walls, fences, and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back three (3") feet behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited to 42" in height at maturity. The area of exclusion shall be determined by the Development Engineering division.

Land Use and Zoning Map



Site Plan-Lot 16



5777 Madison Ave Suite 300, Sacramento, CA 95841
 PH: (916) 252-8282 FAX: (916) 252-2840
 fineline300@comcast.net

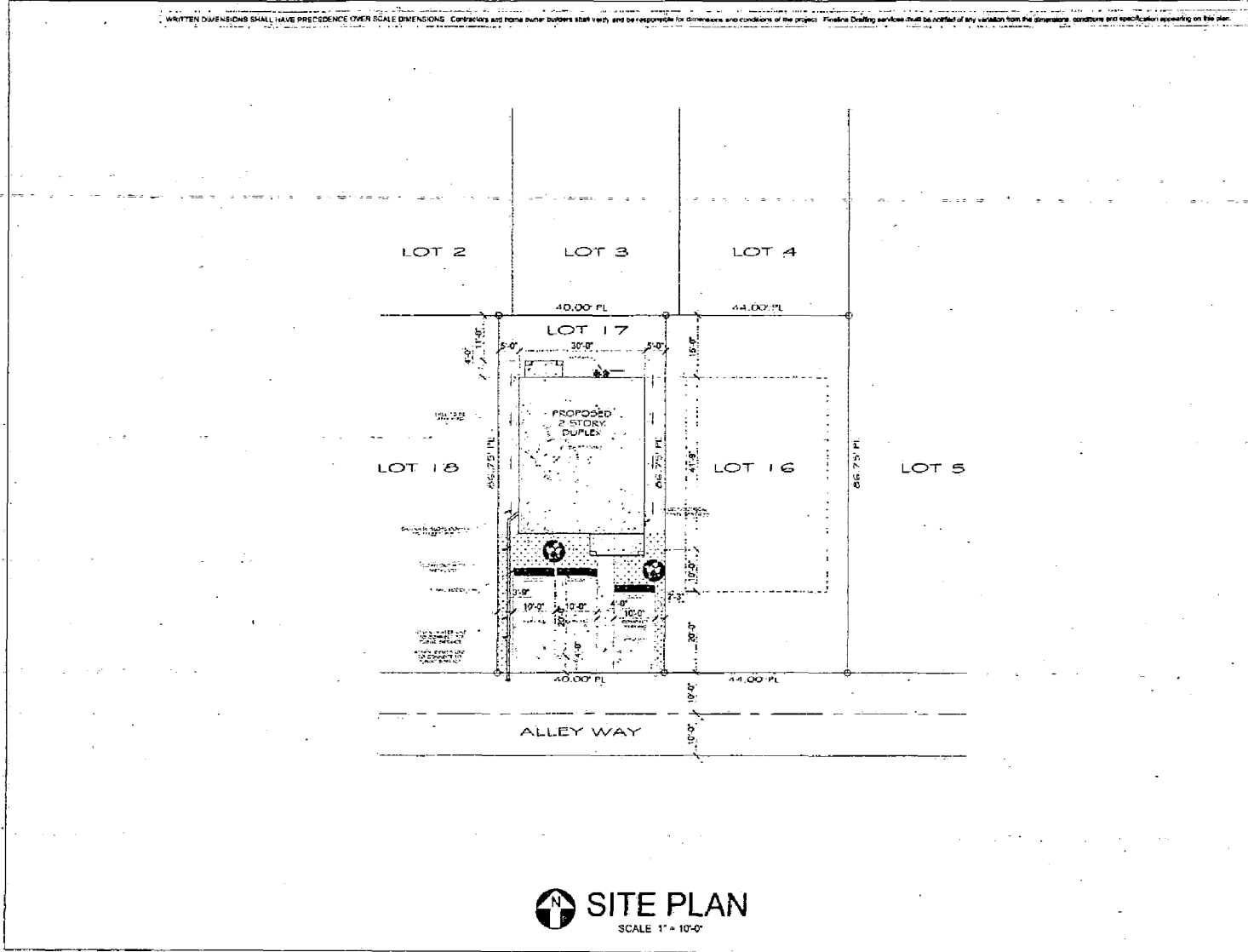
General notes

Project Name and Address
 5TH AVENUE
 SACRAMENTO, CA 95817
 LOT 16

Owner
 ISA RICHMOND ROSS
 2836 OHIO AVE
 RICHMOND, CA 94804
 (415) 810-1705

Project	DS-425	Sheet	A2
Date	02-28-04		
Designer	LISA P.		

Site Plans-Lot 17



5775 Mission Ave Suite 300, Sacramento, CA 95817
 PH: (916) 332-2290 FAX: (916) 332-2840
 fineline2003@earthlink.net

General notes

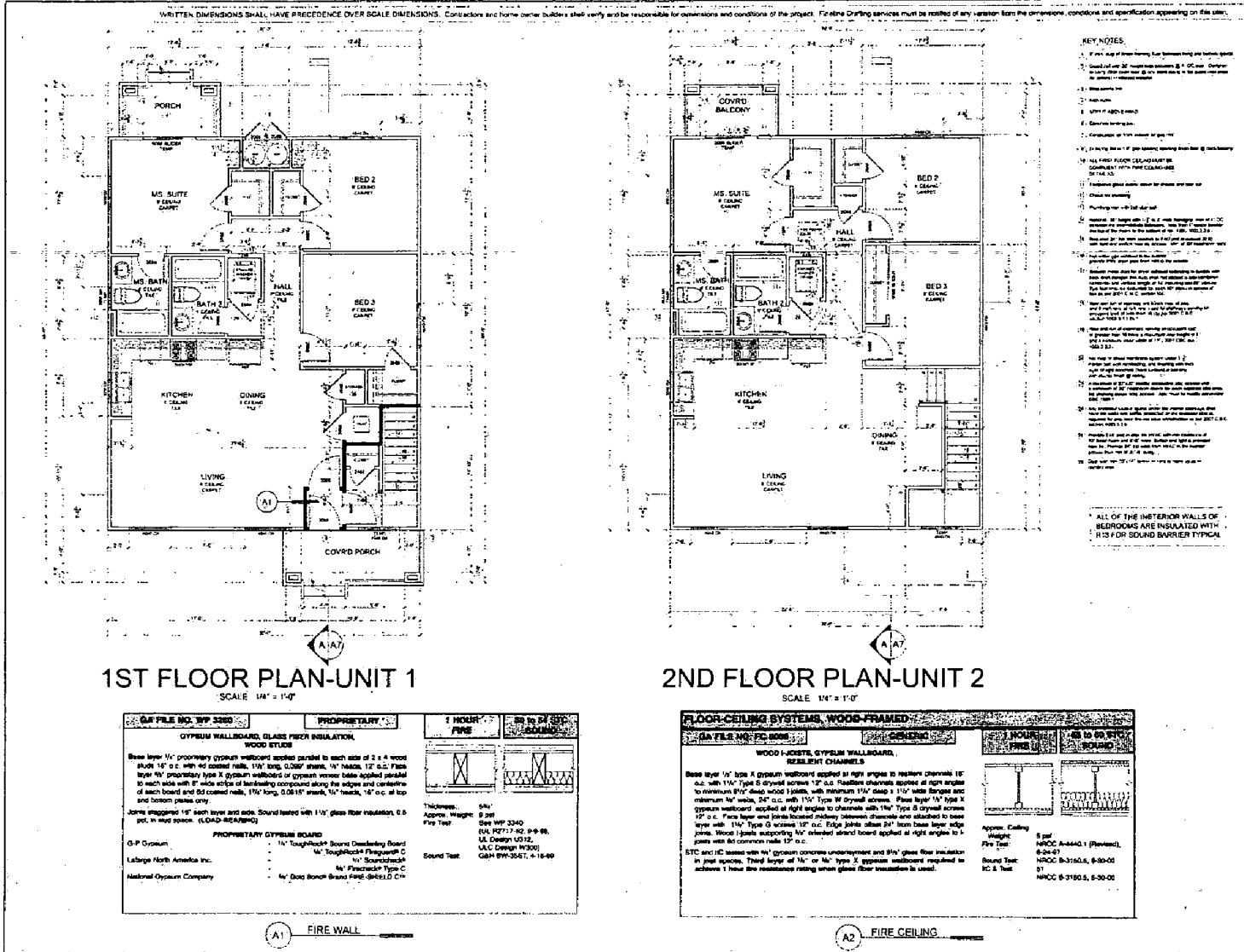
Project Name and Address
 5TH AVENUE
 SACRAMENTO, CA 95817
 LOT 17

OWNER
 IRA RICHMOND ROSS
 2630 OHIO AVE
 RICHMOND, CA 94804
 (510) 832-1796

Project: 05-023
 Date: 04-06-06
 Designer: L

Sheet: A2

Floor Plans-Lot 16



Fineline DRAFTING INC.

5177 Magellan Ave Suite 200 Sacramento, CA 95827
PH (916) 212-2280 FAX (916) 332-2840
Andres.N@fineline.com

General Notes

Check materials in schedule, lumber, and hardware listed under finish contact with respective supplier.

Pressure sensitive or thermosetting contact paper for floor, and floor finish.

① Windows and doors shall be finished with wood trim, with stain of 125 F degree.

A minimum 2x6 stud is required wherever the piping will be in the wall or ceiling per 2. of 2. Over damper as per 2001 CPC section 313.2

Seal all of the plastic gas pipes and water pipes to the service ground as per 2001 CPC section 250.50.

Provide a minimum 4" average rise as per 2001 CPC Table 7.3.1-5.

The minimum capacity for water heaters shall be in accordance with the first hour rating as per 2001 CPC Table 5-1.

Showers shall be finished with a smooth, hard non-slip surface to a height of not less than 70 inches above the drain pan per CSC 207.1.3. When gypsum board is used as a base for tile or wall panels at showers, walls - reinforced gypsum backing shall be used per CSC 2512. Water-resistant gypsum backing board shall not be used on ceiling framing, recessed more than 12 inches on center per CSC 2512.3.

All natural light sources (windows, skylights) of any interior room shall be 1/10 of the floor area (with any area of 10 square feet) in all applicable rooms as per 2001 C.B.C. section 1203.2.

Non-retro-reflective exit door prevention devices are required on all exterior door lites as per 2001 CPC section 603.

Provide safety glazing for all glazing located in hazardous locations as specified in 2001 CSC Section 608.4.

Project Name and Address:

5TH AVENUE DUPLEXES
SACRAMENTO, CA 95817
LOT 16

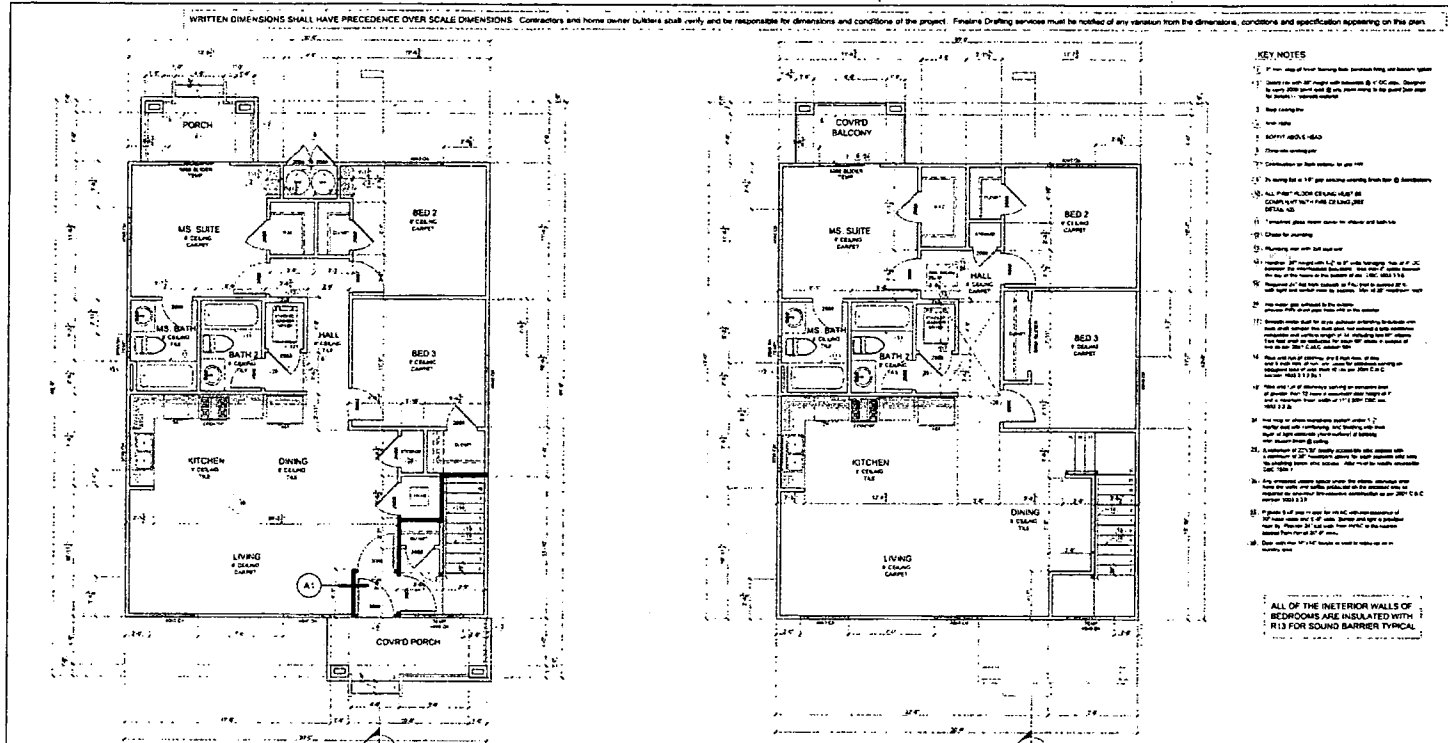
OWNER:

RJA RICHMOND RIDGE
RICHMOND, CALIFORNIA
(510) 817-1705

Project: 06-026
Date: 02-28-04
Designer: LISA P.

A3

Floor Plans-Lot 17



1ST FLOOR PLAN-UNIT 1

2ND FLOOR PLAN-UNIT 2

- KEY NOTES**
1. All work shall be in accordance with the Building Code and all applicable codes.
 2. All work shall be in accordance with the Building Code and all applicable codes.
 3. See schedule.
 4. See schedule.
 5. See schedule.
 6. See schedule.
 7. See schedule.
 8. See schedule.
 9. See schedule.
 10. See schedule.
 11. See schedule.
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 42. See schedule.
 43. See schedule.
 44. See schedule.
 45. See schedule.
 46. See schedule.
 47. See schedule.
 48. See schedule.
 49. See schedule.
 50. See schedule.

ALL OF THE INTERIOR WALLS OF BEDROOMS ARE INSULATED WITH R13 FOR SOUND BARRIER TYPICAL

QA FILE NO. WP 2200 PROPRIETARY

CYPRES WALLBOARD, GLASS FIBER INSULATION, WOOD STUDS

Base layer 1/2" proprietary gypsum wallboard applied parallel to each side of 2 x 4 wood studs 16" o.c. with 40 corner nails, 1/4" long, 0.005" thick, 1/4" heads, 12" o.c. Face layer 1/2" proprietary type X gypsum wallboard or gypsum veneer base applied parallel to each side with 8" wide strips of reinforcing compound along the edges and perimeter of each board and no corner nails. 1/4" long, 0.005" thick, 1/4" heads, 16" o.c. at top and bottom joints only.

Joints staggered 16" each layer and side. Sound tested with 1 1/2" glass fiber insulation, 0.8 in. in stud cavity. (LOAD-BEARING)

PROPRIETARY GYPSUM BOARD

G P Gypsum 1/2" ToughRock Sound Dampening Board
Lathrite North America Inc. 1/2" SoundShield
National Gypsum Company 1/2" ProGrade Type C

Thickness: 5/8"
Approx. Weight: 8 psf
Fire Test: See WP 2200 (UL R217-S2, 0-4-06, UL Design U912, U.L.C. Design W002)
Sound Test: QM BW-3531, 6-16-06

GO TO 5th STY. SCALE

A1 FIRE WALL

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

QA FILE NO. WP 2200 PROPRIETARY

WOOD JOIST, GYPSUM WALLBOARD, REINFORCED CHANNELS

Base layer 1/2" type X gypsum wallboard applied at right angles to joists channels 12" o.c. with 1/4" Type S drywall screws 12" o.c. Reinforced channels applied at right angles to joists with 1/4" Type S drywall screws 12" o.c. with 1/4" wide flanges and minimum 1/4" wide, 24" o.c. with 1/4" Type W drywall screws. Face layer 1/2" type X gypsum wallboard applied at right angles to channels with 1/4" Type S drywall screws 12" o.c. Face layer and joints located midway between channels and attached to base layer with 1/4" Type G screws 12" o.c. Edge joints offset 24" from base layer side joints. Wood joists supporting 1/2" oriented strand board applied at right angles to joists with 80 common nails 12" o.c.

STC and IIC tested with 1/2" gypsum concrete underlayment and 3/4" glass fiber insulation in joist spaces. Third layer of 1/2" or 5/8" type X gypsum wallboard required to achieve 1 hour fire resistance rating when glass fiber insulation is used.

Approx. Ceiling Weight: 8 psf
Fire Test: NPCC A-4440-1 (Rev.04/05), 6-24-07
Sound Test: NPCC B-3150.3, 6-30-00; NPCC B-3150.5, 6-30-00

A2 FIRE CEILING



1771 Madison Ave. Suite 300, Sacramento, CA 95811
Ph: (916) 332-2282 Fax: (916) 332-2840
mailto:info@fineline.com

General Notes

Deck material is reprocessed lumber, and pressure treated lumber when contact with concrete surface.

Pressure balance on thermostatic control valve for hot and cold water @ shower and shower/tub. Pre-set temp. with max. of 120°F degrees.

A minimum 2x6 is all is required wherever the joist is in the wall or greater than 2" of eave overhang as per 2001 CPC section 2132

Bond all of the masonry, gas pipe and water pipe to this surface ground as per 2001 CPC section 20040

Provide a minimum 4" average free air per 2001 C.P.C. Table 7.03-5

The minimum capacity for water heaters shall be in accordance with the first hour rating as per 2001 CPC Table 5-1

Showers shall be finished with a smooth, hard non-absorbent surface to a height of not less than 70 inches above the drain and per CBC 2071.3. When gypsum board is used as a base for tile or wall panels at showers, water-resistant gypsum backing board shall be used per CBC 2512. Water-resistant gypsum backing board shall not be used on ceiling framing spaced more than 12 inches on center per CBC 2512 (3)

All natural light source (window, skylight or any other source) shall be 1/10 of the floor area (with the min. of 10 square feet) in all applicable rooms as per 2001 C.P.C. section 1200.2.

Non-removable ballless pressure-reducing devices are required on all exterior hose bibs as per 2001 CPC section 603

Provide safety glazing for all glazing located in hazardous locations as specified in 2001 CBC Section 2408.4

Project Name and Address
5TH AVENUE
SACRAMENTO, CA 95817
LOT 17

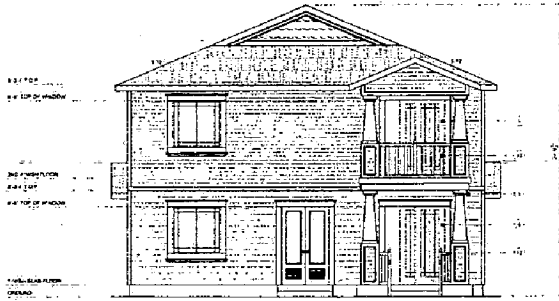
OWNER
IRA RICHMOND ROSS
2620 CHARD AVE.
RICHMOND, CA 94804
(510) 872-1705

Revised: 06-07
Date: 04-06-06
Designer: L

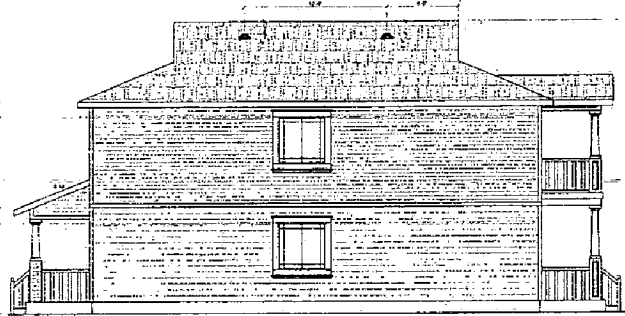
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Block: A3

Building Elevations-Lot 16

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR AND HOME OWNER/BUYERS SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE PROJECT. If outside Drafting services must be notified of any variation from the dimensions, conditions and specifications appearing on the plan.



REAR ELEVATION-NORTH
SCALE 1/4" = 1'-0"

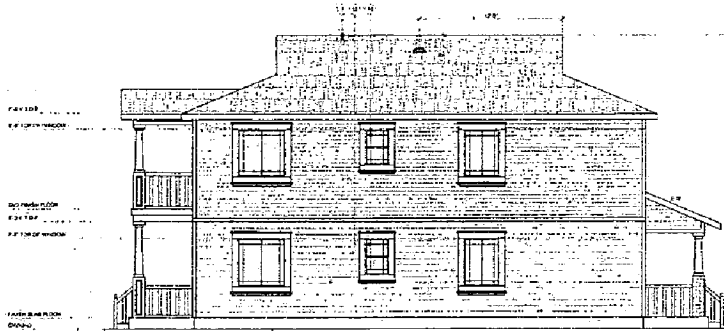


RIGHT ELEVATION-EAST
SCALE 1/4" = 1'-0"

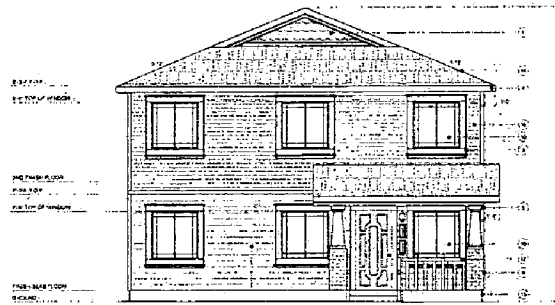
ATTIC ROOF VENTILATION CALCULATIONS

FLOOR AREA OF THE ROOMS		TOTAL ROOM VOLUME	
ROOM	AREA (SQ. FT.)	VOLUME (CU. FT.)	PER ROOM
1ST FLOOR	1,200	12,000	12,000
2ND FLOOR	1,200	12,000	12,000
ATTIC	1,200	12,000	12,000
TOTAL	3,600	36,000	36,000

MINIMUM VENTILATION REQUIREMENTS	
ROOM	MINIMUM VENTILATION (SQ. FT.)
1ST FLOOR	100
2ND FLOOR	100
ATTIC	100
TOTAL	300



LEFT ELEVATION-WEST
SCALE 1/4" = 1'-0"



FRONT ELEVATION-SOUTH
SCALE 1/4" = 1'-0"



8177 Middleton Ave. Suite 300, Sacramento, CA 95841
PH (916) 432-2200 FAX (916) 352-2848
fineline@comcast.net

General Notes

LEGEND

- 1. Exposed brick walls
- 2. Hardwood floors
- 3. 2x4 wood joists
- 4. 2x6 wood joists
- 5. 2x8 wood joists
- 6. 2x10 wood joists
- 7. 2x12 wood joists
- 8. 2x14 wood joists
- 9. 2x16 wood joists
- 10. 2x18 wood joists
- 11. 2x20 wood joists
- 12. 2x22 wood joists
- 13. 2x24 wood joists
- 14. 2x26 wood joists
- 15. 2x28 wood joists
- 16. 2x30 wood joists
- 17. 2x32 wood joists
- 18. 2x34 wood joists
- 19. 2x36 wood joists
- 20. 2x38 wood joists
- 21. 2x40 wood joists
- 22. 2x42 wood joists
- 23. 2x44 wood joists
- 24. 2x46 wood joists
- 25. 2x48 wood joists
- 26. 2x50 wood joists
- 27. 2x52 wood joists
- 28. 2x54 wood joists
- 29. 2x56 wood joists
- 30. 2x58 wood joists
- 31. 2x60 wood joists
- 32. 2x62 wood joists
- 33. 2x64 wood joists
- 34. 2x66 wood joists
- 35. 2x68 wood joists
- 36. 2x70 wood joists
- 37. 2x72 wood joists
- 38. 2x74 wood joists
- 39. 2x76 wood joists
- 40. 2x78 wood joists
- 41. 2x80 wood joists
- 42. 2x82 wood joists
- 43. 2x84 wood joists
- 44. 2x86 wood joists
- 45. 2x88 wood joists
- 46. 2x90 wood joists
- 47. 2x92 wood joists
- 48. 2x94 wood joists
- 49. 2x96 wood joists
- 50. 2x98 wood joists
- 51. 2x100 wood joists

Project Name and Address
5TH AVENUE
SACRAMENTO, CA 95817
LOT 16

OWNER
1824 RICHMOND RIDGE
2830 OHIO AVE.
RICHMOND, CA 94804
(510) 833-1700

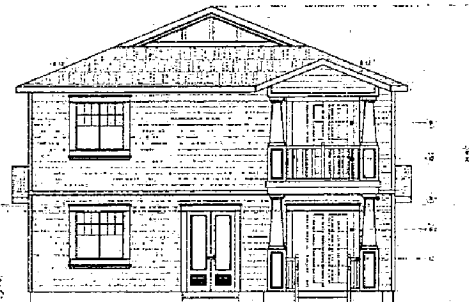
Project No: 26-026
Date: 02-28-04
Design: LISA P.
Sheet: A5

August 24, 2006

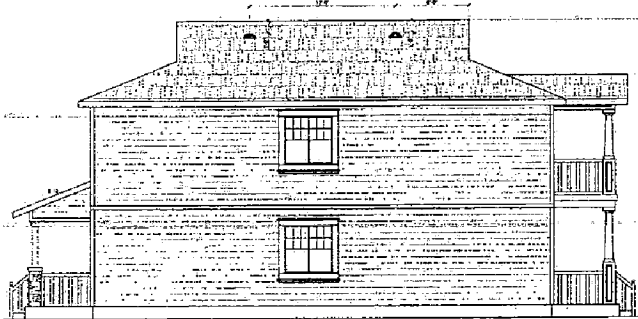
Subject: 5th Avenue Duplexes (P05-046)

Building Elevations-Lot 17

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner/builder shall verify and be responsible for dimensions and conditions of the project. FineLine Drafting services must be notified of any variation from the dimensions, conditions and specifications appearing on this plan.




REAR ELEVATION-NORTH
SCALE 1/4" = 1'-0"



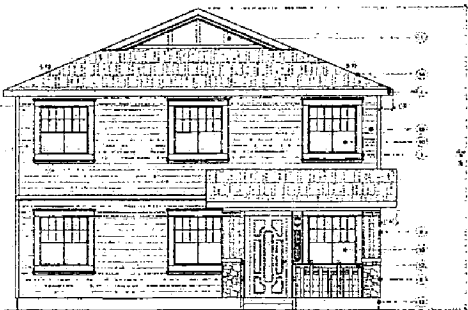
RIGHT ELEVATION-EAST
SCALE 1/4" = 1'-0"

ATTIC ROOF VENTILATION CALCULATIONS


ITEM	DESCRIPTION	AREA	CFM	CFM/100
1	Attic Floor	1000	100	10
2	Attic Ceiling	1000	100	10
3	Attic Walls	1000	100	10
4	Attic Roof	1000	100	10
5	Attic Windows	1000	100	10
6	Attic Doors	1000	100	10
7	Attic Vents	1000	100	10
8	Attic Exhaust	1000	100	10
9	Attic Inlets	1000	100	10
10	Attic Outlets	1000	100	10
11	Attic Balances	1000	100	10
12	Attic Filters	1000	100	10
13	Attic Screens	1000	100	10
14	Attic Grilles	1000	100	10
15	Attic Registers	1000	100	10
16	Attic Diffusers	1000	100	10
17	Attic Louvers	1000	100	10
18	Attic Shutters	1000	100	10
19	Attic Blinds	1000	100	10
20	Attic Curtains	1000	100	10
21	Attic Shades	1000	100	10
22	Attic Slats	1000	100	10
23	Attic Panels	1000	100	10
24	Attic Tiles	1000	100	10
25	Attic Boards	1000	100	10
26	Attic Planks	1000	100	10
27	Attic Joists	1000	100	10
28	Attic Rafters	1000	100	10
29	Attic Trusses	1000	100	10
30	Attic Beams	1000	100	10
31	Attic Posts	1000	100	10
32	Attic Columns	1000	100	10
33	Attic Brackets	1000	100	10
34	Attic Caps	1000	100	10
35	Attic Pediments	1000	100	10
36	Attic Cornices	1000	100	10
37	Attic Eaves	1000	100	10
38	Attic Gutters	1000	100	10
39	Attic Downspouts	1000	100	10
40	Attic Soffits	1000	100	10
41	Attic Fascias	1000	100	10
42	Attic Siding	1000	100	10
43	Attic Shingles	1000	100	10
44	Attic Tiles	1000	100	10
45	Attic Slate	1000	100	10
46	Attic Metal	1000	100	10
47	Attic Asphalt	1000	100	10
48	Attic Concrete	1000	100	10
49	Attic Brick	1000	100	10
50	Attic Stone	1000	100	10
51	Attic Mortar	1000	100	10
52	Attic Grout	1000	100	10
53	Attic Sealant	1000	100	10
54	Attic Caulk	1000	100	10
55	Attic Adhesive	1000	100	10
56	Attic Primer	1000	100	10
57	Attic Paint	1000	100	10
58	Attic Stain	1000	100	10
59	Attic Varnish	1000	100	10
60	Attic Wax	1000	100	10
61	Attic Polish	1000	100	10
62	Attic Cleaner	1000	100	10
63	Attic Degreaser	1000	100	10
64	Attic Disinfectant	1000	100	10
65	Attic Antimicrobial	1000	100	10
66	Attic Mold Remover	1000	100	10
67	Attic Rust Remover	1000	100	10
68	Attic Scale Remover	1000	100	10
69	Attic Hardener	1000	100	10
70	Attic Sealer	1000	100	10
71	Attic Finish	1000	100	10
72	Attic Topcoat	1000	100	10
73	Attic Undercoat	1000	100	10
74	Attic Primer	1000	100	10
75	Attic Sealant	1000	100	10
76	Attic Caulk	1000	100	10
77	Attic Adhesive	1000	100	10
78	Attic Primer	1000	100	10
79	Attic Paint	1000	100	10
80	Attic Stain	1000	100	10
81	Attic Varnish	1000	100	10
82	Attic Wax	1000	100	10
83	Attic Polish	1000	100	10
84	Attic Cleaner	1000	100	10
85	Attic Degreaser	1000	100	10
86	Attic Disinfectant	1000	100	10
87	Attic Antimicrobial	1000	100	10
88	Attic Mold Remover	1000	100	10
89	Attic Rust Remover	1000	100	10
90	Attic Scale Remover	1000	100	10
91	Attic Hardener	1000	100	10
92	Attic Sealer	1000	100	10
93	Attic Finish	1000	100	10
94	Attic Topcoat	1000	100	10
95	Attic Undercoat	1000	100	10
96	Attic Primer	1000	100	10
97	Attic Sealant	1000	100	10
98	Attic Caulk	1000	100	10
99	Attic Adhesive	1000	100	10
100	Attic Primer	1000	100	10



LEFT ELEVATION-WEST
SCALE 1/4" = 1'-0"



FRONT ELEVATION-SOUTH
SCALE 1/4" = 1'-0"



5777 Midway Ave. Suite 200, Sacramento, CA 95841
 Tel: (916) 332-2242 Fax: (916) 332-2840
 Email: info@fineline-drafting.com

Project Name:

Client:

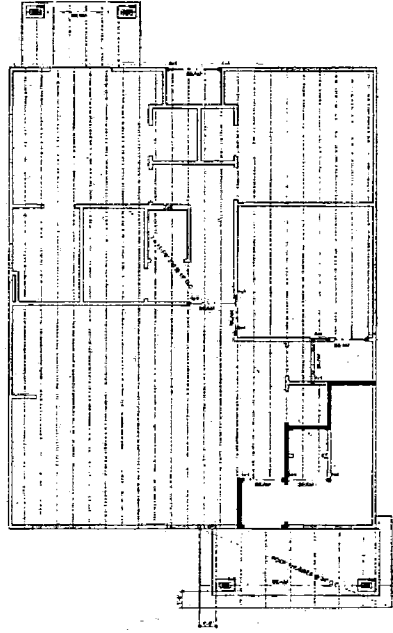
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8. 5th Avenue Duplex
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10. 5th Avenue Duplex
11. 5th Avenue Duplex
12. 5th Avenue Duplex
13. 5th Avenue Duplex
14. 5th Avenue Duplex
15. 5th Avenue Duplex
16. 5th Avenue Duplex
17. 5th Avenue Duplex
18. 5th Avenue Duplex
19. 5th Avenue Duplex
20. 5th Avenue Duplex

Project Address:
 5TH AVENUE
 SACRAMENTO, CA 95817
 LOT 17

Owner:
 614 RICHMOND ROAD
 2630 OHIO AVE.
 RICHMOND, CA 94804
 (510) 812-1705

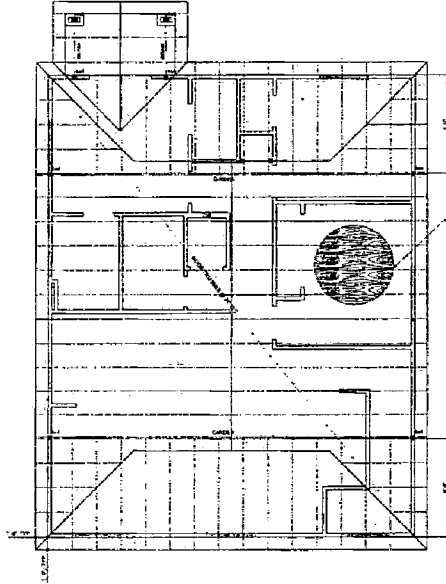
Sheet: 05-077 **Sheet:** A5
Date: 04-08-06
Designer: L

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner builders shall verify and be responsible for alterations and conditions of the project. Finesline Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on the plan.

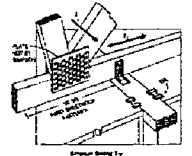


2ND FLOOR FRAMING
SCALE 1/4" = 1'-0"

CONTRACTOR/OWNER SHALL DOUBLE CHECK THE DIMENSIONS OF THE ACTUAL, EXISTING STRUCTURE, TOP PLATES WITH THE TRUSS SPACING DIMENSIONS ON TRUSS CALCULATION, BEFORE THE TRUSS FABRICATION



ROOF FRAMING
SCALE 1/4" = 1'-0"



Support being 1" x 6"



1. Truss spacing shall be 24" on center.

Finesline
DRAFTING INC.

2177 Mission Ave. Suite 208, Sacramento, CA 95841
PH (916) 222-2292 FAX (916) 222-2840
info@finesline.com

General Notes

1. Fabricate trusses according to the truss specification per 2003 International Building Code.

2. B/C trusses shall be spaced according to the truss specification.

3. H/B trusses shall be spaced according to the truss specification.

Project Name and Address

5TH AVENUE
SACRAMENTO, CA 95817
LOT 16

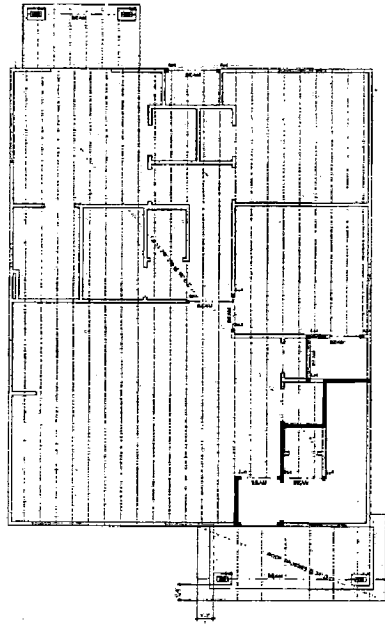
Owner

IRA RICHMOND ROSS
2630 DUNDAS AVE.
RICHMOND, CA 94804
(510) 812-1705

Project	05-025	Sheet	A6
Date	02-28-06		
Drawn by	LISA P.		

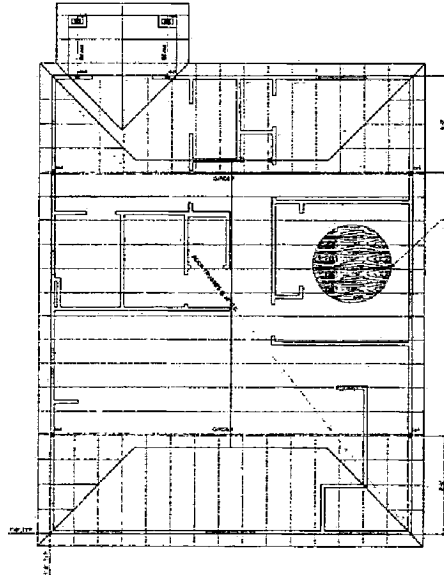
Roof Plans-Lot 17

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractor and Home owner Builders shall verify and be responsible for dimensions and conditions of the project. FineLine Drafting services must be notified of any violation from the dimensions, conditions and specification appearing on this plan.



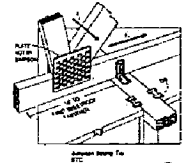
2ND FLOOR FRAMING

SCALE: 1/4" = 1'-0"



ROOF FRAMING

SCALE: 1/4" = 1'-0"



Joist to Truss

etc.



Truss to Truss



Truss to Wall

See 2nd floor framing plan for location of trusses. Trusses shall be spaced at 24" on center. Trusses shall be supported by walls or posts. Trusses shall be braced in accordance with the manufacturer's specifications.

CONTRACTOR/OWNER SHALL DOUBLE CHECK THE DIMENSIONS OF THE ACTUAL, EXISTING STRUCTURE, TOP PLATES WITH THE TRUSS SPACING DIMENSIONS ON TRUSS CALCULATION, BEFORE THE TRUSS FABRICATION



1977 Madison Ave Suite 300, Sacramento, CA 95811
PH: (916) 332-2281 FAX: (916) 332-2840
info@fineline.com

General Notes
Trusses require bracing during the steel erection per manufacturer's requirements.
B/C or 1/2" or 3/4" or 1" radius fillet welds.
Welding shall be done in accordance with the manufacturer's specifications.
*If a different slope than shown is required, dimensions may be required. Otherwise note.

Project Name and Address
5TH AVENUE
SACRAMENTO, CA 95817
LOT 17

Owner
ISA RICHMOND ROSS
2630 24th AVE
RICHMOND, CA 94804
(510) 812-1705

Project: 05-027
Date: 04-05-06
Sheet: A6