

#15

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	TASK ENGINEERING, 11291 Coloma Road, Suite A, Sac., CA 95670		
OWNER	Charlie & Mary Hammitt Sr., 3464 Del Paso Road, Sacramento, CA		
PLANS BY	TASK ENGINEERING, 11291 coloma Road, Suite A, Sacramento, CA 95670		
FILING DATE	7/18/87	ENVIR. DET.	8/3/87
ASSESSOR'S-PCL. NO.	252-0310-021		
		REPORT BY	SD/vf

- APPLICATION:**
- A. Negative Declaration
 - B. Tentative Map
 - C. Variance to create a lot less than 52 ft. wide
 - D. Subdivision Modification to create a lot less than 52 ft. wide
 - E. Subdivision Modification to waive standard street improvements
 - F. Subdivision Modification to defer Parkland Dedication requirement

LOCATION: Southeast corner Los Robles Boulevard and Pilgrim Court

PROPOSAL: The applicant is requesting the necessary entitlements to subdivide 6+ vacant acres into six single family lots and a large lot for future development in the Standard Single Family (R-1) zone.

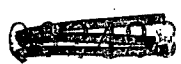
PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1984 North Sacramento Community Plan Designation:	Residential; 4-8 du/ac
Existing Zoning of Site:	R-1
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:

North: Residential; R-1
 South: Arcade Creek; R-1
 East : Residential; R-1
 West : Residential; R-1

Property Dimensions:	Irregular
Property Area:	2.5+ acres
Density of Development:	7.2 d.u. per acre
Topography:	Flat
Street Improvements & Utilities:	To be provided



APPLC. NO. P87-303 MEETING DATE September 10, 1987 ITEM NO. 19

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 10-22-87 10-8-87

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SUBDIVISION REVIEW COMMITTEE RECOMMENDATION

On August 12, 1987, by a vote of five ayes, four absent, the Subdivision Review Committee voted to recommend approval of the Tentative Map and denial of the Subdivision Modification subject to the attached conditions.

PROJECT EVALUATION: Staff has made the following findings:

A. Land Use

The subject site is designated for residential uses in the 1974 General Plan. It is designated for four to eight residential units per acre in the 1984 North Sacramento Community Plan. The site is surrounded by residential uses located on a variety of lot sizes. The applicant proposes to subdivide 2.5+ vacant acres into six standard single family lots which front along Los Robles Boulevard. A seventh lot will take access from Los Robles for future development behind the currently proposed lots.

B. Design

The subject site is restricted in design flexibility by Arcade Creek to the south and its own dimensions. The lot is too deep to subdivide into lots fronting Los Robles and going back to the creek. Constructing a cul-de-sac down the middle of the site would also create inefficient lots. The applicant proposes to create six standard single family lots which front on Los Robles. A seventh flag-shaped lot will take access by a driveway from Los Robles. Staff has no objection to this proposal. It will create lots similar in character to the residences in the area. In the future, the rear parcel will be rezoned to R-1-A to be developed with something other than standard single family units. This plan will also allow for protection of the oak trees.

The applicant is also requesting a subdivision modification to waive street improvements and defer Parkland Dedication. Staff cannot support nor does the Subdivision Review Committee recommend that this request be approved.

ENVIRONMENTAL DETERMINATION; The Environmental Coordinator has determined that the project will not have a significant effect on the environment. A Negative Declaration has been filed subject to the following mitigation measures:

1. No action shall be taken which will harm the health, vitality or longevity of the three oak trees to be preserved. Measures to ensure their survival include: grading, trenching, cutting or filling within the dripline of the trees shall not occur.



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- 2. A temporary six foot high chain link fence shall be placed around the driplines of the trees during construction to prevent soil compaction resulting from stacked construction materials, equipment and vehicular traffic. The fences shall be erected prior to issuance of a building permit and shall remain until landscaping commences.
- 3. Irrigation within driplines shall be prohibited.
- 4. Building foundations shall not extend into any driplines.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the Negative Declaration.
- B. Recommend approval of the tentative map subject to conditions which follow.
- C. Approve the variance to create a lot less than 52 feet wide based upon findings of fact which follow.
- D. Recommend approval of the Subdivision Modification to create a lot less than 52 feet wide.
- E. Recommend denial of the Subdivision Modification to waive standard street improvement.
- F. Recommend denial of the Subdivision Modification to defer Parkland Dedication.

Conditions/Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

- 1. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required Parkland Dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
- 2. Remove to a legal dump site bath tubs, cement tub, metal tub, wire, piping, 55 gallon drums, scrap metal and wood and old fuel tank to the satisfaction of the City/County Health Department and Planning Director.
- 3. Standard improvements required on Los Robles Boulevard.
- 4. Soils testing for street design will be required.

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- 5. Water line extension and additional fire hydrants may be required.
- 6. Show reciprocal access easements on final map if needed.
- 7. Show reciprocal sewer, water and drainage easements on final map if needed.
- 8. Show all existing easements.
- 9. Cannot file final map until abandonment proceedings are complete for Pilgrim Court. Provide 24' wide paved access for Lot 1 at the time of building permit. Also abandonment of south 28' of Los Robles Boulevard shall be completed prior to filing map.

NOTE: School Facility Fees will be required at the time building permits are obtained.

NOTE: All or a portion of the property may lie in an area the Federal Emergency Management Agency (FEMA) has identified as a special flood hazard area. No development, substantial improvements and/or placement of manufactured homes or any other structure shall occur in special flood hazard areas without full compliance with current City and FEMA floodplain management regulations. These regulations condition the issuance of City permits and/or other approvals in special flood hazard areas upon criteria that shows the proposed development, placement and/or substantial improvement will be reasonably safe from flooding.

Findings of Fact/Variance

- 1. Granting the Variance does not constitute a special privilege extended an individual applicant in that existing development constrains the site making it infeasible to develop standard size lots.
- 2. Granting the request does not constitute a use variance in that residential uses are allowed in the R-1 zone.
- 3. Granting the request does not constitute a disservice to the community in that:
 - a. the lots exceed minimum area requirements; and
 - b. the project is compatible with the residential character of the neighborhood.
- 4. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for residential uses in the 1984 North Sacramento Community Plan and the proposed subdivision conforms with the plan designation.

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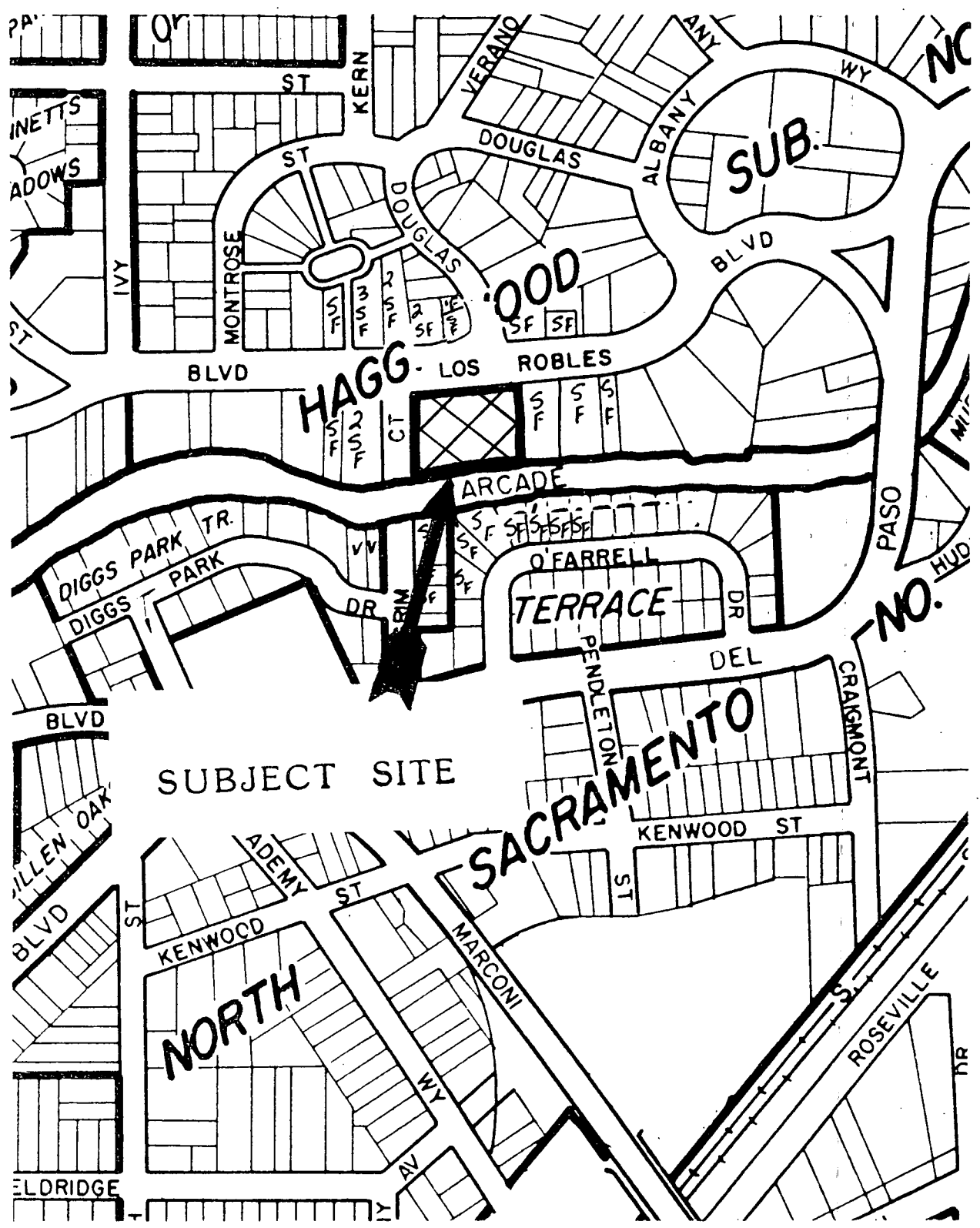
September 10, 1987

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All adjacent lots zoned R-1 ~~R-10~~

VICINITY - LAND USE - ZONING

P87-303

8-13-87 9-24-87 Item #10
 10-10-87 10-8-87 MFS



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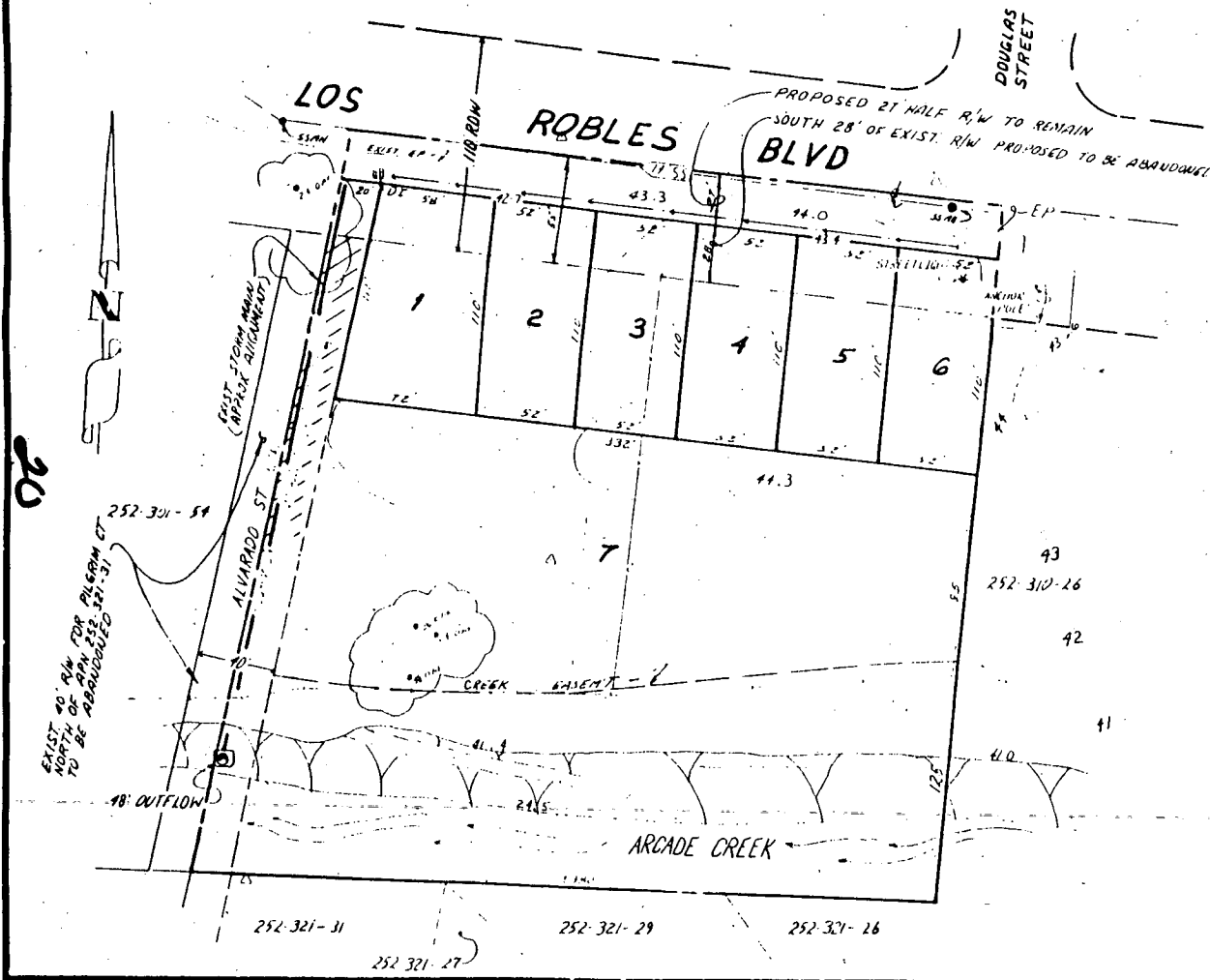
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TENTATIVE PARCEL MAP.

LOTS 9 AND 10, BLOCK A OF HAGGINWOOD SUB NO. 5
NORTH SACRAMENTO, BOOK 11 OF MAPS, MAP NO 36 AND 37
CITY OF SACRAMENTO STATE OF CALIFORNIA
SCALE - 1"=40' SHEET 1 OF 1 JUNE, 1987
TASK ENGINEERING INC.



VICINITY MAP
-NO SCALE-

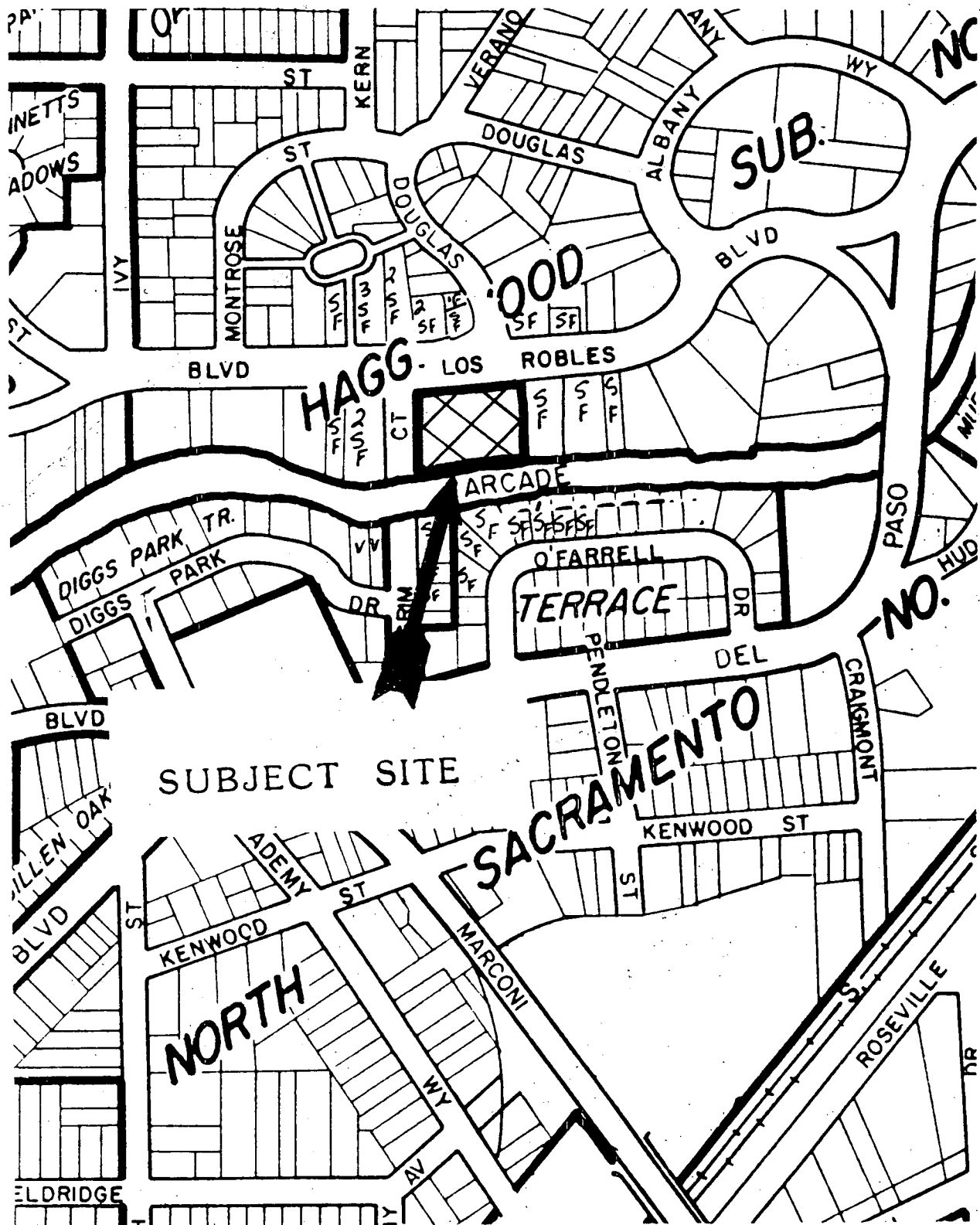


EXIST. EASEMENT	PROPOSED EASEMENT
1. 10' EASEMENT TO ADJACENT PROPERTY	1. 10' EASEMENT TO ADJACENT PROPERTY
2. 5' EASEMENT TO ADJACENT PROPERTY	2. 5' EASEMENT TO ADJACENT PROPERTY
3. 10' EASEMENT TO ADJACENT PROPERTY	3. 10' EASEMENT TO ADJACENT PROPERTY
4. 5' EASEMENT TO ADJACENT PROPERTY	4. 5' EASEMENT TO ADJACENT PROPERTY
5. 10' EASEMENT TO ADJACENT PROPERTY	5. 10' EASEMENT TO ADJACENT PROPERTY
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8. 5' EASEMENT TO ADJACENT PROPERTY	8. 5' EASEMENT TO ADJACENT PROPERTY
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13. 10' EASEMENT TO ADJACENT PROPERTY	13. 10' EASEMENT TO ADJACENT PROPERTY
14. 5' EASEMENT TO ADJACENT PROPERTY	14. 5' EASEMENT TO ADJACENT PROPERTY
15. 10' EASEMENT TO ADJACENT PROPERTY	15. 10' EASEMENT TO ADJACENT PROPERTY
16. 5' EASEMENT TO ADJACENT PROPERTY	16. 5' EASEMENT TO ADJACENT PROPERTY
17. 10' EASEMENT TO ADJACENT PROPERTY	17. 10' EASEMENT TO ADJACENT PROPERTY
18. 5' EASEMENT TO ADJACENT PROPERTY	18. 5' EASEMENT TO ADJACENT PROPERTY
19. 10' EASEMENT TO ADJACENT PROPERTY	19. 10' EASEMENT TO ADJACENT PROPERTY
20. 5' EASEMENT TO ADJACENT PROPERTY	20. 5' EASEMENT TO ADJACENT PROPERTY
21. 10' EASEMENT TO ADJACENT PROPERTY	21. 10' EASEMENT TO ADJACENT PROPERTY
22. 5' EASEMENT TO ADJACENT PROPERTY	22. 5' EASEMENT TO ADJACENT PROPERTY
23. 10' EASEMENT TO ADJACENT PROPERTY	23. 10' EASEMENT TO ADJACENT PROPERTY
24. 5' EASEMENT TO ADJACENT PROPERTY	24. 5' EASEMENT TO ADJACENT PROPERTY
25. 10' EASEMENT TO ADJACENT PROPERTY	25. 10' EASEMENT TO ADJACENT PROPERTY
26. 5' EASEMENT TO ADJACENT PROPERTY	26. 5' EASEMENT TO ADJACENT PROPERTY
27. 10' EASEMENT TO ADJACENT PROPERTY	27. 10' EASEMENT TO ADJACENT PROPERTY
28. 5' EASEMENT TO ADJACENT PROPERTY	28. 5' EASEMENT TO ADJACENT PROPERTY
29. 10' EASEMENT TO ADJACENT PROPERTY	29. 10' EASEMENT TO ADJACENT PROPERTY
30. 5' EASEMENT TO ADJACENT PROPERTY	30. 5' EASEMENT TO ADJACENT PROPERTY

NOTE: A REQUEST FOR WAIVER OF STREET IMPROVEMENTS ALONG LOTS 1 THRU 6 IS PART OF THIS APPLICATION.

NO. 87024

AUG 12 1987



All adjacent lots zoned R-1 19

VICINITY - LAND USE - ZONING

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From

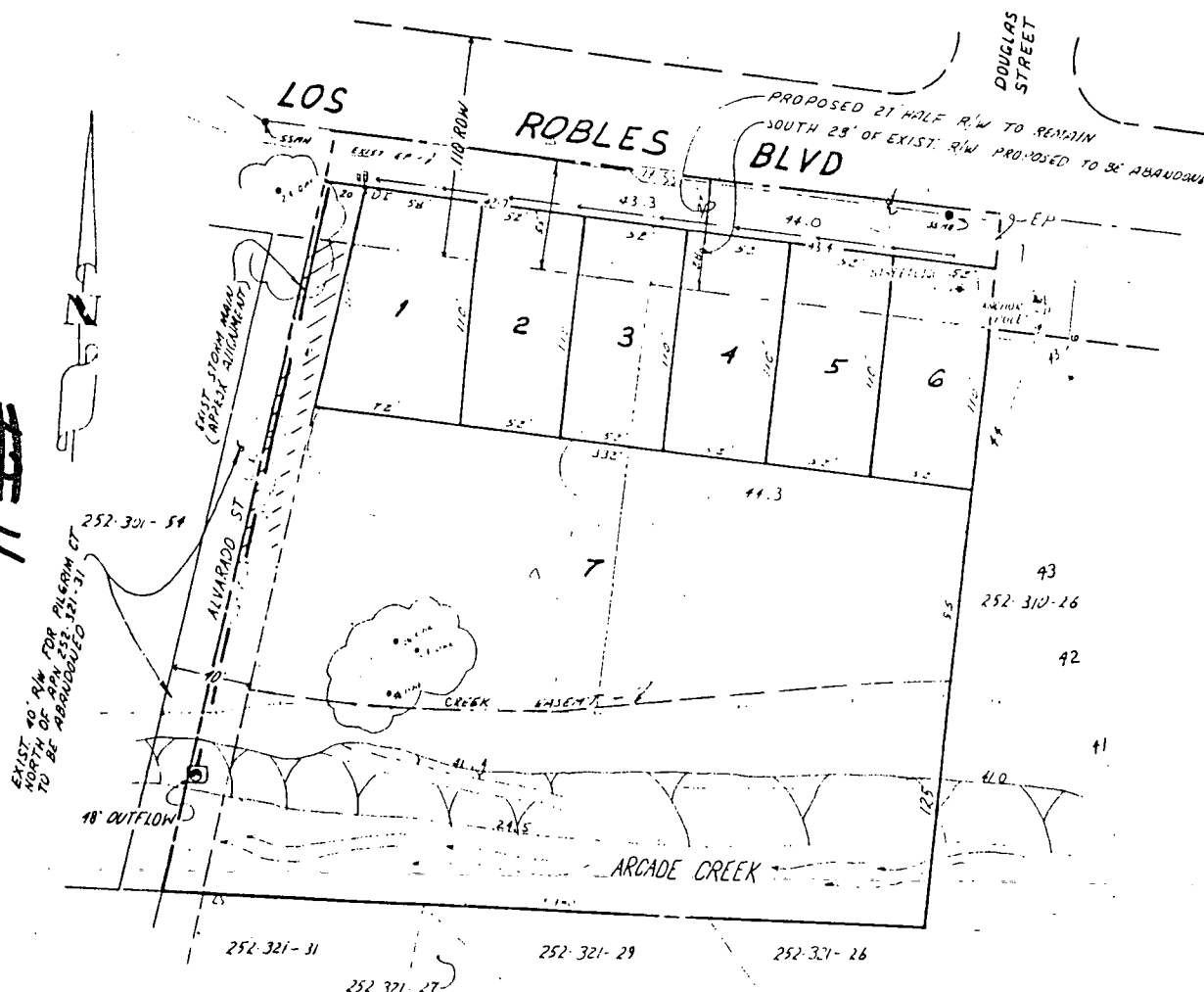
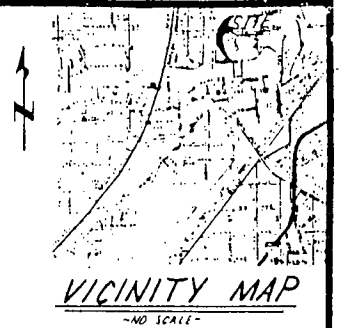
TENTATIVE PARCEL MAP.

LOTS 9 AND 10, BLOCK A OF HAGGINWOOD SUB. NO. 5
NORTH SACRAMENTO, BOOK 11 OF MAPS, MAP NO 36 AND 37

CITY OF SACRAMENTO STATE OF CALIFORNIA

SCALE - 1" = 40' SHEET 1 OF 1 JUNE, 1987

TASK ENGINEERING INC.



TYPE	DESCRIPTION	DATE
PREPARED BY	TASK ENGINEERING INC.	6/1/87
CHECKED BY	TASK ENGINEERING INC.	6/1/87
APPROVED BY	TASK ENGINEERING INC.	6/1/87
DATE	6/1/87	
SCALE	1" = 40'	
PROJECT NO.	871-303	
CLIENT	TASK ENGINEERING INC.	
LOCATION	NORTH SACRAMENTO, CALIF.	
REVISIONS		
NO.	DESCRIPTION	DATE
1	PREPARED	6/1/87
2	CHECKED	6/1/87
3	APPROVED	6/1/87

NOTE: A REQUEST FOR WAIVER OF STREET IMPROVEMENTS ALONG LOTS 1 THRU 6 IS PART OF THIS APPLICATION.

APPLICANT'S ORIGINAL PROPOSAL

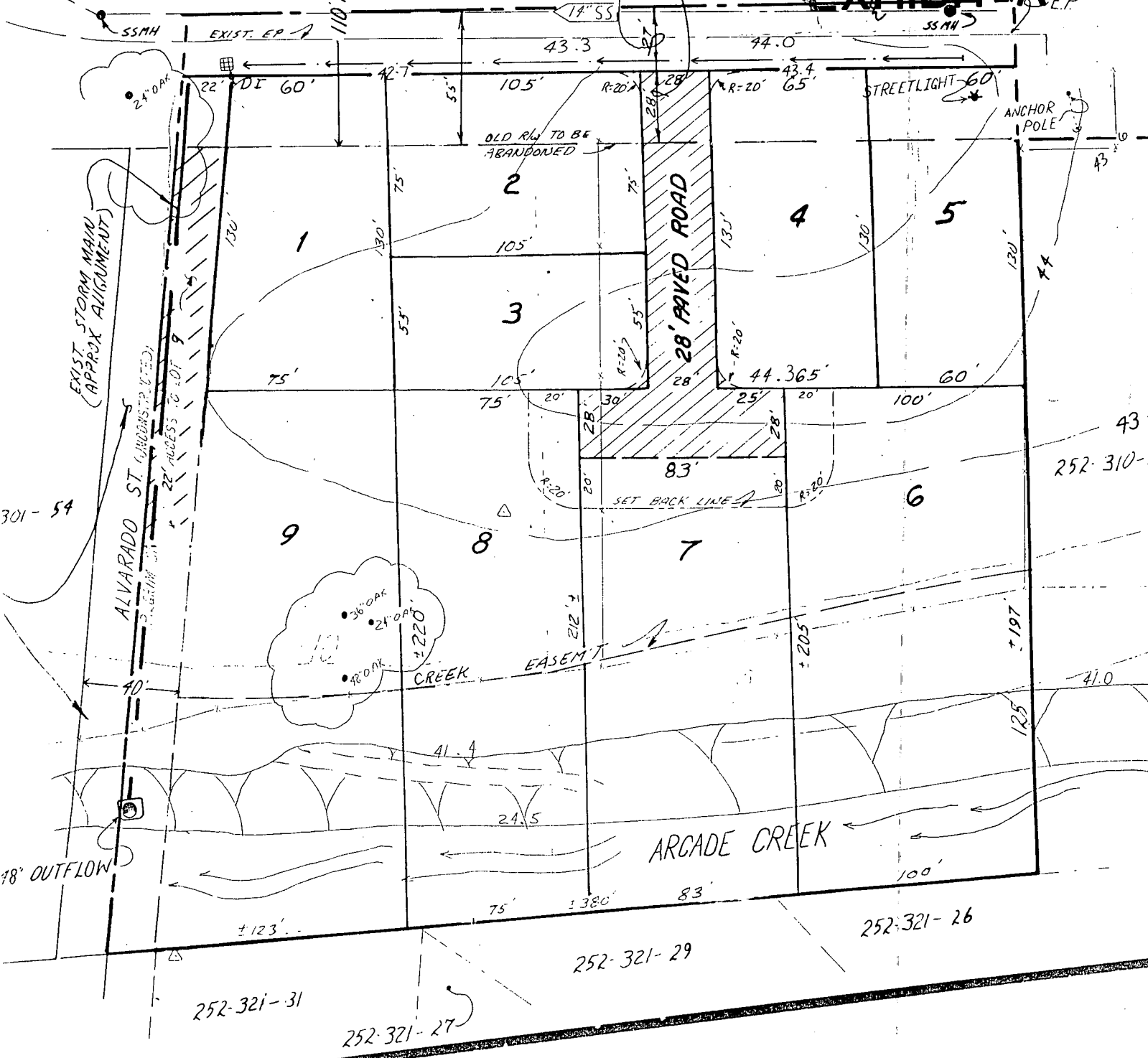
NO 87024

APPLICANT'S ORIGINAL PROPOSAL

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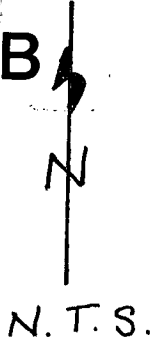
APPLICANT'S
 PROPOSED 27 HALF' R/W TO REMAIN
 SOUTH 28' OF EXISTING R/W PROPOSED TO BE
ALTERNATIVE
BLVD
EXHIBIT-A

LOS ROBLES

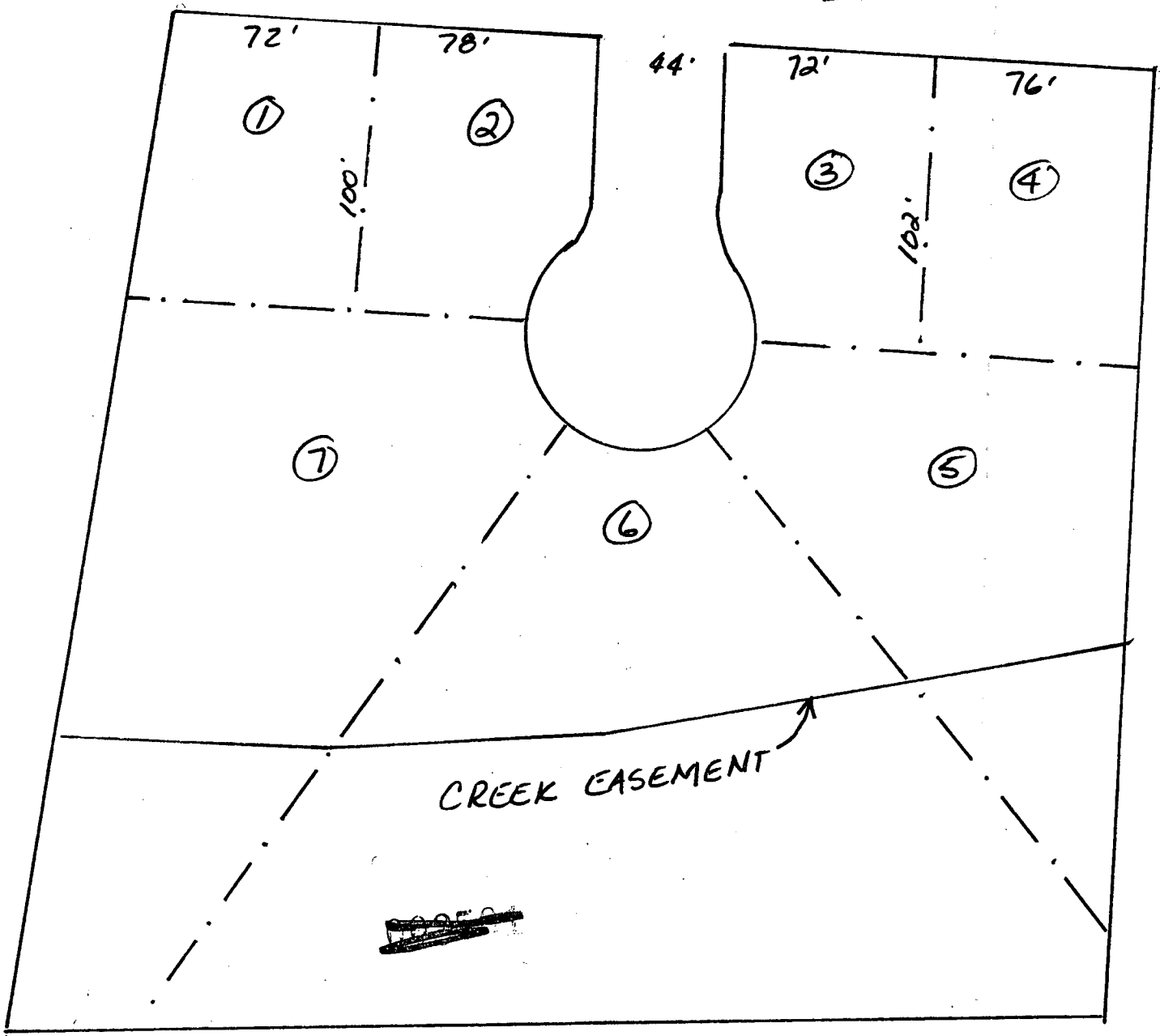


STAFF'S ALTERNATIVE EXHIBIT B

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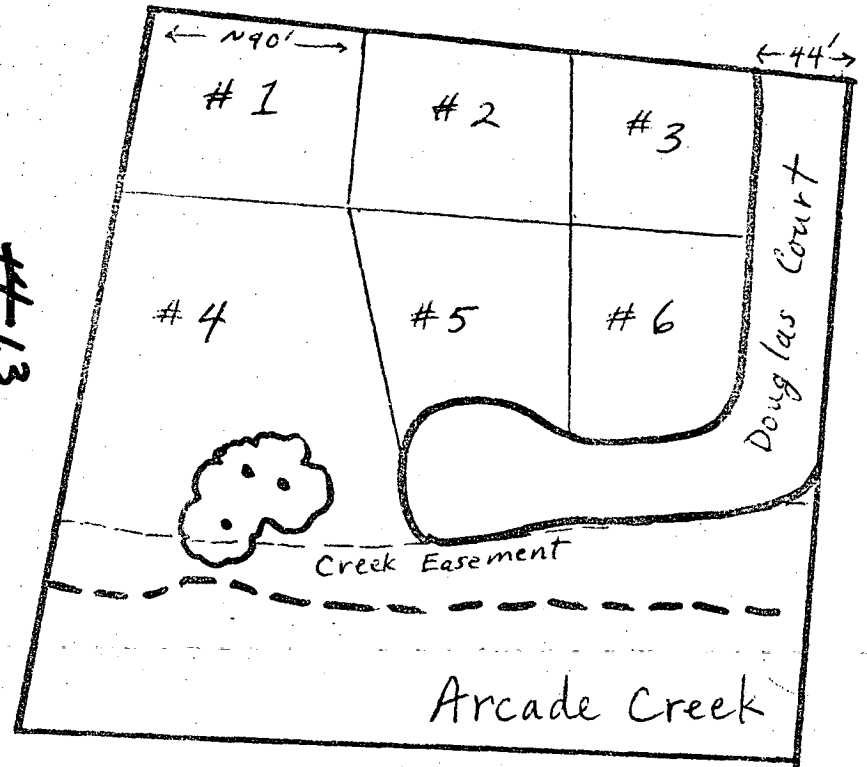
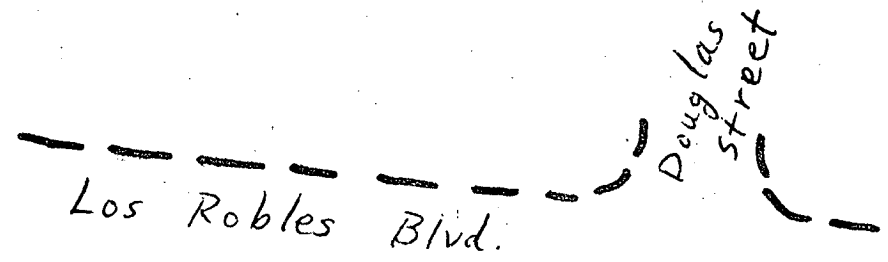
LOS ROBLES BLVD.



An Alternative Proposal

EXHIBIT C

P87-303



October 22, 1987

4-13

Item 10

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PETITION TO APPEAL SUBDIVISION REFERRED TO ON TENTATIVE MAP P87-303

As homeowners of Los Robles Boulevard and environs, between Marysville Boulevard and Del Paso Boulevard, north of Arcade Creek and south of South Avenue, we, the undersigned do hereby appeal the decision to prepare a negative declaration on the environmental impact on the area abutting and surrounding the 24+ acres referred to on Tentative Map P87-303; and all and sundry variances requested thereon. This property is roughly located at the southeast corner of Los Robles Boulevard and Pilgrim Court (an unimproved street belonging to the City of Sacramento,--APN: 252-0310-021. Property values will be depressed.

WHEREAS: It is proposed to build 6 houses fronting on Los Robles where there are only 4 houses on the lots directly opposite, with the size of these lots varying in size from 80 to 90 feet in frontage; the lot on the East and the one to the west of the proposed subdivision have frontages of from 86' to 100 plus feet; Assessor's Map Bk. 252 - Pg. 26-31, and,

~~WHEREAS:~~ Six additional dwellings in the area would bring an additional 6 to 12+ automotive vehicles to the area with the resultant ozone emissions and subsequent air pollution, and also there being 3 sets of undulations on Los Robles between Marysville and Del Paso; the resultant slowing and accelerating of automobiles carrying the residents to Highway 80, Marconi and Marysville to jobs in outlying areas would create more pollution, and

WHEREAS: A small bridge exists on Del Paso, south of the intersection of Los Robles and Del Paso; will be too narrow to carry the traffic load during certain hours of each day, and

WHEREAS: There are no sidewalks in the area, many fear for the safety of the children, walkers and joggers who frequently traverse Los Robles Boulevard, and

WHEREAS: Lot sizes and the square footage of the houses on the above designated length of Los Robles are in the majority far greater than that which is proposed for the subdivision referred to on Tentative Map P87-303;

We therefore respectfully request that that this map not be filed and the request to build the subdivision as proposed, be disallowed.

Signed:

NAME

ADDRESS

George R. Reingruber

1728 - LOS ROBLES BLVD.

John L. Reingruber

1728 Los Robles Blvd.

David F. Taylor

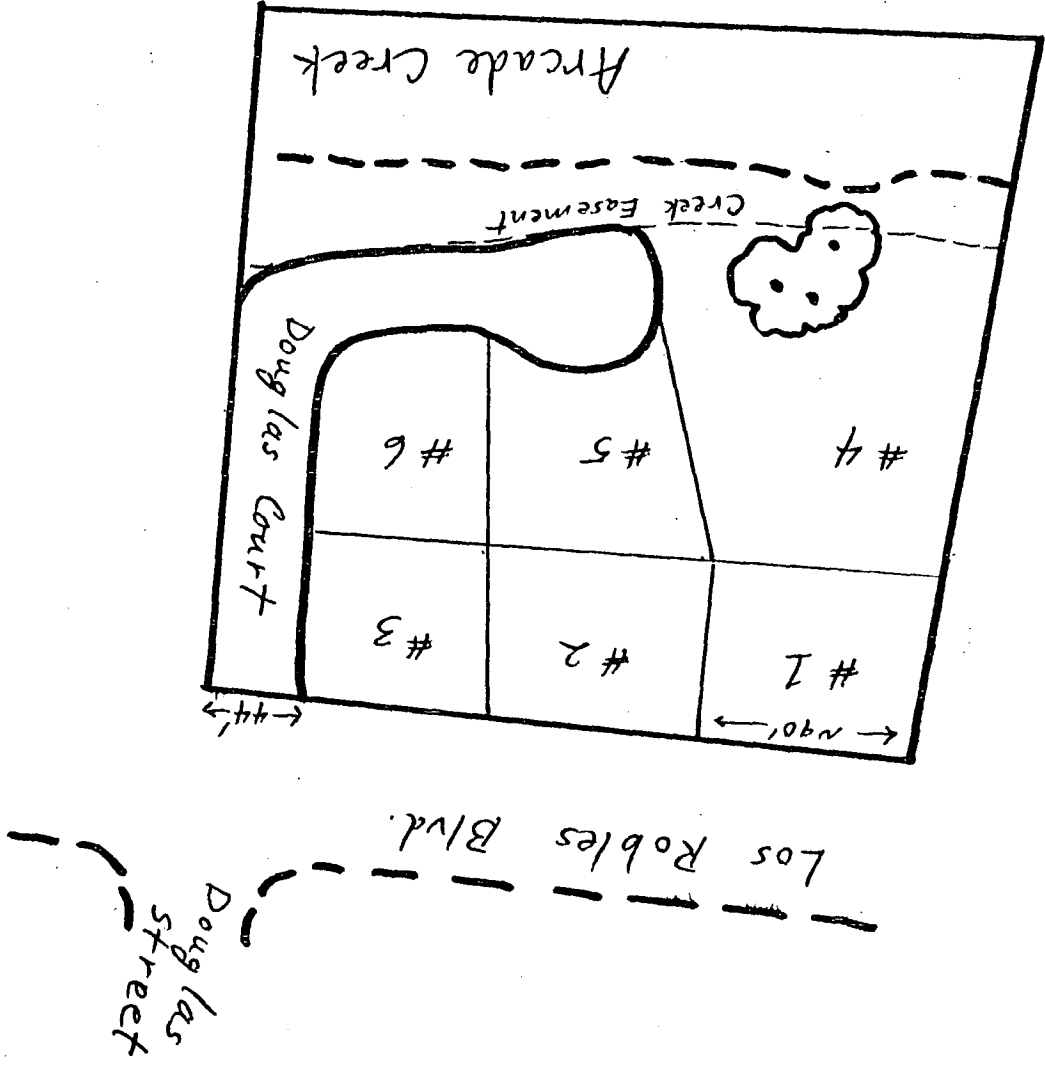
1735 Los Robles Blvd.

(1 of 2 or more) 287303 2-27-87

Thompson

An Alternative Proposal

EXHIBIT-C



202-188

10-22-87

Thom ID

NAME

ADDRESS

NAME	ADDRESS	ZIP
[unclear]	1741 Los Robles Blvd	95838
John M. Gadden	1642 Los Robles Blvd	95838
Hubert Hallman	1751 Los Robles	95838
[unclear]	1749 Los Robles Blvd	95838
Ronald K. Lundquist	1724 Los Robles Blvd	95838
Mary Baker	1724 Los Robles Bl. Snc.	95838
Joe Kamps	1724 Los Robles Blvd	95838
Rubert Lundquist	1720 Los Robles Blvd	95838
[unclear]	1724 Los Robles Blvd	95838
John S. Mahan	1725 Los Robles Blvd	95838
Mary Tubbit	1725 Los Robles Blvd	95838
Vally B. [unclear]	3309 MONTROSE ST	95838
Thelma Hallberg	3301 Montrose St.	95838
Thelma Hallberg	3301 Montrose 3301 Montrose St	95838
Christine & David Roma	3407 Montrose St.	95838
Ronald K. Gardner	1729 Los Robles	95838
[unclear]	3309 MONTROSE ST	95838
Jack K. [unclear]	3309 MONTROSE ST.	95838
[unclear]	1741 Los Robles Blvd	95838

PETITION TO APPEAL: P87-303

ADDENDUM

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PETITION TO APPEAL: P87-303

ADDENDUM

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WHEREAS: There are no sidewalks in the area, many fear for the safety of the children, walkers and joggers who frequently traverse Los Robles Boulevard, and

WHEREAS: Lot sizes and the square footage of the houses on the above designated length of Los Robles are in the majority far greater than that which is proposed for the subdivision referred to on Tentative Map P87-303;

We therefore respectfully request that that this map not be filed and the request to build the subdivision as proposed, be disallowed.

Signed:

NAME	ADDRESS
<i>Wendy Stugard</i>	<i>1717 Diggs Park Dr. Sacramento 95815</i>
<i>Flanny Stugard</i>	<i>1717 Diggs Park Dr. Sacramento 95815</i>
<i>Joe Schaus</i>	<i>1701 Diggs Park Dr. Sacramento 95815</i>
<i>Mary Ramsey</i>	<i>1647 Diggs Park Dr. Sacramento 95815</i>

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Item 10

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Signed:

NAME	ADDRESS
Carra Lundquist	1720 Los Robles Blvd
Kirkland Lundquist	1720 Los Robles Blvd
Johanne Pulliam	1720 Los Robles Blvd
Martin Bernard	1720 Los Robles Blvd
Shawn Pulliam	1720 Los Robles Blvd
Frank Pulliam	1720 Los Robles Blvd
Nikolas Lundquist	1720 Los Robles Blvd
Joyl Blackman	1720 Los Robles Blvd
Shawn Pulliam	1720 Los Robles Blvd
W. Gordon McChadler	1700 Los Robles Blvd
Johann Rowley	1658 Los Robles Blvd
Clarence Nelson	1638 Los Robles Blvd
Demetrius Ahmad	3320 Douglas St
David Magaw	3317 Douglas St
David By Magaw	3317 Douglas St

P87-303 10-22-87 (over →) J.M.

3331 Docum DI

Robert A. Hoff 3336 Douglas St.

Daniel S. Newark 3314 Douglas St.

Fung Co. Newark 3320 Douglas

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Signed:

NAME	ADDRESS
<i>Della Watson</i>	3268 O'Farrell
<i>Robert Sawyer</i>	3300 O'Farrell Dr
<i>Della Taylor</i>	3324 O'Farrell Dr.
<i>Ernest Taylor</i>	3324 O'FARRELL, DR
<i>Jane Buchanan</i>	1828 Los Robles Bl.

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PETITION TO APPEAL SUBDIVISION REFERRED TO ON TENTATIVE MAP P87-303

As homeowners of Los Robles Boulevard and environs, between Marysville Boulevard and Del Paso Boulevard, north of Arcade Creek and south of South Avenue, we, the undersigned do hereby appeal the decision to prepare a negative declaration on the environmental impact on the area abutting and surrounding the 24+ acres referred to on Tentative Map P87-303; and all and sundry variances requested thereon. This property is roughly located at the southeast corner of Los Robles Boulevard and Pilgrim Court (an unimproved street belonging to the City of Sacramento,--APN: 252-0310-021. Property values will be depressed.

WHEREAS: It is proposed to build 6 houses fronting on Los Robles where there are only 4 houses on the lots directly opposite, with the size of these lots varying in size from 80 to 90 feet in frontage; the lot on the East and the one to the west of the proposed subdivision have frontages of from 86' to 100 plus feet; Assessor's Map Bk. 252 - Pg. 26-31, and,

WHEREAS: Six additional dwellings in the area would bring an additional 6 to 12+ automotive vehicles to the area with the resultant ozone emissions and subsequent air pollution, and also there being 3 sets of undulations on Los Robles between Marysville and Del Paso; the resultant slowing and accelerating of automobiles carrying the residents to Highway 80, Marconi and Marysville to jobs in outlying areas would create more pollution, and

WHEREAS: A small bridge exists on Del Paso, south of the intersection of Los Robles and Del Paso; will be too narrow to carry the traffic load during certain hours of each day, and

WHEREAS: There are no sidewalks in the area, many fear for the safety of the children, walkers and joggers who frequently traverse Los Robles Boulevard, and

WHEREAS: Lot sizes and the square footage of the houses on the above designated length of Los Robles are in the majority far greater than that which is proposed for the subdivision referred to on Tentative Map P87-303;

We therefore respectfully request that that this map not be filed and the request to build the subdivision as proposed, be disallowed.

Signed:

NAME	ADDRESS
<i>Linda Banks</i>	<i>3333 O'Farrell Dr</i>
<i>Thomas L. Gars</i>	<i>3333 O'Farrell Dr</i>
<i>John [unclear]</i>	<i>3329 O'Farrell Dr.</i>
<i>David R. Rae</i>	<i>2790 Clay St</i>
<i>Marcia Warner</i>	<i>3321 O'Farrell Dr.</i>
<i>Robert Bonques</i>	<i>3305 O'Farrell St</i>
<i>Larry Paul</i>	<i>3301 O'Farrell Dr.</i>
<i>Delois Kirkwood</i>	<i>3267 O'Farrell Dr.</i>
<i>Harris W. Poppe</i>	<i>3263 O'Farrell Dr.</i>
<i>Zony Shook</i>	<i>3257 O'Farrell Dr.</i>
<i>Judy Kamp</i>	<i>3249 O'Farrell Dr.</i>
<i>Thomas D. [unclear]</i>	<i>3256 O'Farrell Dr.</i>
<i>Cheryl Poppe</i>	<i>3260 O'Farrell Dr.</i>
<i>Sally [unclear]</i>	<i>486 Mini St. Volpejo Ca.</i>
<i>P87-303</i>	<i>10-22-87</i>

Item 10

PETITION TO APPEAL SUBDIVISION REFERRED TO ON TENTATIVE MAP P87-303

As homeowners of Los Robles Boulevard and environs, between Marysville Boulevard and Del Paso Boulevard, north of Arcade Creek and south of South Avenue, we, the undersigned do hereby appeal the decision to prepare a negative declaration on the environmental impact on the area abutting and surrounding the 24+ acres referred to on Tentative Map P87-303; and all and sundry variances requested thereon. This property is roughly located at the southeast corner of Los Robles Boulevard and Pilgrim Court (an unimproved street belonging to the City of Sacramento,--APN: 252-0310-021. Property values will be depressed.

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We therefore respectfully request that that this map not be filed and the request to build the subdivision as proposed, be disallowed.

Signed:

NAME	ADDRESS
Jane Lee	3334 Montrose St Sacramento 95838
E. Hub Zwo	3349 Montrose St Sac 95838
Stewart J. Lee	3334 MONTROSE ST SAC. 95838
John J. Berg	3309 Montrose St Sacramento 95838
Bill Lee	3309 MONTROSE ST SAC 95838
Thomas M. Watson	3397 Montrose St. Sac 95838
Peggy Driscoll	3415 Montrose St Sac 95838
Charlotte M. Laughlin	3415 Montrose St Sac 95838
Charles M. Laughlin	3415 Montrose St Sac 95838
James W. Sims III	3415 Montrose St. Sac. 95838
Thomas R. Brown Sr	3445
Wendy Morse	3315 Montrose St Sac 95838

P87-303

10-22-82

Item 10

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT TASK ENGINEERING, 11291 Coloma Road., Suite A, Sac., CA 95670
OWNER Charlie & Mary Hammitt Sr., 3464 Del Paso Road, Sacramento, CA
PLANS BY TASK ENGINEERING, 11291 coloma Road, Suite A, Sacramento, CA 95670
FILING DATE 7/18/87 ENVIR. DET. 8/3/87 REPORT BY SD/vf
ASSESSOR'S-PCL. NO. 252-0310-021

- APPLICATION:
- A. Negative Declaration
 - B. Tentative Map
 - C. Variance to create a lot less than 52 ft. wide
 - D. Subdivision Modification to create a lot less than 52 ft. wide
 - E. Subdivision Modification to waive standard street improvements
 - F. Subdivision Modification to defer Parkland Dedication requirement

LOCATION: Southeast corner Los Robles Boulevard and Pilgrim Court

PROPOSAL: The applicant is requesting the necessary entitlements to subdivide 6+ vacant acres into six single family lots and a large lot for future development in the Standard Single Family (R-1) zone.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1984 North Sacramento Community Plan Designation:	Residential; 4-8 du/ac
Existing Zoning of Site:	R-1
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:

North: Residential; R-1
South: Arcade Creek; R-1
East : Residential; R-1
West : Residential; R-1

Property Dimensions:	Irregular
Property Area:	2.5+ acres
Density of Development:	7.2 d.u. per acre
Topography:	Flat
Street Improvements & Utilities:	To be provided

APPLC. NO. P87-303 MEETING DATE September 10, 1987 ITEM NO. 18

~~9-24-87~~
10-8-87

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SUBDIVISION REVIEW COMMITTEE RECOMMENDATION

On August 12, 1987, by a vote of five ayes, four absent, the Subdivision Review Committee voted to recommend approval of the Tentative Map and denial of the Subdivision Modification subject to the attached conditions.

PROJECT EVALUATION: Staff has made the following findings:

A. Land Use

The subject site is designated for residential uses in the 1974 General Plan. It is designated for four to eight residential units per acre in the 1984 North Sacramento Community Plan. The site is surrounded by residential uses located on a variety of lot sizes. The applicant proposes to subdivide 2.5± vacant acres into six standard single family lots which front along Los Robles Boulevard. A seventh lot will take access from Los Robles for future development behind the currently proposed lots.

B. Design

The subject site is restricted in design flexibility by Arcade Creek to the south and its own dimensions. The lot is too deep to subdivide into lots fronting Los Robles and going back to the creek. Constructing a cul-de-sac down the middle of the site would also create inefficient lots. The applicant proposes to create six standard single family lots which front on Los Robles. A seventh flag-shaped lot will take access by a driveway from Los Robles. Staff has no objection to this proposal. It will create lots similar in character to the residences in the area. In the future, the rear parcel will be rezoned to R-1-A to be developed with something other than standard single family units. This plan will also allow for protection of the oak trees.

The applicant is also requesting a subdivision modification to waive street improvements and defer Parkland Dedication. Staff cannot support nor does the Subdivision Review Committee recommend that this request be approved.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project will not have a significant effect on the environment. A Negative Declaration has been filed subject to the following mitigation measures:

1. No action shall be taken which will harm the health, vitality or longevity of the three oak trees to be preserved. Measures to ensure their survival include: grading, trenching, cutting or filling within the dripline of the trees shall not occur.

2. A temporary six foot high chain link fence shall be placed around the driplines of the trees during construction to prevent soil compaction resulting from stacked construction materials, equipment and vehicular traffic. The fences shall be erected prior to issuance of a building permit and shall remain until landscaping commences.
3. Irrigation within driplines shall be prohibited.
4. Building foundations shall not extend into any driplines.

RECOMMENDATION: Staff recommends the following actions:

- A. Ratify the Negative Declaration.
- B. Recommend approval of the tentative map subject to conditions which follow.
- C. Approve the variance to create a lot less than 52 feet wide based upon findings of fact which follow.
- D. Recommend approval of the Subdivision Modification to create a lot less than 52 feet wide.
- E. Recommend denial of the Subdivision Modification to waive standard street improvement.
- F. Recommend denial of the Subdivision Modification to defer Parkland Dedication.

Conditions/Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required Parkland Dedication in-lieu fees. The appraisal shall be dated nor more than 90 days prior to the filing of the final map.
2. Remove to a legal dump site bath tubs, cement tub, metal tub, wire, piping, 55 gallon drums, scrap metal and wood and old fuel tank to the satisfaction of the City/County Health Department and Planning Director.
3. Standard improvements required on Los Robles Boulevard.
4. Soils testing for street design will be required.

P87-344

~~September 10, 1987~~

Item #10

9-24-87
10-8-87

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5. Water line extension and additional fire hydrants may be required.
6. Show reciprocal access easements on final map if needed.
7. Show reciprocal sewer, water and drainage easements on final map if needed.
8. Show all existing easements.
9. Cannot file final map until abandonment proceedings are complete for Pilgrim Court. Provide 24' wide paved access for Lot 1 at the time of building permit. Also abandonment of south 28' of Los Robles Boulevard shall be completed prior to filing map.

NOTE: School Facility Fees will be required at the time building permits are obtained.

NOTE: All or a portion of the property may lie in an area the Federal Emergency Management Agency (FEMA) has identified as a special flood hazard area. No development, substantial improvements and/or placement of manufactured homes or any other structure shall occur in special flood hazard areas without full compliance with current City and FEMA floodplain management regulations. These regulations condition the issuance of City permits and/or other approvals in special flood hazard areas upon criteria that shows the proposed development, placement and/or substantial improvement will be reasonably safe from flooding.

Findings of Fact/Variance

1. Granting the Variance does not constitute a special privilege extended an individual applicant in that existing development constrains the site making it infeasible to develop standard size lots.
2. Granting the request does not constitute a use variance in that residential uses are allowed in the R-1 zone.
3. Granting the request does not constitute a disservice to the community in that:
 - a. the lots exceed minimum area requirements; and
 - b. the project is compatible with the residential character of the neighborhood.
4. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for residential uses in the 1984 North Sacramento Community Plan and the proposed subdivision conforms with the plan designation.

P87-303

September 10, 1987

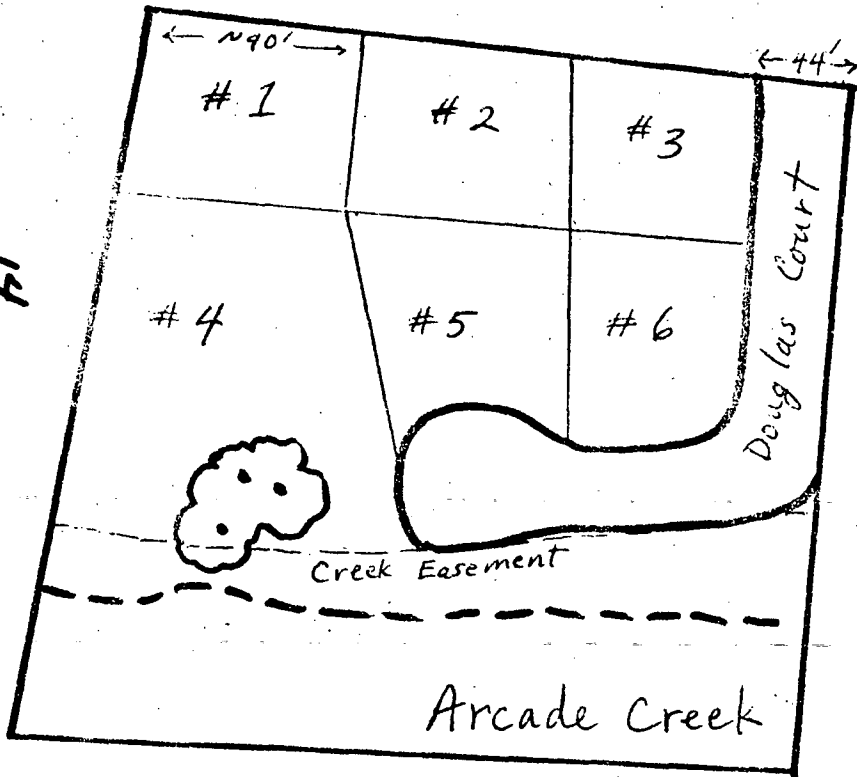
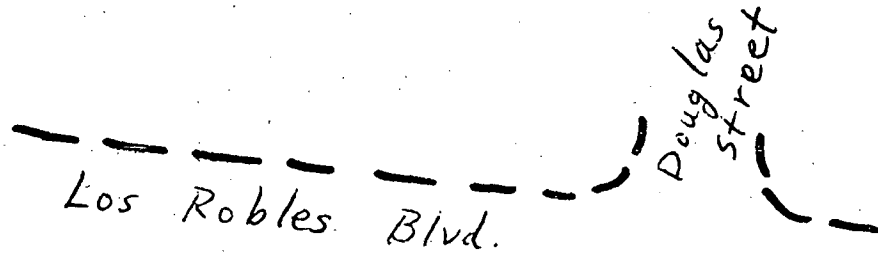
Item #19

4-24-87
10-8-87

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An Alternative Proposal

EXHIBIT C



P87-303

October 22, 1987

Item 10

14

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	TASK ENGINEERING, 11291 Coloma Road., Suite A, Sac., CA 95670				
OWNER	Charlie & Mary Hammitt Sr., 3464 Del Paso Road, Sacramento, CA				
PLANS BY	TASK ENGINEERING, 11291 coloma Road, Suite A, Sacramento, CA 95670				
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ASSESSOR'S-PCL. NO.	252-0310-021				

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Property Dimensions:	Irregular
Property Area:	2.5+ acres
Density of Development:	7.2 d.u. per acre
Topography:	Flat
Street Improvements & Utilities:	To be provided

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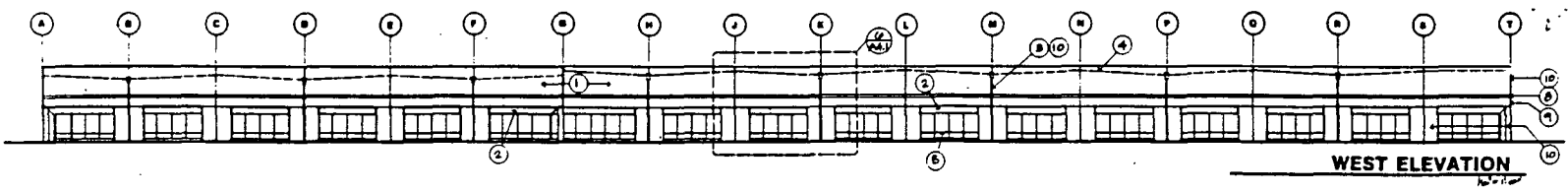
P81-301

8-13-87

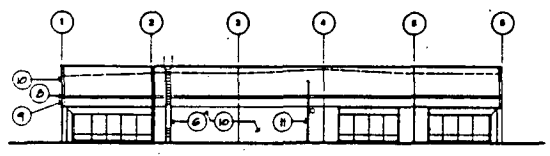
ITEM 15

PROJECT NUMBER

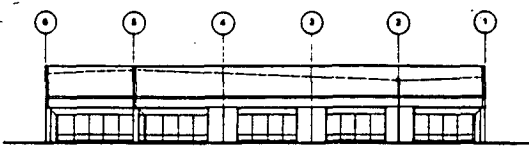
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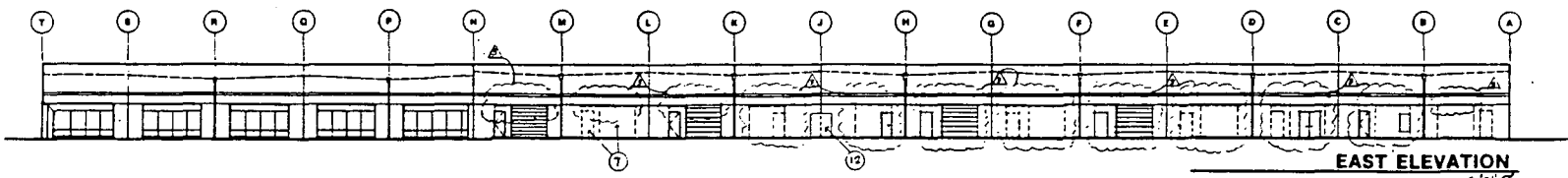
WEST ELEVATION



NORTH ELEVATION

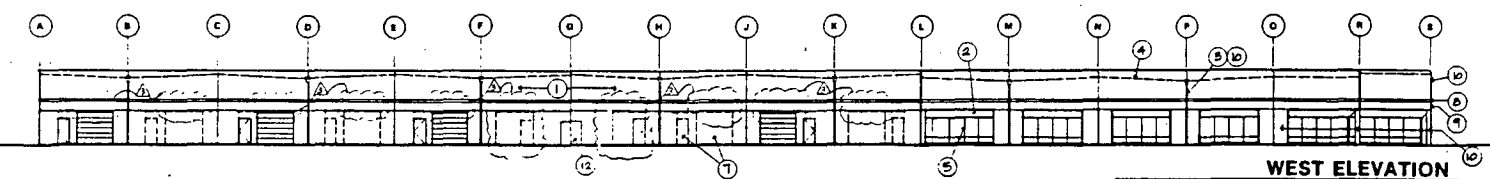


SOUTH ELEVATION

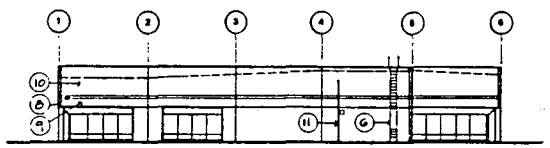


EAST ELEVATION

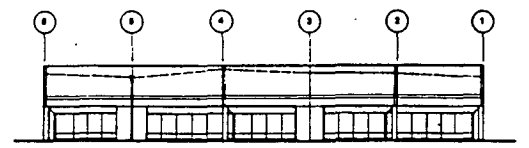
BUILDING F



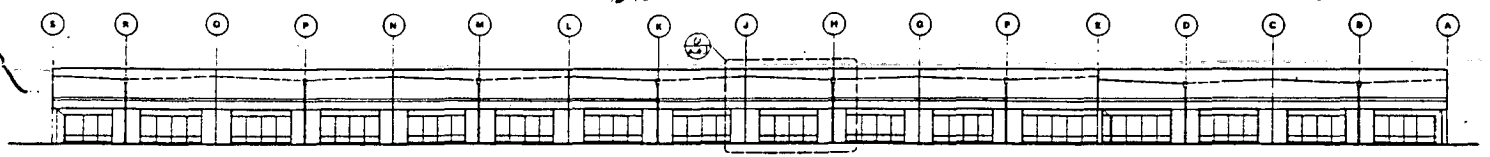
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

BUILDING G

KEY NOTES

- 1 1/2" x 4" BRONZE BALL PANELS FOR STRUCTURAL BRACING. SEE 10-1 FOR DETAIL.
- 2 2" x 4" BRONZE SPYGLASS.
- 3 BRONZE MESH METAL CURTAIN WALL SYSTEM. SEE 10-1 FOR DETAIL.
- 4 BRONZE LITE SYSTEM.
- 5 ALUMINUM FRAME FRONT DOOR SYSTEM. SEE SPECIFICATIONS.
- 6 BRONZE BRACKETS WITH LASSER PANEL. SEE 10-1 FOR DETAIL.
- 7 BRONZE BRACKETS FOR STRUCTURAL BRACING.
- 8 BRONZE PL.
- 9 BRONZE PL.
- 10 BRONZE PL.
- 11 BRONZE BRACKETS WITH LASSER PANEL.
- 12 BRONZE BRACKETS WITH LASSER PANEL.

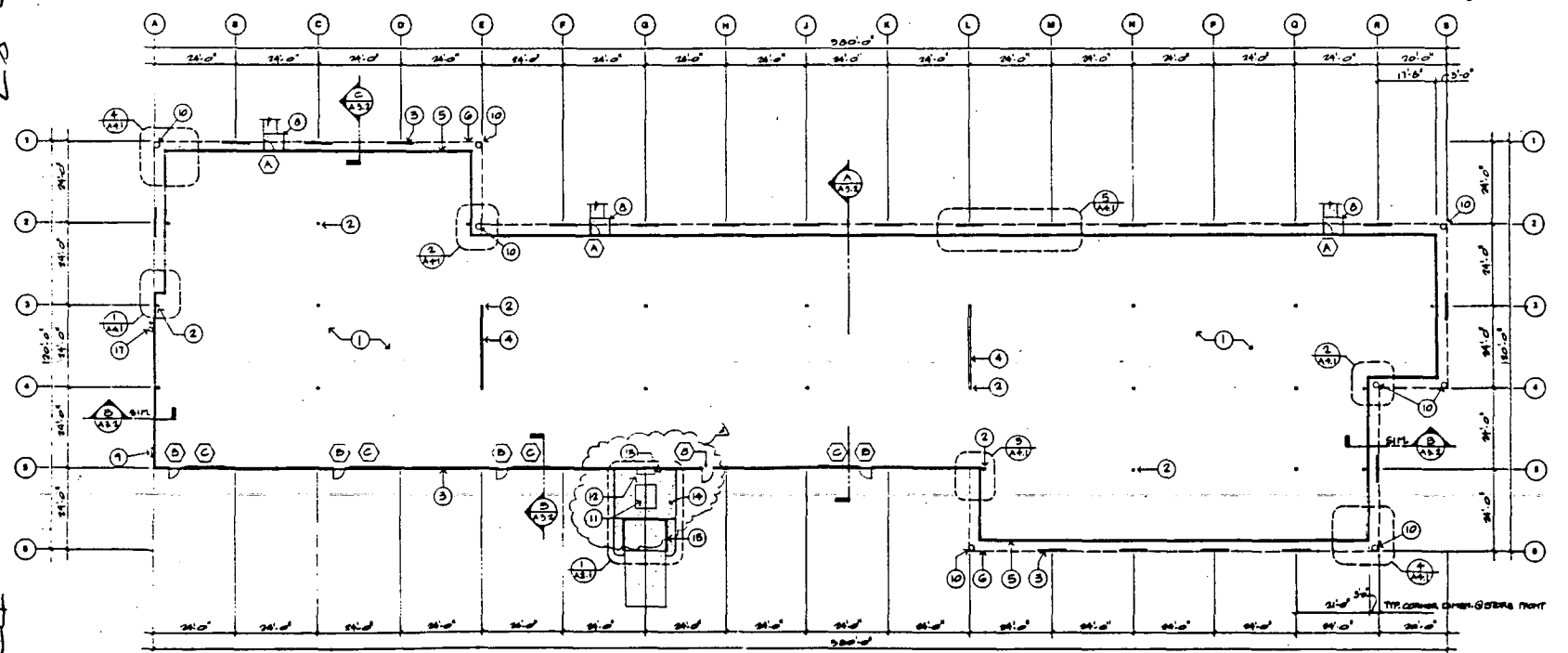
EXTERIOR ELEVATIONS



INDUSTRIAL PARK
 SAN FRANCISCO, CALIFORNIA

ELEVATIONS
 A

P87-301
 8-13-87
 PRM
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KEY NOTES

- 1 CONCRETE FLOOR SLAB PER STRUCTURAL DRAWINGS.
- 2 STEEL CHAINS PER STRUCTURAL DRAWINGS.
- 3 TILT-UP CONCRETE PANELS PER STRUCTURAL DRAWINGS.
- 4 CONCRETE BRICK WALL PER STRUCTURAL DRAWINGS.
- 5 ALUMINUM STUD PARTS EXPOSED TO THE EXTERIOR.
- 6 LINE OF TILT-UP PANEL JOINT.
- 7 CONCRETE PANEL.
- 8 4" TR. SPAC. PLATEFORM.
- 9 NEW ACCESS LUMEN, SEE 13.
- 10 8" DIAMETER CONCRETE COLUMN.
- 11 THUNDERBOLT AND CONCRETE PER PER. S.A.S.S. SUBMITTAL.
- 12 ELECTRICAL SYMBOLS PER ELECTRICAL DRAWINGS, COSETS PER PER. S.A.S.S. SUBMITTAL.
- 13 TELEPHONE RACKING PER PER. ELECTRICAL DRAWINGS.
- 14 4" THICK CONCRETE WALL WITH DOOR / WALL.
- 15 TRAILER BELONGS TO 217.
- 16 LOT #6-60.
- 17 PER SPANABLE SLAB & BEAM.



WILLIAMS
INDUSTRIAL PARK
FLOOR PLANS
 SACRAMENTO, CALIFORNIA

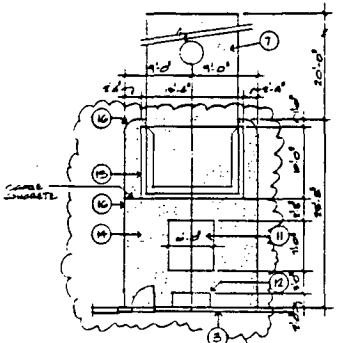
FLOOR PLAN
BUILDING G

P87-301

8-13-87

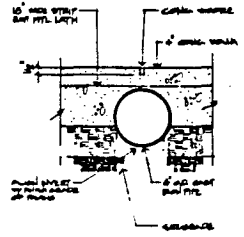
PROJECT NUMBER

ITEM 15

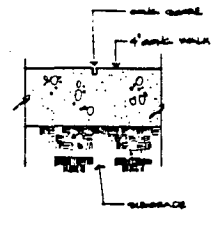


1 DETAIL 1/8" = 1'-0"

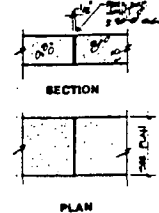
Revised in entirety - refer to Shear 1 of 1 dated 8-8-87



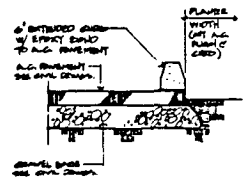
2 DRAIN @ SIDEWALK 3/4" = 1'-0"



3 SIDEWALK 3/4" = 1'-0"



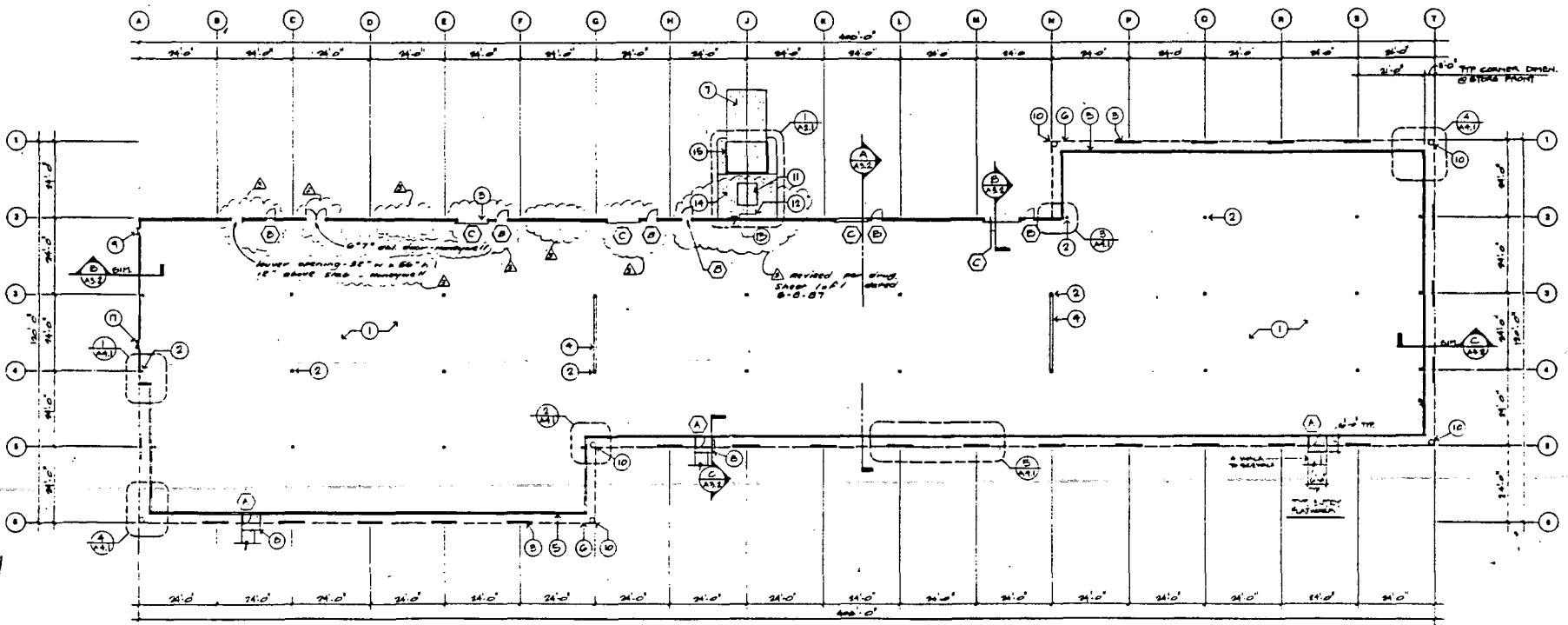
4 SIDEWALK 1/4" = 1'-0"



5 CURB 1/4" = 1'-0"



- KEY NOTES**
1. FINISH FLOOR SHALL BE PER ARCHITECT'S SCHEDULE.
 2. FLOOR FINISH SHALL BE PER ARCHITECT'S SCHEDULE.
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 19. FINISH FLOOR SHALL BE PER ARCHITECT'S SCHEDULE.
 20. FINISH FLOOR SHALL BE PER ARCHITECT'S SCHEDULE.



FLOOR PLAN BUILDING F

NOTSHO INDUSTRIAL PARK
 FLOOR PLANS
 A



JOHNSTON INDUSTRIAL PARK

SITE PLAN



Parking Requirements

	BUILDING F	BUILDING G
BLDG. AREA:	33,971 S.F.	29,773 S.F.
PARKING REQUIRED:		
1. STALL PER 1000 S.F.:	64 SPACES	70 SPACES
PARKING PROVIDED:		
STANDARD:	60	60
COMPACT:	10	27
HANDICAP:	3	3
TOTAL:	73 SPACES	90 SPACES

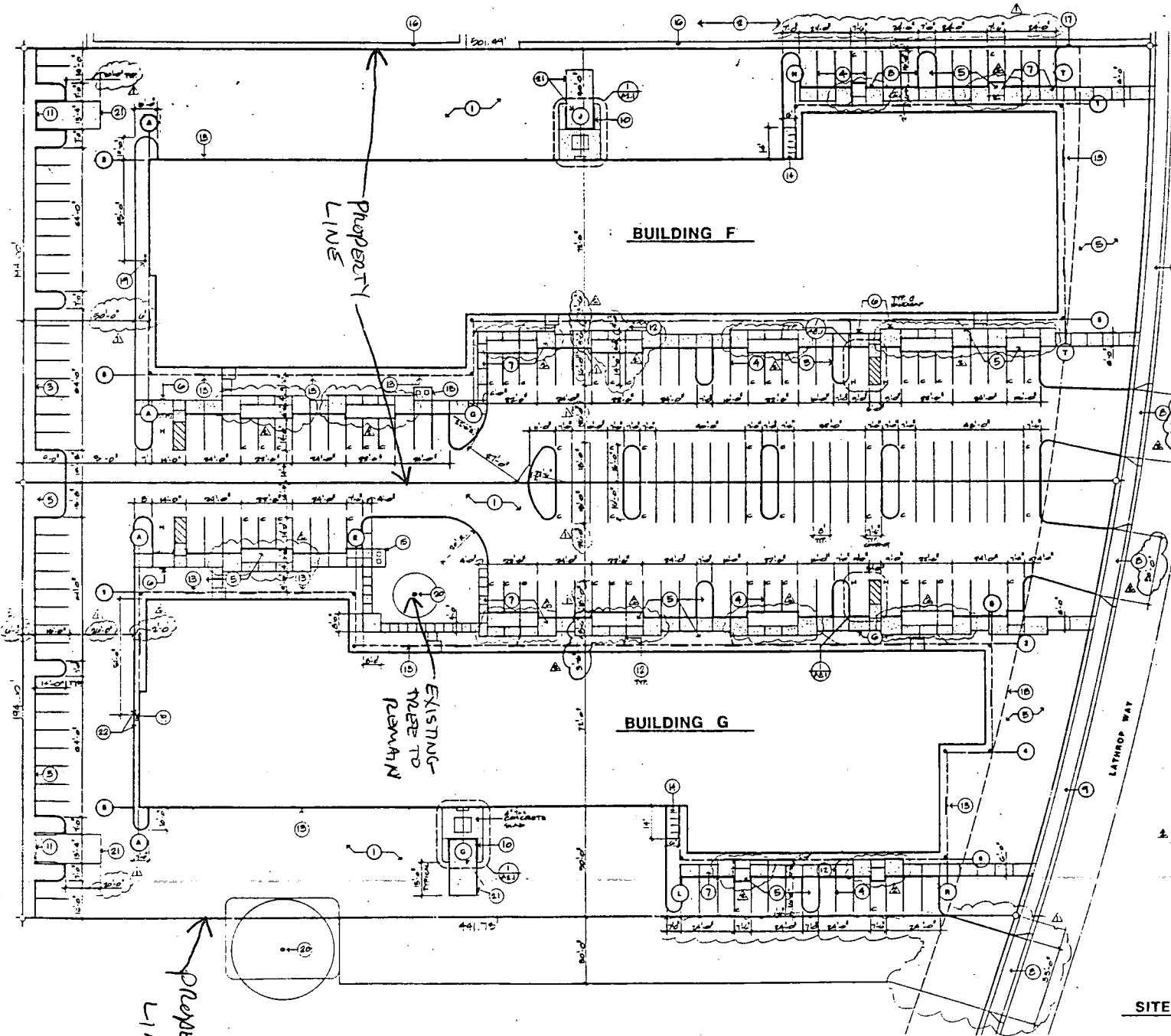


KEY NOTES

1. A. C. PAVING FOR DRIVE, DRIVEWAYS AND DRIVE.
2. EXISTING A. C. DRIVE.
3. EXISTING SIDE - WALK.
4. EXISTING SIDE WALK TO CITY OF SEWERAGE DEPARTMENT. E = EXISTING, S = SUBMITTAL.
5. LANDSCAPING AND LIGHTING SYMBOLS.
6. EXISTING SIDE WALK FOR CITY OF SEWERAGE DEPARTMENT.
7. EXISTING SIDE WALK FOR CITY OF SEWERAGE DEPARTMENT.
8. EXISTING SIDE WALK FOR CITY OF SEWERAGE DEPARTMENT.
9. EXISTING SIDE WALK FOR CITY OF SEWERAGE DEPARTMENT.
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48. EXISTING SIDE WALK FOR CITY OF SEWERAGE DEPARTMENT.
49. EXISTING SIDE WALK FOR CITY OF SEWERAGE DEPARTMENT.
50. EXISTING SIDE WALK FOR CITY OF SEWERAGE DEPARTMENT.

SITE PLAN

1"=20'-0"



P87-301

8-13-87

PROJECT NUMBER

ITRM

PROPERTY LINE

PROPERTY LINE

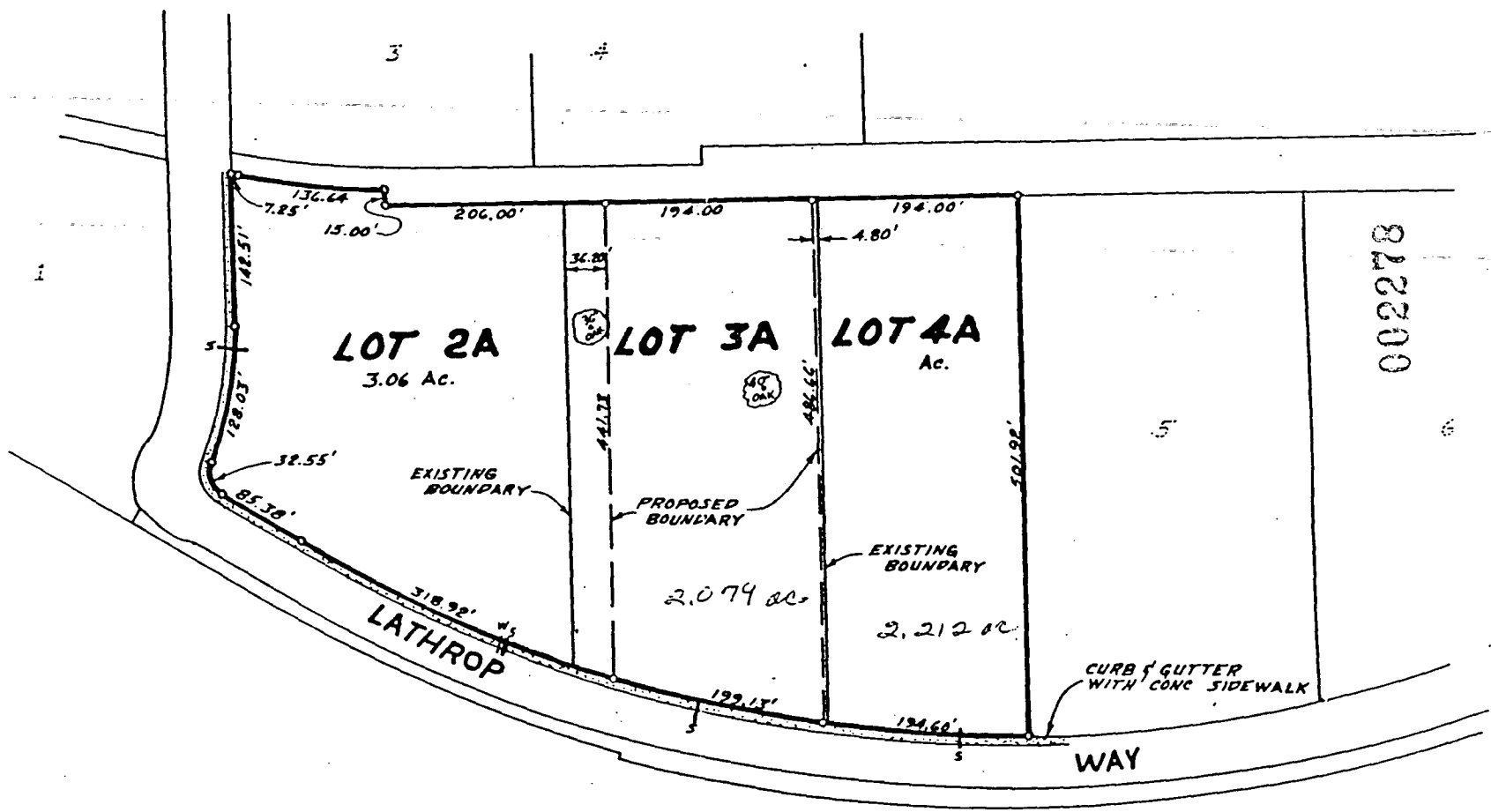
EXISTING SIDE WALK TO REMAIN

BUILDING F

BUILDING G

LATHROP WAY

D



002278

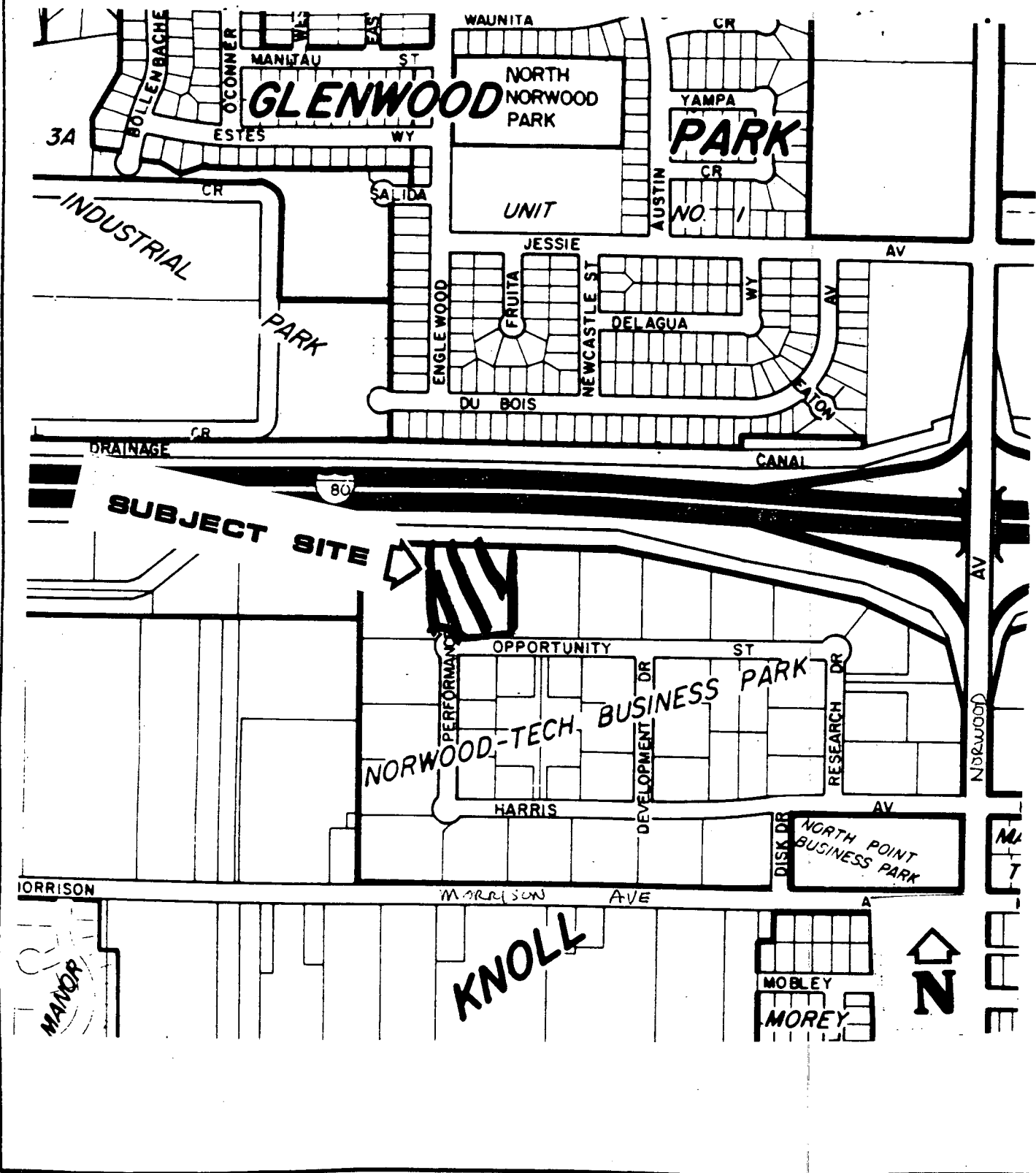
AMERICAN RIVER FLOOD CONTROL DISTRICT LEVEE ESMT.

LEGEND

- WATER SERVICE POINT . . . — W
- SEWER SERVICE POINT . . . — S

TOTAL ACREAGE WITH APPROVED LOT LINES
 ADJUSTMENT 4.29 acs (LOTS 3A & 4A)

MAY 22, 1986

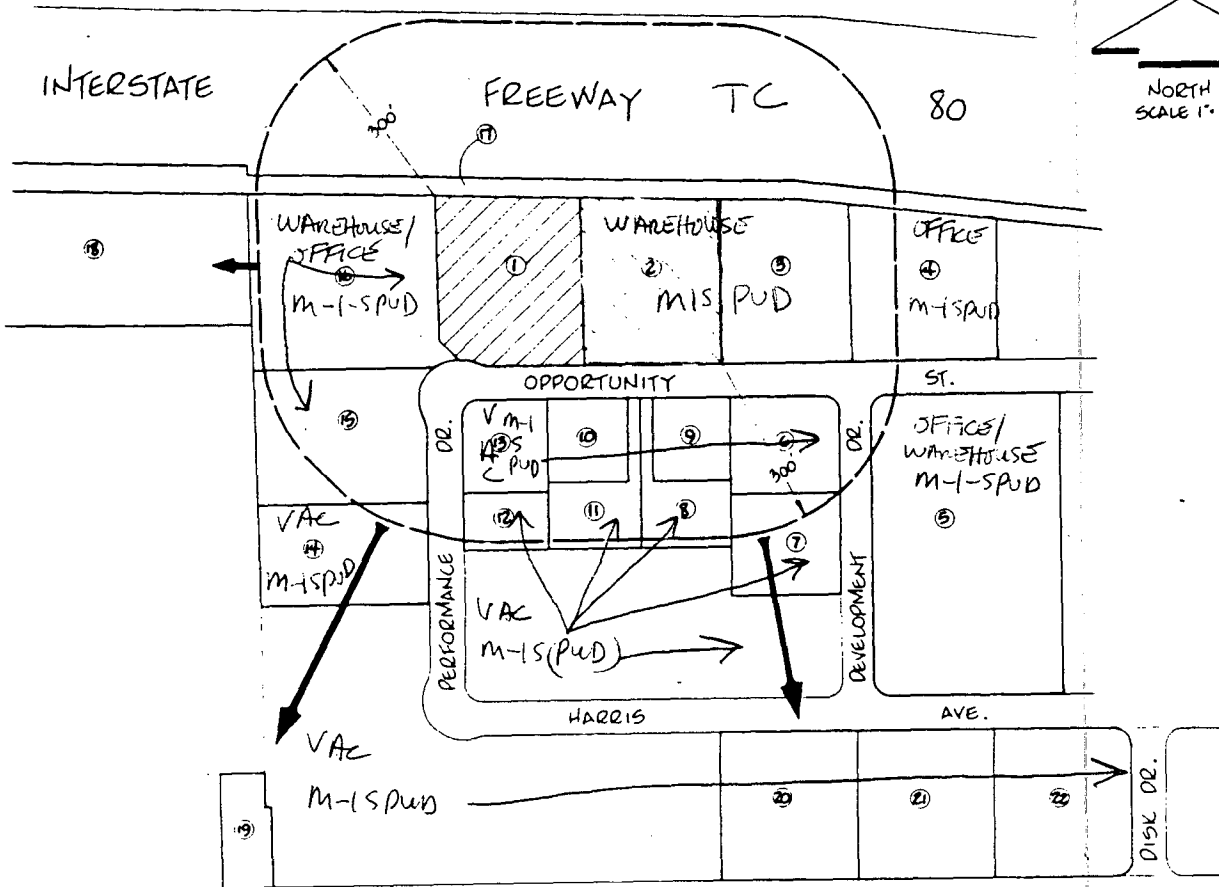


VICINITY MAP

P87-299

8-13-87

ITEM 14



ASSESSOR'S PARCEL NOS. 250-0025-042

LAND USE & ZONING MAP

P87-299

8-13-87

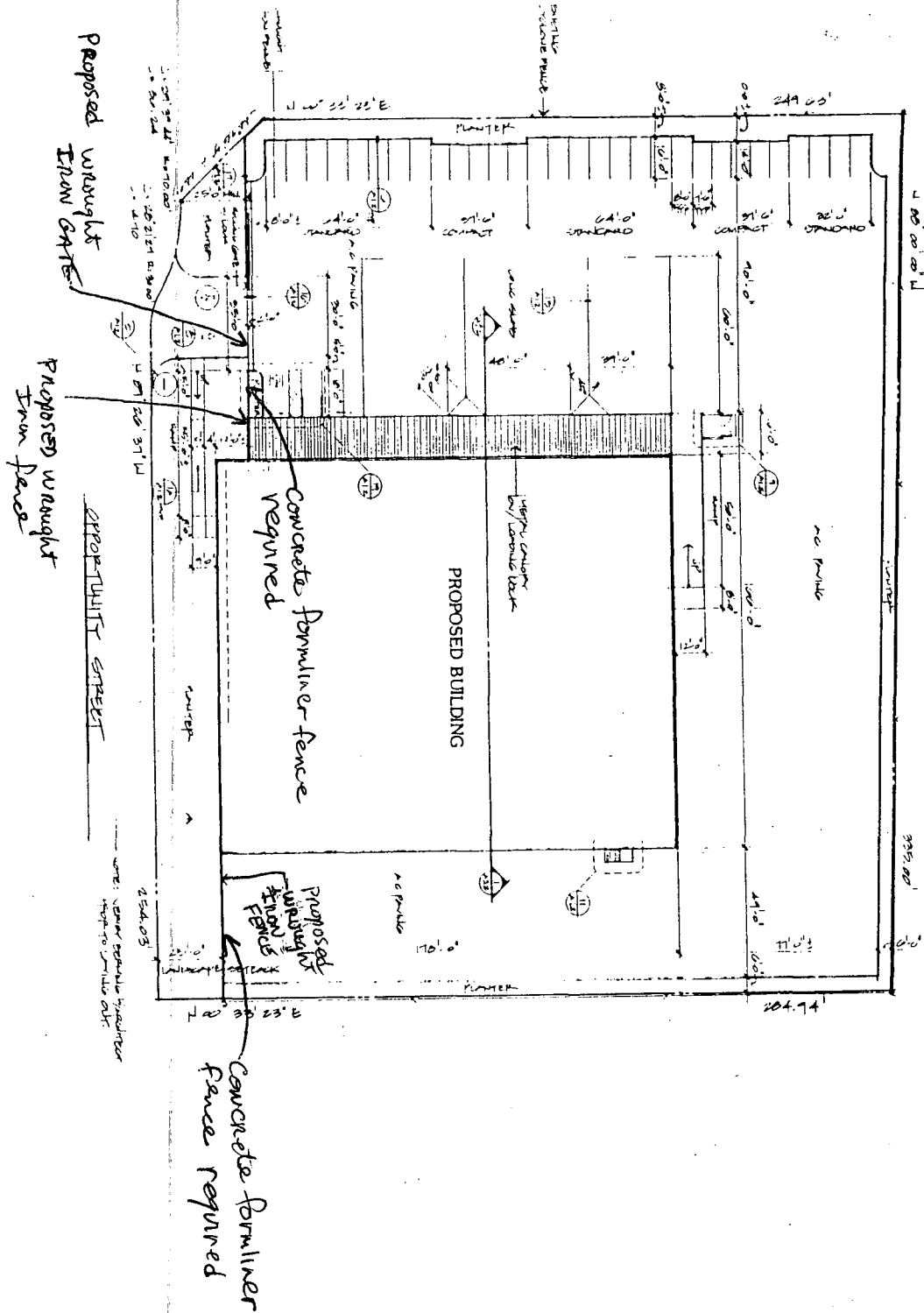
ITEM 14

ITEM 14

8-13-87

P87-299

001678



P87299

SITE PLAN

ASB NO 61286/FEE5

PROJECT EXCEL ELECTRICAL SUPPLY CO,
175 OPPORTUNITY STREET
CO. CAL.

ISSUES date drawn by

-
-
-
-
-

REVISION date drawn by

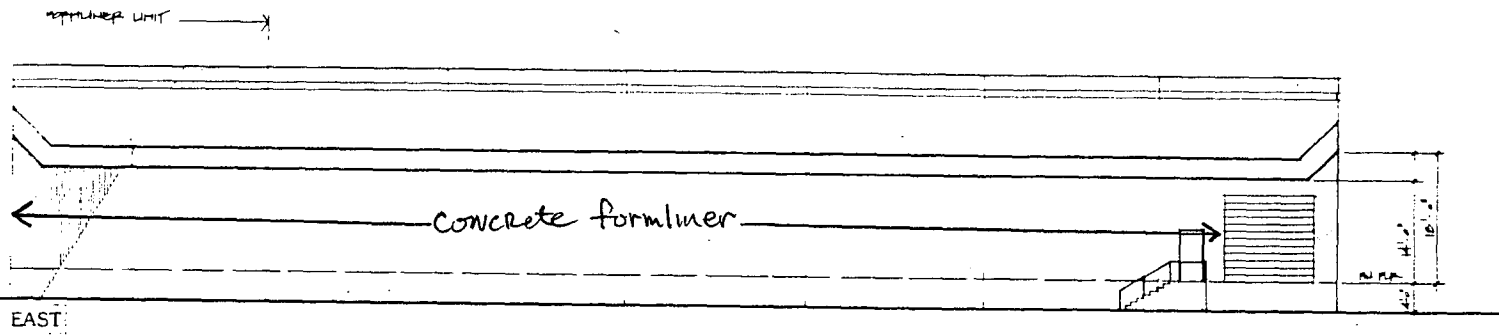
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- △
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- △

ASSOCIATED SOLUTIONS
ARCHITECTURE & INTERIOR

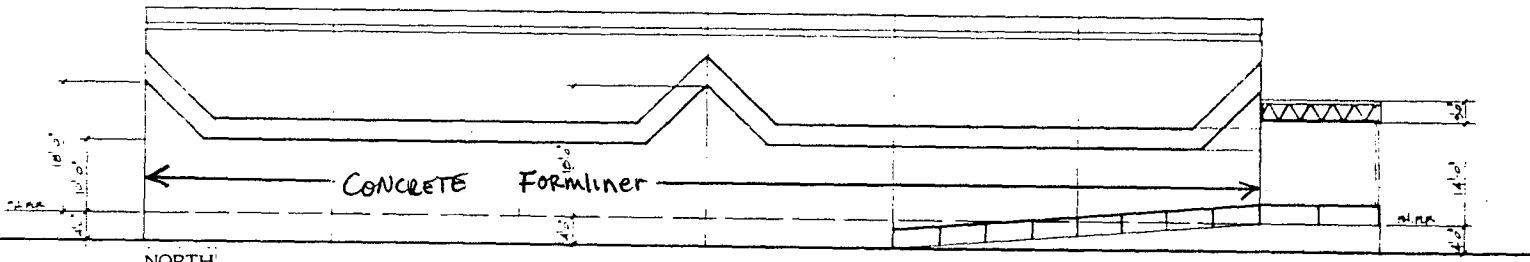
P87-299

873-87

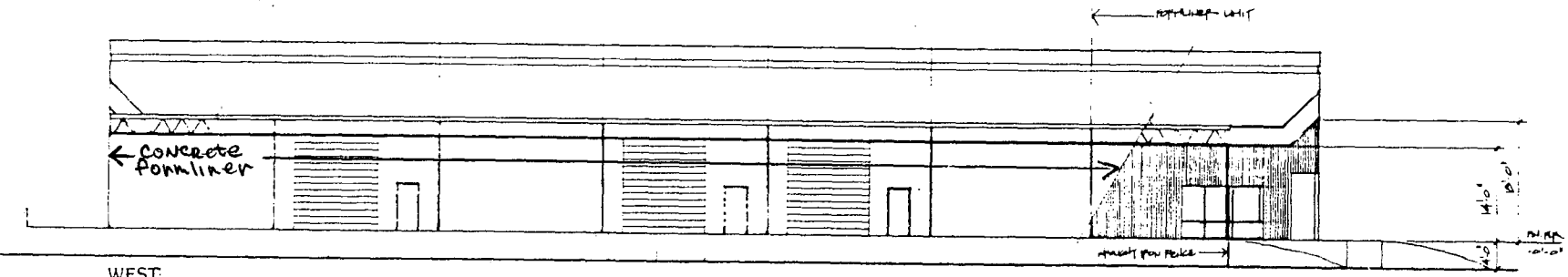
TRM
14



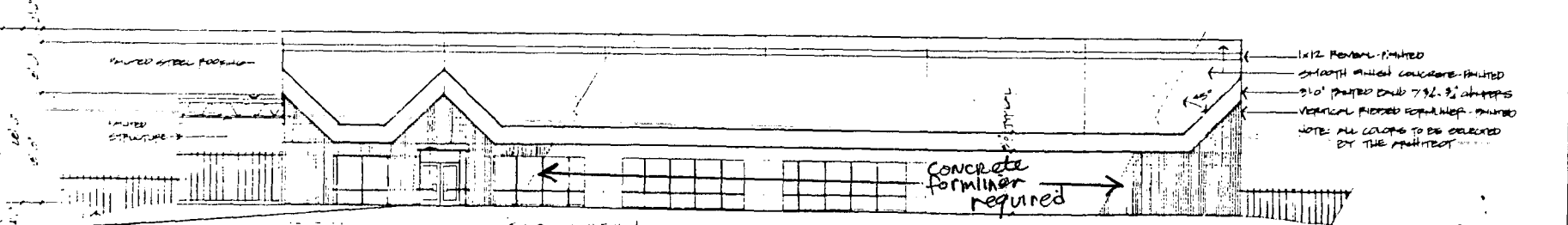
EAST



NORTH



WEST



SOUTH

- 1x12 PENNELL-FINISH
- SMOOTH FINISH CONCRETE-FINISH
- 2'-0" PAINTED CHUB 7/8" x 3" CHIPPERS
- VERTICAL FINISH FORMLINER-FINISH
- NOTE: ALL COLORS TO BE SELECTED BY THE ARCHITECT

CONCRETE FORMLINER required

--- FINISH WITH BRIDGE - SPACES TO MATCH
--- FINISH WITH BRIDGE - SPACES TO MATCH

REVISION	DATE	DRAWN BY
1		SCOTT LUTHE
2		DA
3		DA
4		DA
5		DA

SUPPLY CO.,
STREET

ELEVATIONS

P87299

EXHIBIT C

RIVER PARK GARDEN CLUB

5633 Spilman Avenue
Sacramento, Ca. 95819
March 31, 1987

Dept. of Planning and Development
City of Sacramento
1231 Eye Street
Sacramento, California 95814

Gentlemen:

This letter is written in conjunction with the desire to obtain a Permit for the placement of a sign at the intersection of "H" St. and Carlson Drive, the entrance to our River Park community.

Our River Park Garden Club, comprised of a membership of more than 150 people, has been in existence for 36 years; its objective always being to landscape and beautify the area.

Within the last few years the club took a 1400-foot strip of un-improved land along the railroad tracks on Moddison Avenue, installing a sprinkling system and cleaning up and landscaping the entire area.

We have also planted trees and donated concrete tables and benches to our local school. Money has been donated to our Little League for landscape improvement to their baseball diamond and, of course, our newest project, the beautification of the median strip on "H" Street, at the entrance to River Park, immediately adjacent to the spot where the proposed sign is to be placed. These are just a few of the more recent projects undertaken.

Also, over the years, as our conservation project, we have purchased 15 "plantations", called our "Pennies for Pines" Project. When a member passes away a plantation is purchased, which means that money is sent to the Eldorado National Forest and approximately 2000 pine seedlings are planted to help replenish the trees that have been destroyed for one reason or another.

Your cooperation in issuing a permit to place this "River Park" sign on the specified County property will indeed be greatly appreciated by the entire membership of our organization.

Sincerely,

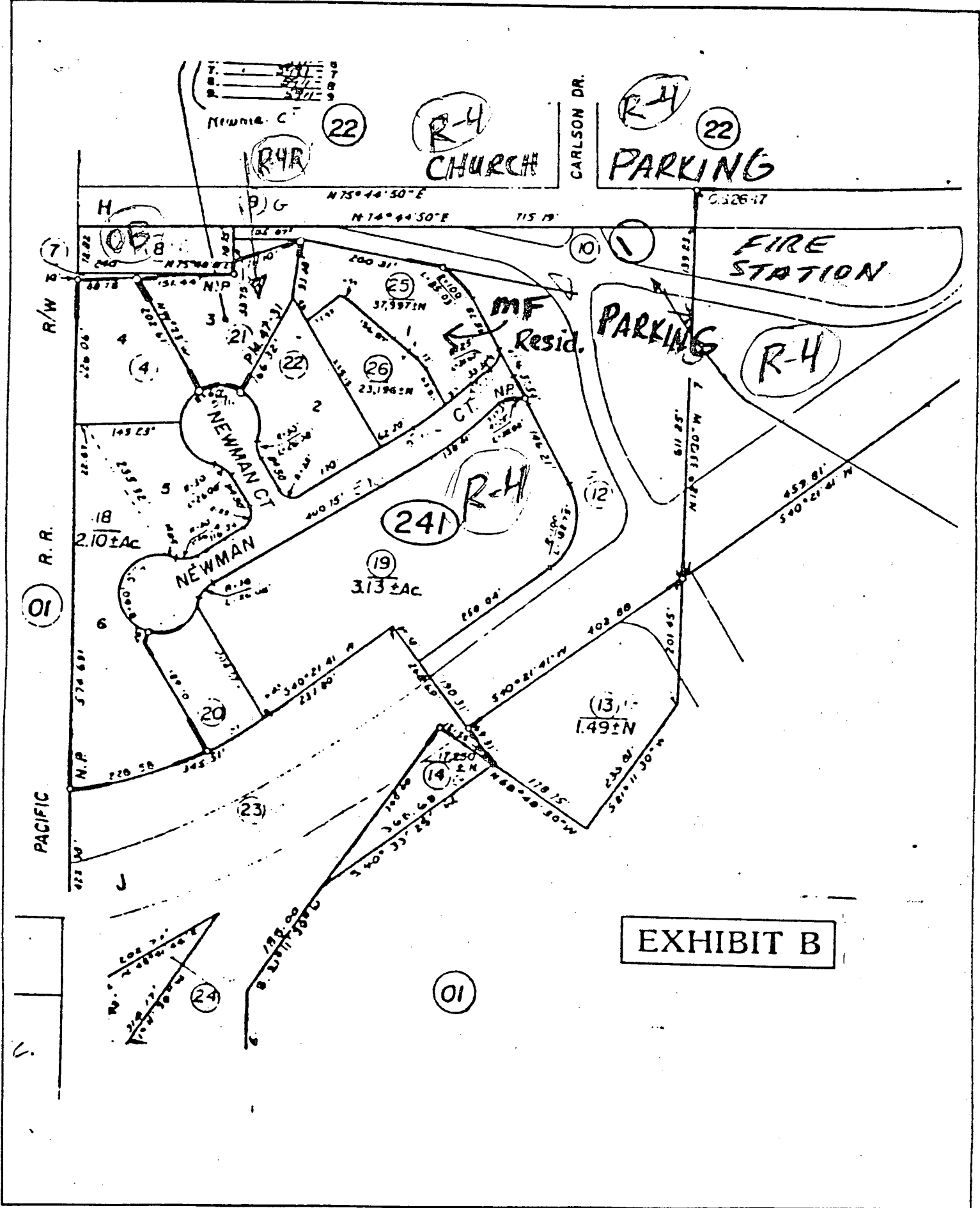
MRS. CHARLES JASPER
President

cc: Mr. Johnie Bramble

P87-297

7-23-87

Item 17



LAND USE & ZONING MAP

882-297

2-23-87

Item 17

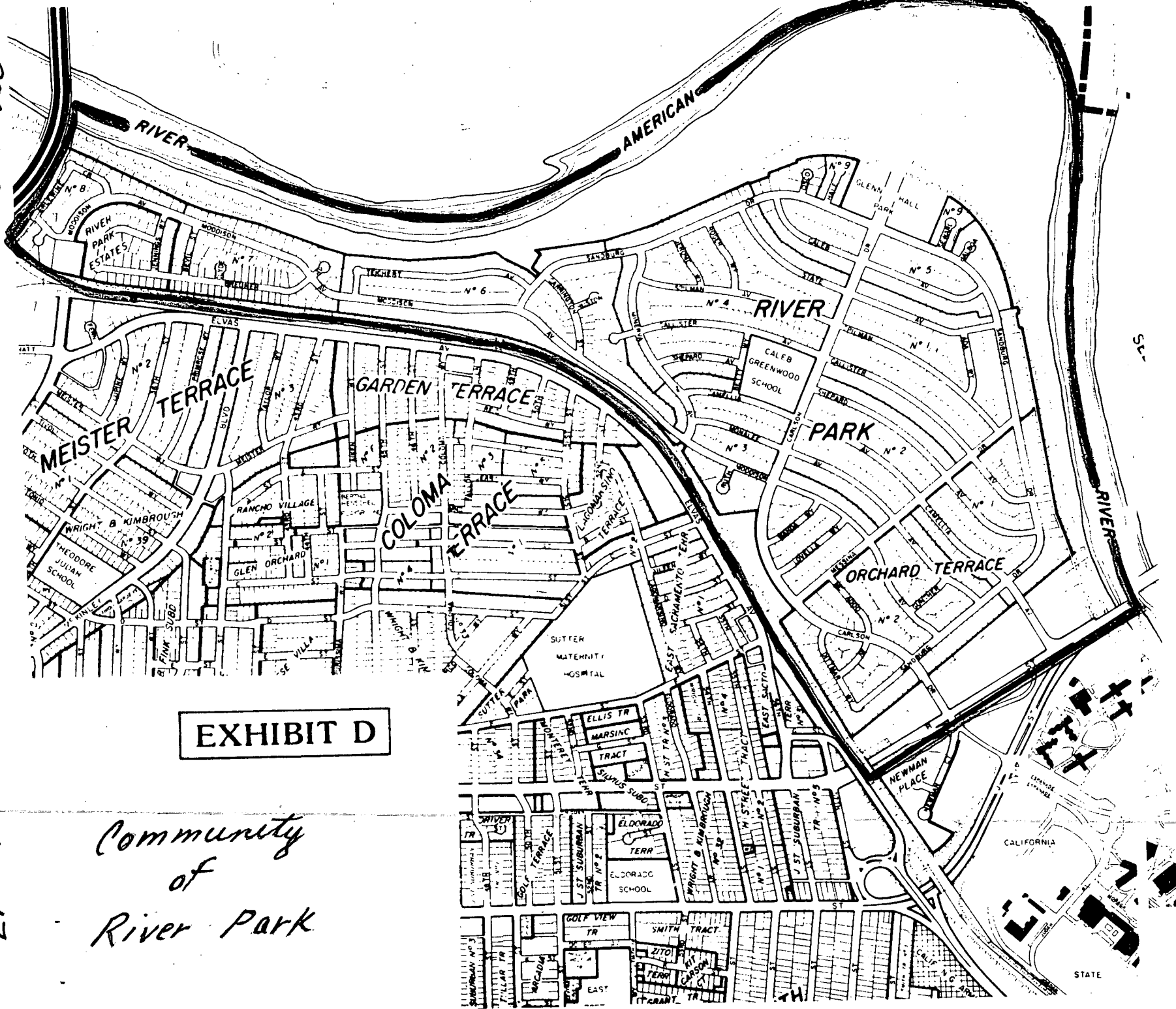


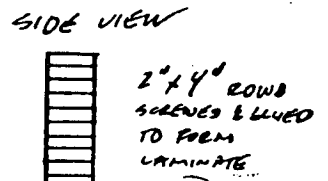
EXHIBIT D

Community of River Park

002141

STATE

P82-297



GRADE

7-23-07

4" TUBE STEEL

1/4" PLATE

1'6"

12" x 3'
CONCRETE
CASSIOLS

SCALE 1" = 1'

RIVER PARK COMMUNITY SIGNS

SIERRA SIGN SERVICES, INC.

EXHIBIT E

Item 17

002140