



CITY OF SACRAMENTO

#26

CITY PLANNING DEPARTMENT
927 TENTH STREET SACRAMENTO, CA 95814
SUITE 300 TELEPHONE (916) 449-5604

MARTY VAN DUYN
PLANNING DIRECTOR

September 30, 1982

City Council
Sacramento, California

Honorable Members in Session:

SUBJECT: 1. Environmental Determination;
2. Rezone from A, Agricultural to R-1-A, Townhouse
3. Subdivision Modification to waive sewer and water services
to Lot A; and
4. Tentative Map (P82-090)

LOCATION: East terminus of Grace Avenue between Norwood Avenue and Rio Linda
Boulevard

SUMMARY

The applicant is requesting the necessary entitlements to develop a 50-acre site into 218 halfplex units, 58 zero lot line units and one 6+ acre site intended for future townhouse development. The Planning Commission, in concurrence with staff, recommended approval of the project subject to conditions.

BACKGROUND INFORMATION

The subject site is located in an area comprised primarily of single family dwellings on large lots. There is a standard single family subdivision located south of the site.

The applicant's proposal consists of a mixture of halfplex units and zero lot line patio homes. The project results in a net density of approximately eight units net per acre.

Several neighbors appeared at the hearing and indicated a concern with additional traffic that would utilize Taylor Street. This street is one of two access points into the development. They suggested that Grace Avenue be extended to the east across the canal to Rio Linda Blvd.

VOTE OF PLANNING COMMISSION

On August 12, 1982 the Planning Commission by a vote of eight ayes, one absent, recommended approval of the project.

APPROVED
BY THE CITY COUNCIL

OCT 5 1982

OFFICE OF THE
CITY CLERK

RECOMMENDATION

The staff and Planning Commission recommend approval of the project by:

1. Ratifying the Negative Declaration;
2. Adopting the attached rezoning ordinance; and
3. Adopting the attached tentative map resolution adopting findings of fact and approving the tentative map and subdivision modification with conditions.

Respectfully submitted,

Marty Van Duyn
Planning Director

FOR CITY COUNCIL INFORMATION
WALTER J. SLIPE
CITY MANAGER

MVD:HY:cp
Attachment
P82-090

October 5, 1982
District No. 2

SACRAMENTO CITY PLANNING COMMISSION

26

MEETING DATE 8-26-82
 ITEM NO. 5a FILE NO. P- 82090
 M- _____

- GENERAL PLAN AMENDMENT TENTATIVE MAP
- COMMUNITY PLAN AMENDMENT SUBDIVISION MODIFICATION
- REZONING ENVIRONMENTAL DET.
- SPECIAL PERMIT OTHER _____
- VARIANCE _____

Recommendation LOCATION: E. of Terminus of Grace Ave

- Favorable
- Unfavorable
- Petition
- Correspondence

NAME	PROPOSERS	ADDRESS
<u>John Pitalo</u>		

NAME	OPPOSERS	ADDRESS
<u>Joanne Pittman</u>	<u>4724 Taylor Street</u>	<u>Sacramento</u>
<u>Chas Rescoe</u>	<u>4728 Taylor St.</u>	
<u>Joe Pittman</u>	<u>4724 Taylor St.</u>	

MOTION NO. _____

	YES	NO	MOTION	2ND
<u>Augusta</u>	✓			
Eng	✓			
<u>Goodin</u>	✓			
<u>Holloway</u>	-			✓
<u>Larson</u>	-			
<u>Muraki</u>	-			
<u>Silva</u>	-		✓	
Simpson	<u>Absent</u>			
<u>Hunter</u>	✓	-		

- MOTION:
- TO APPROVE
 - TO DENY
 - TO APPROVE SUBJECT TO COND. & BASED ON FINDINGS OF FACT IN STAFF REPORT
 - INTENT TO APPROVE SUBJ. TO COND. & BASED ON FINDINGS OF FACT DUE _____
 - TO RECOMMEND APPROVAL & FORWARD TO CITY COUNCIL
 - TO RATIFY NEGATIVE DECLARATION
 - TO CONTINUE TO _____ MEETING
 - OTHER _____

ORDINANCE NO. 82-082

ADOPTED BY THE SACRAMENTO CITY COUNCIL ON DATE OF

ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE NO. 2550, FOURTH SERIES, AS AMENDED, BY REMOVING PROPERTY LOCATED AT EAST TERMINUS OF GRACE AVENUE FROM THE A, AGRICULTURAL ZONE AND PLACING SAME IN THE R-1A, TOWNHOUSE ZONE (FILE NO. P- 82-090) (APN: 237-070-02,03,04,05,06, por.17,18;237-040-26)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1.

The territory described in the attached exhibit(s) which is in the A, Agricultural zone(s), established by Ordinance No. 2550, Fourth Series, as amended, is hereby removed from said zone and placed in the R-1A, Townhouse zone(s).

This action rezoning the property described in the attached exhibit(s) is adopted subject to the following conditions and stipulations:

a. A material consideration in the decision of the Planning Commission to recommend and the City Council to approve rezoning of the applicant's property is the development plans and representations submitted by the applicant in support of this request. It is believed said plans and representations are an integral part of such proposal and should continue to be the development program for the property.

b. If an application for a building permit or other construction permit is filed for said parcel which is not in conformity with the proposed development plans and representations submitted by the applicant and as approved by the Planning Commission August 26, 1982, on file in the office of the Planning Department, or any provision or modification thereof as subsequently reviewed and approved by the Planning Commission, no such permit shall be issued, and the Planning Director shall report the matter to the Planning Commission as provided for in Ordinance No. 3201, Fourth Series.

SECTION 2.

The City Clerk of the City of Sacramento is hereby directed to amend the maps which are a part of said Ordinance No. 2550, Fourth Series, to conform to the provisions of this ordinance.

APPROVED
BY THE CITY COUNCIL

OCT 5 1982

OFFICE OF THE
CITY CLERK

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SECTION 3.

Rezoning of the property described in the attached exhibit(s) by the adoption of this ordinance shall be deemed to be in compliance with the procedures for the rezoning of property prescribed in Ordinance No. 2550, Fourth Series, as said procedures have been affected by recent court decisions.

PASSED FOR PUBLICATION:

PASSED:

EFFECTIVE:

MAYOR

ATTEST:

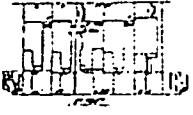
CITY CLERK

P82-090

SCHEMATIC SITE PLAN
NORTHWIND ESTATES
 CITY OF SACRAMENTO CALIFORNIA

mp MORTON & PITRELO, INC.
 ARCHITECTS
 1000 J STREET
 SACRAMENTO, CALIF. 95811

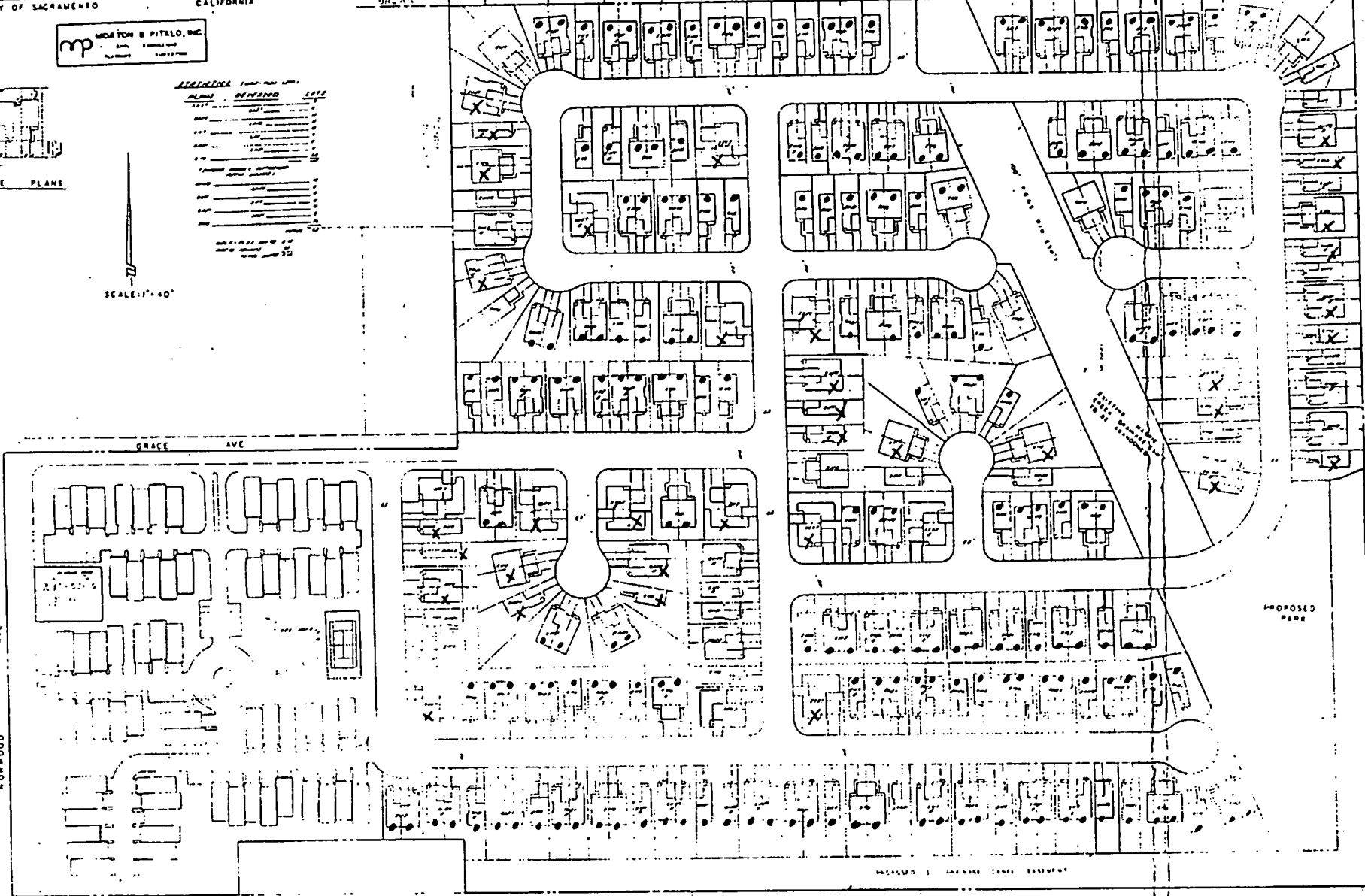
237-040-18 GARDNER
 237-040-19 HENRY
 237-040-20 PIERCE
 237-040-21 ROONEY
 237-040-22 WEINER
 237-040-13 GARDNER
 237-040-14 SHIPLEY
 TAYLOR ST.
 237-040-20
 237-040-21
 237-040-22
 237-040-23
 237-040-24



LEGEND

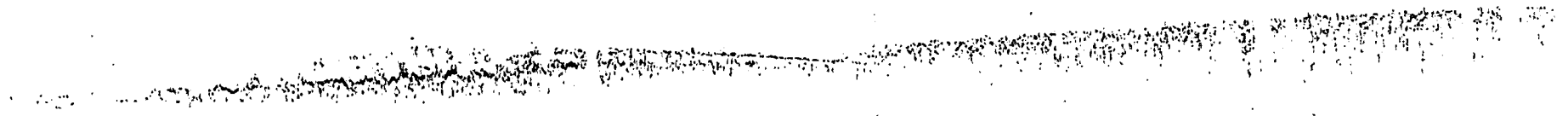
SYMBOL	DESCRIPTION
(Symbol)	Single Unit
(Symbol)	Double Unit
(Symbol)	Triplex
(Symbol)	Fourplex
(Symbol)	Fiveplex
(Symbol)	Sixplex
(Symbol)	Sevenplex
(Symbol)	Eightplex
(Symbol)	Nineplex
(Symbol)	Tenplex
(Symbol)	Elevenplex
(Symbol)	Twelveplex
(Symbol)	Thirteenplex
(Symbol)	Fourteenplex
(Symbol)	Fifteenplex
(Symbol)	Sixteenplex
(Symbol)	Seventenplex
(Symbol)	Eighteenplex
(Symbol)	Nineteenplex
(Symbol)	Twentyplex

SCALE: 1" = 40'



67% 207 LOTS • = N/S LOT ORIENTATION
 11.5% 36 UNITS X = N/S UNIT ORIENTATION

237-010- PACIFIC GAS & E



26

RESOLUTION No. 82-696

Adopted by The Sacramento City Council on date of

A RESOLUTION ADOPTING FINDINGS OF FACT,
APPROVING A REQUEST FOR SUBDIVISION
MODIFICATION AND TENTATIVE MAP FOR
PROPERTY LOCATED AT THE EAST TERMINUS OF GRACE
AVENUE, BETWEEN NORWOOD AVENUE AND RIO LINDA BLVD.
(APN: 237-070-02 thru 06, por. 17 & 18; 237-040-26)

WHEREAS, the Planning Commission has submitted to the City Council its report and recommendations concerning the request for Subdivision Modification and Tentative Map for property located at the east terminus of Grace Avenue, between Norwood Avenue and Rio Linda Blvd., (hereinafter referred to as the proposed subdivision).

WHEREAS, the Council of the City of Sacramento, based on testimony submitted at public hearing(s) conducted on October 5, 1982, hereby finds and determines as follows:

- A. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and the North Norwood Community Plan in that both plans designate the subject site for residential uses. Also, any required improvements are to be designed and constructed within the provisions of the Subdivision Regulations which, by Section 40.102 of said regulations, is designated as a Specific Plan of the City of Sacramento.
- B. The site is physically suitable for the type and proposed density of development in that the subject site is flat with no significant erosional, soil expansion or other similar problems.
- C. The design of the subdivision or proposed improvements are not likely to cause substantial environmental damage, and will not substantially and avoidably injure fish or wildlife or their habitat. The proposed project has been reviewed and assessed by the Environmental Coordinator who has filed a Negative Declaration with the City Clerk. By virtue of the Negative Declaration, the proposed project will not cause individual or cumulative adverse effects on the natural and social-physical environment nor substantially and avoidably injure fish, wildlife, or their habitat.
- D. The design of the subdivision or the type of improvements are not likely to cause serious public health problems in that community water and sewer systems exist at the site. The site is not within an established floodplain or over a known seismic fault.

APPROVED
BY THE CITY COUNCIL

OCT 5 1982

OFFICE OF THE
CITY CLERK

- E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public for access through, or use of, the property within the proposed subdivision in that there are no access easements for use by the public at large on the subject site.
- F. The discharge of waste from the proposed subdivision into the community sewer system servicing the proposed subdivision will not result in or add to a violation of the waste discharge requirements applicable to said sewer system which were prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that the existing City of Sacramento treatment plants have a design capacity of 75 mgd and that actual treated discharge averages 56 mgd. The discharge from the proposed project will not create a condition exceeding the design capacity.
- G. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the proposed subdivision, taking into consideration the local climate, the contour and configuration of the parcel to be divided, and such other design and improvement requirements applicable to the proposed subdivision.
- H. In the matter of the requested Subdivision Modification, the Council determines as follows:

- a. That the property to be divided is of such size or shape, or is affected by such topographic conditions, or that there are such special circumstances or conditions affecting the property that it is impossible, impracticable or undesirable in the particular case to conform to the strict application of these regulations.

Fact: It would not be practical to require service connections until specific plans are submitted in order to determine the adequate size of lines.

- b. That cost to the subdivider of strict or literal compliance with the regulation is not the sole reason for granting the modification.

Fact: Installation of water and sewer connections are only being deferred until issuance of building permits.

- c. That the modification will not be detrimental to the public health, safety, or welfare, or be injurious to other properties in the vicinity.

Fact: The granting of the subdivision modification will not change the characteristics of the area.

- d. That granting the modification is in accord with the intent and purpose of these regulations and is consistent with the General Plan and with all other applicable Specific Plans of the City.

Fact: The site is designated for residential uses.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sacramento as follows:

- A. The Negative Declaration be ratified;
- B. The Tentative Map and Subdivision Modification be approved subject to the following conditions:
 - 1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code; required improvements include the following:
 - a. Norwood Avenue to be improved to a 45-foot cross section, including curb, gutter and sidewalk along the north side of Lot A and 15 feet of pavement on the north side of Grace Avenue.
 - b. Grace Avenue to be improved to a 54-foot cross section, including curb, gutter and sidewalk along the north side of Lot A and 15 feet of pavement on the north side of Grace Avenue.
 - 2. Right-of-way study for Taylor Avenue is required off site; dedication and improvements required as indicated by the study (minimum improvement will consist of 24 feet of pavement extended up to Main Avenue).
 - 3. Name the streets to the satisfaction of the Planning Director.
 - 4. Place the following note on the final map: Water and sewer service connections do not exist between the main lines and Lot A. These services must be paid for and installed at the time of obtaining building permits.

5. Prepare a sewer study for the review and approval of the City Engineer; may require off-site extension and oversizing of lines. Existing sewer district serves from Taylor Street westerly. A portion of the site will have to be served from the east, off-site, to the Regional trunk line.
6. Coordinate fees, annexation, etc., with Regional Sanitation as indicated in sewer study.
7. Final map cannot be filed until Regional Sewer Treatment Plant is operational.
8. Alignment and improvement study required for Magpie Creek. Required improvements will include off-site improvements and dedication. May require construction of levees to protect development from upstream overflow. Magpie Creek to be improved with summer flow lining, fencing, etc. Off-site deepening and widening to extend south to Bell Avenue.
9. Dedicate access points for maintenance of drainage canal as required by the City Engineer.
10. Drainage study required for the overall site (to be done in conjunction with Magpie Creek study). Drainage study to include grading plan and will require filling.
11. Final map cannot be filed until City's Magpie Creek widening project upstream to Bell Avenue is substantially complete.
12. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
13. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation of the U. S. Postal Service.
14. The PG & E easement along the southern portion of the site must be abandoned or resolved to the satisfaction of the Planning Director.
15. A note shall be placed on the final map indicating that no structures or swimming pools are permitted within the PG & E easement areas.

MAYOR

ATTEST:

CITY CLERK

City Planning Commission
Sacramento, California

Members in Session:

SUBJECT: Northwind Estates

LOCATION: East Terminus of Grace Avenue between Norwood Avenue
and Rio Linda Boulevard

Background Information: On August 26, 1982 the Planning Commission reviewed the subject request to develop 50± acres with 218 halfplex units, 95 zero-lot line units and a 6± acre site designated for future townhouse development. The Planning Commission concurred with staff's recommendation to continue the project so that the applicant could incorporate the following design elements into the schematic plan:

1. Variety of lot widths.
2. A carefully selected, wide range of floor plans and elevations.
3. Staggered front setbacks.
4. Curved driveways
5. Additional two-story units.

In addition, the Planning Commission suggested separating some halfplex garages. This would allow some garages to be oriented away from the street and reduce the number of 40-foot wide driveways leading to adjacent 2-stall garages. Some Commissioners also suggested separating the driveways with planter strips to reduce the massive concrete area. It was also suggested a variety of exterior materials be utilized. Revisions were received too late for the staff to review and include comments in the packet. To accommodate the applicant however, staff has prepared a late report.

Staff Evaluation: Staff has the following comments with regard to the project:

1. Staff believes the 'modifications' made to the project constitute little more than token attempts to address concerns expressed by both the staff and the Planning Commission. There are now 18 units with split garages. Elevations for the modified unit 2081 were not submitted and staff has not included that as a 'split' elevation. No garages are oriented away from the street, however some driveways have been modified for a curved affect with a small planter area. Nothing has been done to address varied width, logically corresponding indoor/outdoor living area, a variety of floor plans and elevations, solar access, and visual interest of streetscapes.
2. Staff believes that a minimal effort has been made to provide a visually pleasing streetscape with interest and variety.

To improve the overall appearance of the project, staff suggests the applicant revise the schematic plan and incorporate the following design elements:

- a. All units should have a 10-foot side yard setback.
- b. Front setback of units should be staggered from 20 to 30 feet especially on long, straight streets.
- c. Driveways to be curved as indicated on the schematic site plan.
- d. All units designated #2081 should be as originally designed with garages adjacent to one another.
- e. There should be additional structures of the unit #2184 design distributed on long street frontages. These units should not replace any of the unit "H" design.
- f. Units "A" thru "H" with living areas in the rear of the structure should have at least a 15-foot rear yard setback.
- g. Units on lots 293, 295, and 296 should be located at least 5-feet from the drainage canal alignment.
- h. The units should contain a variety of materials for the exterior elevations. These should be indicated on the site plan and elevations of each unit.

Staff therefore, suggests the applicant submit a revised schematic plan with the additional elements "a thru h" to the Planning Director for review and approval prior to Tentative Map approval by the City Council.

3. Relative to energy conservation, staff suggests the applicant submit all units to SMUD for review of design and identification of cost-effective modifications to improve energy efficiency.
4. The site plan now achieves a 67% north/south lot orientation, or 202 lots. The additional 10-feet required for side yards will allow for an in-lieu program of units with adequate access (south wall solar access/glazing) to constitute an 80-percent north/south lot or unit orientation.
5. A request for a subdivision modification to waive sewer and water hookups to lots A and B has been included in the listed entitlements. Lot B has been incorporated into the project. In order to avoid inactive hookups to Lot A, staff supports the request to waive sewer and water services to that lot.
6. The Planning and Community Services have determined that 4.240 acres of land are required for parkland dedication purposes and that fees are to be charged in-lieu of the required parkland dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. Said appraisal shall be dated and submitted within 90 days prior to filing the final map.
7. The schematic proposes 3 units with no setback along the drainage canal. The City Engineer requests there be a 5-foot setback for maintenance of the wall. The revised schematic should indicate this change.

Staff Recommendation: Staff recommends the following actions be taken:

1. Ratification of the Negative Declaration.
2. Approval of the rezone from Agricultural A to Townhouse (R-1-A).
3. Approval of the subdivision modification to waive sewer and water services to Lot A.

4. Approval of the special permit to develop 218 halplex units and 95 zero lot line units subject to conditions and based on findings of fact which follow:
5. Approval of the Tentative Map subject to conditions which follow:

Conditions - Special Permit

1. The applicant shall submit a revised site plan to indicate the following modifications: **Units without sliding door openings to have a 7-1/2 ft. side yard setback. All other units must have a 10-ft. side yard setback.*
 - * a. *All units shall have a 10-foot side yard setback.*
 - b. 20-percent of the units shall have a 20-foot front setback. Said units shall be located predominantly on long street frontages.
 - c. 20-percent of the units shall have a 30-foot front setback. Said units shall be located predominantly on long street frontages.
 - d. Remaining setbacks shall be staggered between 20 and 30 feet.
 - e. Drawings shall be curved as indicated on the schematic plan.
 - f. All units designated #2081 shall be as originally submitted with garages adjacent to one another.
 - g. There shall be additional structures of the unit 2184 design distributed on long street frontages. These shall not replace any unit 'H' design.
 - h. Units 'A' thru 'H' with living areas in the rear of the structure shall have at least a 15-foot rear yard setback.
 - i. Units on lots 292, 293 and 296 shall be located 5-feet from the property line.
 - j. Outside building materials of on front elevations shall be indicated for each unit.
 - k. There shall be no deviation of unit patterning without prior Planning Department approval.
2. The revised schematic plan shall be submitted for review and approval of the Planning Director prior to Tentative Map approval.
3. Prior to issuance of building permits, all plans shall be reviewed for compliance with the approved schematic plan.

Conditions - Tentative Map:

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code; required improvements include the following:
 - a. Norwood Avenue to be improved to a 45-foot half-section with a 12-foot lane on the westerly half;
 - b. Grace Avenue to be improved to a 54-foot cross section, including curb, gutter and sidewalk along the north side of Lot A and 15 feet of pavement on the north side of Grace Avenue.

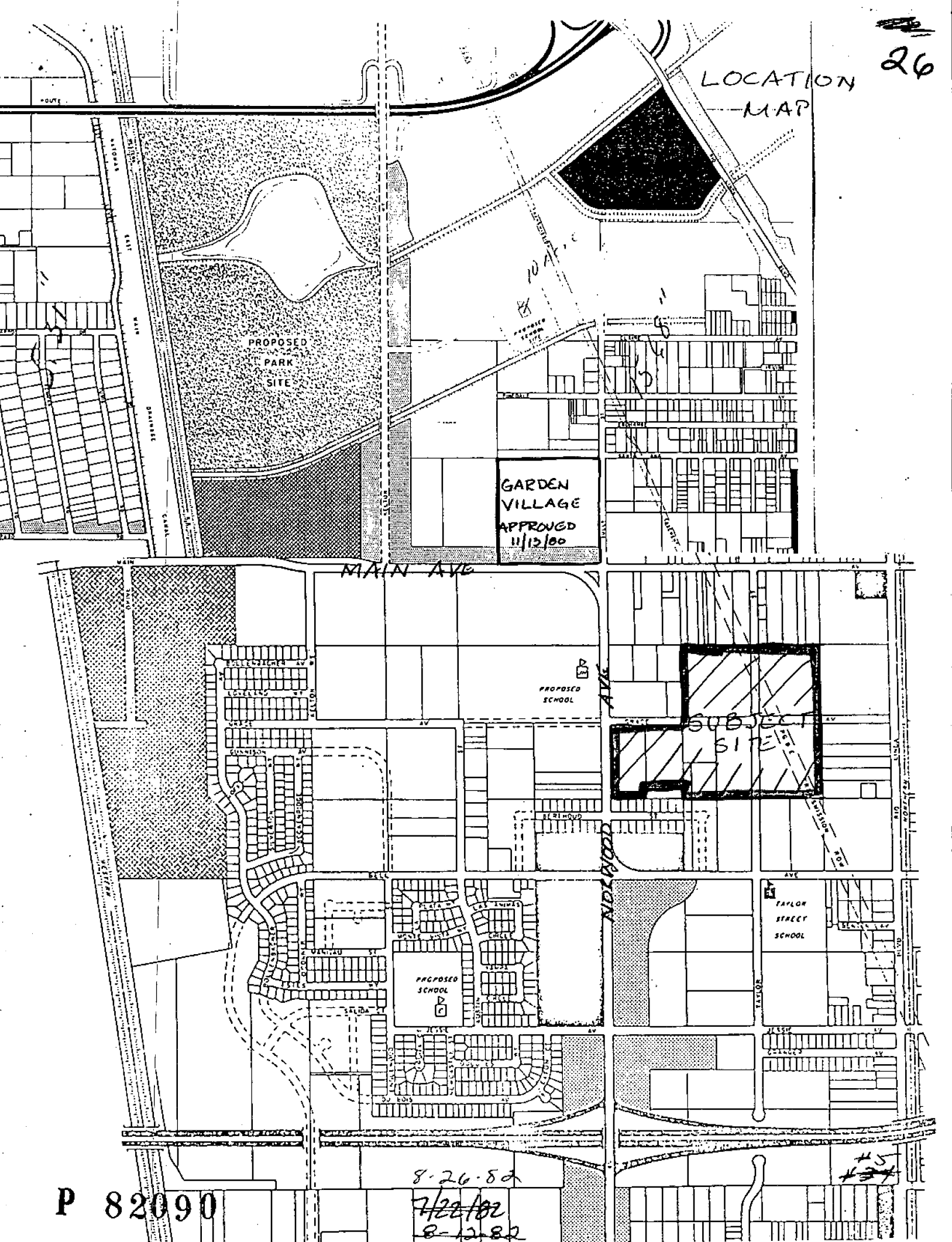
2. Right-of-way study for Taylor Avenue is required off site; dedication and improvements required as indicated by the study (minimum improvement will consist of 24 feet of pavement extended up to Main Avenue).
3. Name the streets to the satisfaction of the Planning Director.
4. Place the following note on the final map: Water and sewer service connections do not exist between the main lines and Lot A. These services must be paid for and installed at the time of obtaining building permits.
5. Prepare a sewer study for the review and approval of the City Engineer; may require off-site extension and oversizing of lines. Existing sewer district serves from Taylor Street westerly. A portion of the site will have to be served from the east, off-site, to the Regional trunk line.
6. Coordinate fees, annexation, etc. with Regional Sanitation as indicated in sewer study.
7. Final map cannot be filed until Regional Sewer Treatment Plant is operational.
8. Alignment and improvement study required for Magpie Creek. Required improvements will include off-site improvements and dedication. May require construction of levees to protect development from upstream overflow. Magpie Creek to be improved with summer flow lining, fencing, etc. Off-site deepening and widening to extend south to Bell Avenue.
9. Dedicate access points for maintenance of drainage canal as required by the City Engineer.
10. Drainage study required for the overall site (to be done in conjunction with Magpie Creek study). Drainage study to include grading plan and will require filling.
11. Final map cannot be filed until City's Magpie Creek widening project upstream to Bell Avenue is substantially complete.
12. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
13. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation of the U. S. Postal Service.
14. The PG&E easement along the southern portion of the site must be abandoned or resolved to the satisfaction of the Planning Director.
15. A note shall be placed on the final map indicating that no structures or swimming pools are permitted within the PG&E easement areas.

- * 16. The Tentative Map shall be modified to reflect any changes dictated by the schematic plan revisions prior to ~~final map approval~~. *Tentative Map consideration by the City Council.*

Findings of Fact - Special Permit

1. The project, as conditioned, is based on sound principles of land use in that:
 - a. The lot orientation and in-lieu unit orientation constitutes 80-percent of the proposed units.
 - b. The design of the project is compatible with surrounding properties which consist of residential uses.
2. The project, as conditioned, is not injurious to public health, safety or welfare in that adequate provisions have been made for off-street parking, building setbacks, and solar access.
3. The project, as conditioned, is consistent with the General Plan goal to: "Recognize new concepts for residential land use design and technology, and consider their appropriate use with existing forms of residential development."
4. The project is consistent with the 1965 North Norwood Community Plan which designates the site for residential uses.

LOCATION MAP



PROPOSED
PARK
SITE

GARDEN
VILLAGE
APPROVED
11/13/80

SUBJECT
SITE

PROPOSED
SCHOOL

TAYLOR
STREET
SCHOOL

8-26-82

7/22/82

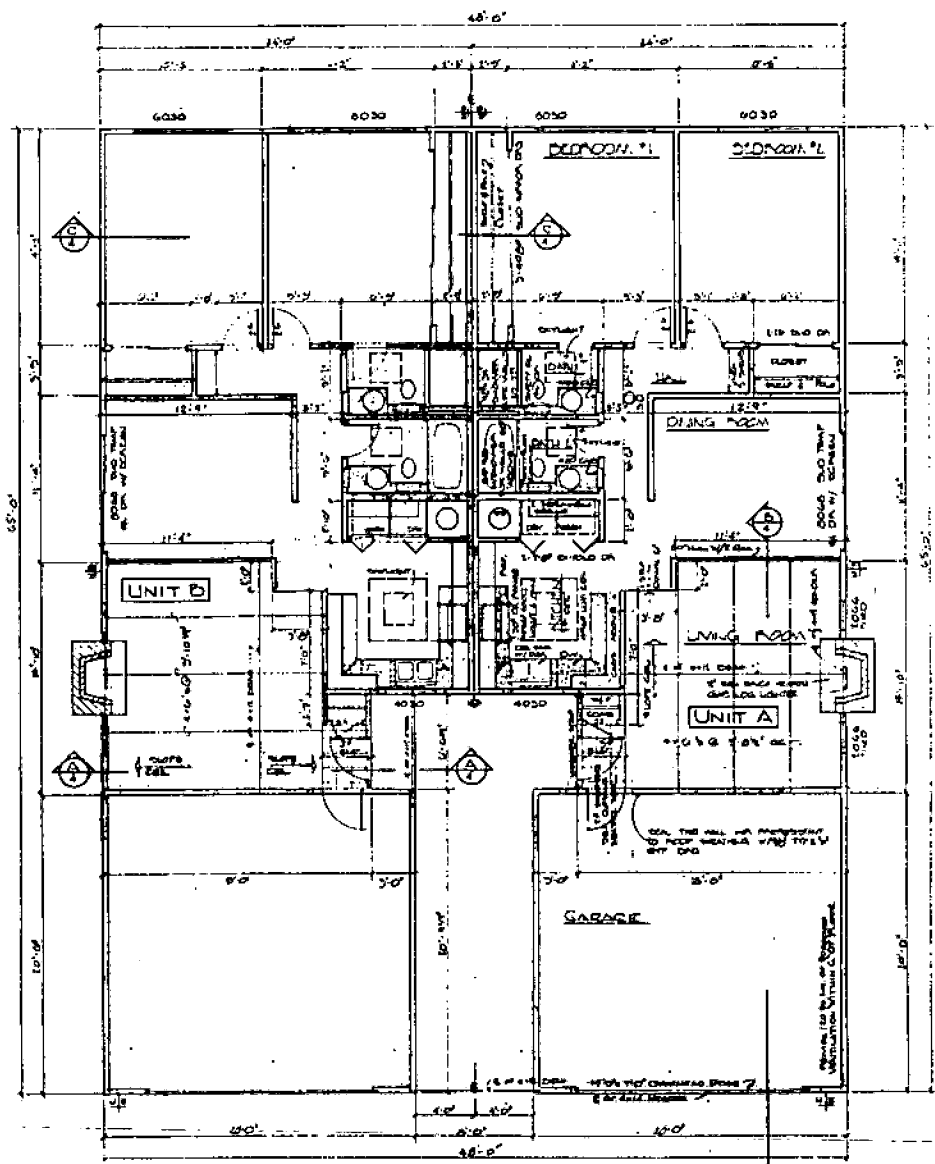
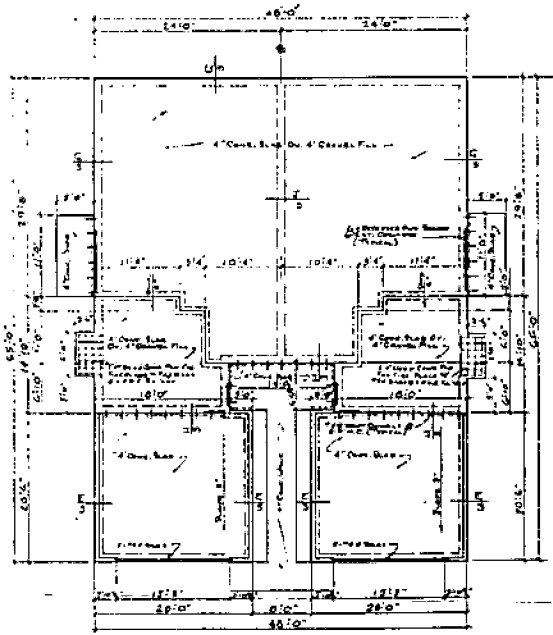
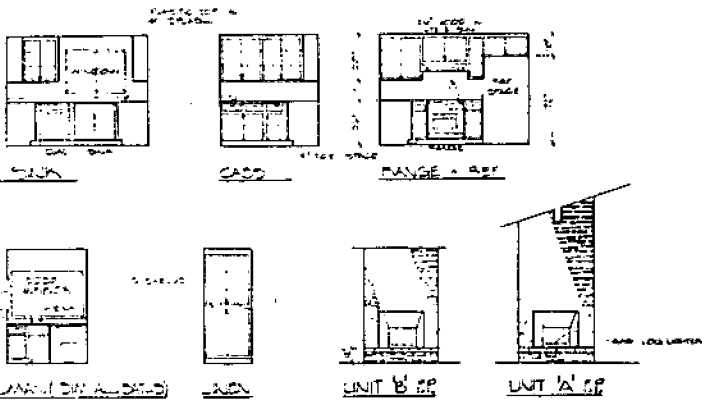
8-12-82

P 82090

26

SPLIT GARAGE FLOOR PLAN
(NEW FLOOR PLAN)

#5



8-26-82

REVISIONS	BY

SCHLICHTING & ASSOCIATES
BUILDING DESIGNERS - LEAD PLANNERS
1715 S. PARK OAKS BLVD.
CARMEL, CALIFORNIA 95008
A DUNN-EDDY COMPANY DIVISION OF TWO EXHIBITS & TWO BATHS

ENGINEERING BY:
PLAN 2184

FLOOR PLAN, FOUNDATION PLAN, & CABINET ELEVATIONS
CRISP & HECKES
BUILDERS - DEVELOPERS
2454 MARQUETTE AVE.
SACRAMENTO, CA. 95825

DATE 7/29/77
FOR PERMIT
BY J. J. HECKES
SCALE AS SHOWN
CHECKED BY D-77

P82090

ALTERNATE DRAWING - 20% OF BILLS OF MATERIALS
EXCEPT WHERE SHOWN OTHERWISE

City Planning Commission
Sacramento, California

Members in Session:

SUBJECT: Northwind Estates

LOCATION: East terminus of Grace Avenue between Norwood Avenue and Rio Linda Boulevard

BACKGROUND INFORMATION:

The above referenced project involves a request to develop 50± acres with halfplex and patio homes and a 6± acre site designated for future development, to be known as Northwind Estates. The request involved 218 halfplex units, 95 zero-lot line units and the designated townhouse site. The project was originally scheduled for the July 22, 1982 meeting. Prior to that meeting the applicant requested continuance in order to address staff's concerns with the project design. Staff suggested the following as methods by which the appearance of the project might be improved:

1. Variation of lot widths;
2. Variation of elevation and roof types;
3. Staggered front setbacks;
4. Additional floor plans;
5. Curved driveways;
6. Some two-story structures.

These suggestions were made to the applicant in an attempt to encourage innovative concepts which might provide variety and interest to the project.

The applicant has subsequently submitted additional floor plans, elevations, a new schematic plan and a corresponding tentative map.

STAFF EVALUATION: Staff has the following concerns and comments with regard to this project:

1. The minimum width of the lots has been increased from 27 feet to 30 feet. Along the long, straight street frontages, the range is 34 to 38 feet. Four structures, eight halfplex units, have been added which require lots a minimum of 42 feet in width.

Staff believes that while some variation of lot width has been added, the predominant range of widths and the extent of variation is insufficient to provide any variety and interest to the streetscape.

2. The original plans included five floor plans with seven elevations. One of those is used only on corner halfplex lots and has two outside elevations. Of the interior units, four of the five elevations are very similar, if not identical. Three out of four floor plans are also similar. In effect the applicant is presenting basically two elevations and two floor plans for interior lots and one floor plan with two elevations for halfplex corner lots.

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The applicant has subsequently submitted four additional floor plans with eight outside elevations. Again, the elevations are all similar in design with basically four floor plans. These are distributed on 62 lots throughout the 296 units.

Again, staff believes the extent and variety presented in the additional elevations is insufficient to provide an interesting streetscape.

3. Setbacks along the long, straight streets range primarily between 25 and 30 feet. Setbacks have a wider range on cul-de-sacs and curves; however, this was suggested more specifically for the straight street frontage. This also was suggested for variety. A range of five feet is insufficient to create the visual variety desired.
4. One slightly curved driveway has been added.
5. The additional elevations include a two-story structure that will be dispersed throughout the development.
6. Staff expressed a concern regarding solar access and the relationship of indoor/outdoor open space and suggested each unit be provided a minimum 10-foot wide side yard. This is necessary because the patio door opens out to the side yard area rather than the rear yard area. In scaling the lots, many appear to have side yards substantially less than 10 feet.
7. In conclusion, staff believes that a minimal effort has been made to incorporate staff's suggestions or to provide a visually pleasing streetscape with interest and variety. Staff believes that this parcel has features which call for an imaginative and innovative approach to the design and layout of streets and lots as well as a wide variety of floor plans and elevations. Staff encourages a major redesign incorporating at the very least a wide, carefully selected range of floor plans and elevations, staggered front setbacks, curved driveways and a variety of two-story units, as previously suggested.

STAFF RECOMMENDATION: Staff recommends that this item be continued to September 24, 1982 to allow adequate time for redesign and elevations.

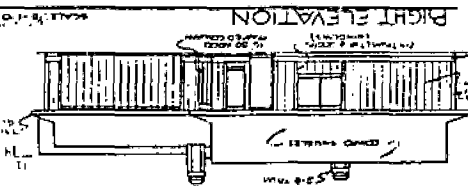
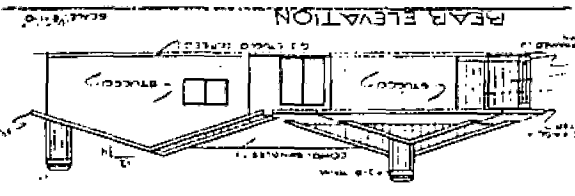
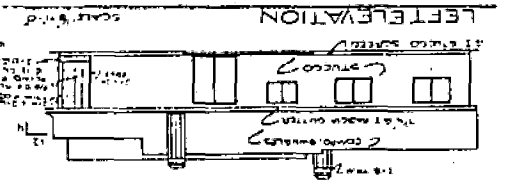
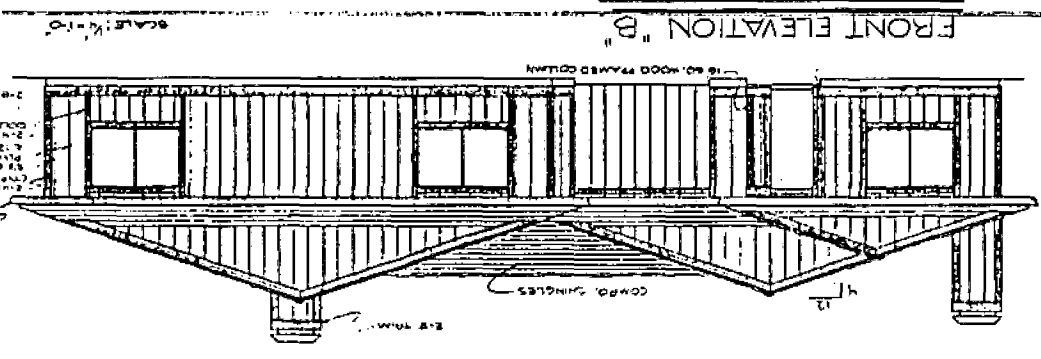
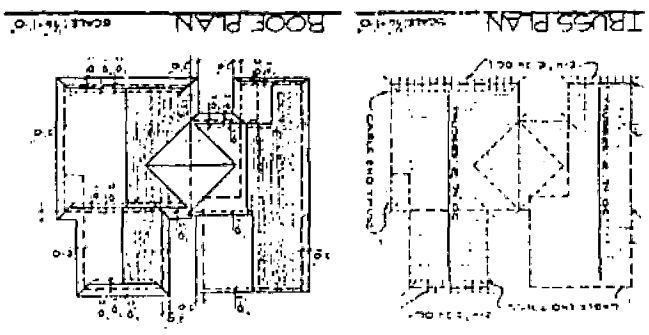
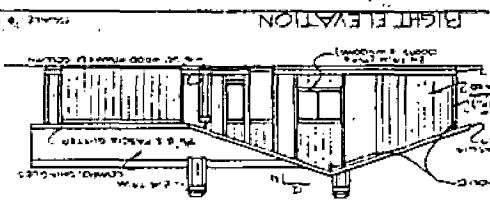
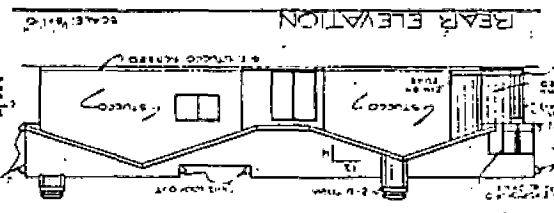
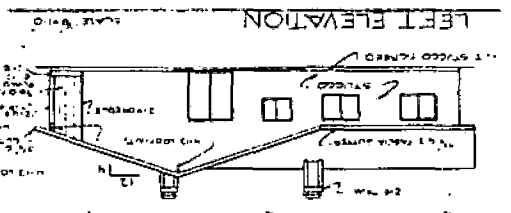
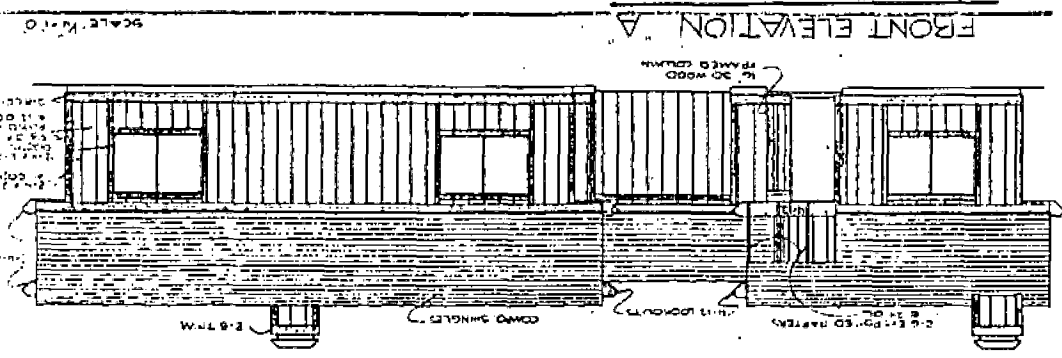
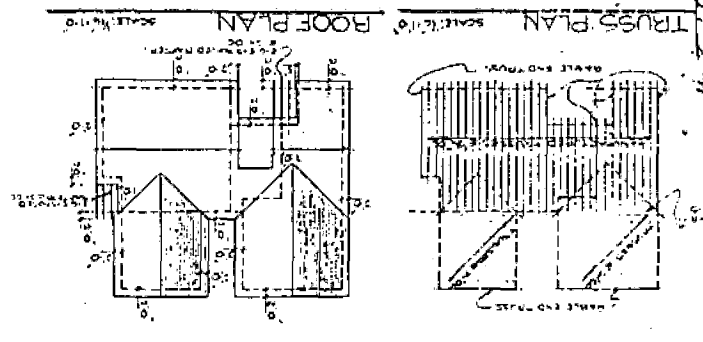
Respectfully submitted,

Howard Yee by T.M.

Howard Yee
Principal Planner

SD:bw

Attachments



8-8-82
28-92-8

060-22-090
26

FOR CORNER LOTS

DATE: MAY 2 1978
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DRIVEN BY: [Signature]

ELEVATION ROOF & TRUSS PLAN
P 82090

ENGINEERING BY: [Signature]
PLAN
 2227

SCHLICHTING & ASSOCIATES
 ARCHITECTS
 1715 4th Street, N.W.
 Atlanta, Georgia 30333

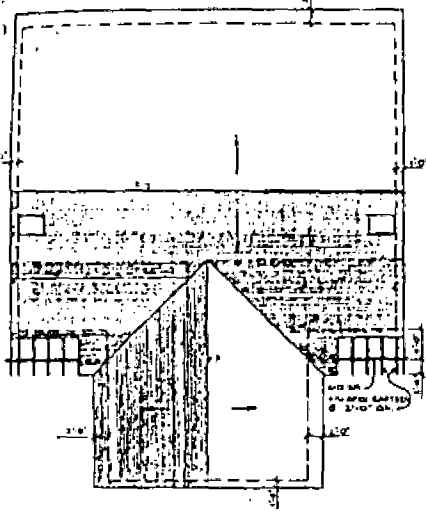
REVISIONS

8-12-82

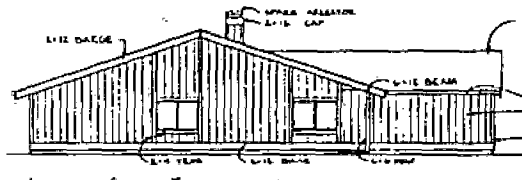
No. 4

26

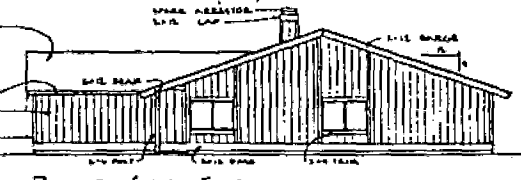
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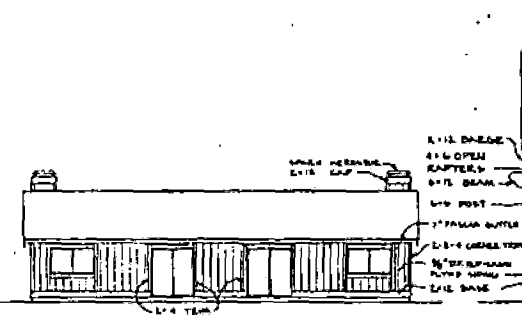
ROOF PLAN SCALE 1/8" = 1'-0"



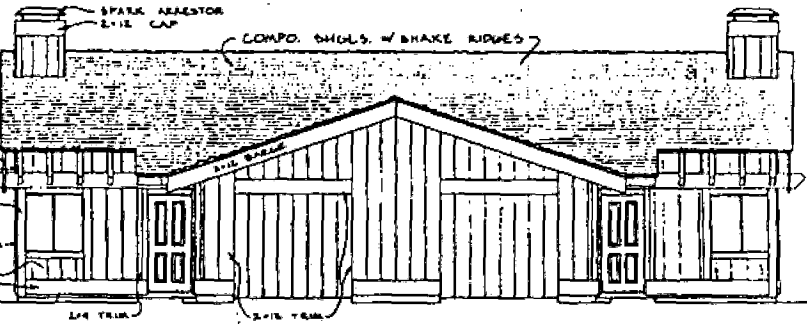
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RIGHT SIDE ELEVATION SCALE 1/8" = 1'-0"

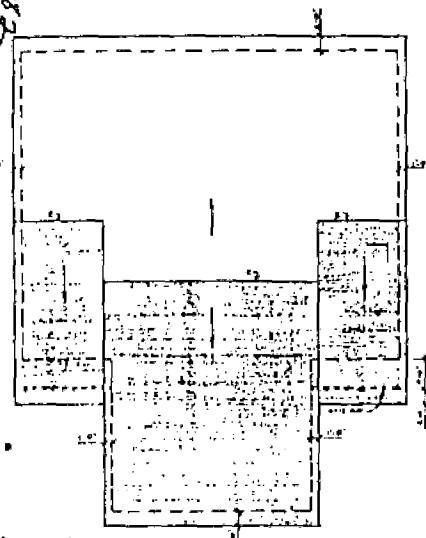


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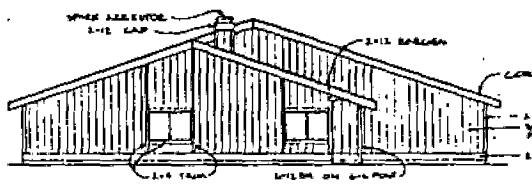


FRONT ELEVATION SCALE 1/4" = 1'-0"

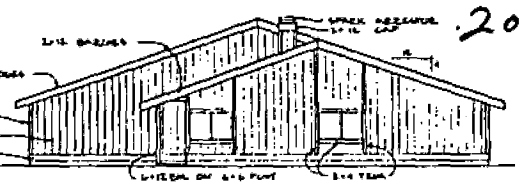
ORIGINAL ELEVATION



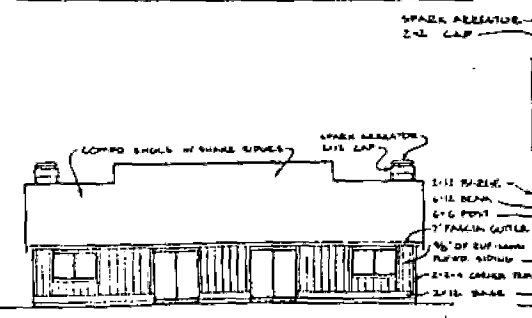
ROOF PLAN SCALE 1/8" = 1'-0"



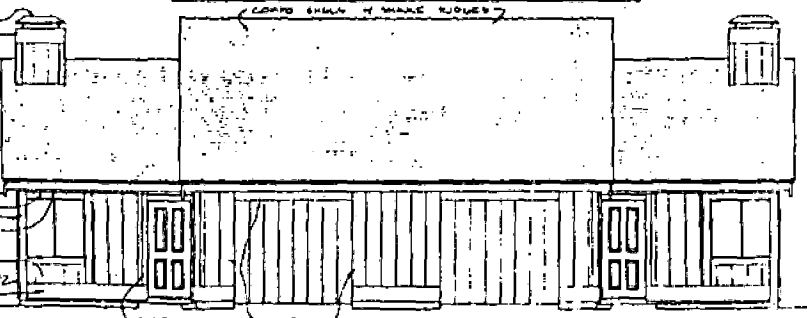
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RIGHT SIDE ELEVATION SCALE 1/8" = 1'-0"



REAR ELEVATION SCALE 1/8" = 1'-0"



FRONT ELEVATION SCALE 1/4" = 1'-0"

2 OF 5

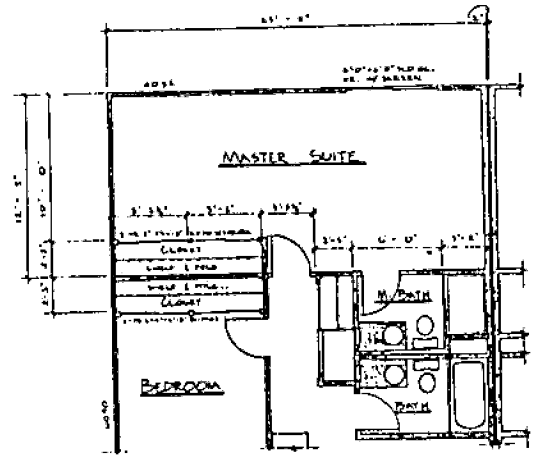
8-26-82

82090

SCHLICHTING & ASSOCIATES
INC.

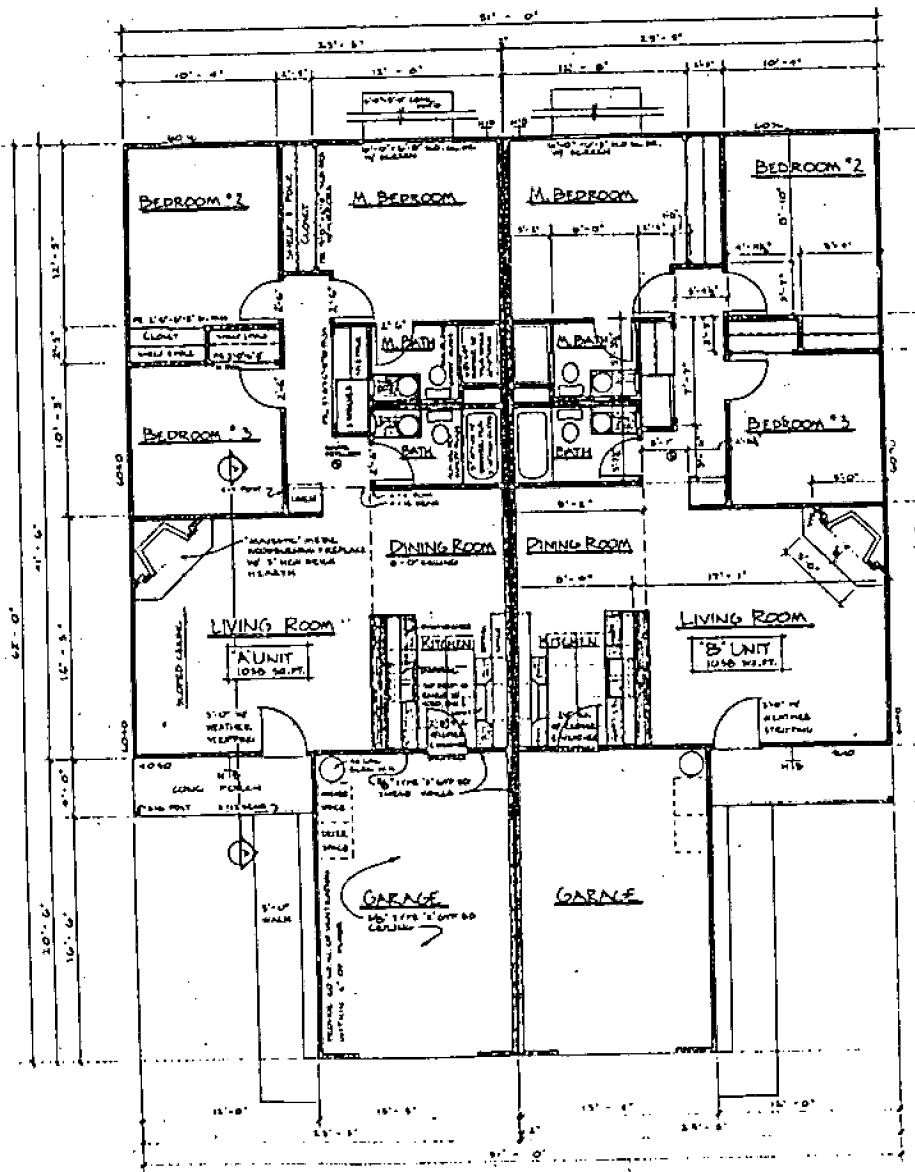
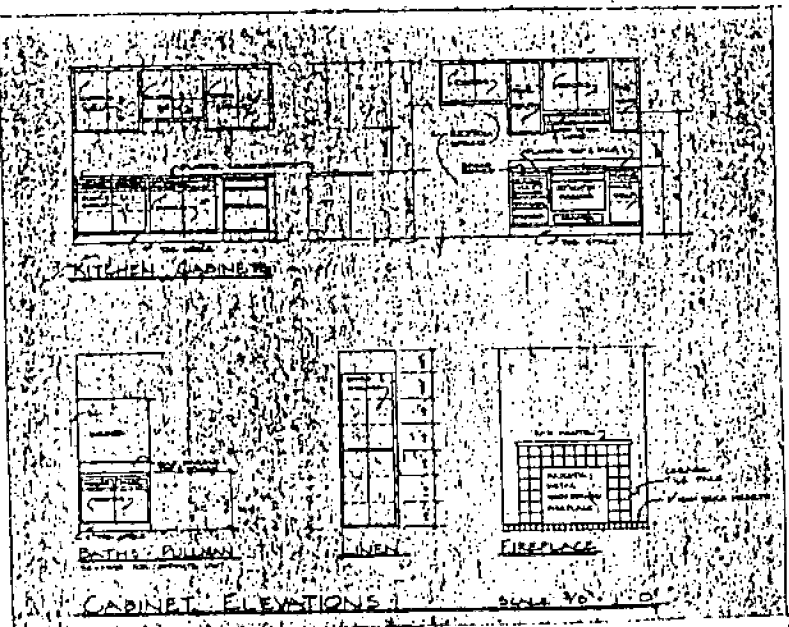
1982

060-188
 26



ALTERNATE FLOOR PLAN OF MASTER SUITE
 REVERSE FOR UNIT 'B'

7-26-82
 S.C.P.



FLOOR PLAN

SCALE 1/4" = 1'-0"

ALLOWABLE GUM 2116.20% = 423.2 SQ. FT.
 GUM TO BE INSTALLED = 292 SQ. FT.

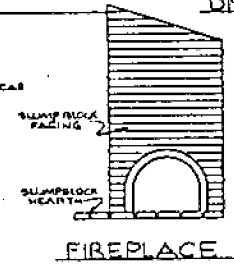
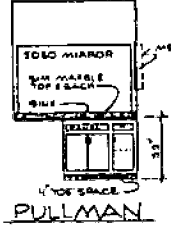
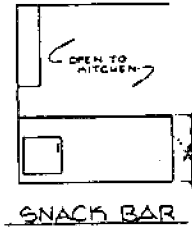
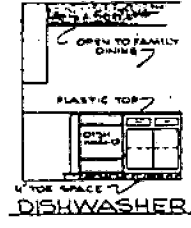
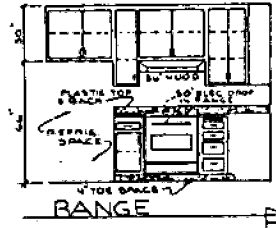
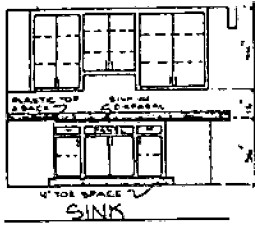
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P-82090
 HAZEL 8-12-82



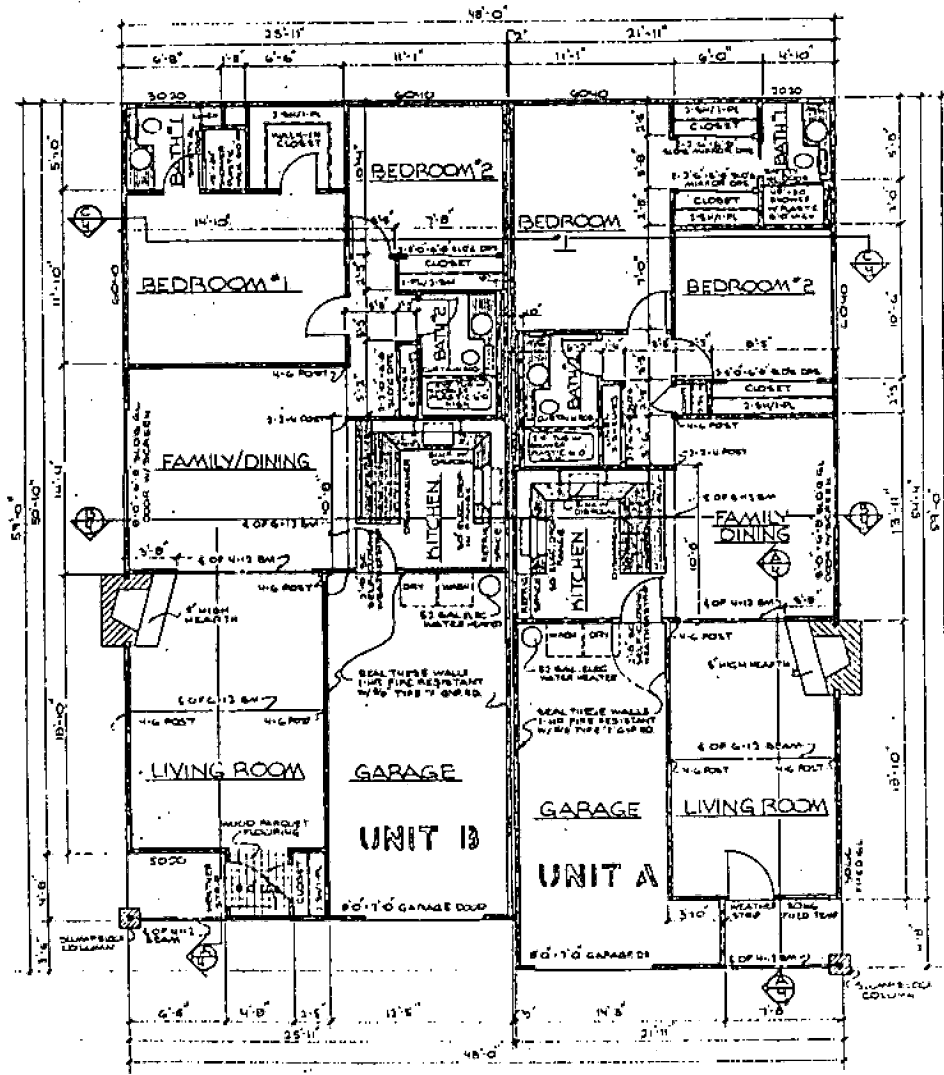
282-090

20



CABINETS - UNIT "A" UNIT "B" SIMILAR SCALE: 3/8" = 1'-0"

7-22-82



FLOOR PLAN

SCALE: 1/4" = 1'-0"

UNIT "A"	ALLOWABLE GLASS GLASS TO BE INSTALLED	30% x 990.01 SQ FT. = 178.00 SQ FT. + 144.00 SQ FT.
UNIT "B"	ALLOWABLE GLASS GLASS TO BE INSTALLED	30% x 1119.50 SQ FT. = 273.90 SQ FT. + 122.00 SQ FT.

REV.	DESCRIPTION

SCHLICHTING & ASSOCIATES INC.
 AUTUMN GARDENS - LAND PLANNERS 844.2248
 17514 ARLING DRIVE SUITE CALIFORNIA 92618
 UNIT "A" 310 SQ. FT. OF LIVING AREA
 UNIT "B" 1119 SQ. FT. OF LIVING AREA

7-22-82
 ENGINEERING 911
 PLAN 2117

FLOOR PLAN CABINET
 E I P A ONE
 P 82090

DATE	
DESIGNED BY	
DRAWN BY	
CHECKED BY	
SCALE	AS NOTED
CHECKED	
DRAWN	
SHEET	7

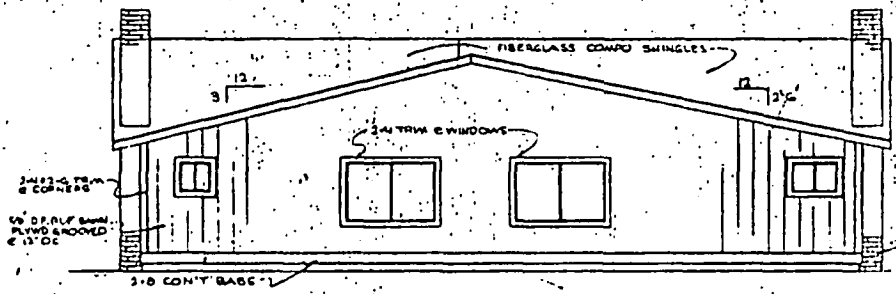
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8-12-82

P 82-090
26

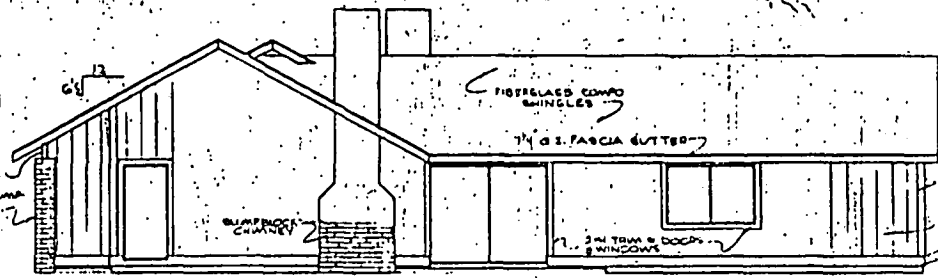
NOTE: ROOF INSTALLATION

- 1) UNDERLAYMENT ON SLOPES OF 4" TO 7" PER FOOT MUST BE COVERED WITH A SINGLE LAYER OF ASPHALT FELT, LAPPED 3" HORIZONTALLY WITH 4" END LAPS. LAP THE FELT 6" FROM BOTH SIDES OVER ALL RIDGES & RIDGES.
- 2) UNDERLAYMENT ON SLOPES OF 3" TO 4" PER FOOT PROVIDE A DOUBLE UNDERLAYMENT OF ASPHALT FELT BY APPLYING A 12" WIDE ASPHALT FELT STRIP ALONG EAVES, OVER THIS APPLY A FULL 36" WIDE SHEET, CONTINUE WITH FULL 36" WIDE SHEETS, LAPPING EACH 12" OVER PRECEDING COURSE.



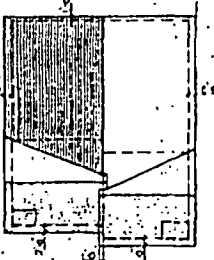
REAR ELEVATION

SCALE: 1/4" = 1'-0"



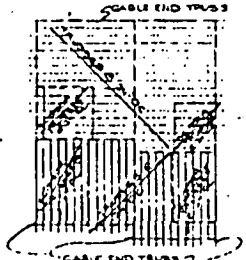
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



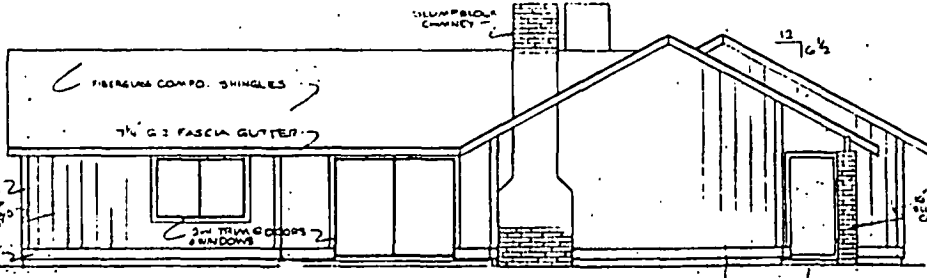
ROOF PLAN

SCALE: 1/4" = 1'-0"



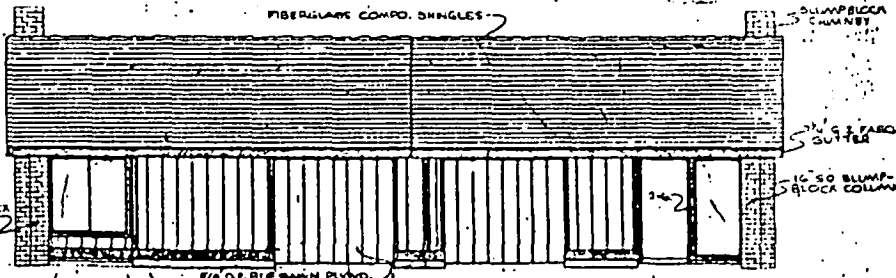
TRUSS PLAN

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	DATE

SCHLICHTING & ASSOCIATES INC
 BUILDING DESIGNERS - LAND PLANNERS
 17114 PAR OAKS BLVD. CARLSBAD, CALIFORNIA 92008

ENGINEERED BY
PLAN
 SECTION

ELEVATIONS, ROOF & TRUSS
 PLAN
P 82090

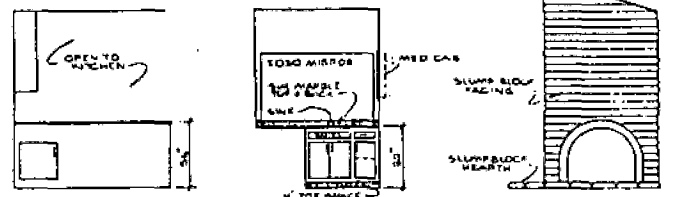
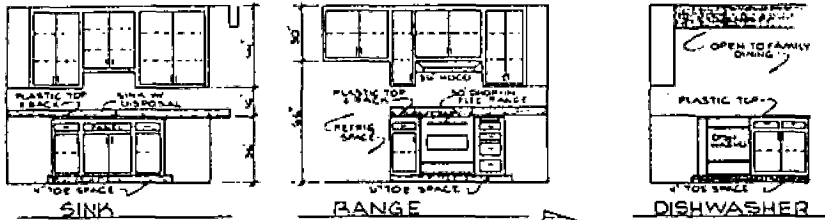
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SCALE	
BY	
CHECKED	
DATE	

Handwritten: 8-12-82

P82-090

92

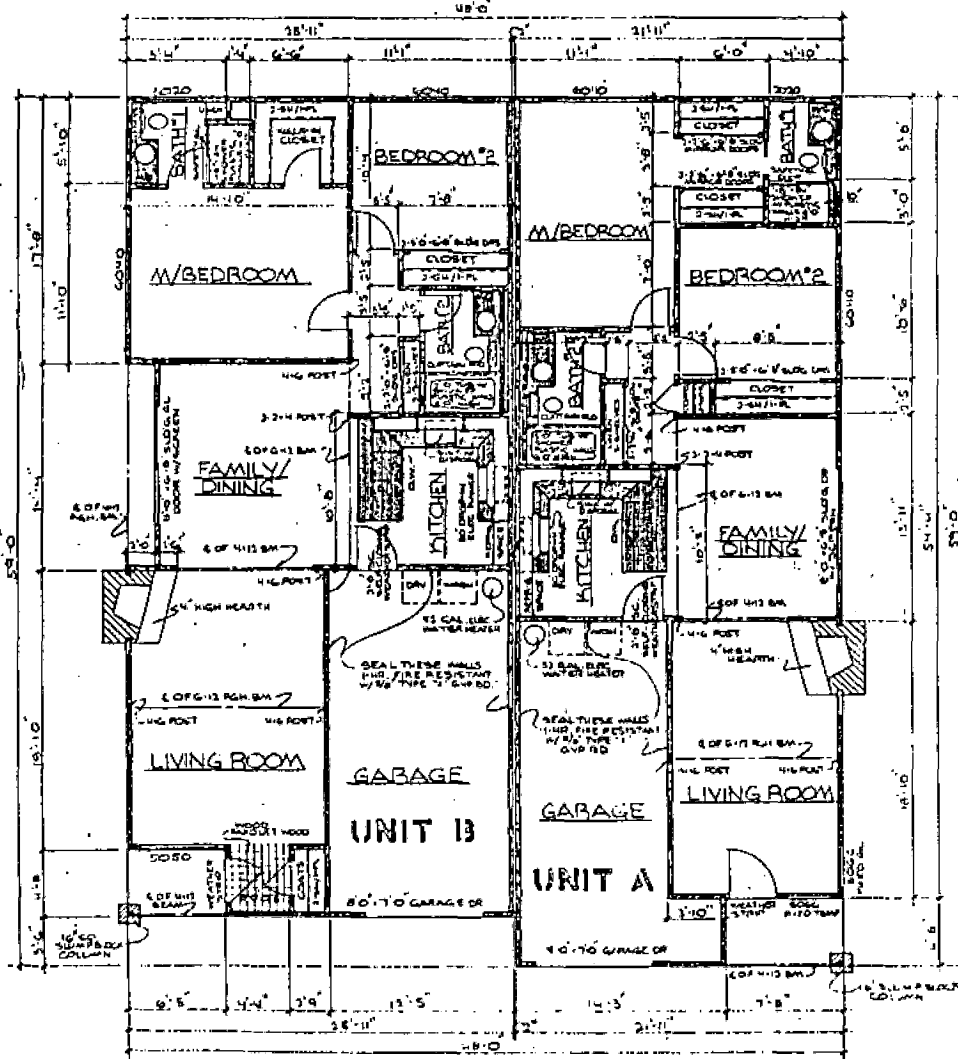
No. 4



CABINETS - UNIT "A" UNIT "B" SIMILAR SCALE: 1/8" = 1'-0"

8-26-82
7-22-82

No. 5



FLOOR PLAN

SCALE: 1/8" = 1'-0"

UNIT "A"	ALLOWABLE GLASS GLASS TO BE INSTALLED	30% - 940.67 SQ. FT. = 198.00 SQ. FT.
UNIT "B"	ALLOWABLE GLASS GLASS TO BE INSTALLED	30% - 1091.00 SQ. FT. = 218.20 SQ. FT.

7/22/82 8-12-82

REVISIONS	BY	DATE

SCHLICHTING & ASSOCIATES INC.
 BUILDING DESIGNERS - LEAD PLANNERS
 11714 FAIR OAK BLVD. 1982 Bldg. 704
 CHESTER, CALIFORNIA 94508
 UNIT "A" - 940.67 SQ. FT. OF LIVING AREA
 UNIT "B" - 1091.00 SQ. FT. OF LIVING AREA

ENGINEERING BY: **PLAN 2001**

FLOOR PLAN & CABINET ELEVATIONS
P 82090

DATE	
BY	
CHECKED	

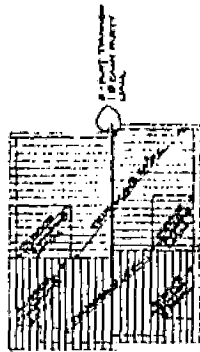
P 82-090

26

ORIGINAL DRAWING

5 OF 5

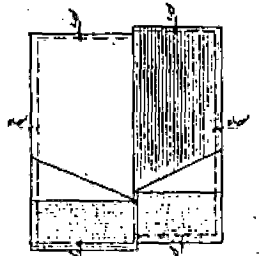
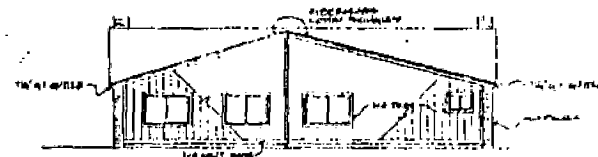
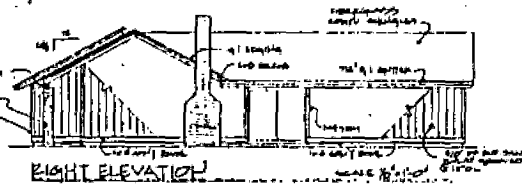
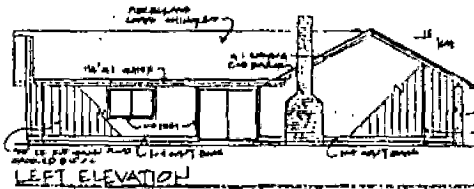
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TRUSS LAYOUT

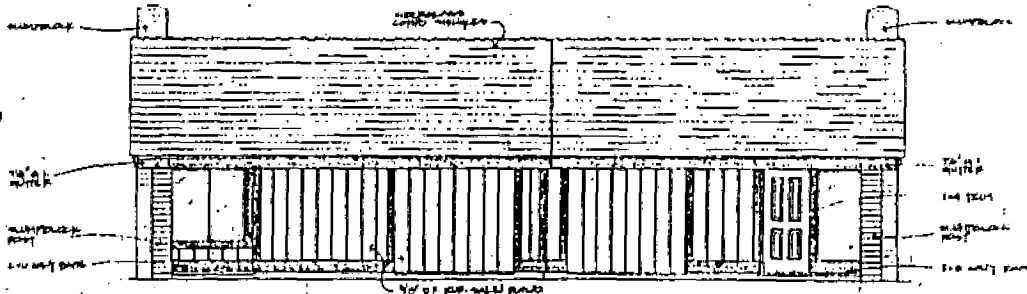
NOTE: ROOF INSTALLATION

1. UNDERLAYMENT ON SLOPES OF 4 TO 7 PER FOOT MUST BE COVERED WITH A SINGLE LAYER OF ASPHALT FELT, LAPPED 2" HORIZONTALLY WITH 4" END LAPS. LAP THE FELT 6" FROM BOTH SIDES OVER ALL THE BRIDGES.
2. UNDERLAYMENT ON SLOPES OF 3 TO 4 PER FOOT PROVIDE A DOUBLE UNDERLAYMENT OF ASPHALT FELT BY APPLYING A 19" ASPHALT FELT STRIP ALONG EAVES OVER THIS AREA. A FULL 36" WIDE SHEET CONTINUE WITH FULL 36" WIDE SHEETS, LAPPING EACH 19" OVER PRECEDING COURSE.



ROOF PLAN

NOTE: WHERE EAVE VENTS ARE USED, VENTS MUST BE LOCATED AT LEAST 18\"/>



FRONT ELEVATION

SCALE 1/4\"/>

8-26-82
8-22-82
8-9-82

7/22/82

REVISIONS

SCHLICHTING & ASSOCIATES INC.
 BUILDING DESIGNERS - LAND PLANNERS
 11544 64th ST. SUITE 200
 CARACANET, CALIFORNIA 95008
 8-12-82

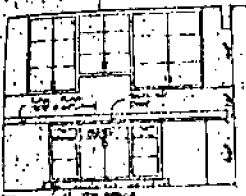
ENGINEERING BY
PLAN 2063
 02-1110

ELEVATION, ROOF PLAN
P 82090

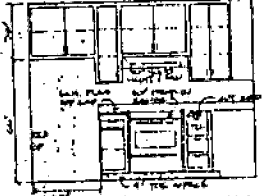
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DRAWN BY
SCALE
CHECKED BY
OWNER

P 82090

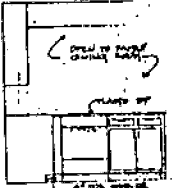
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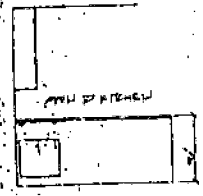
SINK CABINET



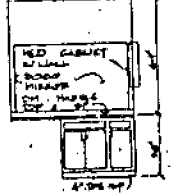
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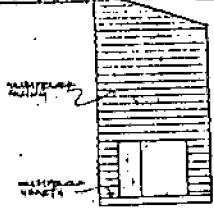
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SNACK BAR



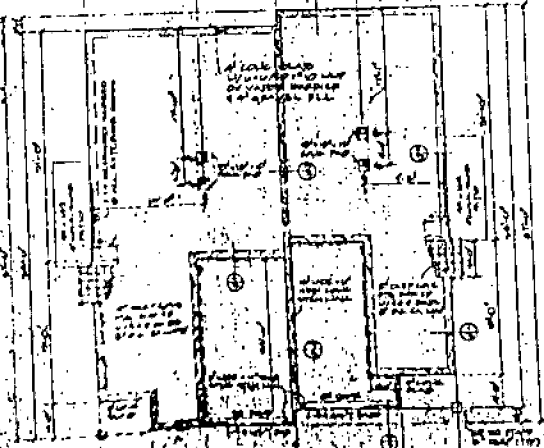
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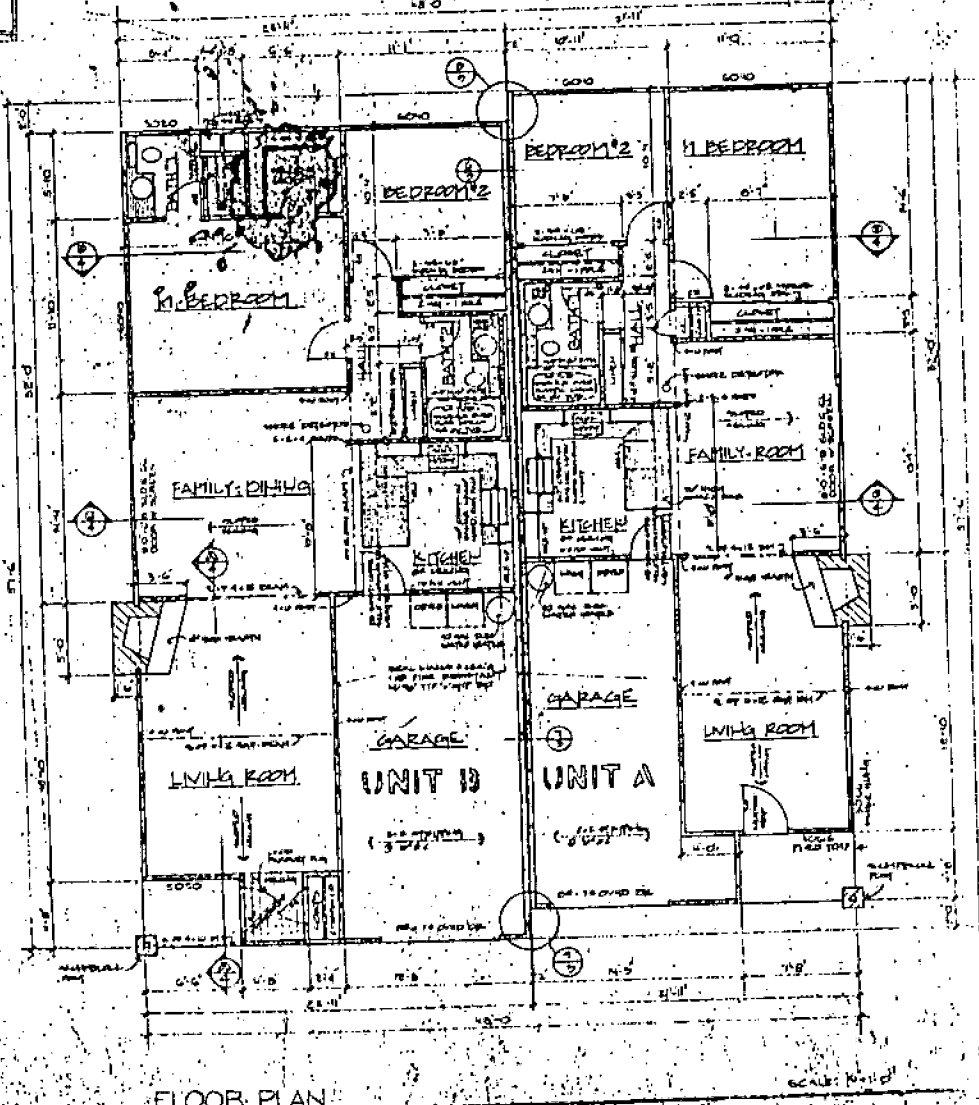
FIREPLACE

KITCHEN ELEVATIONS UNIT A

8-26-82



EQUIPMENT PLAN



FLOOR PLAN

ALLOWABLE CLEARANCE TO BE MAINTAINED

8-12-82

7/22/82

NO.	REVISIONS

SCHLICHTING & ASSOCIATES INC.
 ARCHITECTS
 1500 W. 10TH AVE. SUITE 100
 DENVER, CO 80202
 PHONE: 333-2222

DESIGNED BY:
POLANS
 2067

PROJECT NO. EXPANSION PLAN
 P 82090

DATE: 8-12-82
 DRAWN BY: [Signature]
 SCALE: AS SHOWN
 CHECKED BY: [Signature]
 PROJECT: [Signature]

No. 4

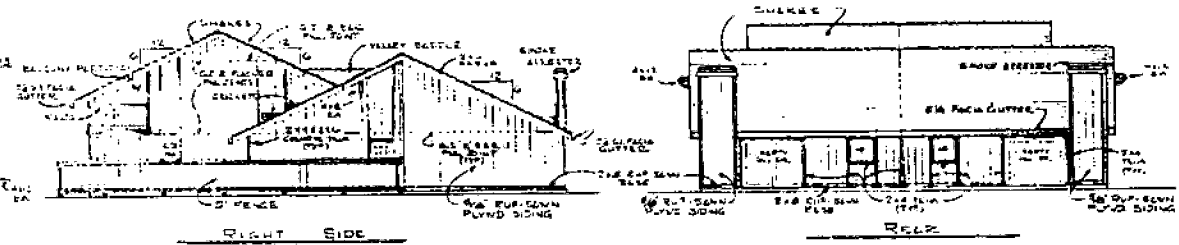
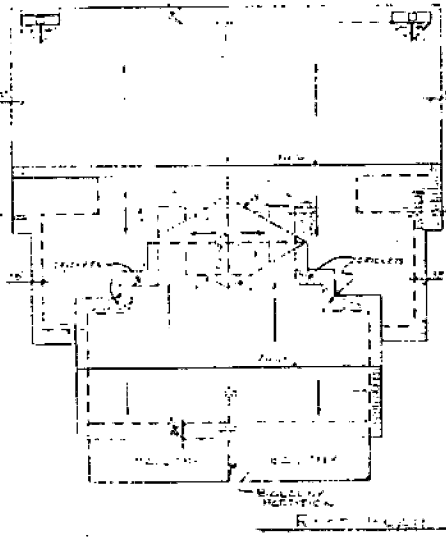
CS-28-8 ADDITIONAL PLANS

26

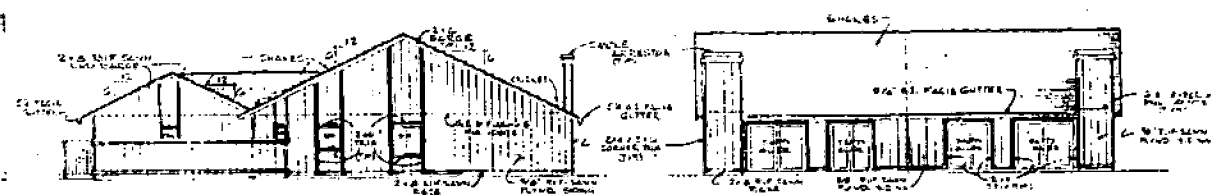
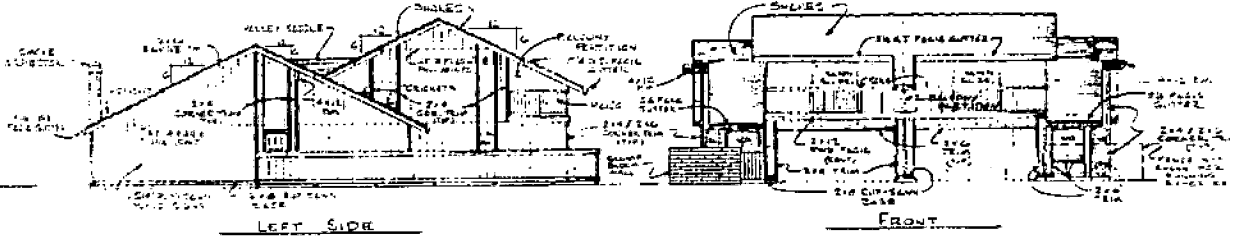
ADDITIONAL ELEVATION

1 OF 8

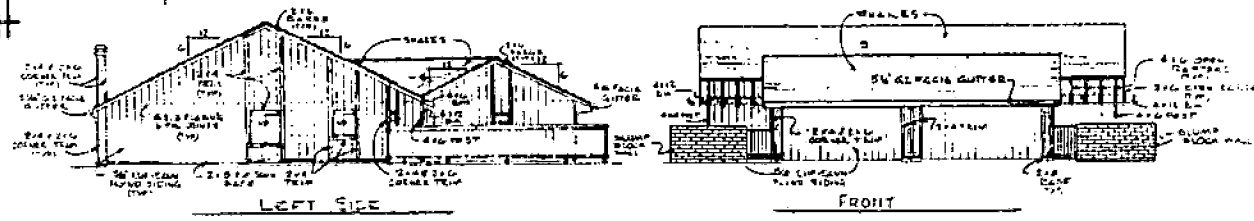
No. 4



ELEVATION "B"
SCALE 1/8" = 1'-0"



ELEVATION "A"
SCALE 1/8" = 1'-0"



ADDITIONAL ELEVATION

2 OF 8

REVISIONS

SCHLICHTING & ASSOCIATES INC.
 BUILDING DESIGNERS - LAND PLANNERS
 2712 A 4TH OAKS BLVD. CARLSBAD, CALIFORNIA 92008
 SURVEY 542141

ENGINEERED BY:

ELEVATIONS "A" & "B"
 WILSON & WILSON CO. (CORPORATE)
 6317 10TH AVE. CARLSBAD, CALIFORNIA 92007

DATE	NOV 20 1971
DRAWN BY	
JOB NO.	2712-A-10
SCALE	1/8" = 1'-0"
CHECKED	
DATE	

8/12/82

P 82090

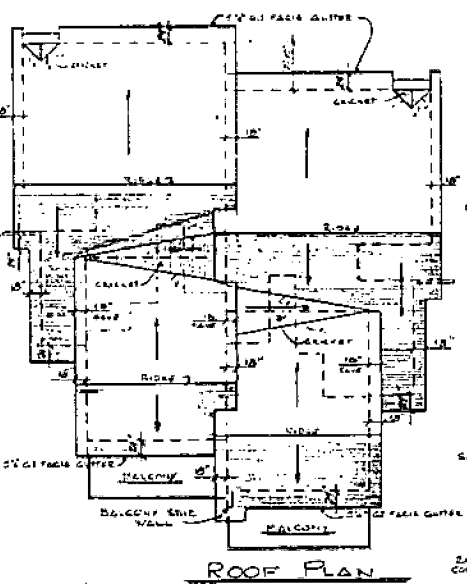
A-4

ADDITIONAL PLANS

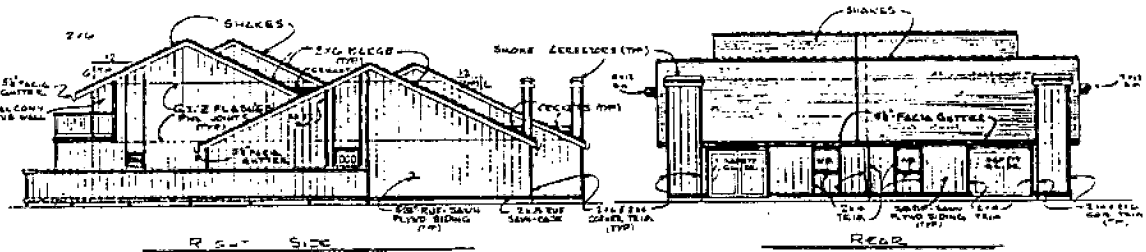
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15

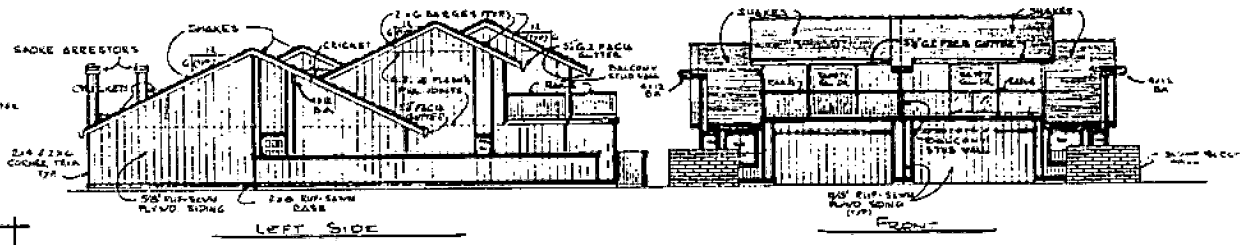
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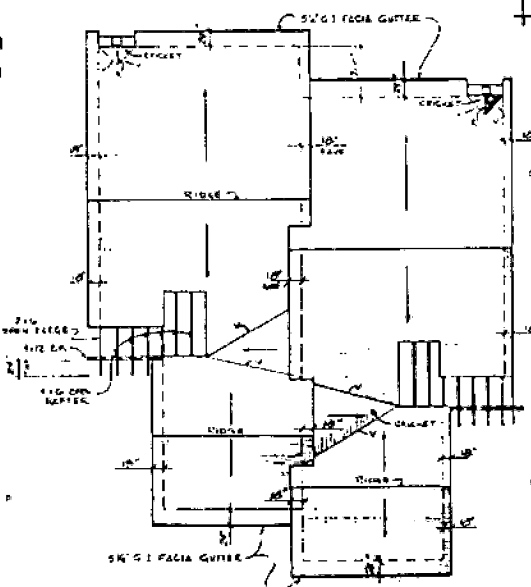
ROOF PLAN



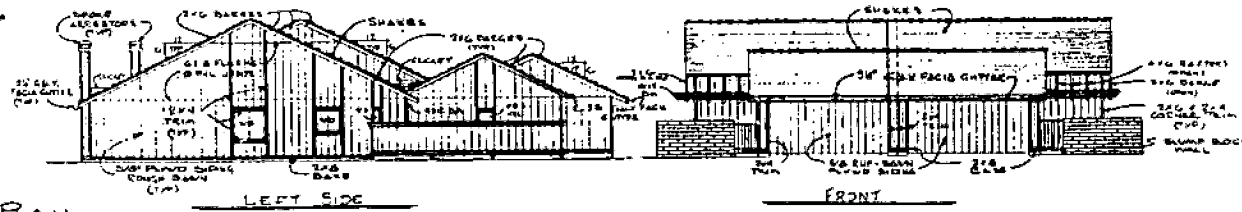
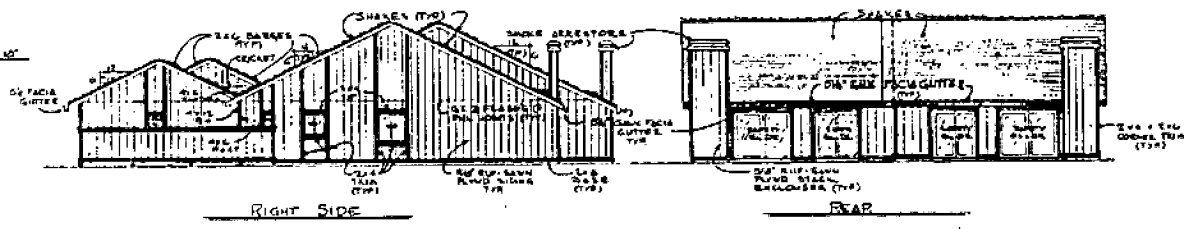
ELEVATION "D"



ELEVATION "C"



ROOF PLAN



ADDITIONAL ELEVATION

3 OF 8

No. 4

8/12/82

882090

REVISIONS	BY

SCHLICHTING & ASSOCIATES INC.
 BUILDING DESIGNERS - LAND PLANNERS
 7717A FAIR OAKS BLVD. CALIFORNIA 95008
 CARMICHAEL
 SUSSEX GARDEN

ENGINEERING BY:

ELEVATIONS "C" & "D"
CAPMAN CO.
 8317 DON WAY CALIFORNIA 95207
 SHERIDAN

DATE: JUNE 24, 1978
 DRAWN: LEE
 JOB: 771-882090-01
 SCALE: 1/8" = 1'-0"
 CHECKED: [Signature]
 SHEET: A-5
 OF 7 SHEETS

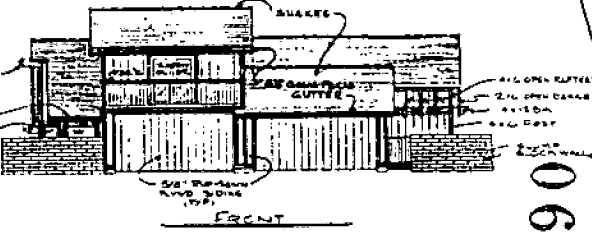
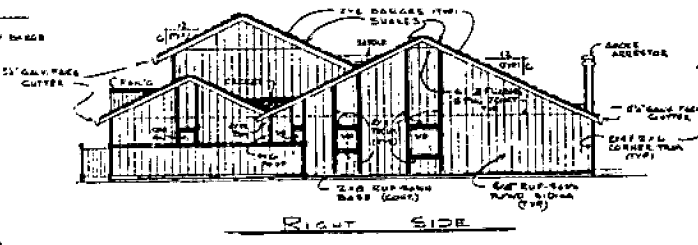
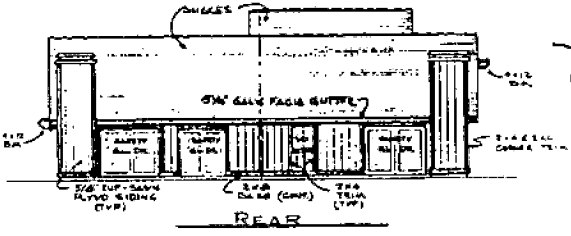
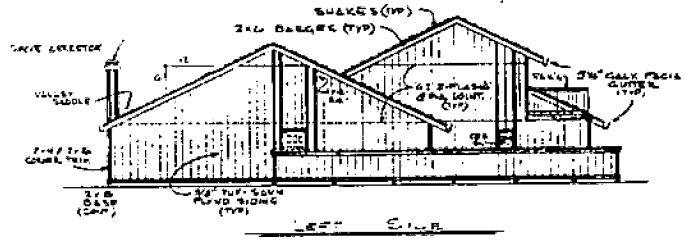
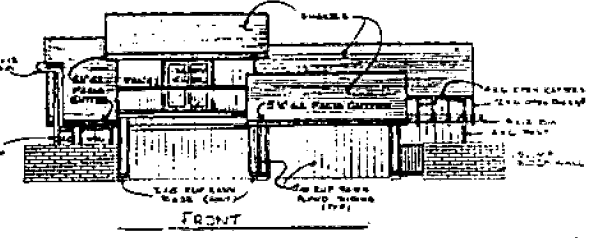
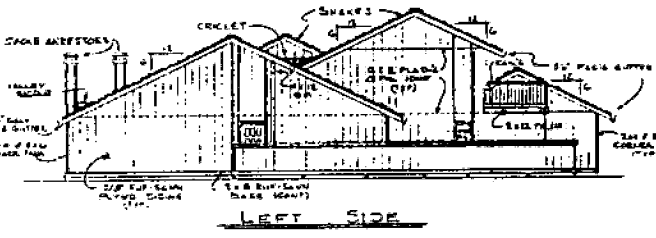
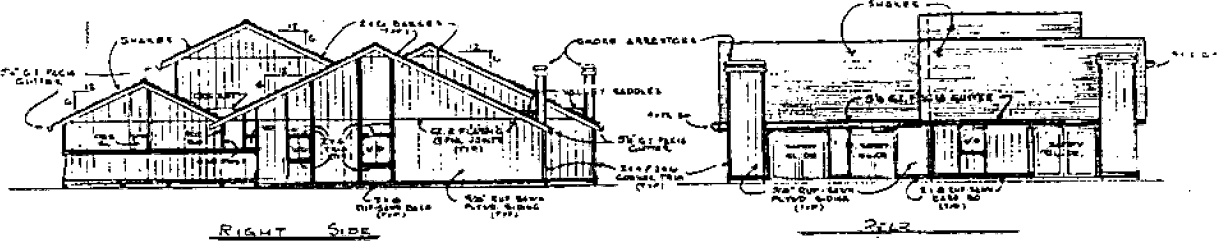
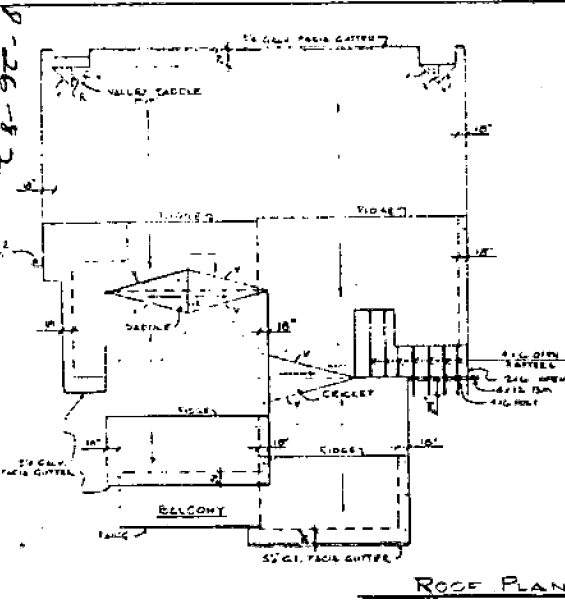
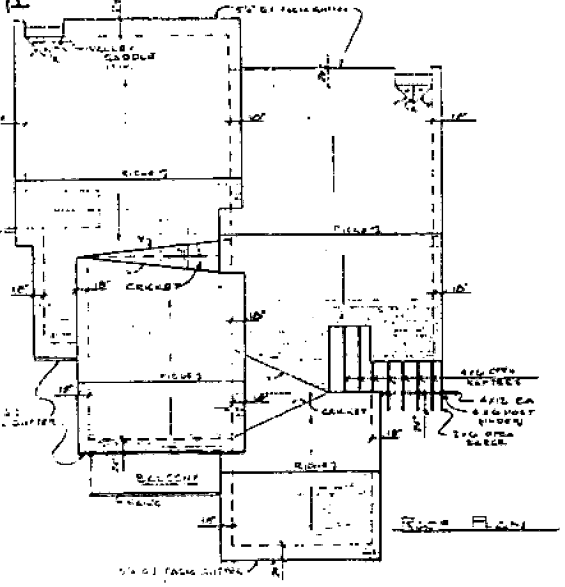
ADDITIONAL ELEVATION

4 OF 8

P

PLANS

26



ADDITIONAL ELEVATION

50F8

No. 4

NO.
REVISIONS

SCHLICHTING & ASSOCIATES INC.
 BUILDING DESIGNERS - LARD PLANNERS
 2717 S. FAIR OAKS BLVD.
 CARLSBAD, CALIFORNIA 92008
 SUSSEX GARDEN

8/12/82

ENGINEERING BY:

ELEVATION E 4 F
 CHAPMAN CO.
 8517 DON WAY
 STOCKTON, CALIFORNIA 95207

DATE: June 2, 1977
DRAWN: LSC
CHECKED: JSC
SCALE: 1/8" = 1'-0"
CHECKED: JSC
DRAWER: JSC
NO. 1

ADDITIONAL ELEVATION

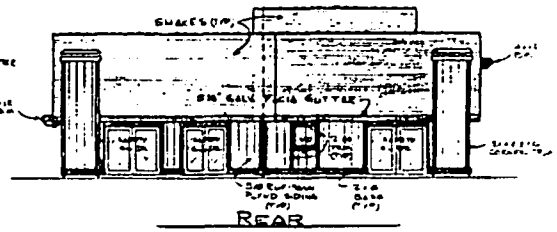
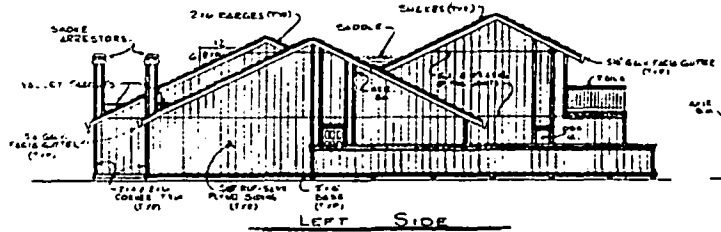
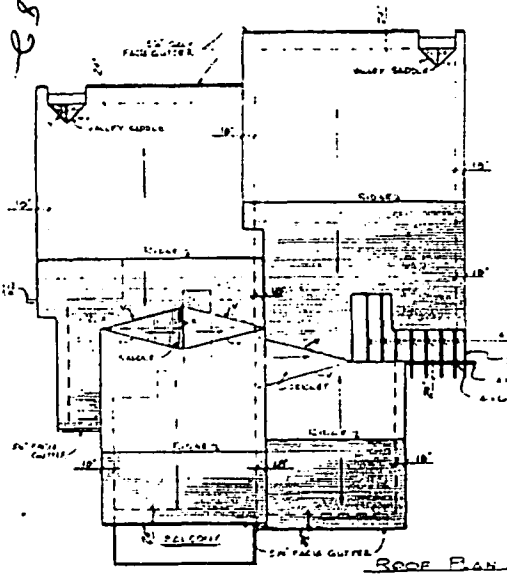
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P 82090

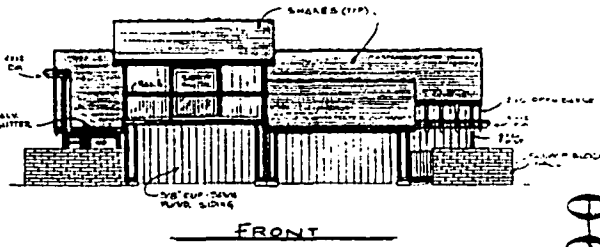
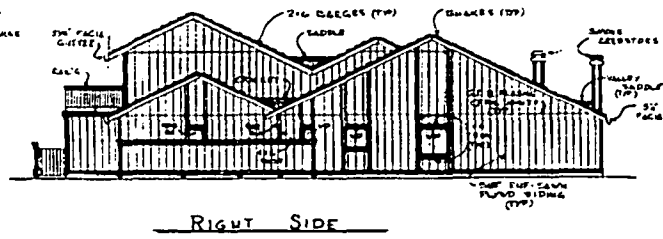
ADDITIONAL PLANS

26

ES-92-8



ELEVATION 'G'



ADDITIONAL ELEVATION

7 of 8

P 82090

8/27/82

Ab-4

NO.	REVISIONS

SCHLICHTING & ASSOCIATES INC.
 BUILDING DESIGNERS - LAND PLANNERS 844-3345
 11154 S. DAVIS BLVD. CARMEL, CALIFORNIA 93908
 SUSSEX GARDEN

ENGINEERING ST.

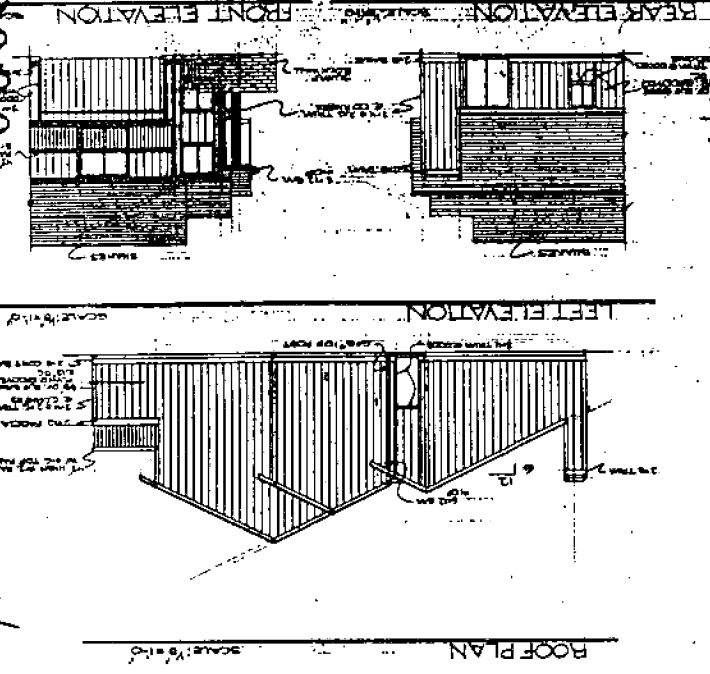
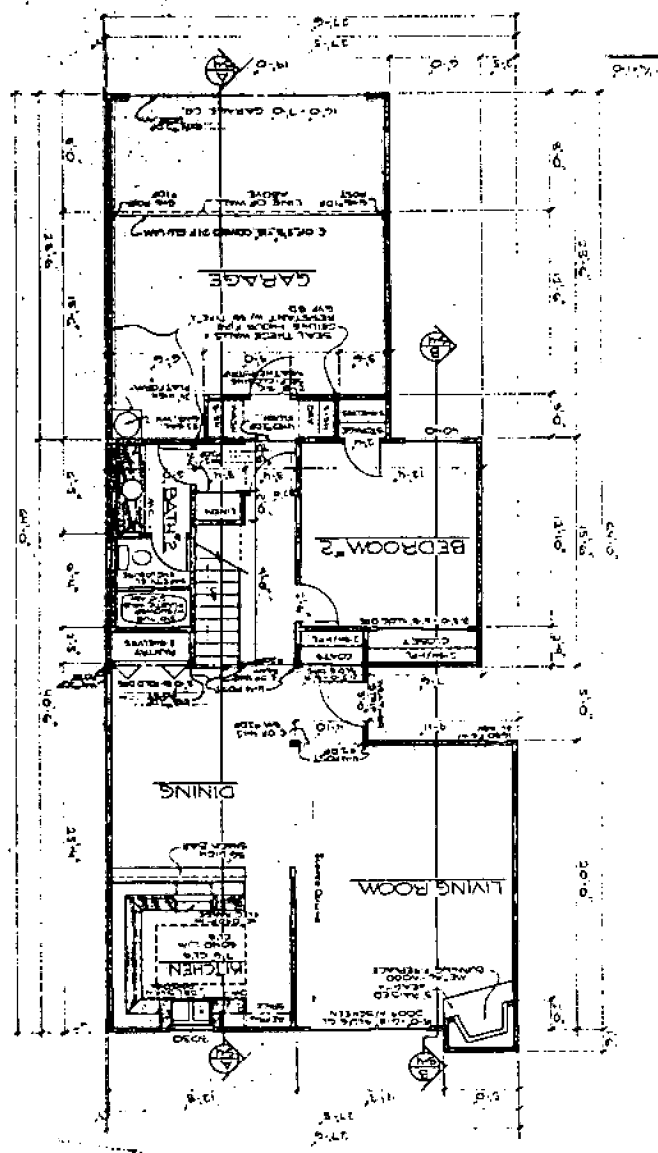
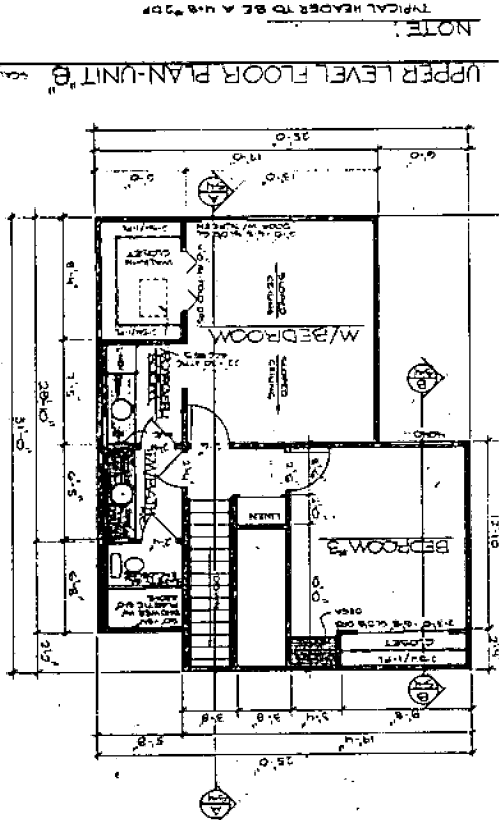
ELEVATION 'G'
 CHAPMAN CO.
 5317 DON WAY STOCKTON CALIFORNIA 95207

DATE	NOV 17 1978
DRAWN	L.S.
JOB	TR-163-001
SCALE	1/8" = 1'-0"
CHECKED	
DRAWN	L.S.

1-7
 1 OF 10 OF 7

#1# 5

ADDITIONAL PLANS 240



ADDITIONAL ELEVATION 807 8

P 820000

DATE	10/15/82
DESIGNED BY	10/15/82
CHECKED BY	10/15/82
DATE	

FLOOR PLAN - UNIT C
 THE CHAPMAN CO.
 9317 DOH WAY
 STOCKTON CA 95210
 (209) 951-1603

ENGINEERING BY:
 8/12/82

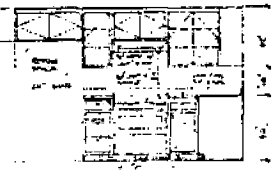
SCHLICHTING & ASSOCIATES
 INC.
 ARCHITECTS
 1714 4TH AVENUE
 CHAPMAN CA 95225
 (209) 951-1603
 CALIFORNIA 5808
 A 20 UNIT DEVELOPMENT

REVISION	

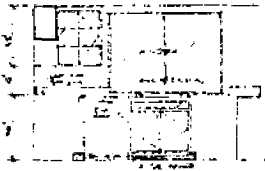
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ADDITIONAL PLANS 070-C8D

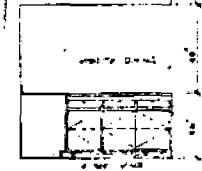
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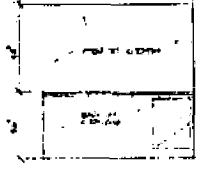
RANGE CABINET



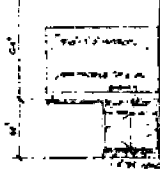
SINK CABINET



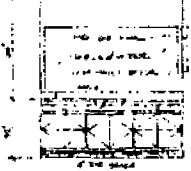
BROOM CABINET



SNACK BAR



PULLMAN #1



PULLMAN #2

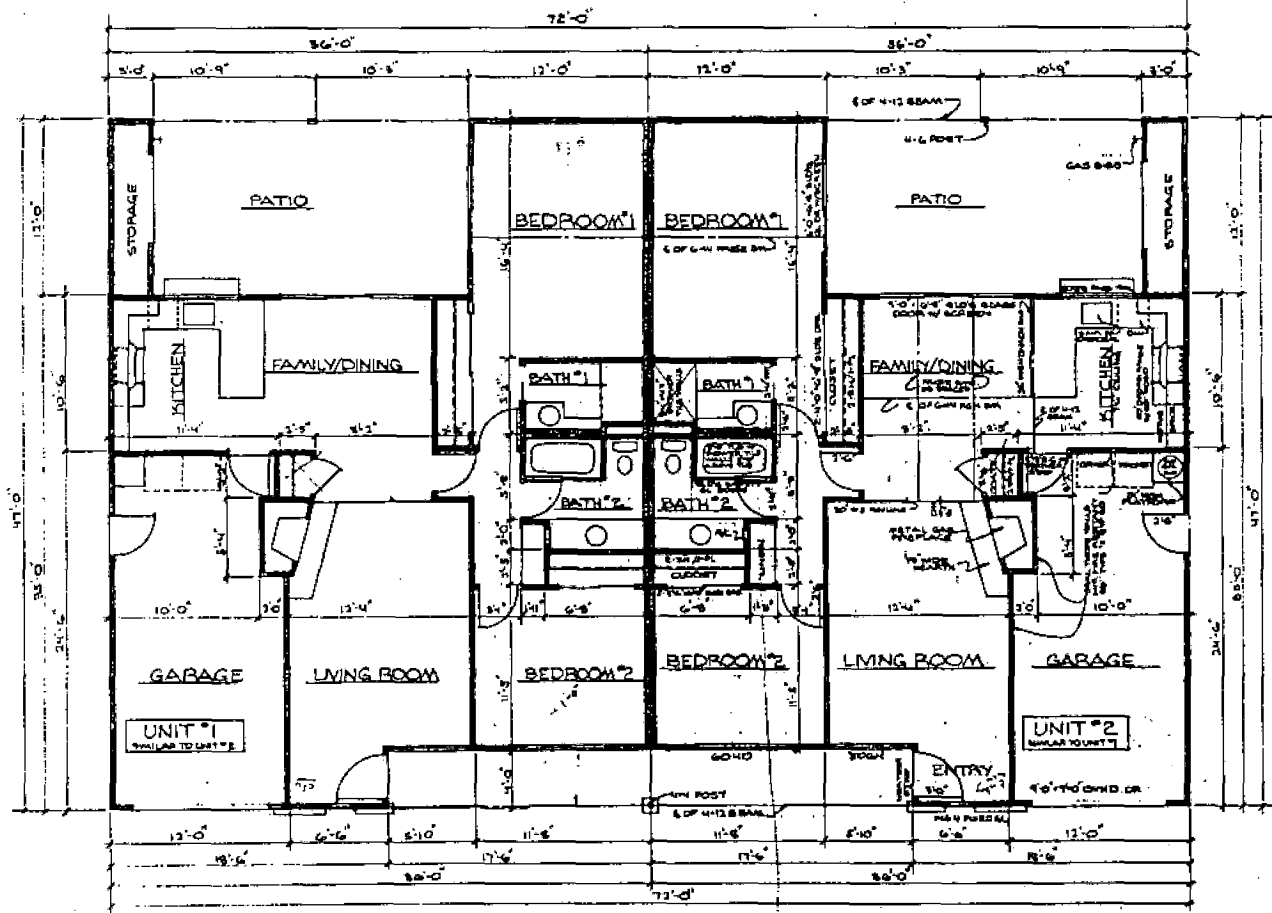


LINEN

TYPICAL CABINETS

8-26-88
8-26-88

Unit # "H"



FLOOR PLAN

SCALE: 1/4" = 1'-0"

P 82090

8/27/82

NO. 4

1	FLOOR PLAN & CABINET ELEVATIONS
2	H.S.M. PROPERTIES
3	1101 HOLLY DRIVE
4	TOLSON
5	SABINS
6	CASTLE
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HILLMAN CONSULTING & ASSOCIATES
 224 S. 2ND ST. SUITE 200
 CHARLOTTE, NC 28202
 TEL: 704.333.1111
 FAX: 704.333.1112
 A TRAD. BEDROOM TWO CAT. 1 DUPLEX
 58' 0" ST. 12' 0" ST.

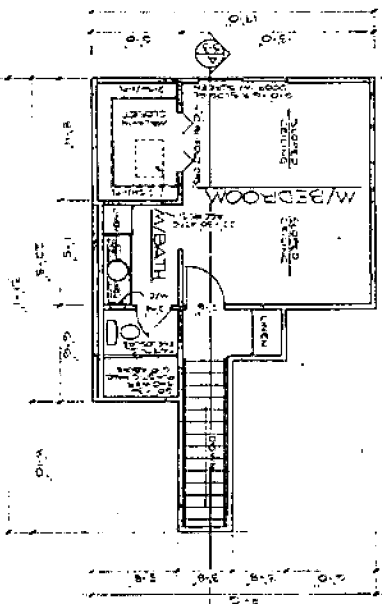
#4
5#

CS-9C-8

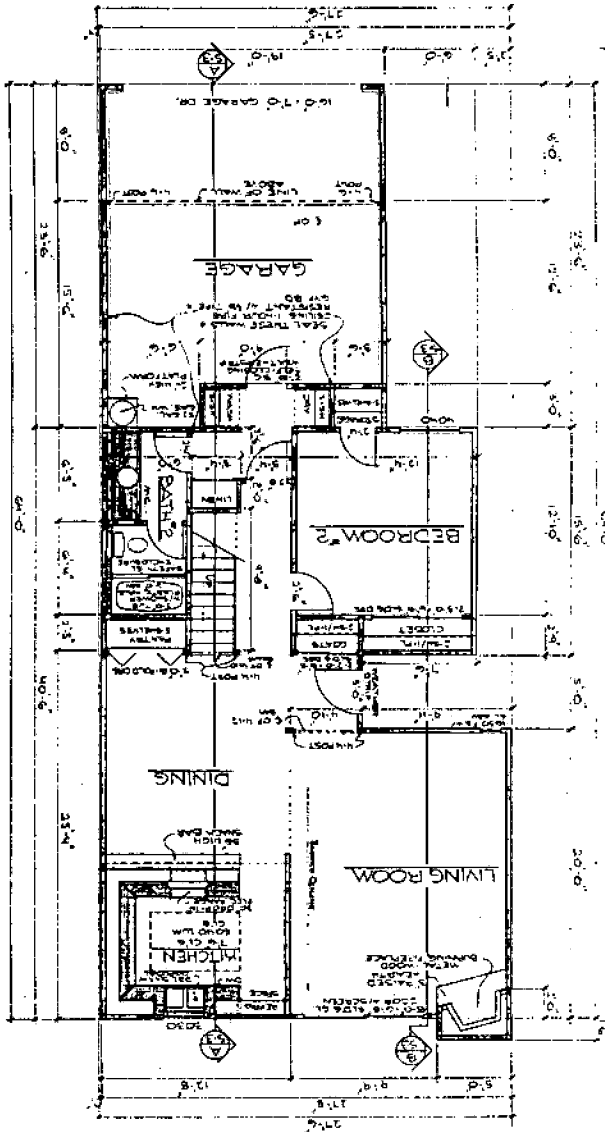
ADDITIONAL PLANS 060-288

26

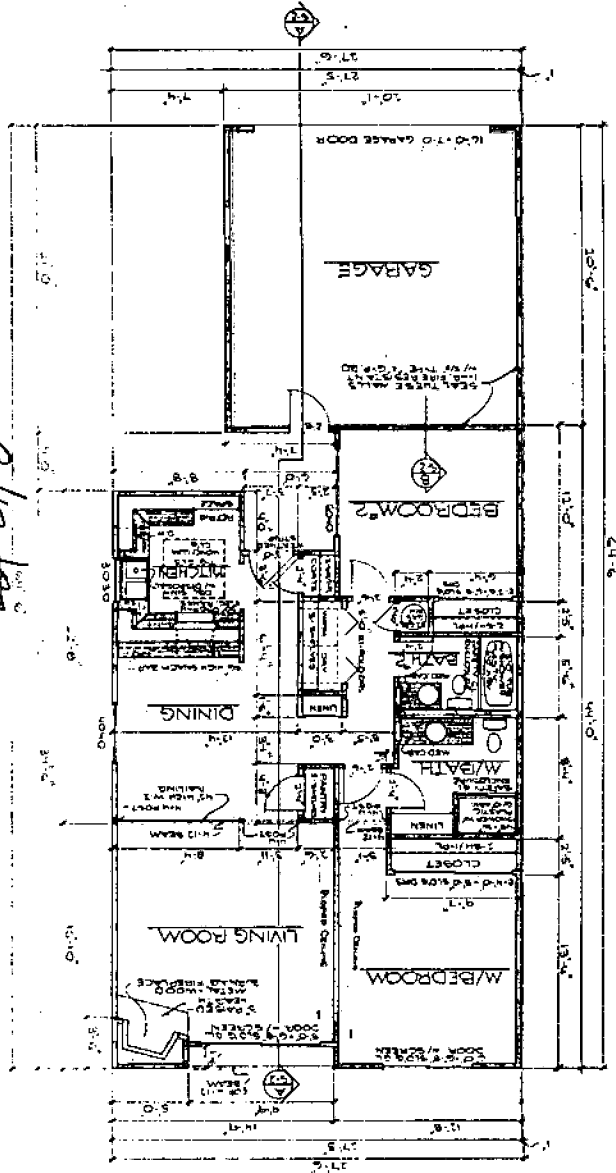
UPPER LEVEL FLOOR PLAN-UNIT "B" SCALE: 1/8"=1'-0"



LOWER LEVEL FLOOR PLAN-UNIT "B" SCALE: 1/8"=1'-0"



FLOOR PLAN-UNIT "A" SCALE: 1/8"=1'-0"



ALLOWABLE GLASS CLASS TO BE INSTALLED 20% MINIMUM 50% FT. x 36" U.S. 50 FT. x 12" U.S. 50 FT.

ALLOWABLE GLASS CLASS TO BE INSTALLED 20% MINIMUM 50% FT. x 36" U.S. 50 FT. x 12" U.S. 50 FT.

P 8209

DATE	1/1/71
BY	W. J. SCHLICHTING
FOR	THE CHAPMAN CO.
NO.	15-182-1016
SCALE	AS NOTED
CHECKED	W. J. SCHLICHTING
DESIGNED	W. J. SCHLICHTING
PROJECT	GRAYBIR

FLOOR PLANS-UNIT "A" 813"
THE CHAPMAN CO.
 SAN JOAQUIN COUNTY
 STOCKTON CA. 95207
 (209) 951-3602
 (209) 951-307

ENGINEERING 811"
 812-182

SCHLICHTING & ASSOCIATES INC.
 BUILDING DESIGNERS - LAND PLANNERS
 2717-A FAIR OAKS BLVD.
 CHANDLER CALIFORNIA 95007
 (415) 844-3346
SUSSEX GARDENS
 A 28 UNIT DEVELOPMENT

PERSONS	22

No. 4

** AMENDED STAFF REPORT 7/21/82
CITY PLANNING COMMISSION

927-10th Street - SACRAMENTO, CALIFORNIA 95814

26

APPLICANT	Morton & Pitalo, Inc., 1767 'J' Tribute Road, Sacramento, CA 95815				
OWNER	Tsakopoulos, Williams, Marlow, 11520 San Vicente, Los Angeles, CA 90049				
PLANS BY	Morton & Pitalo, Inc., 1767 'J', Tribute Road, Sacramento, CA 95815				
FILING DATE	4-7-82	50 DAY CPC-ACTION DATE		REPORT BY:	SD:bw
NEGATIVE DEC.	5-28-82	EIR		ASSESSOR'S PCL. NO.	See*

- APPLICATION:
1. Environmental Determination
 2. Rezone 50± vacant acres from Agricultural A to Townhouse R-1A
 3. Subdivision Modification to waive sewer and water services to Lots A and B
 4. Special Permit for the development of 218 halfplex units and 95 zero-lot line units
 5. Tentative Map (Northwind Estates) --

LOCATION: East terminus of Grace Avenue between Norwood Avenue and Rio Linda Boulevard

*237-070-02,04,05,06,07, portion of 17, 18
237-040-27, 28

PROPOSAL: The applicant is requesting the necessary entitlements to divide 50± acres into 218 halfplex units, 95 zero-lot line units, a park site and a six-acre site designated for future townhouse development to be known as Northwind Estates.

PROJECT INFORMATION:

1974 General Plan Designation:	Residential
1965 North Norwood Community Plan Designation:	Light Density Residential
Existing Zoning of Site:	Agricultural
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:

North:	Single Family;	R-1
South:	Single Family;	R-1
East:	Single Family;	R-1
West:	Single Family;	R-1

Parking Required:	313 spaces
Parking Provided:	313+
Parking Ratio:	1 space:du/unit.
Property Dimensions:	Irregular
Property Area:	50± acres
Density of Development:	9.9/net ac.
Square Footage of Building:	920 sq. ft. to 1,120 sq. ft.
Significant Features of Site:	100 ft. wide PG&E tower easement (Magpie Creek drainage)

Topography:	Flat
Street Improvements/Utilities:	To be provided
Exterior Building Colors:	Earth tones
Exterior Building Materials:	Wood and stucco
North/South lot orientation:	66 percent

APPLC. NO. P82-090

MEETING DATE July 22, 1982

CPC ITEM NO. 34

8-12-82
8-20-82

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SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: At the May 12, 1982 meeting, by a vote of 5 ayes, 1 no and 3 absent, the Subdivision Review Committee voted to recommend approval of the map. The no vote reflects the Planning Department's concern with the overall design of the project.

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements pursuant to Section 40.811 of the City Code; required improvements include the following:
 - a. Norwood Avenue to be improved to a 45-foot half-section with a 12-foot lane on the westerly half;
 - b. Grace Avenue to be improved to a 54-foot cross section, including curb, gutter and sidewalk along the north side of Lot A and 15 feet of pavement on the north side of Grace Avenue.
2. Right-of-way study for Taylor Avenue is required off site; dedication and improvements required as indicated by the study (minimum improvement will consist of 24 feet of pavement extended up to Main Avenue).
3. Name the streets to the satisfaction of the Planning Director.
4. Place the following note on the final map: Water and sewer service connections do not exist between the main lines and Lots A and B. These services must be paid for and installed at the time of obtaining building permits.
5. Prepare a sewer study for the review and approval of the City Engineer; may require off-site extension and oversizing of lines. Existing sewer district serves from Taylor Street westerly. A portion of the site will have to be served from the east, off-site, to the Regional trunk line.
6. Coordinate fees, annexation, etc. with Regional Sanitation as indicated in sewer study.
7. Final map cannot be filed until Regional Sewer Treatment Plant is operational.
8. Alignment and improvement study required for Magpie Creek. Required improvements will include off-site improvements and dedication. May require construction of levees to protect development from upstream overflow. Magpie Creek to be improved with summer flow lining, fencing, etc. Off-site deepening and widening to extend south to Bell Avenue.
9. Dedicate access points for maintenance of drainage canal as required by the City Engineer.
10. Drainage study required for the overall site (to be done in conjunction with Magpie Creek study). Drainage study to include grading plan and will require filling.
11. Final map cannot be filed until City's Magpie Creek widening project upstream to Bell Avenue is substantially complete. Tentative date for contract advertising is Summer or Fall, 1982.

~~July 22, 1982~~
8-12-82
8-26-82

Item No. 3
4
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- 11/ Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall
- #12. submit to the City an appraisal of the property to be subdivided and pay the re-
quired parkland dedication in-lieu fees. The appraisal shall be dated not more than
90 days prior to the filing of the final map.
- 12/ Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on
- #13. the final map to allow for the placement of centralized mail delivery units.
The specific locations for such easements shall be subject to review and approval
of the City Engineer after consultation with the U.S. Postal Service.
- 13/ The PG&E easement along the southern portion of the site must be abandoned or
- #14. resolved to the satisfaction of the Planning Director.
- 14/ Prior to Commission consideration, the Tentative Map shall be revised to incorporate
- #15. the PG&E right-of-way and proposed park site into the adjacent properties; this
may result in the creation of additional lots.
- 15/ A note shall be placed on the final map indicating that no structures or swimming
- #16. pools are permitted within the PG&E easement areas.

STAFF EVALUATION: Staff has the following concerns and comments with regard
to this project:

1. The applicant is proposing to divide 50± acres into 218 halfplex units,
95 zero-lot line units, one private park approximately 2.5 acres in
size, and one 6-acre site intended for future townhouse development.
The units are comprised of five floor plans which are either full
halfplex units or halved to make zero lot line units. All units
are single story. The dominant feature of each elevation is the
garage since it is situated at the front of each unit lending a
lack of variety to the outside elevations. Lots range in width from
27 to 35.5 feet. Staff suggests increasing lot widths in order to
allow flexibility of unit design and reduce potential monotony of
the streetscape.
2. In several of the units the indoor living space does not correspond
to the outdoor living area. The sliding door from the family or dining
area in the mid portion of the structure leads to a narrow 5-foot side
yard. The backyard must be the outdoor living area and it has no re-
lationship to corresponding interior space. Staff suggests side yards
of at least 10-feet to provide an adequate outdoor living area with a
logical relationship to indoor living area.
3. The site plan achieves a 67-percent north/south lot orientation. An
in-lieu program of additional unit orientation would be ineffective.
Again, many side yards are only 5-feet wide so that south wall glazing
is shaded by the adjacent structure or a 6-foot high fence. Staff, again,
suggests 10-foot wide side yards to allow for adequate solar access for
south wall glazing on east/west trending lots.

4. The proposed park site is inconveniently located for most of the neighborhood. Since it is to be a private park, staff believes it should be more centrally located for the convenience of the residents. Also there appears to be no provision for maintenance of the park after it is established.
5. The PG&E parcel at the southwest corner of the site has recently changed hands and is now in private ownership. It has no public street access. Staff suggests that the lot be incorporated into the subdivision or provide it some type of public access.
6. Staff wishes to remind the applicant that the PG&E easement along the southern and eastern portion of the site must be abandoned or resolved to the satisfaction of the Planning Director prior to final map recordation.
7. In conclusion, staff has no objection to the R-1-A zoning which encourages new design concepts. Staff believes that this design can be improved by the following:
 - variation of lot widths
 - variation of elevations and roof types
 - staggered front setbacks

 - additional floor plans
 - curved driveways
 - some two-story structures

Staff encourages any other innovative concepts to provide variety and interest to the project.

STAFF RECOMMENDATION: Staff recommends that the Planning Commission continue the project until August 26, 1982. This will provide ample time for the applicant to incorporate staff's suggestions into the design and staff to evaluate the revisions.

P82-090

P82-090

~~July 22, 1982~~
~~8-12-82~~
 8-26-82

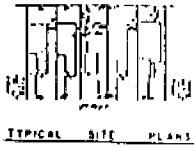
Item No. ~~34~~
 5

060-08d

SCHEMATIC SITE PLAN NORTHWIND ESTATES

CITY OF SACRAMENTO CALIFORNIA

MORTON & PITALO, INC.
ARCHITECTS

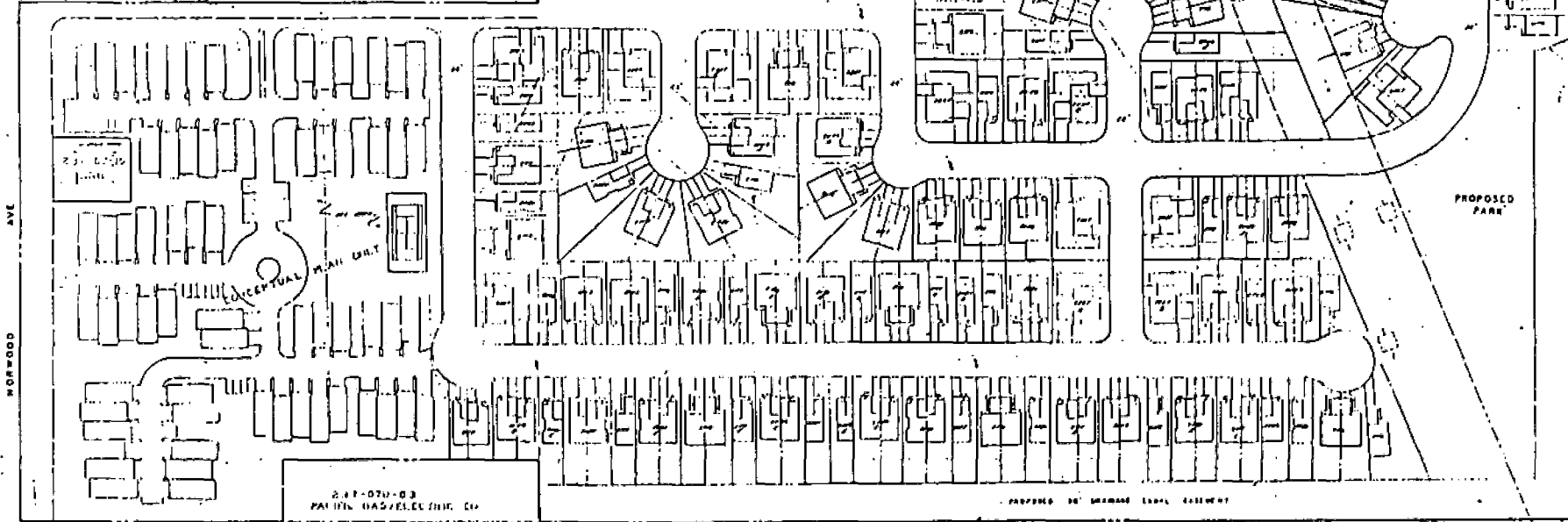


LEGEND

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[Symbol]	69" x 69" UNIT	3500
[Symbol]	70" x 70" UNIT	3550
[Symbol]	71" x 71" UNIT	3600
[Symbol]	72" x 72" UNIT	3650
[Symbol]	73" x 73" UNIT	3700
[Symbol]	74" x 74" UNIT	3750
[Symbol]	75" x 75" UNIT	3800
[Symbol]	76" x 76" UNIT	3850
[Symbol]	77" x 77" UNIT	3900
[Symbol]	78" x 78" UNIT	3950
[Symbol]	79" x 79" UNIT	4000
[Symbol]	80" x 80" UNIT	4050
[Symbol]	81" x 81" UNIT	4100
[Symbol]	82" x 82" UNIT	4150
[Symbol]	83" x 83" UNIT	4200
[Symbol]	84" x 84" UNIT	4250
[Symbol]	85" x 85" UNIT	4300
[Symbol]	86" x 86" UNIT	4350
[Symbol]	87" x 87" UNIT	4400
[Symbol]	88" x 88" UNIT	4450
[Symbol]	89" x 89" UNIT	4500
[Symbol]	90" x 90" UNIT	4550
[Symbol]	91" x 91" UNIT	4600
[Symbol]	92" x 92" UNIT	4650
[Symbol]	93" x 93" UNIT	4700
[Symbol]	94" x 94" UNIT	4750
[Symbol]	95" x 95" UNIT	4800
[Symbol]	96" x 96" UNIT	4850
[Symbol]	97" x 97" UNIT	4900
[Symbol]	98" x 98" UNIT	4950
[Symbol]	99" x 99" UNIT	5000
[Symbol]	100" x 100" UNIT	5050

SCALE 1"=40'

GRACE AVE



8-12-82
8-12-82
8-12-82

7/22/82

06028
82090
26

PACIFIC GAS AND ELECTRIC COMPANY
PG&E + 5555 FLORIN-PERKINS ROAD • P. O. BOX 7444 • SACRAMENTO, CALIFORNIA 95826

JUN 10 1982

RECEIVED

June 10, 1982

Northwind Estates (P82-090)
645/670 81-10-Q

City of Sacramento
Planning Commission
927 - 10th Street
Sacramento, CA 95814

Gentlemen:

PGandE opposed the design of the Northwind Estates at the May 12th Sub-division Review Committee Meeting because it conflicted with our tower line rights of way traversing the project site. Since that meeting, we have met with the developer's engineer and discussed how PGandE's rights of way could be utilized.

The problem with the use of PGandE's right of way along the southerly boundary line of the project has not been solved. The developer proposes to realign Magpie Creek to a location within our right of way. Since our right of way is vacant, the developer has been informed that PGandE may consider selling the right of way to the current owner of the underlying fee. We have not reached an agreement with the developer. Until this problem is solved, we recommend the project be denied.

The most recent tentative map, which we have reviewed, shows our other tower line right of way (running in a north-south direction) to be incorporated into subdivision lots. This is satisfactory to PGandE, provided:

1. Paved access, 20 feet wide, is provided to the two most northerly towers in the subdivision. This would be constructed by the developer and maintained by the future property owners. The area within 10 feet of the towers must also be paved. This will insure PGandE continuous access to the towers. The shaded area on the map attached shows the area which would be paved.
2. If the lot encumbered by the two northerly towers is fenced, a 12 foot gate for access is required by PGandE. The access and paved areas around the towers must not be isolated from the remainder of the lot. This may be done by limiting fence construction within our right of way to property lines.
3. The southerly tower must be protected with a protective barrier around the westerly half of the tower. This will protect the tower in case of a vehicle accident at the end of the cul-de-sac west of the tower. A sketch of a typical barrier is attached.

26

4. Tree heights are limited to 15 feet upon maturity within PGandE's rights of way. If this requirement is violated, PGandE reserves the right to bill property owners for the expense it bears to maintain this requirement.
5. No structures or swimming pools are allowed in PGandE's rights of way. The final map should show that the rights of way are restricted. This can be done by arrows to the edge of the rights of way with the comment, "Use Restricted - Contact PGandE".
6. The City of Sacramento will be required to enter into a Consent to Common Use Agreement with PGandE for areas within the tower line rights of way that the City will be occupying.

Should you have any questions, please contact Mr. Walter E. Bird at (916) 383-4141, Ext. 256.

Sincerely,

M. R. AMERIO,
Manager, General Services

By Keith J. Lamb
KEITH J. LAMB,
Division Land Supervisor
383-4141

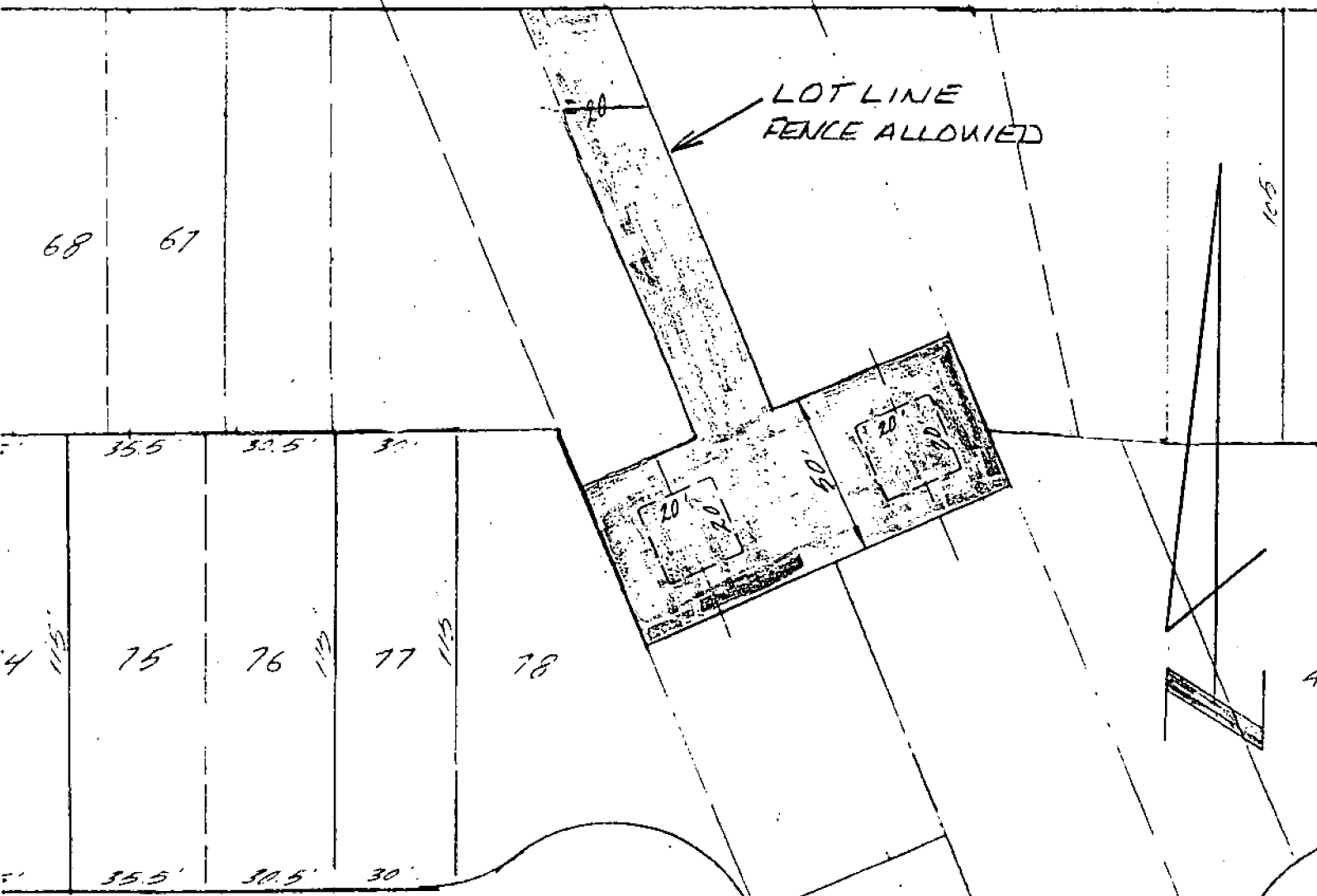
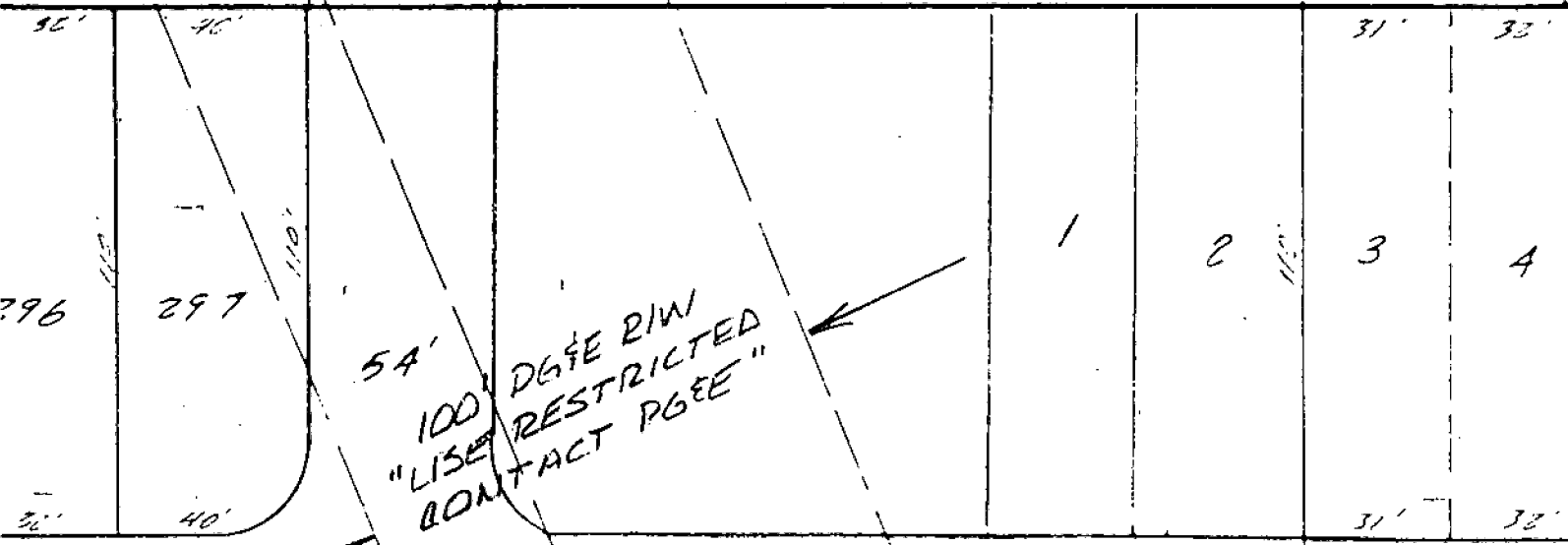
WEBird/jli
Attachment
cc: Morton & Pitalo
City of Sacramento Planning Dept.

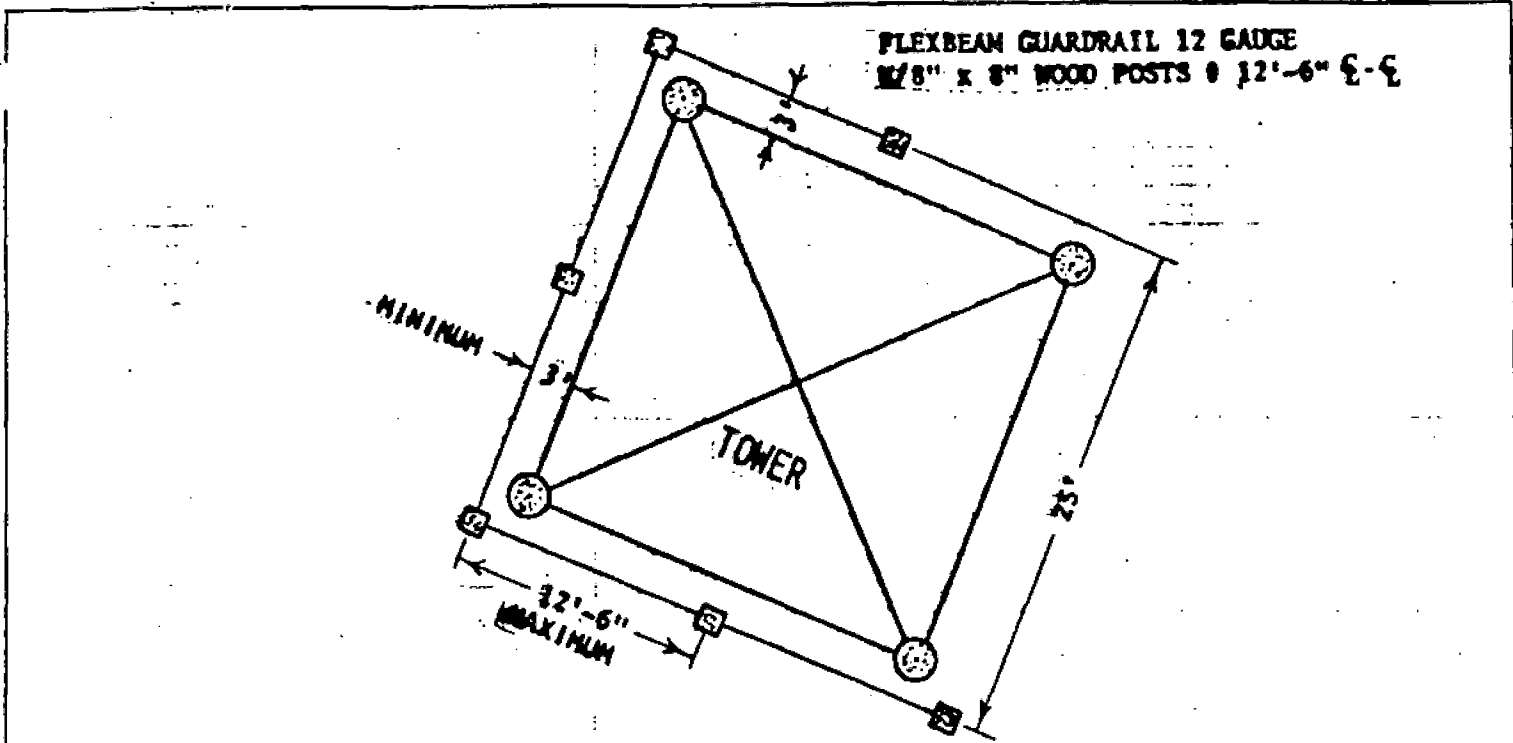
TAYL

237-1040-49

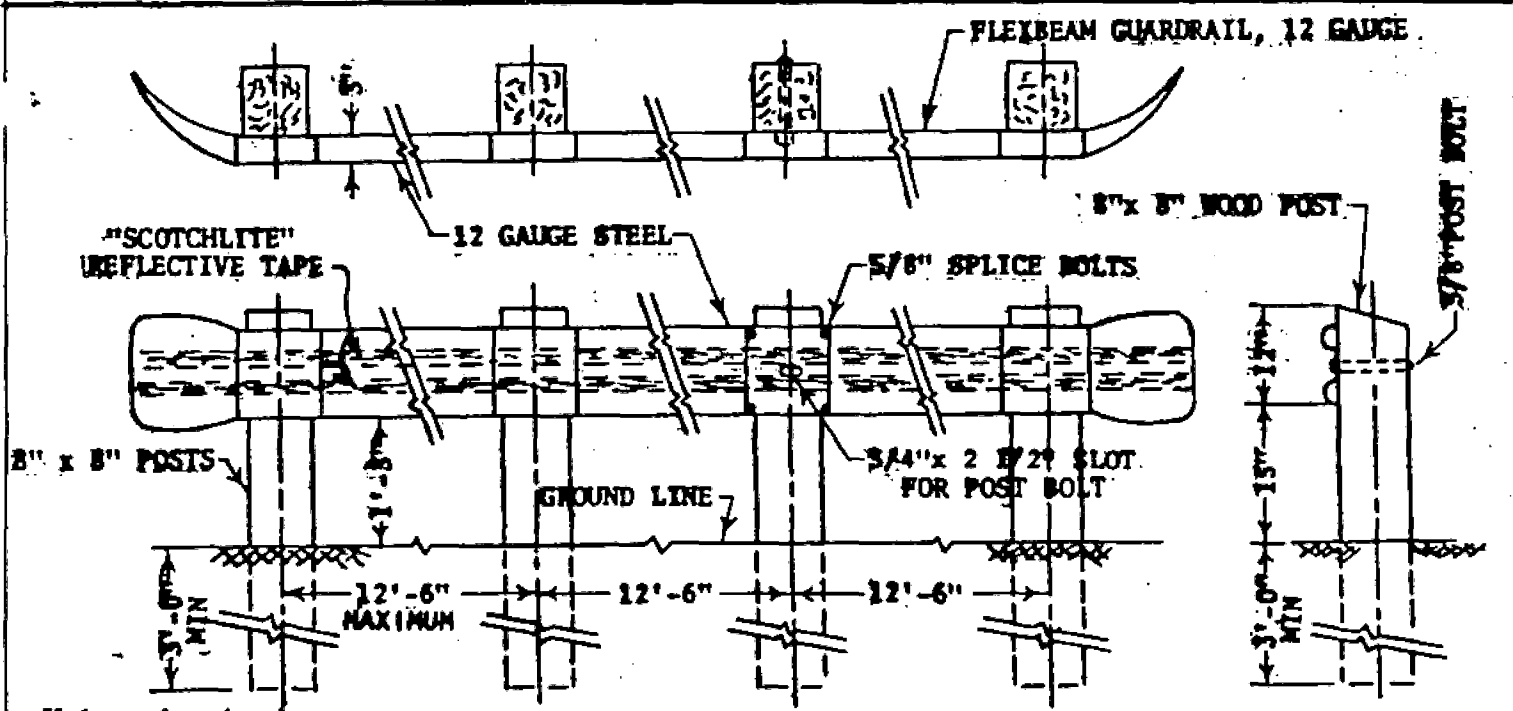
26

PITTSBURGH





PLAN SHOWING POSITION OF FLEXBEAM TO TOWER BASE SECTION



DETAIL OF GUARDRAIL

SECTION

Unless otherwise shown
all courses extend to or
along boundaries or lines

CITY, RANCHO, SUBDIVISION, ETC. **TYPICAL FLEXBEAM GUARDRAIL FOR TOWER PROTECTION**

CALIFORNIA COORDINATES ZONE E N U.S.G.S. QUAD	LEGEND CALCULATED COORD. SCALED COORD.	SCALE	SECTION	TOWNSHIP	RANGE	MERIDIAN
		DATE	COUNTY OF			
REFERENCES		PG-E	DIVISION	DR. BY:	CH. BY:	DRAWING NO.



CITY OF SACRAMENTO

26



CITY PLANNING DEPARTMENT
927 TENTH STREET SACRAMENTO, CA 95814
SUITE 300 TELEPHONE (916) 449-5604

MARTY VAN DUYN
PLANNING DIRECTOR

September 20, 1982

City Council
Sacramento, California

Honorable Members in Session:

SUBJECT: Rezone 49.5+ vacant acres from A to R-1A

LOCATION: East terminus of Grace Avenue

SUMMARY

This item is presented at this time for approval of publication of title pursuant to City Charter, Section 38.

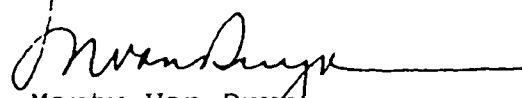
BACKGROUND

Prior to publication of an item in a local paper to meet legal advertising requirements, the City Council must first pass the item for publication. The City Clerk then transmits the title of the item to the paper for publication and for advertising the meeting date.

RECOMMENDATION

It is recommended that the item be passed for publication of title and continued to October 5, 1982.

Respectfully submitted,


Marty Van Duyn
Planning Director

FOR CITY COUNCIL INFORMATION
WALTER J. SLIPE
CITY MANAGER

MVD:cp
Attachment
P82-090

PASSED FOR
PUBLICATION
& CONTINUED
TO 10-5-82

September 28, 1982
District No. 2

ORDINANCE NO.

ADOPTED BY THE SACRAMENTO CITY COUNCIL ON DATE OF

ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE NO. 2550, FOURTH SERIES, AS AMENDED, BY REMOVING PROPERTY LOCATED AT EAST TERMINUS OF GRACE AVENUE

FROM THE A, AGRICULTURAL ZONE

AND PLACING SAME IN THE R-1A, TOWNHOUSE

ZONE (FILE NO. P- 82-090) (APN: 237-070-02,03,04,05,06, por.17,18;237-040-26)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1.

The territory described in the attached exhibit(s) which is in the A, Agricultural zone(s), established by Ordinance No. 2550, Fourth Series, as amended, is hereby removed from said zone and placed in the R-1A, Townhouse zone(s).

This action rezoning the property described in the attached exhibit(s) is adopted subject to the following conditions and stipulations:

a. A material consideration in the decision of the Planning Commission to recommend and the City Council to approve rezoning of the applicant's property is the development plans and representations submitted by the applicant in support of this request. It is believed said plans and representations are an integral part of such proposal and should continue to be the development program for the property.

b. If an application for a building permit or other construction permit is filed for said parcel which is not in conformity with the proposed development plans and representations submitted by the applicant and as approved by the Planning Commission August 26, 1982, on file in the office of the Planning Department, or any provision or modification thereof as subsequently reviewed and approved by the Planning Commission, no such permit shall be issued, and the Planning Director shall report the matter to the Planning Commission as provided for in Ordinance No. 3201, Fourth Series.

SECTION 2.

The City Clerk of the City of Sacramento is hereby directed to amend the maps which are a part of said Ordinance No. 2550, Fourth Series, to conform to the provisions of this ordinance.

5

SECTION 3.

Rezoning of the property described in the attached exhibit(s) by the adoption of this ordinance shall be deemed to be in compliance with the procedures for the rezoning of property prescribed in Ordinance No. 2550, Fourth Series, as said procedures have been affected by recent court decisions.

PASSED FOR PUBLICATION:

PASSED:

EFFECTIVE:

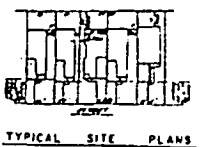
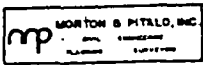
MAYOR

ATTEST:

CITY CLERK

P82-090

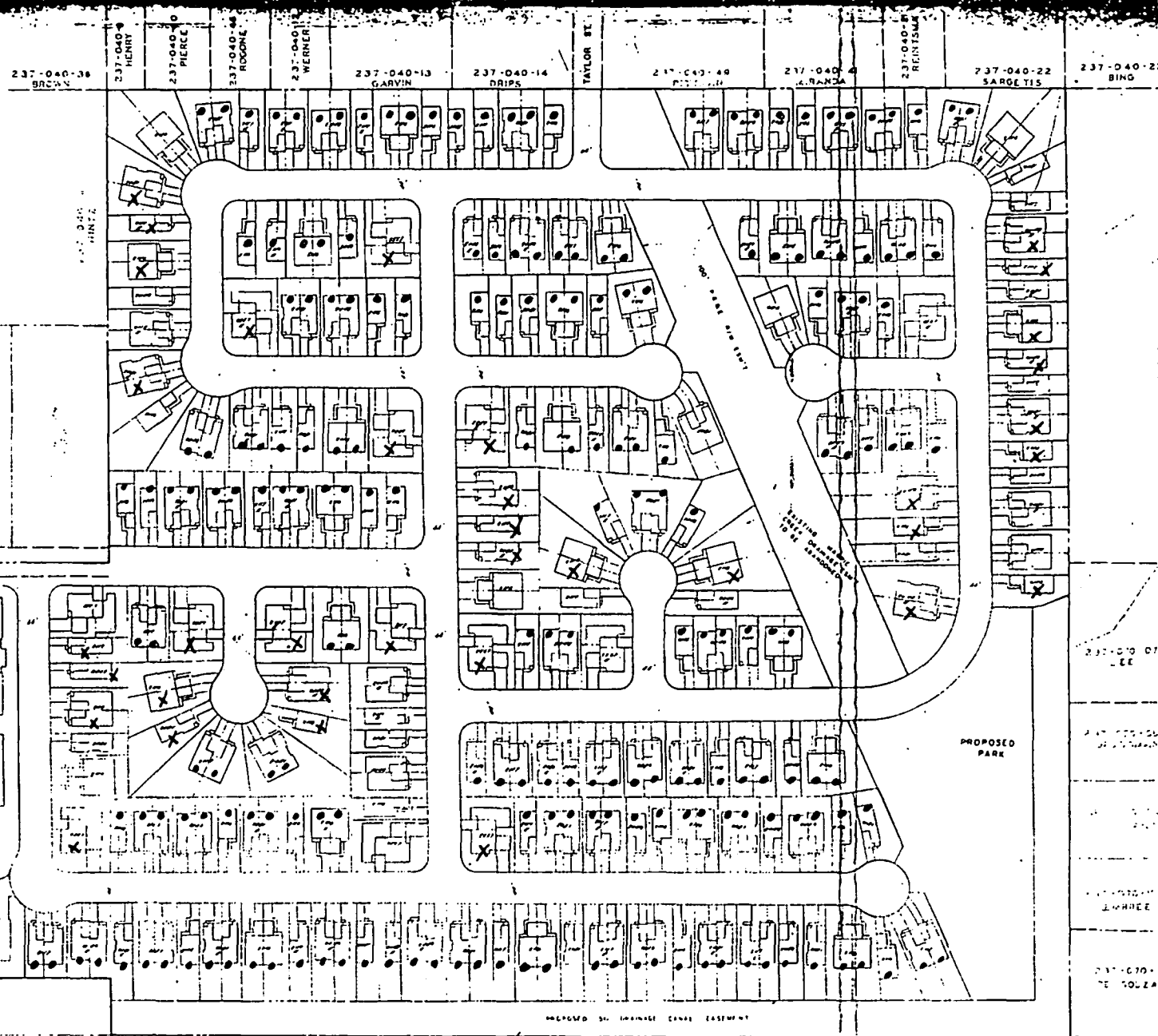
SCHEMATIC SITE PLAN
NORTHWIND ESTATES
 CITY OF SACRAMENTO CALIFORNIA



STAIRS

FLOOR	STAIR	TYPE	DATE
1ST	101	DOWN	11/15/78
1ST	102	DOWN	11/15/78
1ST	103	DOWN	11/15/78
1ST	104	DOWN	11/15/78
1ST	105	DOWN	11/15/78
1ST	106	DOWN	11/15/78
1ST	107	DOWN	11/15/78
1ST	108	DOWN	11/15/78
1ST	109	DOWN	11/15/78
1ST	110	DOWN	11/15/78
1ST	111	DOWN	11/15/78
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1ST	113	DOWN	11/15/78
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1ST	197	DOWN	11/15/78
1ST	198	DOWN	11/15/78
1ST	199	DOWN	11/15/78
1ST	200	DOWN	11/15/78

SCALE: 1" = 40'



67% 207 LOTS • = N/S LOT ORIENTATION
 11.5% 36 UNITS X = N/S UNIT ORIENTATION

237-030- PACIFIC GAS & E