

Development Services
We Help Build A Great City

CITY OF SACRAMENTO

www.cityofsacramento.org

Help Line: 1-916-808-5656 OR 1-866-EZ-PERMIT

Inspection Request: 1-916-808-7622

Downtown Permit Center
New City Hall
915 I Street, 3rd Floor
Sacramento, CA 95814

North Permit Center
2101 Arena Blvd., Suite 200
Sacramento, CA 95834

Permit No. 0607277
 Date Applied 05/19/2006
 Type Commercial
 Subtype Tenant Improvement
 Category Retail Store

Permit Address 1111 J ST
 SACRAMENTO CA
 Site Location 1111 J ST

Parcel No. 00600470120000

Owner MC CORMICK & SCHMICK'S
 720 SW WASHINGTON ST STE 550
 PORTLAND OR
 503-226-3440

Applicant SHAWMUT DESIGN & CONSTRUCTION
 SHAWMUT DESIGN & CONSTRUCTION
 560 HARRISON AVE
 BOSTON MA
 617-622-7103 STEVE GORMAN
 STEVE GORMAN STEVEN
 SCHWAEBEK
 STEVEN SCHWAEBEK
 1006 SE GRAND AVE STE 300
 PORTLAND OR
 503-546-1602

Valuation \$ 1,000,000.00

LICENSED CONTRACTOR'S DECLARATION
 I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.
 License Class: _____ License Number: _____
 Date: 11/30 Contractor: Shawmut Design

OWNER-BUILDER DECLARATIONS
 I hereby affirm that I am exempt from the Contractor's License Law (C.L.L.) for the following reason (Sec. 7031.5.B&P Code: Any city or county which requires a permit to construct, alter, improve, demolish or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he/she is licensed pursuant to the provisions of C.L.L. Chapter 9 (commencing with Sec.7000) of Division 3 of the B&P Code) or that he/she is exempt there from and the basis for the alleged exemption. Any violation of Sec. 7031.5 by any applicant for a permit subjects the applicant to civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044 B&P Code: The C.L.L. does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractor(s) to construct the project (Sec. 7044, B&P Code: The C.L.L. does not apply to an owner of property who holds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the C.L.L.)

I am exempt under Sec. N/A B & P.C. for this reason:
 Date: 11/30 Owner: [Signature]

Fee Items	# of Each	Amount
Permit-Building-Com	1	\$7,536.30
Plan Ck-Building Com	1	\$5,863.70
Strong Motion	1	\$210.00
Construction Excise Tax	1	\$8,000.00
City Business Oper Tax	1	\$400.00
Bldg-Technology Surcharg	1	\$522.00
General Plan Surcharge	1	\$590.00
TOTAL PAID		\$23,122.00

WORKERS COMPENSATION DECLARATION
 I hereby affirm that I have a certificate of consent to self-insure, or a Certificate of Worker's Compensation Insurance, or a certified copy thereof (Sec 3800, Labor Code).
 Policy Number: _____ Company: _____
 Certified copy is hereby furnished.
 Certified copy is filed with the city building inspection department or city department.
 Date: 11/30 Applicant: [Signature]

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to construction. I hereby authorize representatives of this city to enter upon the above mentioned property for inspection purposes.
 Date: 11/30 Applicant or Agent: [Signature]

CITY OF SACRAMENTO
 NOV 30 2006
NEW CITY HALL
 Description of Work:
 TENANT IMPROVEMENT-CONSTRUCTION OF FULL SERVICE RESTAURANT ON 1ST FL, MINOR EQUIPMENT ROOM AND EGRESS IN BASEMENT

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

APPLICATION FOR COMMERCIAL BUILDING PERMIT

CITY OF SACRAMENTO
Development Services Department - Building Division

New City Hall
915 I St., Floor 300
Sacramento, CA 95814
Fax: 916-808-1901

North Permit Center
2101 Arena Blvd., Suite 200
Sacramento, CA 95834
Fax: 916-808-8370

ACTIVITY # 0607277	Isup. Area 1
------------------------------	------------------------

Applicant MUST complete ALL Unshaded areas

ADDRESS 1111 J STREET SACRAMENTO CA 95814 Suite _____
PARCEL # 006-00410-012

CONTACT		LICENSED CONTRACTOR Lic No. # <u>747587</u>	
Name <u>STEVEN SCHWABER</u>		Name <u>SHALMUT DESIGN & CONSTRUCTION</u>	
Street Address <u>1000 SE GRAND AVE SUITE 300</u>		Address <u>500 HARRISON AVE</u>	
City/State/Zip <u>PORTLAND OR 97214</u>		City/State/Zip <u>BOSTON MA 02118</u>	
Phone <u>503.546.1602</u> FAX <u>503.546.1601</u>		Phone <u>617.622.7103</u> FAX <u>617.622.8103</u>	
E-mail: <u>STEVEN@KATSIHOTK-PARTNERS.COM</u>		E-mail: <u>DLADIEUX@SHALMUT.COM</u>	
ARCHITECT/ENGINEER		OWNER	
Name <u>KATSIHOTK PARTNERS ARCH. PC</u>		Name <u>MCCORMICK & SCHMICK'S</u>	
Address <u>1000 SE GRAND AVE SUITE 300</u>		Address <u>720 SW WASHINGTON ST SUITE 550</u>	
City/State/Zip <u>PORTLAND OR 97214</u>		City/State/Zip <u>PORTLAND OR 97205</u>	
Phone <u>503.546.1600</u> FAX <u>503.546.1601</u>		Phone <u>503.220.3440</u> FAX <u>503.223.7710</u>	
E-mail:		E-mail:	

→ Will permittee have any employees on the jobsite? No Yes → **INSURANCE CO:** _____

→ **WORKER'S COMPENSATION POLICY #** _____ **EXPIRATION DATE:** _____

NATURE OF WORK IN DETAIL: TENANT IMPROVEMENT IN AN EXISTING FIRST FLOOR OF A HISTORICAL BUILDING. CONSTRUCTION OF FULL SERVICE RESTAURANT ON FIRST FLOOR. MINOR EQUIPMENT ROOM AND EGRESS IN EXISTENCE AS PER HISTORICAL REQUIREMENTS. UPDATE FACADE TO ORIGINAL DESIGN PER HISTORIC REVIEW BOARD

OCCUPANT/TENANT: MCCORMICK & SCHMICK'S PER RESTAURANTATION: \$ 1,000,000

FLOOD STATUS				S.C.A.T.						
JOB DESCRIPTION BLDG <input type="checkbox"/> SHELL <input type="checkbox"/> APT <input type="checkbox"/> TI <input type="checkbox"/> REM <input type="checkbox"/> SW <input type="checkbox"/> FIRE <input type="checkbox"/> ADD <input type="checkbox"/> OTHER <input type="checkbox"/>										
INSPECTION DISCIPLINES <u>MED</u> <u>MECH</u> <u>PLUMB</u> <u>ELEC</u> <u>SITE</u> <u>FIRE</u>										
# Stories	1 st flr Area	Total Area	Use Zone	Occp Group	Const type	Fire Req. Y/N		Fed Code	Vio. File	
<u>2</u>	<u>8295</u>	<u>8016</u>	<u>C-3-SFD</u>	<u>A-2</u>	<u>I</u>	<u>S</u>	<u>ALARM</u>	<u>D</u>	<u>PW</u>	<u>UTIL</u>

COMMENTS:

REGIONAL SANITATION FEES? Yes No HEALTH DEPARTMENT? Yes No
WATER FLOW TEST FOR NEW BUILDINGS OR ADDITIONS? Yes No

City of Sacramento
 Planning Department
PLANNING REVIEW FOR BUILDING PERMIT SUBMITTAL

ADDRESS: 925 11 TH STREET		APN: 006-0047-012
DRPE AREA / PUD / SPD	BUSINESS DISTRICT	ZONING: C-3 SPD
EXISTING LAND USE: OFFICE AND RETAIL BUILDING		
PROPOSED USE: RESTAURANT - McCormick & Schmick's		
PLANNING STAFF WILL CHECK FOR MORE ITEMS BELOW:		
<input type="checkbox"/>	Planning review is NOT required.	
<input type="checkbox"/>	Use is NOT allowed. Do NOT submit for plan check.	
<input type="checkbox"/>	Requires APPLICABLE: <input type="checkbox"/> PC <input type="checkbox"/> IR <input type="checkbox"/> ER <input type="checkbox"/> DR <input checked="" type="checkbox"/> PB	
<input type="checkbox"/>	Required Planning application must be approved. Project can be submitted for plan check.	
<input type="checkbox"/>	Application(s) IN PROGRESS. File Number: _____ Application may be approved. Project can be submitted for plan check.	
<input checked="" type="checkbox"/>	Application(s) COMPLETED. File Number: PB06-014 COMPLETED 3/1/2006 approval: _____ Building permit must conform to approved plans and comply with all conditions of approval. Do NOT accept applications for building permit to the end of the 10-day appeal period.	
<input type="checkbox"/>	Plans may be submitted for plan check. Plan checker(s) shall confirm compliance with Zoning Ordinance requirements and all applicable development standards prior to issuance of building permit.	
<input checked="" type="checkbox"/>	Meets setback & lot coverage requirements as shown on site plan provided.	
<input checked="" type="checkbox"/>	Plans to be submitted have been stamped/signed by Planning counter staff.	
<input type="checkbox"/>	Route to SITE for plan check and inspection.	
<input type="checkbox"/>	Route to SITE for inspection only, plan check not required.	
<input type="checkbox"/>	Preliminary review ONLY; the information on this form must be reviewed again and confirmed at the time of building permit submittal.	
CONDITIONS AND COMMENTS: PROPOSED PROJECT TO REHAB EXTERIOR OF EXISTING ELK'S BUILDING LOCATED AT 1111 J STREET. REHAB MEASURES EFFECT ARCHITECTURAL ELEMENTS & FEATURES ON 1 ST FLOOR FACADES OF 11 TH AND J STREET ELEVATIONS. NO CHANGE IN FOOTPRINT OF BUILDING. SITE IS IN THE ARTS AND ENTERTAINMENT DISTRICT, NO ON-SITE PARKING IS REQUIRED. MUST MEET ALL CONDITIONS OF APPROVAL FOR PB06-014. Any changes to plans will require additional preservation/planning review. No other planning entitlements apparent at this time.		
DATE: 5/9/2006		BY: Adrienne Spease

MEMBERS IN SESSION:

PB06-014 **McCormick & Schmick's Restaurant Tenant Improvements, Elks Building**

REQUEST: Review and approval of plans for new first floor restaurant exterior rehabilitation, restoration and alteration of a Landmark structure.

LOCATION: 921 11th Street
(APN: 006-0047-012)
Landmark Structure
Council District 1

APPLICANT: Baysinger Partners Architecture PC
1006 SE Grand Avenue, Suite 300
Portland, OR 97214

OWNER: Utah Partners LLC

PLANS BY: Applicant

STAFF CONTACT: Melissa Mourkas, Assistant Planner
Phone: 916-808-8287; Fax: 916-808-7185;
e-mail address: mmourkas@cityofsacramento.org

SUMMARY: The applicant proposes to renovate portions of the first floor for tenant improvements for restaurant use. Proposed first floor exterior changes include: restoration of the original corner entry at 11th and "J" Streets; removal of an original storefront entry on the "J" Street elevation; renovation of a non-original entryway on the "J" Street elevation and restoration of an existing entry on the 11th Street elevation at a later date. The proposal also includes removal of the existing bubble awnings and installation of historically appropriate awnings below the original transom windows, which will be restored, with the exception of the restaurant entrance on "J" Street, which will have an awning to the curb.

BACKGROUND INFORMATION: The Elks Building was designed by the Sacramento architectural firm of Hemmings & Starks in 1924 and completed in 1926. It is a 14 story, steel-frame brick-clad high rise in a Renaissance Revival style. The property is listed as a landmark in the City's Register and has been determined eligible for listing in the National Register of Historic Places. The ground floor is clad with terra-cotta while the remainder of the building is clad with brick masonry and trimmed with terra-cotta.

STAFF EVALUATION: Staff has the following comments regarding the proposed project.

1. **Corner Entrance – 11th & “J” Streets** (sheets A-101, A-201 & A-202, Staff Exhibits A & B) – The existing entrance at the corner of 11th Street and “J” Streets is not the original configuration. The original entrance was cut-out and recessed at a 45-degree angle to the corner. The applicant proposes to restore the original recessed and angled entrance as shown on the plans and in the renderings. This will be the bar entrance. The existing terrazzo sill will be removed and reused as much as possible in the restoration. All materials will match original in-kind.
2. **“J” Street Elevation** (sheet A-101) – The applicant proposes to remove the remaining original “J” Street storefront entry at the second bay from the eastern end of the façade and store the materials, including the original door, to use at a later date on the 11th Street façade. The remaining opening on “J” Street is not original and the applicant proposes to change the configuration to include two centered storefront doors flanked by sidelights. This will be the new restaurant entrance. The existing doors will be removed and replaced by two dark-stained doors with clear glazing to match original. This is a more appropriate storefront treatment than the existing configuration.
3. **11th Street Elevation** (sheets A-101 and A-202) - The west elevation on 11th street has one storefront entry that has been altered in the past. The applicant proposes to restore this storefront entry at a later date using the materials salvaged from the “J” Street entry that will be removed. The original entry was angled, much like the storefront being removed on “J” Street, but not as deep. The applicant’s plans indicate restoration to the original 11th Street configuration. Materials are to be stored on site until such time as the landlord wishes to proceed with tenant improvements at that location. The Owner Participation Agreement between the City of Sacramento and the building owner will address the timing of the re-installation of the storefront on the 11th Street facade.
4. **Awnings & Canopies** (sheets A-201 and A-202, Staff Exhibit C) – The applicant proposes to remove the existing bubble awnings on “J” Street and the portion of the 11th Street façade where the restaurant is located. The bubble awnings currently hide the historic transom windows. These fan shaped windows are metal framed with a fleur-de-lis detail at the base of each frame. The proposal includes restoration of the glazing where currently covered by other materials. New historically appropriate awnings will be installed at the historic location for awnings under the transom windows revealing the historic transoms yet still offering protection from the sun. The new awnings will include the McCormick and Schmick’s restaurant name and the words Fresh Seafood in block letters. The lettering will be conditioned to meet city sign ordinance requirements in terms of size and color. The awnings are shown as Hunter Green canvas on both the renderings and on the materials board

submitted by the applicant.

5. The blade sign shown as a dashed line is not included in this application and will be applied for at a later date.

Environmental Determination: The City of Sacramento Current Planning Section has determined that the proposed project is exempt from environmental review pursuant to State EIR Guidelines CEQA Section 1530, Existing Facilities, and Section 15331, Historical Resource Restoration/ Rehabilitation.

PROJECT APPROVAL PROCESS: The Board may approve, approve with conditions, or deny the project. Pursuant to Chapter 15.124 of the City Code, the Board's action may be appealed to the City Council. The appeal must occur within 10 calendar days of the Design Review/Preservation Board action.

RECOMMENDATION: Staff recommends the Design Review and Preservation Board approve the proposed rehabilitation, subject to conditions and based on the findings of fact on pp. 4 & 5.

Report Prepared By,

Report Reviewed By,

Melissa Mourkas
Assistant Planner

Roberta Deering
Preservation Director

Attachments

1. Application Drawings & Plans
2. Survey Forms
3. Staff Exhibits:
 - A. Detail from 1924 Hemmings & Starks plan showing original corner
 - B. Color rendering of original corner
 - C. Close-up detail of transom window

**NOTICE OF DECISION AND FINDINGS OF FACT FOR
PROPERTY LOCATED AT 925 11th Street
SACRAMENTO, CALIFORNIA (PB06-014)**

At the Meeting of March 1, 2006, the City of Sacramento's Design Review and Preservation Board considered evidence in the above matter.

Based on verbal and documentary evidence at said hearing, the Board took the following action for the location listed above.

- A. Approved the proposed rehabilitation project, subject to conditions.

This action was made based on the following Findings of Fact and subject to the following conditions.

FINDINGS OF FACT

1. The project, as approved and as conditioned, enhances the appearance of this Landmark Structure by restoring several features to their original appearance.
 2. The project, as approved and as conditioned, conforms to the Goals and Policies of the Preservation Element.
 3. The project, as approved and as conditioned, serves to maintain the integrity of the Elks Building.
 4. The project, as approved and as conditioned, conforms with the Secretary of Interior's Standards for the Treatment of Historic Properties, 1995
-

CONDITIONS OF APPROVAL

1. Storefront materials- windows, framing, door and other elements within the bay - removed from the "J" Street elevation shall be stored and secured by the owner for future use and a record of the storage site is filed with Preservation staff. The Owner Participation Agreement between the City of Sacramento and the building owner will address the timing of the re-installation of the storefront on the 11th Street facade. The re-installation shall be considered as approved by the Board's action herein, with a condition that the specific plans for reinstallation be submitted for Preservation Staff approval prior to application for building permits for the work.
2. This application does not include signage.
3. All revised plans and necessary additional plans shall be submitted for review and

approval of the Preservation staff for compliance with Board requirements prior to issuance of building permits. Appropriate plans shall be submitted directly to Preservation staff. Original detailing that may be uncovered during the work on the subject structure may be incorporated into the project without additional Board consideration provided that staff approves those changes to the approved project.

4. No other work to the building's exterior, except that shown on approved drawings and plans and as conditioned herein, is proposed nor shall it be considered approved, as part of this project.
5. This approval shall expire in three (3) years from approval date.

ATTEST: _____

ADVISORY NOTES:

APPROVAL BY THE DESIGN REVIEW AND PRESERVATION BOARD DOES NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY TO MEET REQUIREMENTS OF ALL ZONING ORDINANCES AND BUILDING CODES.

FINAL PLANS SUBMITTED TO THE CITY FOR A BUILDING PERMIT WILL INCLUDE ALL CHANGES REQUIRED AS CONDITIONS OF APPROVAL BY THE BOARD. THE CHANGES WILL BE SHOWN BY DRAWING REVISIONS AND/OR BY NOTATION, WHICHEVER IS MORE APPLICABLE. PLANS WHICH HAVE OMISSIONS WILL BE RETURNED TO THE APPLICANT FOR CORRECTION AND WILL NOT BE PROCESSED.

THE APPLICANT IS RESPONSIBLE FOR ANY TIME LOST DUE TO INCOMPLETE PLANS. NO EXCEPTIONS WILL BE MADE. THE APPLICANT IS RESPONSIBLE FOR ANY DELAYS RESULTING FROM NONCOMPLIANCE WITH CONDITIONS OF APPROVAL.

0607277

COUNTY SANITATION DISTRICT 1
SACRAMENTO REGIONAL COUNTY SANITATION DISTRICT

SEWER IMPACT FEE

FL
NOVEMBER 28, 2006

PERMIT AND CALCULATION

APPLICATION NO. City of Sacramento BLDG PERMIT NO. SWD2006-009102

GENERAL INFORMATION
McCORMICK & SCHMICK REST

THIS PERMIT GOOD ONLY WHEN
VALIDATED BY THE CASHIER

PAID

NOV 28 2006

12725

THIS PERMIT TO CONNECT EXPIRES
ONE YEAR FROM DATE OF ISSUANCE

FEE CALCULATION		BUILDING USE	
INSPECTION		RESIDENTIAL SF <input type="checkbox"/> MF <input type="checkbox"/>	
CSD-1		COMMERCIAL USE X	
SRCSD 4.5 ESDs	\$ 39,150	2,500 sq ft	50/50
CONSTRUCTION			
IN-LIEU			
TOTAL FEE	\$ 39,150		

APN: 006 - 0047 - 012

DESCRIPTION/
SUBDIVISION

LOT:

PROPERTY ADDRESS 1111 J STREET

OWNER

MAILING ADDRESS

CITY-STATE-ZIP

PHONE

ADDITIONAL FEES MAY BE DUE IF CHANGES IN USE INCREASE SEWER IMPACT.

APPLICANT SIGNATURE

CONSOLIDATED UTILITY BILLING USE ONLY

ACCT _____ INPUT _____ START _____

RECEIPT

1111 J ST 0607277



RSAnalysis, Inc.
111 Natoma Street
Folsom, CA 95630
916.351.9842

TEST AND BALANCE REPORT:

FIELD COPY

PROJECT: MCCORMICK & SCHUCKS SEAFOOD RESTAURANT

MECHANICAL CONTRACTOR: LUPEN & HAWLEY

MECHANICAL ENGINEER: _____

PROJECT NO.: 7520

DATE: 1-29-07

TECHNICIAN: JAMES WEIS

TBE: MIKE RENOVICH



THIS IS TO CERTIFY THAT RSANALYSIS, INC. HAS BALANCED THE SYSTEM DESCRIBED HEREIN TO THEIR OPTIMUM PERFORMANCE CAPABILITIES. UNLESS OTHERWISE NOTED IN THE PROJECT SUMMARY, THE TESTING AND BALANCING HAS BEEN PERFORMED IN ACCORDANCE WITH THE STANDARD REQUIREMENTS AND PROCEDURES OF THE ASSOCIATED AIR BALANCE COUNCIL AND THE RESULTS OF THESE TESTS ARE HEREBY REPORTED.



AIR MOVING EQUIPMENT DATA

AREA SERVED Kitchen

FAN	<u>HP-1</u>	EQUIPMENT MFG.	<u>TRADE</u>
EQUIP. LOCATION	<u>COILING</u>	MODEL	<u>GHB1204DCB02L001</u>
TYPE / SIZE	<u>HEAT PUMP</u>	SERIAL NUMBER	<u>W06259108</u>

FAN DATA

	SPECIFIED	ACTUAL
TOTAL CFM - FAN	<u>3800</u>	<u>NIL</u>
TOTAL CFM - OUTLET	<u>3125</u>	<u>3150</u>
R/A CFM	<u>DNL</u>	<u>3350</u>
O/A CFM	<u>300</u>	<u>400</u>
FAN RPM	<u>DNL</u>	<u>1050</u>
TSP <u>ESP</u>	<u>11</u>	<u>1.31</u>
INLET SP		<u>0.00</u>
DISCHARGE SP		<u>0.25</u>
FILTER ΔP		<u>0.10</u>
SCP		<u>-</u>

FAN SHEAVE	<u>BK65</u>
FAN SHAFT	<u>1"</u>
SHAFT C/C	<u>1538</u>
BELT SIZE / NUMBER	<u>B-44</u>
MOTOR SHEAVE	<u>1 1/2" 44</u>
MOTOR SHAFT	<u>1 1/8"</u>
SHEAVE ADJ.	<u>MAX</u>
FIXED SHEAVE	<input type="checkbox"/>

MOTOR DATA

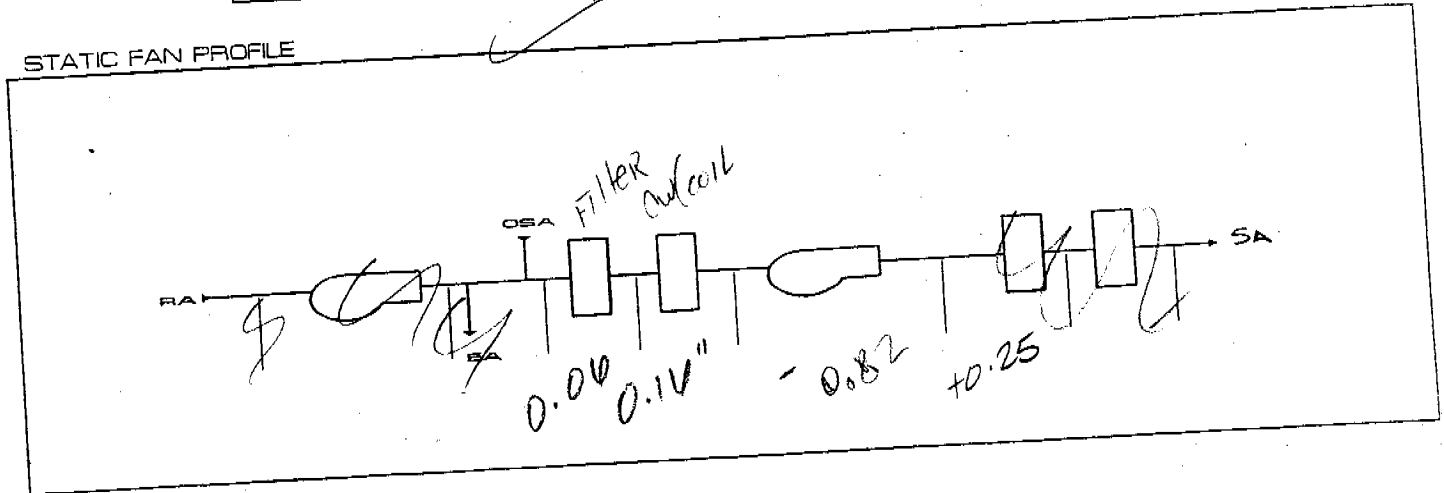
MOTOR MFG.	<u>BALDOR</u>
MOTOR HP	<u>3.0</u>
SERVICE FACTOR	<u>1.15</u>
PHASE / Hz	<u>3/40</u>
HEATER SIZE / RATING	<u>-</u>
MOTOR FRAME#	<u>56HZ</u>

	SPECIFIED	ACTUAL
VOLTAGE	<u>460</u>	<u>433.489-486</u>
AMPERAGE	<u>4.1</u>	<u>33.34 3.3</u>
MOTOR BHP	<u>DNL</u>	<u>2.43</u>
MOTOR RPM	<u>1725</u>	<u>1695</u>
SPEED	<u>-</u>	<u>-</u>

TEMPERATURE DATA

COOLING	EAT		LAT
HEATING	EAT		LAT

STATIC FAN PROFILE



REMARKS:



DIFFUSER AND GRILLE TEST SHEET

ROOM	OUTLET NO.	CODE	SIZE	EFFECTIVE AREA	DESIGN		INITIAL	FINAL	
					FPM	CFM	CFM	FPM	CFM
									100
125	1		8"φ		75	100	115		470
129	2		12"φ		415	475	980		470
127	3					475	455		485
124	4					475	80		469
121	5					475	415		485
121	6					475	340		480
121	7					475	70		105
120	8		8"φ		90	100	170		210
116	9		10"φ		175	200	245		480
115	10		14"φ		415	475	920		
TOTAL SUPPLY						3725	3240		3150

REMARKS

FORM B



AIR MOVING EQUIPMENT DATA

AREA SERVED DISINCH-11

FAN	#P-2
EQUIP. LOCATION	CEILING
TYPE / SIZE	110W PUMP

EQUIPMENT MFG.	TRANE
MODEL	9EHB060401P02B
SERIAL NUMBER	1000K60877

FAN DATA

Handwritten: VAD = A11

	SPECIFIED	ACTUAL
TOTAL CFM- FAN	2050	NVL
TOTAL CFM - OUTLET	1925	2008
R/A CFM	DNL	1720
O/A CFM	600	685
FAN RPM	DNL	D.D.
TSP (ESP)	"	0.77
INLET SP		0.45
DISCHARGE SP		0.72
FILTER ΔP		0.15
SCP		-

FAN SHEAVE	D.D.
FAN SHAFT	
SHAFT C / C	
BELT SIZE / NUMBER	

MOTOR SHEAVE	D.D.
MOTOR SHAFT	
SHEAVE ADJ.	
FIXED SHEAVE	<input type="checkbox"/>

MOTOR DATA

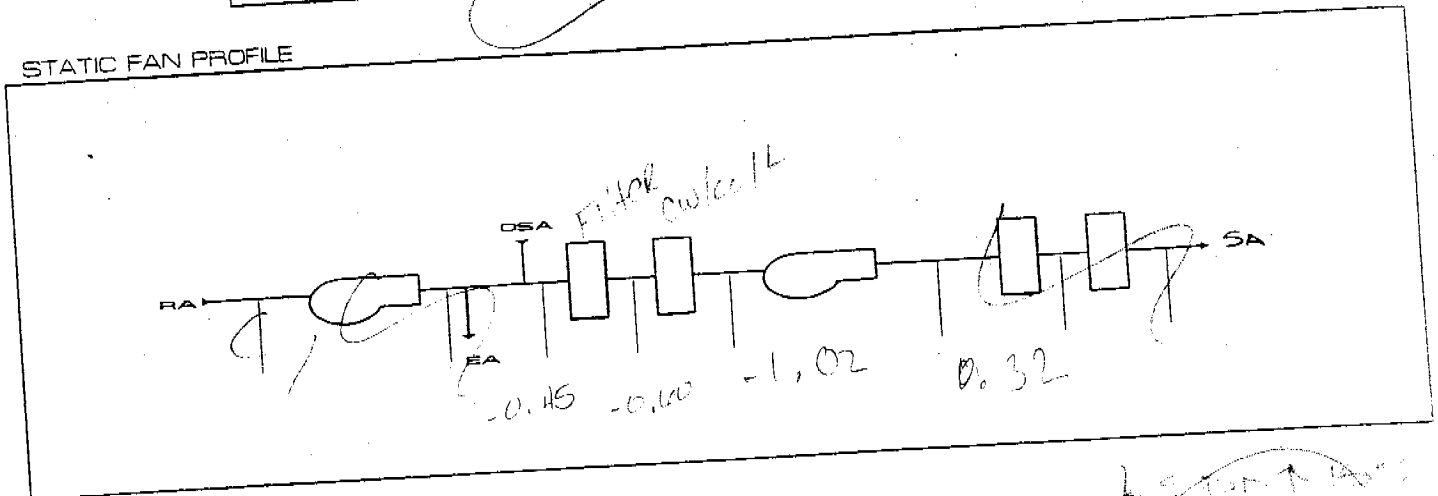
MOTOR MFG.	DNA
MOTOR HP	1.0
SERVICE FACTOR	T.P.
PHASE / Hz	1/60
HEATER SIZE / RATING	-
MOTOR FRAME#	DNL

	SPECIFIED	ACTUAL
VOLTAGE	460	480
AMPERAGE	2.7	2.9
MOTOR BHP	DNL	0.93
MOTOR RPM	DNA	D.D.
SPEED	3SPD	High

TEMPERATURE DATA

COOLING	EAT		LAT	
HEATING	EAT		LAT	

STATIC FAN PROFILE



REMARKS:



DIFFUSER AND GRILLE TEST SHEET

ROOM	OUTLET NO.	CODE	SIZE	EFFECTIVE AREA	DESIGN		INITIAL	FINAL	
					FPM	CFM	CFM	FPM	CFM
107	1	CD	14"φ		500	500	200		915
	2				500	500	290		990
	3				625	625	420		940
	4				400	400	320		430
TOTAL SUPPLY						1925	1690		2005

REMARKS:

FORM 8



AIR MOVING EQUIPMENT DATA

AREA SERVED XXXXXXXXXX

FAN	<u>XXXXXX</u>	EQUIPMENT MFG.	TRANE
EQUIP. LOCATION	CEILING	MODEL	GEHB1204 DOCP
TYPE / SIZE	HEAT PUMP	SERIAL NUMBER	W05K571109

FAN DATA

24x10: 215 245

	SPECIFIED	ACTUAL
TOTAL CFM- FAN	3000	NVL
TOTAL CFM - OUTLET	2125	3930
R/A CFM	DNL	3152
O/A CFM	700	759
FAN RPM	DNL	1145
TSP / ESP	*	0.33
INLET SP	0.02	
DISCHARGE SP	0.30	
FILTER ΔP	0.10	
SCP		

FAN SHEAVE	P2K65
FAN SHAFT	1"
SHAFT C / C	15 3/8
BELT SIZE / NUMBER	B-44/1

MOTOR SHEAVE	1VP44
MOTOR SHAFT	1 1/2"
SHEAVE ADJ.	MAX
FIXED SHEAVE	<input type="checkbox"/>

MOTOR DATA

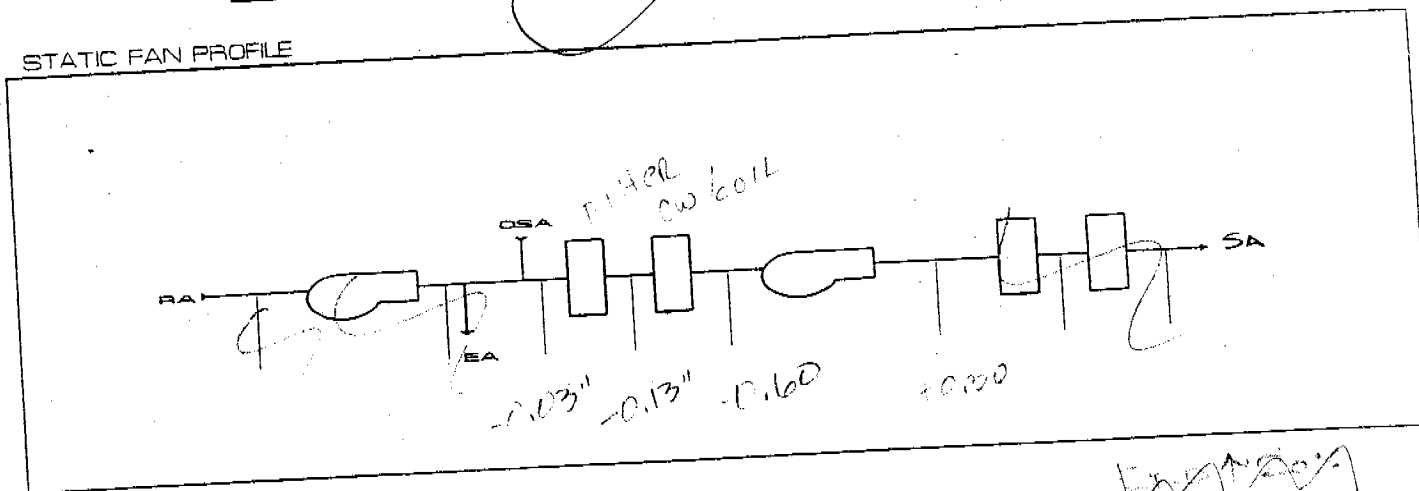
MOTOR MFG.	BAIRDOR
MOTOR HP	3.0
SERVICE FACTOR	1.15
PHASE / Hz	27/60
HEATER SIZE / RATING	
MOTOR FRAME#	56F2

	SPECIFIED	ACTUAL
VOLTAGE	460	453-462-482
AMPERAGE	4.1	3.8-3.9-3.8
MOTOR BHP	DNL	2.60
MOTOR RPM	1725	1700
SPEED		

TEMPERATURE DATA

COOLING	EAT		LAT	
HEATING	EAT		LAT	

STATIC FAN PROFILE



REMARKS:



DIFFUSER AND GRILLE TEST SHEET

ROOM	OUTLET NO.	CODE	SIZE	EFFECTIVE AREA	DESIGN		INITIAL	FINAL	
					FPM	CFM	CFM	FPM	CFM
105	1	CD	4"φ		425	1720			510
	2	"	"		400	565			415
	3	LD	12"φ		400	390			490
	4								505
	5								515
	6								495
	7								500
	8								500
TOTAL SUPPLY						2115	3135		3930

REMARKS:

FORM B



AIR MOVING EQUIPMENT DATA

HAYS 880 354
4297
3/4 2510 6.0

AREA SERVED 101015, ELSEY, HOST

FAN	HP-4
EQUIP. LOCATION	CEILING
TYPE / SIZE	HOOT DUAL

EQUIPMENT MFG.	TRANE
MODEL	GEHD03041 POLYORLID
SERIAL NUMBER	W06K6 0878

10 x 12 = 120 = 275 FAN DATA

	SPECIFIED	ACTUAL
TOTAL CFM- FAN	1000	NIL
TOTAL CFM - OUTLET	1000	1000
R/A CFM	DNL	945
O/A CFM	175	200
FAN RPM	DNL	D.D.
TSP (ESP)	"	0.27
INLET SP	0.14	
DISCHARGE SP	0.13	
FILTER ΔP	0.02	
SCP		

FAN SHEAVE	D.D.
FAN SHAFT	
SHAFT C / C	
BELT SIZE / NUMBER	

MOTOR SHEAVE	D.D.
MOTOR SHAFT	
SHEAVE ADJ.	
FIXED SHEAVE	<input type="checkbox"/>

MOTOR DATA

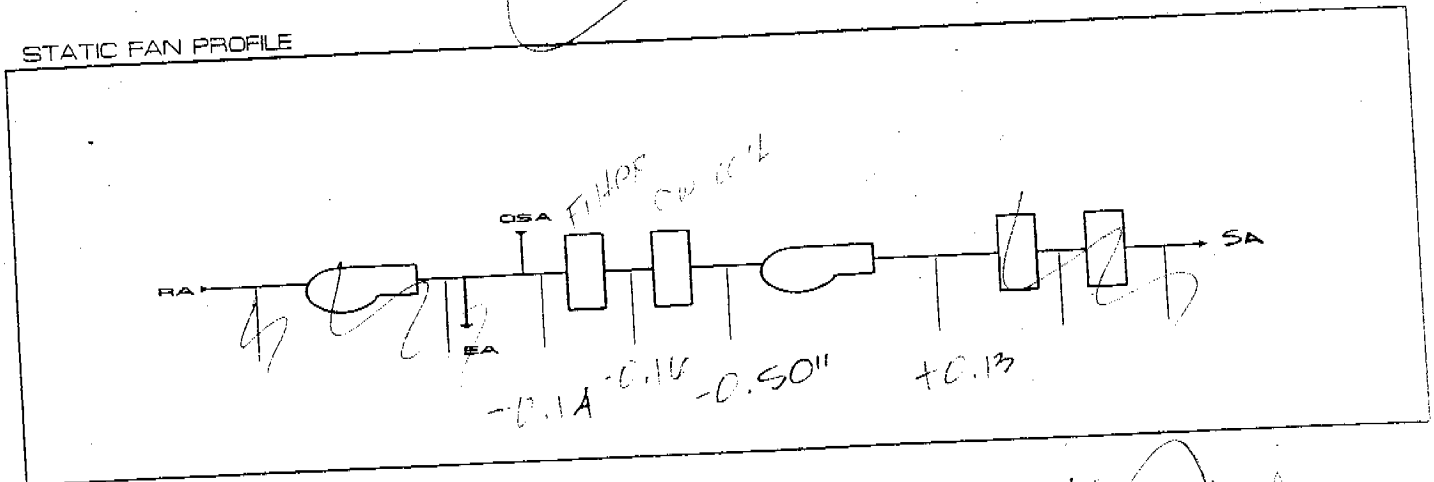
MOTOR MFG.	FASCO
MOTOR HP	1/3
SERVICE FACTOR	T.P.
PHASE / Hz	1 / 60 Hz
HEATER SIZE / RATING	
MOTOR FRAME#	DNL

	SPECIFIED	ACTUAL
VOLTAGE	460	480
AMPERAGE	0.75	0.70
MOTOR BHP	DNL	
MOTOR RPM	1075	D.D.
SPEED	3600	LOW

TEMPERATURE DATA

COOLING	EAT		LAT	
HEATING	EAT		LAT	

STATIC FAN PROFILE



REMARKS:



AIR MOVING EQUIPMENT DATA

AREA SERVED DINING III / PRIVATE DINING

FAN	HP-5	EQUIPMENT MFG.	TRANE
EQUIP. LOCATION	CP111WE1	MODEL	GEHB12041D0CB0R4D01
TYPE / SIZE	110" x 12" x 12"	SERIAL NUMBER	W06 K59110

FAN DATA

	SPECIFIED	ACTUAL		
TOTAL CFM- FAN	2000	2005	FAN SHEAVE	BK 65 X1
TOTAL CFM - OUTLET	3800	3015	FAN SHAFT	1"
R/A CFM	DNL	790	SHAFT C / C	14" - 15/16"
O/A CFM	700	1270	BELT SIZE / NUMBER	B 44
FAN RPM	1720	1720	MOTOR SHEAVE	VP 50
TSP / ESP		0.18	MOTOR SHAFT	1 1/8"
INLET SP		0.20	SHEAVE ADJ.	MID / MAX
DISCHARGE SP		0.12	FIXED SHEAVE	<input type="checkbox"/>
FILTER ΔP		-		
SCP				

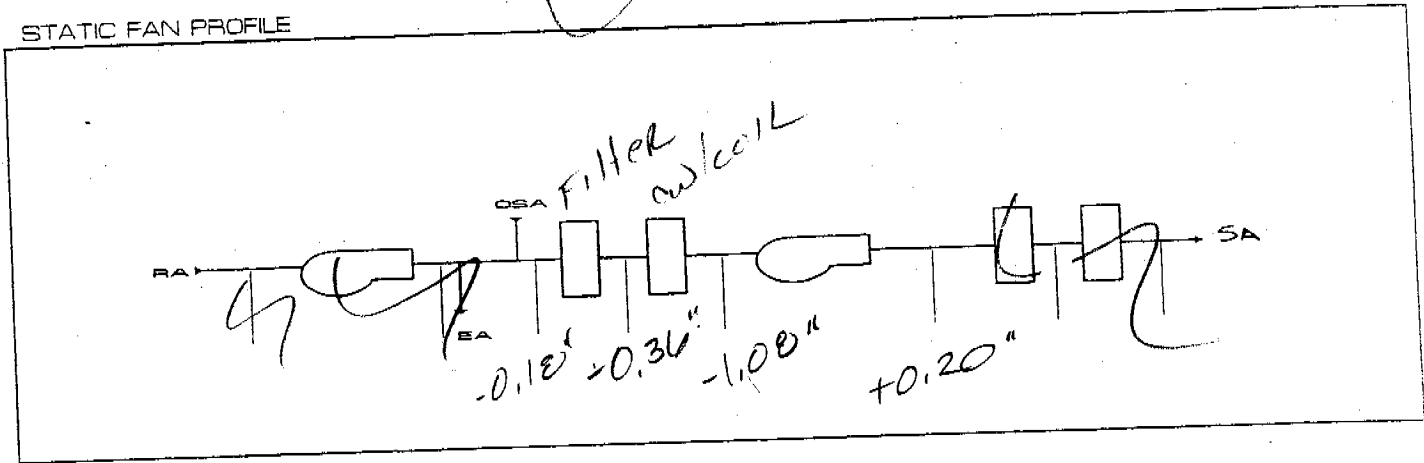
MOTOR DATA

	SPECIFIED	ACTUAL
MOTOR MFG.	BALDOR	
MOTOR HP	3.0	
SERVICE FACTOR	1.15	
PHASE / Hz	3 / 60 Hz	
HEATER SIZE / RATING		
MOTOR FRAME#	56 H2	
VOLTAGE	460	483 - 481 - 482
AMPERAGE	4.0	3.9 - 3.9 - 4.0
MOTOR BHP	DNL	2.98
MOTOR RPM	1725	1720
SPEED		

TEMPERATURE DATA

COOLING	EAT	LAT
HEATING	EAT	LAT

STATIC FAN PROFILE



REMARKS:



DIFFUSER AND GRILLE TEST SHEET

ROOM	OUTLET NO.	CODE	SIZE	EFFECTIVE AREA	DESIGN		INITIAL	FINAL	
					FPM	CFM	CFM	FPM	CFM
109	1	LD	12"φ			900	140		500
	2						375		495
	3						385		475
	4						60		460
	5	CD	4"φ			250	630		460
	6						730		460
	7						710		475
	8						720		480
TOTAL SUPPLY							3810		3805

REMARKS:

FORM B



AIR MOVING EQUIPMENT DATA

AREA SERVED BAR DINING

FAN	HP-6	EQUIPMENT MFG.	TRANE
EQUIP. LOCATION	COLLEGE	MODEL	GEHB12041DOCBORLDD10
TYPE / SIZE	1001PUMPS	SERIAL NUMBER	W06K59111

FAN DATA

	SPECIFIED	ACTUAL		
TOTAL CFM - FAN	2800	NVL	FAN SHEAVE	BK 65
TOTAL CFM - OUTLET	2800	3030	FAN SHAFT	1"
R/A CFM	DNL	2990	SHAFT C/C	14" 15/16
O/A CFM	600	640	BELT SIZE / NUMBER	B 44
FAN RPM	1590	DNL	MOTOR SHEAVE	1 UP 50
TSP (ESP)	"	0.21	MOTOR SHAFT	1 1/8"
INLET SP		0.43	SHEAVE ADJ.	MAX
DISCHARGE SP		0.24	FIXED SHEAVE	<input type="checkbox"/>
FILTER ΔP				
SCP				

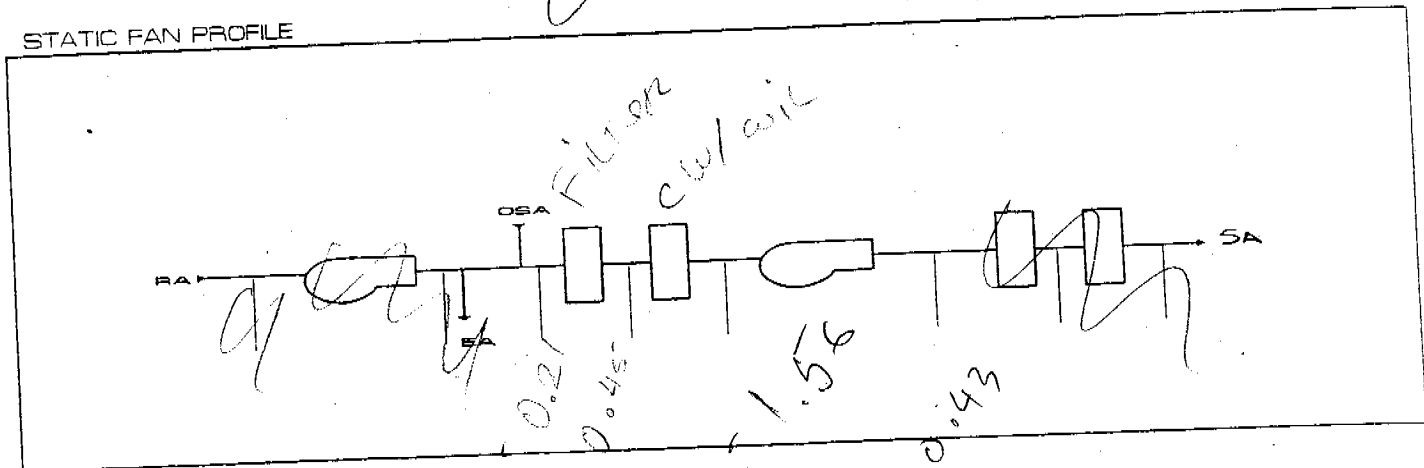
MOTOR DATA

		SPECIFIED	ACTUAL
MOTOR MFG.	BAIDOR	460	482
MOTOR HP	3.0	4.1	3.7, 3.7, 3.7
SERVICE FACTOR	1.15	DNL	2.75
PHASE / Hz	3 / 60 Hz	1725	1720
HEATER SIZE / RATING			
MOTOR FRAME#	56 H2		

TEMPERATURE DATA

COOLING	EAT	LAT
HEATING	EAT	LAT

STATIC FAN PROFILE



REMARKS:



DIFFUSER AND GRILLE TEST SHEET

ROOM	OUTLET NO.	CODE	SIZE	EFFECTIVE AREA	DESIGN		INITIAL	FINAL	
					FPM	CFM	CFM	FPM	CFM
102	1	LD	12"Ø			500	390	380	445
102	2		10"Ø			300	310	230	360
102	3		12"Ø			900	160 (1)	380	455
	4		12"Ø			900	380	380	475
	5		12"Ø			600	340	380	465
102	6		10"Ø			300	330	230	285
101	7		12"Ø			400	355	340	435
"	8		12"Ø			400	385 -	340 -	430
"	9		10"Ø			300	250 -	230	290
TOTAL SUPPLY						3600	2900		3630
							76%		

REMARKS:

(1)

FORM B



AIR MOVING EQUIPMENT DATA

AREA SERVED KITCHEN

FAN	MAU-1	EQUIPMENT MFG.	TRANE
EQUIP. LOCATION	CEILING	MODEL	MEHB12041D0000
TYPE / SIZE		SERIAL NUMBER	W06K5112

FAN DATA

	SPECIFIED	ACTUAL		
TOTAL CFM- FAN	3200	NVL	FAN SHEAVE	BK65
TOTAL CFM - OUTLET	3200	3790	FAN SHAFT	1"
R/A CFM	-	-	SHAFT C / C	15"
Q/A CFM	100%	100%	BELT SIZE / NUMBER	B421
FAN RPM	DNL	1170	MOTOR SHEAVE	10P50
TSP (ESP)	"	0.25	MOTOR SHAFT	1/2"
INLET SP		0.20	SHEAVE ADJ.	MID/MAX
DISCHARGE SP		0.25	FIXED SHEAVE	<input type="checkbox"/>
FILTER ΔP		0.09		
SCP				

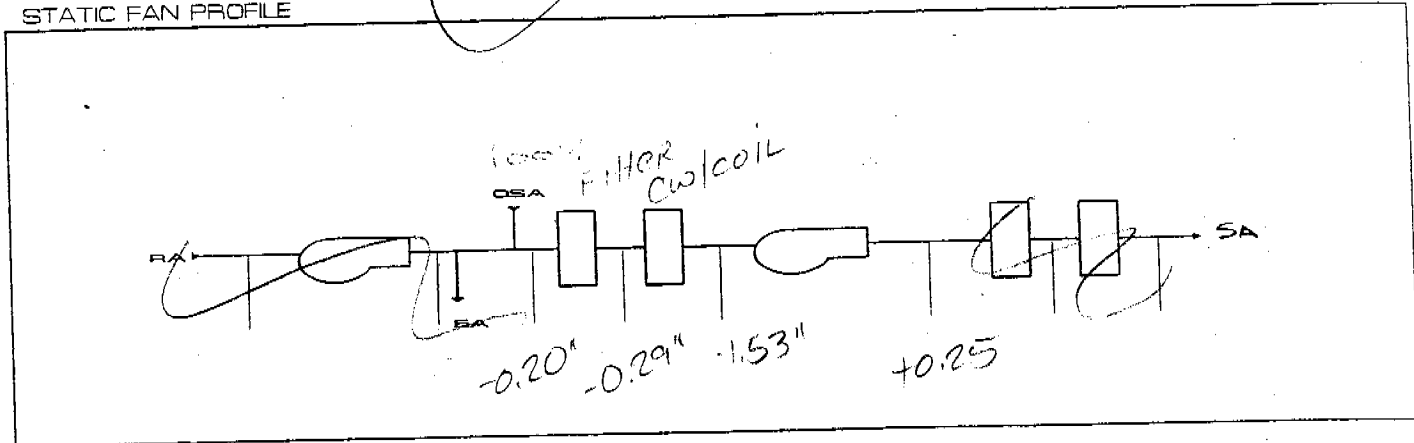
MOTOR DATA

		SPECIFIED	ACTUAL
MOTOR MFG.	BAIRD	400	481-462-483
MOTOR HP	3.0	4.1	3.7-3.8-3.9
SERVICE FACTOR	1.15	DNL	2.78
PHASE / Hz	2/60	1725	1785
HEATER SIZE / RATING			
MOTOR FRAME#	0618		

TEMPERATURE DATA

COOLING	EAT		LAT	
HEATING	EAT		LAT	

STATIC FAN PROFILE



REMARKS:



DIFFUSER AND GRILLE TEST SHEET

ROOM	OUTLET NO.	CODE	SIZE	EFFECTIVE AREA	DESIGN		INITIAL	FINAL	
					FPM	CFM	CFM	FPM	CFM
121	1	CD	24x24			750	860		760
11	2	11	11			750	1160		760
122	3	SWS	36x12			DNL(1)	325		435
	4		11				335		430
	5		11				330		425
	6		48x12				295		450
	7		11				315		460
TOTAL SUPPLY						3800	3620		3590
							95%		

REMARKS

(1) SUM OF OUTLETS SPECIFIED TO BE 2350 CFM



AIR MOVING EQUIPMENT DATA

AREA SERVED COOK HOOD

FAN	<u>EF-1</u>	EQUIPMENT MFG.	<u>GREENHECK</u>
EQUIP. LOCATION	<u>ROOF</u>	MODEL	<u>SWB-216-50-CW-UB-f</u>
TYPE / SIZE	<u>EXHAUST</u>	SERIAL NUMBER	<u>06J0111</u>

FAN DATA

	SPECIFIED	ACTUAL		
TOTAL CFM- FAN	<u>4678</u>	<u>4706</u>	FAN SHEAVE	<u>4.4X1B-SH</u>
TOTAL CFM - OUTLET	<u>4678</u>	<u>4701</u>	FAN SHAFT	<u>1 1/4"</u>
R/A CFM	<u>/</u>	<u>/</u>	SHAFT C / C	<u>13.0"</u>
O/A CFM	<u>/</u>	<u>/</u>	BELT SIZE / NUMBER	<u>BX40 / 1</u>
FAN RPM	<u>2360</u>	<u>2187 2262</u>	MOTOR SHEAVE	<u>IVP65</u>
TSP / ESP	<u>3.0</u>		MOTOR SHAFT	<u>1 1/8"</u>
INLET SP	<u>2.67</u>		SHEAVE ADJ.	<u>MID</u>
DISCHARGE SP	<u>OPEN</u>		FIXED SHEAVE	<input type="checkbox"/>
FILTER ΔP	<u>-</u>			
SCP	<u>-</u>			

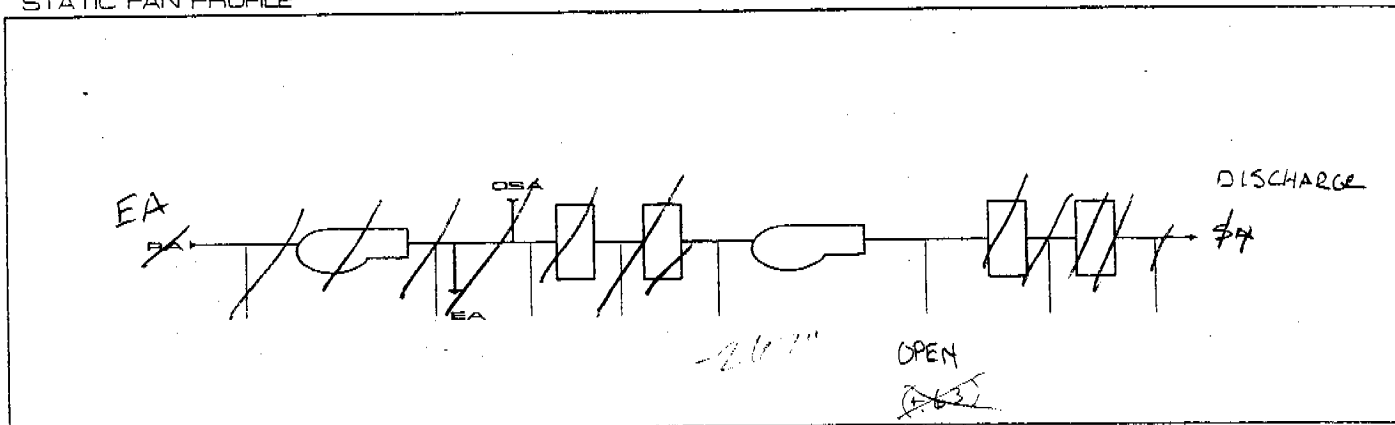
MOTOR DATA

		SPECIFIED	ACTUAL
MOTOR MFG.	<u>RELIANCE</u>	<u>4600</u>	<u>481 483-490</u>
MOTOR HP	<u>5</u>	<u>6.6</u>	<u>4.8-4.9-4.8</u>
SERVICE FACTOR	<u>1.15</u>	<u>DNL</u>	<u>3.66</u>
PHASE / Hz	<u>3/60</u>	<u>1745</u>	<u>1772</u>
HEATER SIZE / RATING	<u>-</u>	<u>SINGLE</u>	<u>-</u>
MOTOR FRAME#	<u>184T</u>		

TEMPERATURE DATA

COOLING	EAT	<u>/</u>	LAT	<u>/</u>
HEATING	EAT	<u>/</u>	LAT	<u>/</u>

STATIC FAN PROFILE



REMARKS:



AIR MOVING EQUIPMENT DATA

AREA SERVED COOK HOOD

FAN	<u>EF-2</u>	EQUIPMENT MFG.	<u>GREENHECK</u>
EQUIP. LOCATION	<u>ROOF</u>	MODEL	<u>SWB-210-10-CW-UB-6</u>
TYPE / SIZE	<u>EXHAUST</u>	SERIAL NUMBER	<u>06J01116</u>

FAN DATA

	SPECIFIED	ACTUAL		
TOTAL CFM- FAN	<u>1100</u>	<u>1215</u>	FAN SHEAVE	<u>AK 24</u>
TOTAL CFM - OUTLET	<u>1100</u>	<u>1196</u>	FAN SHAFT	<u>3/4"</u>
R/A CFM	<u>/</u>	<u>/</u>	SHAFT C / C	<u>8.25"</u>
O/A CFM	<u>/</u>	<u>/</u>	BELT SIZE / NUMBER	<u>1X-24 / 1</u>
FAN RPM	<u>2879</u>	<u>2517</u>	MOTOR SHEAVE	<u>VP40</u>
TSP / ESP	<u>2.0</u>	<u>2.32</u>	MOTOR SHAFT	<u>5/8"</u>
INLET SP	<u>1.67</u>		SHEAVE ADJ.	<u>MAX</u>
DISCHARGE SP	<u>.65</u>		FIXED SHEAVE	<input type="checkbox"/>
FILTER ΔP	<u>-</u>			
SCP	<u>-</u>			

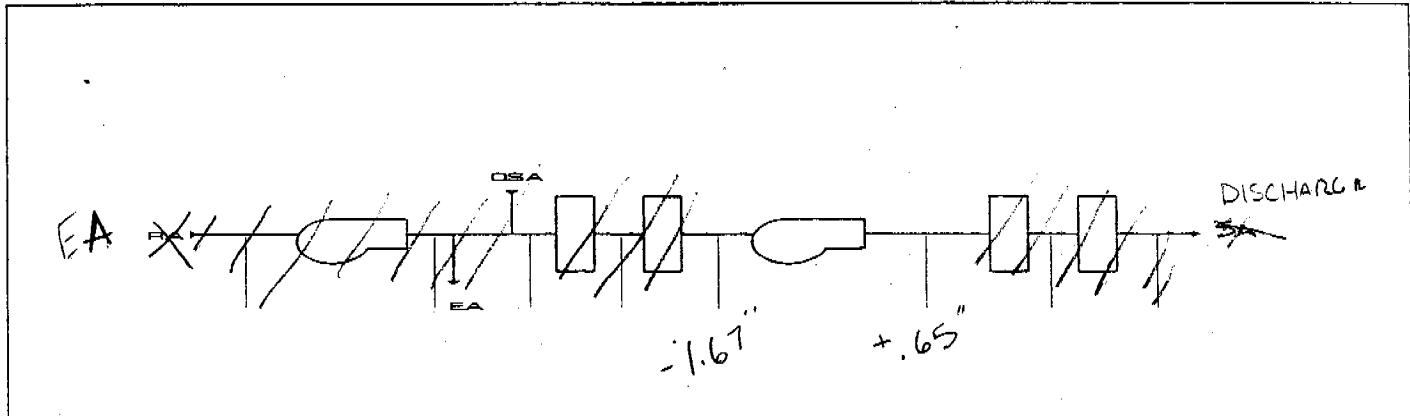
MOTOR DATA

	SPECIFIED	ACTUAL
MOTOR MFG.	<u>MARATHON</u>	
MOTOR HP	<u>1.0</u>	
SERVICE FACTOR	<u>1.15</u>	
PHASE / Hz	<u>3/60</u>	
HEATER SIZE / RATING	<u>-</u>	
MOTOR FRAME#	<u>56</u>	
VOLTAGE	<u>460</u>	<u>478 - 479 - 480</u>
AMPERAGE	<u>1.60</u>	<u>1.4 1.3 1.4</u>
MOTOR BHP	<u>DNL</u>	<u>0.85</u>
MOTOR RPM	<u>1725</u>	<u>1727</u>
SPEED	<u>SINGLE</u>	<u>-</u>

TEMPERATURE DATA

COOLING	EAT	LAT
HEATING	EAT	LAT

STATIC FAN PROFILE



REMARKS:



AIR MOVING EQUIPMENT DATA

AREA SERVED DISHWASHER EXHAUST

FAN	EF-3	EQUIPMENT MFG.	GREENHECK
EQUIP. LOCATION	ROOF	MODEL	SWB-210-5-CW-VB-X
TYPE / SIZE	EXHAUST	SERIAL NUMBER	06J0115

FAN DATA

	SPECIFIED	ACTUAL		
TOTAL CFM- FAN	1000	995	FAN SHEAVE	AX27
TOTAL CFM - OUTLET	1000	995	FAN SHAFT	3/4"
R/A CFM	/	/	SHAFT C/C	8.5"
O/A CFM	/	/	BELT SIZE / NUMBER	AP24 / 1
FAN RPM	1725	1902 2020	MOTOR SHEAVE	1VP34
TSP / ESP	1.5	1.94	MOTOR SHAFT	3/8
INLET SP	1.53		SHEAVE ADJ.	MID / (MAX)
DISCHARGE SP	.41		FIXED SHEAVE	<input type="checkbox"/>
FILTER ΔP	-			
SCP	-			

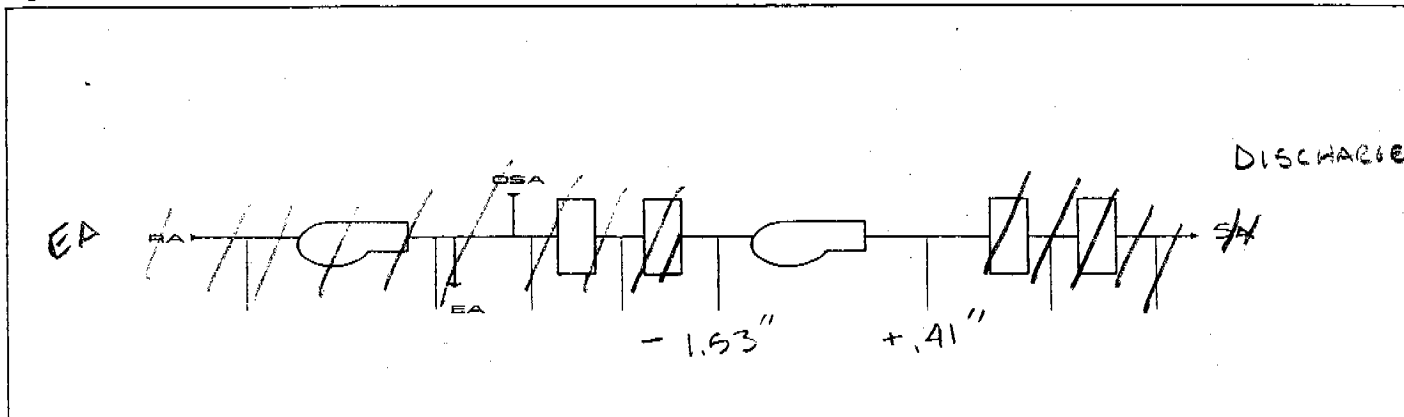
MOTOR DATA

		SPECIFIED	ACTUAL
MOTOR MFG.	MARATHON	460	479 478 477
MOTOR HP	1/2	1.1	1.1 1.0 1.0
SERVICE FACTOR	1.25	DNL	-
PHASE / Hz	3/60	1725	1711
HEATER SIZE / RATING	-	SINGLE	-
MOTOR FRAME#	56		

TEMPERATURE DATA

COOLING	EAT	/	LAT	/
HEATING	EAT	/	LAT	/

STATIC FAN PROFILE



REMARKS:



AIR MOVING EQUIPMENT DATA

AREA SERVED

TOWERS 110, 112, 126, 127

FAN	EF-4
EQUIP. LOCATION	ROOF
TYPE / SIZE	EXHAUST

EQUIPMENT MFG.	GREENHECK
MODEL	SWB-210-4-CW-UB-X
SERIAL NUMBER	06J01116

FAN DATA

	SPECIFIED	ACTUAL
TOTAL CFM- FAN	720	790
TOTAL CFM - OUTLET	720	735
R/A CFM	/	/
D/A CFM	/	/
FAN RPM	1725	1556
TSP / ESP	1.0	0.93
INLET SP	0.62	
DISCHARGE SP	0.31	
FILTER ΔP	-	
SCP	-	

FAN SHEAVE	AK3.2
FAN SHAFT	3/4"
SHAFT C / C	8.25"
BELT SIZE / NUMBER	3L260R

MOTOR SHEAVE	1VP30
MOTOR SHAFT	1/2"
SHEAVE ADJ.	MID
FIXED SHEAVE	<input type="checkbox"/>

MOTOR DATA

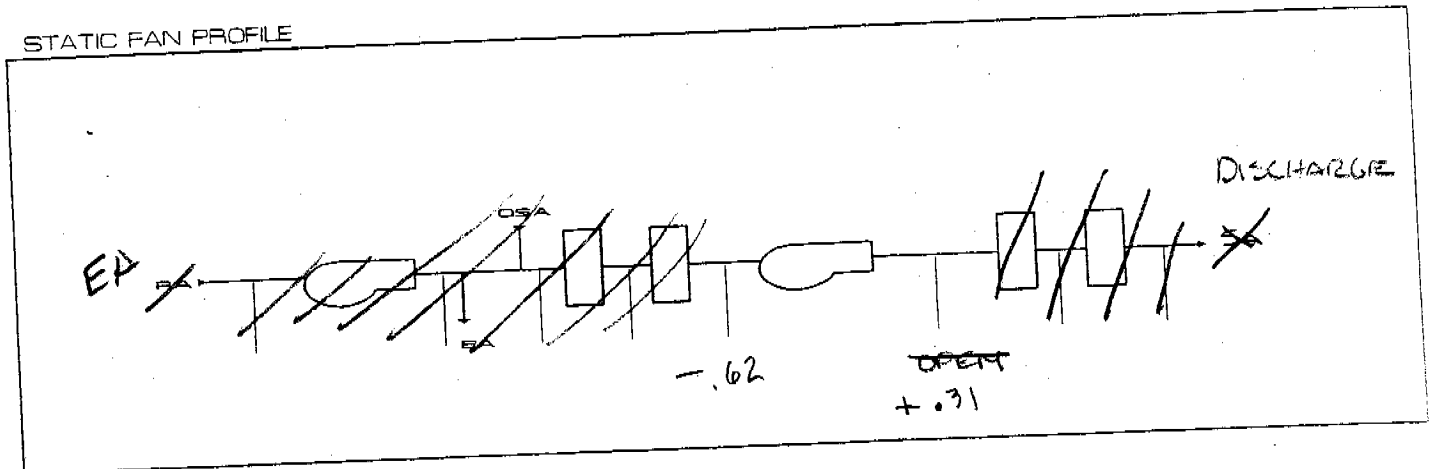
MOTOR MFG.	MARATHON
MOTOR HP	1/4
SERVICE FACTOR	1.35
PHASE / Hz	1 / 60
HEATER SIZE / RATING	-
MOTOR FRAME#	487

	SPECIFIED	ACTUAL
VOLTAGE	115	120
AMPERAGE	3.0	3.6
MOTOR BHP	DNL	-
MOTOR RPM	1725	1726
SPEED	SINGLE	-

TEMPERATURE DATA

COOLING	EAT	/	LAT	/
HEATING	EAT	/	LAT	/

STATIC FAN PROFILE



REMARKS

CITY OF SACRAMENTO

CERTIFICATE OF OCCUPANCY

For Information Contact (916) 808-5716

Building Address: 1111 J STREET Permit No.: 0607277
Building Use: T.I. DBA: FULL SERVICE RESTAURANT ON 1ST FL, MINOR EQUIPMENT ROOM AND EGRESS IN BASEMENT Occupancy: M
Building Owner: MC CORMICK & SCHMICK'S Construction Type: _____
Owner Address: PORTLAND, OR Sprinkled? Yes No
Portion of Building Occupied: 1ST FLOOR/BASEMENT Area: 8,293 Sq. Ft.
02/12/2007 BRIAN KRINKE  CARL HEFNER
Date By: (Print) Sign ASSISTANT BUILDING OFFICIAL

[Finaled By: DPB, TMR, TMR, JL, GRS, EB, RM]

This Certificate, issued pursuant to the requirements of Section 109 of the Uniform Building Code, certifies that at time of issuance the described portion of the building has been inspected for compliance with the Uniform Building Code, as adopted per Title 15 of the Sacramento City Code for the group and division of occupancy and use for which the proposed occupancy is classified. Issuance of this certificate shall not be construed as an approval of a violation of any Codes, or Federal, State and City Laws or Ordinances. Certificates presuming to give authority to such violation shall not be valid. This certificate shall be posted in a conspicuous place on the premises and shall not be removed except by the Chief Building Official. No changes shall be made in the character of occupancy or use without approval of the Chief Building Official.

POST IN A CONSPICUOUS PLACE

**CITY OF SACRAMENTO
DEVELOPMENT SERVICES DEPARTMENT**

Address: 1111 J ST
Location: 1111 J ST

Area: 1
Thomas Bros: 297D3

PERMIT #: 0607277

**PAID
CITY OF SACRAMENTO**

INSPECTIONS: 916-808-7622

Parcel #: 00600470120000
DBA:

NOV 30 2006

FIELD SERVICES: 916-808-5716

NEW CITY HALL

Job Description: TENANT IMPROVEMENT-CONSTRUCTION OF FULL SERVICE RESTAURANT ON 1ST FL, MINOR EQUIPMENT ROOM AND EGRESS IN BASEMENT

BLDG: Y MECH: Y PLBG: Y ELEC: Y SITE: Y FIRE: Y DE: N UTIL: N COMBO: N

Gas line test 47

29

39/59

48

Screw # 22

79

31



ODE	INSPECTION	DATE	INSPECTOR
10	BLDG - FOUNDATION FORMS		
60	ELEC - UFER		
40	PLMG - UNDERFLOOR / SLAB		
12	BLDG - CONCRETE SLAB FORMS		
30	MECH - UNDERFLOOR / SLAB		
62	ELEC - CONDUIT / SLAB		
61	ELEC - CONDUIT / UNDERGROUND		
13	BLDG - FLOOR JOISTS OR GIRDERS		
15	BLDG - INSULATION FLOOR		
85	FLOOD ELEVATION CERTIFICATE / FLOOR		
26	BLDG - SHEAR NAIL		
17	BLDG - ROOF PLYWOOD NAILING		
19	BLDG - FRAME		
31	MECH - TOP / ROUGH	<i>12-21-06</i>	<i>1-407-98</i>
41	PLMG - TOP / ROUGH	<i>12-8-06</i>	<i>1-407-98</i>
63	ELEC - ROUGH	<i>12-8-06</i>	<i>1-407-98</i>
81	FRAME - ACROSS-THE-BOARD (BMPE)		
64	ELEC - ROUGH WALLS	<i>12/8/06</i>	<i>W...</i>
65	ELEC - ROUGH CEILING	<i>12-27-06</i>	<i>S...</i>
21	BLDG - FRAME / CEILING (T-BAR)	<i>12-21-06</i>	<i>...</i>
14	BLDG - INSULATION / WALL (RESIDENTIAL/APTS)		
83	BLDG - ROOF / IN-PROGRESS		
84	BLDG - SIDING / IN-PROGRESS		

CITY OF SACRAMENTO INSPECTION REQUESTS 808-7622

ADDRESS: _____ **PERMIT #** _____

CODE	INSPECTION	DATE	INSPECTOR
22	BLDG - SHEETROCK NAILING (COMM & SHEAR)	12-15-06	JZ
18	BLDG - EXTERIOR LATH / SIDING		
OK TO PLASTER OR TAPE THE ABOVE:			
66	ELEC - SERVICE UNDERGROUND CONDUIT		
43	PLMG - SEWER SERVICE		
42	PLMG - WATER SERVICE		
OK TO COVER ALL OF THE ABOVE:			
47	PLMG - GAS TEST	11-5-07	J. Rodgers
48	PLMG - TEMP GAS	ISSUED:	EXPIRES:
68	ELEC - POWER POLE		
67	ELEC - TEMP POWER #		
SWIMMING POOLS ONLY			
45	PLMG - IRRIGATION SERVICE PIPING		
49	POOL PLMG - UNDERGROUND GAS PIPING		
72	POOL ELEC - CONDUIT / UNDERGROUND		
27	POOL BLDG - STRUCTURAL STEEL		
51	POOL PLMG - PRE-GUNITE		
70	POOL ELEC - PRE-GUNITE		
73	POOL PRE-PLASTER		
71	POOL ELEC - PRE DECK		
FINAL APPROVALS			
92	SITE	2-9-07	J. Rodgers
29	BUILDING	2-9-07	J. Rodgers
79	ELECTRICAL	2-5-07	J. Rodgers
59	PLUMBING	11-31-07	J. Rodgers
39	MECHANICAL		
194	FIRE	2-08-07	B. Brown
98	SIGNS - ELECTRICAL		
99	SIGNS - BUILDING		
80	FLOOD ELEVATION CERTIFICATE / FINAL		
	HEALTH DEPARTMENT FINAL APPROVAL	2-5-07	R. Munn
	ENERGY COMPLIANCE DOCUMENTATION		
	SPECIAL INSPECTION REPORTS		
DO NOT OCCUPY BUILDING UNTIL ALL OF THE ABOVE HAVE BEEN SIGNED AND A CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED			

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK AUTHORIZED IS NOT COMMENCED WITH 180 DAYS.
PLEASE SEE OTHER SIDE



Mark McClary 8-5-07
916-997-7702
SIGN OFF Hood & Dew

POST THIS CARD IN A CONSPICUOUS PLACE!

SACRAMENTO CITY FIRE DEPARTMENT
2101 ARENA BLVD., STE 200
SACRAMENTO, CA 95834

INSPECTION SERVICES
24 HOUR INSPECTIONS REQUEST LINE CALL (916) 808-1643
MINIMUM OF 48 HOURS NOTICE REQUIRED FOR INSPECTIONS / APPOINTMENTS

PERMIT # 0607277 CHECKED BY GAL DATE 11/20/06
SCOPE OF WORK Tenant Improvement
ADDRESS 1111 J Street
JOB NAME McCormick & Schmick's
CONTRACTOR Shawmut Const. PHONE (917) 622-7103

- NOTE:
- 1) Do not cover walls or ceiling or bury piping until the following items are signed off.
 - 2) An all weather (paved) emergency access roadway and operating fire hydrants shall be provided prior to any combustible storage or construction on site.

SITE		
INSPECTIONS	INITIALS	DATE
Underground Fire Mains/Visual (Class 200)	201	
Hydrostatic test of Fire Main (Class 200)	201	
Flushing of Fire Main (Class 200)	201	
Access/Fire Lane/Striping	701	
Gates/Fences/Knock	701	
Above ground tank	600	

FIRE & LIFE SAFETY		
INSPECTIONS	INITIALS	DATE
Fire Doors		
Smoke Venting		
High Piled Stock		
Flammable liquids		
Hazardous Materials		
Special Hazards		
Posted signs for occupant load	<u>CE</u>	<u>2-7-07</u>

EQUIPMENT		
INSPECTIONS	INITIALS	DATE
Fire Sprinkler System Piping/Visual	200	
Fire Sprinkler Hydrostatic Test	200	<u>12-6-06</u>
Standpipes	200	<u>12-6-06</u>
Fire Alarms	100	
Fire Sprinkler Monitoring System	101	
Fire Alarm Monitoring System	102	
Kitchen Hood & Duct System	311	
Special Extinguishing System	308	
Fire Extinguishers	194	<u>CE</u> <u>2-7-07</u>
Fire Pumps	202	

SPECIAL REQUIREMENTS		
	INITIALS	DATE
<u>EXIT lights</u>	<u>CE</u>	<u>2-7-07</u>
<u>Emergency lights</u>	<u>CE</u>	<u>2-7-07</u>
<u>MUSIC SIGN</u>	<u>CE</u>	<u>2-7-07</u>

FINAL APPROVAL
Fire Department Approval BBW 2-8-07

NOTICE: Failure to comply with an order of the Fire Department may result in the issuance of a citation and/or discontinued use of the building or premises.

ORIGINAL CARD TO BE POSTED AT THE WORK SITE
KEEP THIS CARD FOR REFERENCE-THIS IS YOUR RECORD OF FIELD INSPECTIONS
There is a \$25.00 fee for replacement/lost cards.