

CITY OF SACRAMENTO

Permit No: 9805082

1231 I Street, Sacramento, CA 95814

Insp Area: 3

Site Address: 3810 23RD AV SAC

Sub-Type: NSFR

Parcel No: 0220024012

Housing (Y/N): N

CONTRACTOR

B P S CONSTRUCTION CO
109 OTTO CIR
SUITE E 95822

OWNER

RESIDENTIAL GROWTH FUND LLC
25 NW POINT BL
ELKGROVE VLG IL 60007

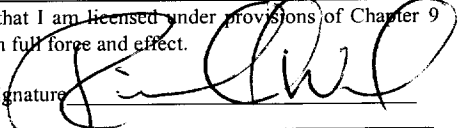
ARCHITECT

Nature of Work: NEW SINGLE FAMILY HOME ON EXISTING FOUNDATION

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 693702 Date 7/8/98 Contractor Signature 

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

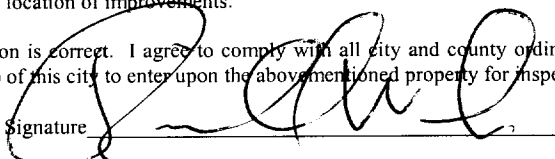
____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the above mentioned property for inspection purposes.

Date 7-8-98 Applicant/Agent Signature 

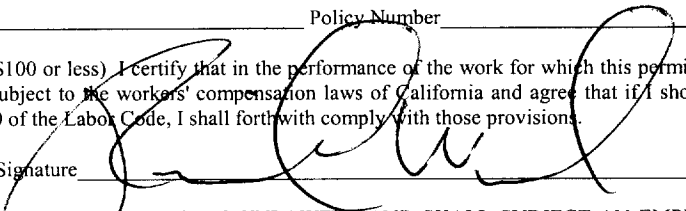
WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____ Policy Number _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 7-8-98 Applicant Signature 

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.



ICBO Evaluation Service, Inc.

5360 WORKMAN MILL ROAD • WHITTIER, CALIFORNIA 90601-2299

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EVALUATION REPORT

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ER-4004

Reissued May 1, 1997

Filing Category: EXTERIOR COATINGS (060)

OMEGA DIAMOND WALL, THORO ONE COAT, AND SENERGY ONE COAT INSULATING EXTERIOR STUCCO SYSTEMS

OMEGA PRODUCTS INTERNATIONAL, INC.
282 SOUTH ANITA
ORANGE, CALIFORNIA 92668

HARRIS SPECIALTY CHEMICALS INC.
10245 CENTURION PARKWAY NORTH
JACKSONVILLE, FLORIDA 32256

1.0 SUBJECT

Omega Diamond Wall, Thoro One Coat, and Senergy One Coat Insulating Exterior Stucco Systems.

2.0 DESCRIPTION

2.1 General:

The Omega Diamond Wall, Thoro One Coat, and Senergy One Coat Insulating Exterior Stucco Systems are proprietary mixtures of portland cement, sand, fibers, water and proprietary ingredients reinforced with wire fabric or metal lath, and applied to substrates of expanded polystyrene (EPS) insulation board, Fome-Cor, wood structural panels, fiberboard, and gypsum sheathing. The systems are installed on exterior walls of wood or steel stud construction.

2.2 Materials:

2.2.1 Concentrate: A factory-prepared mixture of Type I or II portland cement complying with UBC Standard 19-1, chopped fibers and proprietary additives. The mixture is packaged in 80-pound (36 kg) bags. Approximately 4 1/2 to 6 gallons (17 to 22.7 L) of water and between 160 and 200 (acrylic fiber) or 240 (glass fiber) pounds (72 and 91 or 109 kg) of sand are added to each bag in the field, and mixing is done in accordance with manufacturer's recommendations. As an alternate, the Diamond Wall PM system allows the substitution of the Omega Diamond Wall PM Admix 500 for one half of the water requirement. The Diamond Wall PM system requires the inspections specified in Section 2.2.1 of this report.

2.2.2 Sand: Must be clean and free from deleterious amounts of loam, clay, silt, soluble salts and organic matter. Sampling and testing must comply with ASTM C 144 or C 897. Sand must be graded according to ASTM C 144 or C 897 or within the following limits:

RETAINED ON U.S. STANDARD SIEVE	PERCENT RETAINED BY WEIGHT ± 2 Percent	
	Min.	Max.
No. 4	—	0
No. 8	0	10
No. 16	10	40
No. 30	30	65
No. 50	70	90
No. 100	95	100

2.2.3 Insulation Board:

2.2.3.1 Expanded Polystyrene (EPS) Insulation Board: EPS board has a nominal density of 1.5 pounds per cubic foot (24 kg/m³), a Class I flame-spread rating and a smoke-developed rating not exceeding 450. Unbacked boards are 1 to 1 1/2 inches (2.5 to 3.8 mm) thick and provided with 3/8-inch-high (9.5 mm) tongues with compatible grooves for horizontal joints. See Figure 1 for joint details. All boards must have recognition in an evaluation report issued by ICBO ES or the National Evaluation Service. See Section 2.8 for board identification.

2.2.3.2 Extruded Polystyrene (XEPS) Insulation Board: This board has a minimum nominal density of 1.5 pounds per cubic foot (24 kg/m³). See Section 2.2.3.1 for other details and requirements.

2.2.3.3 Fome-Cor: Fome-Cor board is described in Evaluation Report ER-3335.

2.2.4 Lath:

2.2.4.1 Wire Fabric Lath: Minimum No. 20 gage, 1-inch (25 mm) galvanized steel woven-wire fabric. Lath must be self-furring or furred when applied over all substrates except unbacked polystyrene board. Self-furring lath for coatings must comply with the following requirements.

1. The maximum total coating thickness is 1/2 inch (12.7 mm).
2. Furring crimps must be provided at maximum 6-inch (152 mm) intervals each way. The crimps must fur the body of the lath 1/8 inch (3.2 mm), minimum, from the substrate after installation.

2.2.4.2 Metal Lath: Complies with Table 25-B of the code. Furring and self-furring requirements are as set forth for wire fabric lath.

2.2.5 Gypsum Sheathing Board: Water-resistant core gypsum sheathing complying with ASTM C 79-92.

2.2.6 Fiberboard: Minimum 1/2-inch-thick (12.7 mm), asphalt-impregnated fiberboard complying with ANSI/AHA A 194.1 as a regular-density sheathing.

2.2.7 Wood Structural Panels: Minimum 5/16-inch-thick (7.9 mm) panels with exterior glue for studs spaced 16 inches (406 mm) on center and, minimum 3/8-inch-thick (9.5 mm) panels with exterior glue for studs spaced 24 inches (610 mm) on center. Plywood complies with UBC Standard 23-2. Oriented strand board complies with UBC Standard 23-3.

2.2.8 Caulking: Acrylic latex caulking material complying with ASTM C 834.

2.2.9 Weather-resistive Barrier: Minimum Grade D kraft building paper complying with UBC Standard 14-1, or asphalt-saturated rag felt complying with UL Standard Specification 55-A-1983, is required. The weather-resistive barrier is placed over all substrates except for EPS board where the barrier may be behind the board. Application of the barrier complies with Section 1402.1 of the code. When applied over any wood-based sheathing, the barrier must be a minimum two layers of Grade D building paper as set forth in Sec-

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This report is based upon independent tests or other technical data submitted by the applicant. The ICBO Evaluation Service, Inc., technical staff has reviewed the test results and/or other data, but does not possess test facilities to make an independent verification. There is no warranty by ICBO Evaluation Service, Inc., express or implied, as to any "Finding" or other matter in the report or as to any product covered by the report. This disclaimer includes, but is not limited to, merchantability.

nailed to top and bottom plates at 7 inches (178 mm) on center. A weather-resistive barrier is required over the sheathing. The lath and wall coating are then applied as described in Section 2.3.2.

2.4.2 Second Assembly:

2.4.2.1 Interior Face: One layer of $5/8$ -inch-thick (15.9 mm), Type X gypsum wallboard is applied horizontally to the interior face of wood studs spaced 16 inches (406 mm) on center, maximum. The wallboard is fastened to studs with 5d gypsum wallboard nails having minimum $15/64$ -inch-diameter (6 mm) heads at 6 inches (152 mm) on center to studs, plates and sills. All wallboard joints must be backed with minimum 2-by-4 wood framing taped and treated with joint compound. Fastener heads must also be treated with joint compound. Mineral wool insulation batts, R-13, $35/8$ inches (92 mm) thick and having a minimum 1.97 pcf (31.56 kg) density, are placed in the cavities between studs, and secured to studs.

2.4.2.2 Exterior Face: A weather-resistive barrier is applied over the exterior face of wood studs in accordance with Section 2.2.9. One-inch-thick (25 mm), 1.5 pcf (24 kg/m³) density EPS board is applied in accordance with Section 2.3.2, followed by 1-inch (25 mm) by No. 20 gage woven-wire lath. The lath is fastened through the EPS board to studs and plates with No. 11 gage galvanized roofing nails 2 inches (51 mm) long and having $3/8$ -inch-diameter (9.5 mm) heads, at 6 inches (152 mm) on center. Lath overlaps are a minimum of 2 inches (51 mm). The Diamond Wall mixture, with glass fibers only, is then applied to the lath in accordance with Section 2.3.1.

2.5 Noncombustible Construction:

With foam plastic, the stucco system may be installed as follows on exterior walls required to be noncombustible construction.

2.5.1 Interior Finish: One layer of $5/8$ -inch-thick (15.9 mm), Type X gypsum wallboard, complying with ASTM C 36, is applied vertically to steel framing with all edges blocked. Fasteners are No. 8 by $1\frac{1}{2}$ -inch-long (32 mm) bugle head screws fastened to board joints at 8 inches (203 mm) on center and intermediate locations at 12 inches (305 mm) on center. All joints are taped and treated with joint compound. Intermediate fasteners are treated with compound.

2.5.2 Steel Framing: Minimum $35/8$ -inch-deep (92 mm), minimum No. 20 gage [0.0359 inch (0.91 mm)] steel studs, spaced 16 inches (406 mm) on center, maximum.

2.5.3 Openings: Wall openings are framed with minimum 0.125-inch-thick (3.2 mm) aluminum or steel framing.

2.5.4 Exterior Finish: One layer of minimum $1/2$ -inch-thick (12.7 mm) gypsum sheathing, complying with ASTM C 79-92, is applied horizontally to the steel framing with No. 8 by $1\frac{1}{4}$ -inch-long (32 mm) bugle head screws spaced 8 inches (203 mm) on center at all framing locations.

2.5.5 Stud Cavity: Where studs continue past floor levels, stud cavities at each floor level must be blocked with Thermafiber insulation. The Thermafiber insulation (ER-2331) is fit into each stud cavity at the floor. The insulation has a minimum nominal 4-pound-per-cubic-foot (64 kg/m³) density, is 4 inches (95 mm) thick and is approximately 6 to 8 inches (140 to 154 mm) wide. To fit within a stud cavity, it must be long enough to achieve a friction fit.

2.5.6 Stucco System: Where a weather-resistive barrier is required, the stucco system includes application of one layer of Pyro-Kure 600 vapor retarder, manufactured by Fortifiber. Pyro-Kure vapor retarder has a maximum flame-spread of 25 and a maximum smoke-developed rating of 30, and qualifies as a Type 1, Grade A, weather-resistive barrier in accordance with UBC Standard 14-1. The vapor retarder is installed over the sheathing in accordance with Section 1402.1 of the code. Expanded polystyrene insulation board with a nominal 1.5-pound-per-cubic-foot (24 kg/m³) density is installed at 1-inch (25 mm) thickness horizontally in running bond to the sheathing. Reinforcement consists of 1-inch (25 mm) by No. 20 gage, galvanized steel, self-furring, woven wire fabric lath. The lath, insulation board, and vapor retarder are positively fastened to the steel framing using No. 8 by $2\frac{1}{2}$ -inch-long (63.5 mm), wafer-

head, self-drilling screws spaced 8 inches (203 mm) on center to all framing members. The stucco with glass fibers is applied at a $3/8$ -inch (9.5 mm) minimum thickness in accordance with Section 2.3 of this report.

2.5.7 Without Foam Plastic: For walls required to be of noncombustible construction, Diamond Wall with glass fibers is applied over gypsum sheathing and steel studs in accordance with Section 2.3.3.2 of this report.

2.6 Shear Wall:

A shear wall providing wall bracing required by Section 2326.11.3 of the code may be constructed using the Diamond Wall System. The individual shear walls must have a height-to-length ratio complying with Section 2511.4 of the code. Wall framing is minimum 2-by-4 studs spaced 16 or 24 inches (406 or 610 mm) on center. Fome-Cor sheathing recognized in Evaluation Report ER-3335 is applied to framing with 3-inch (70 mm) horizontal weather laps and 6-inch (140 mm) vertical laps, and is spot-fastened into place. The $1\frac{1}{2}$ -inch (38 mm) hexagonal opening by No. 17 gage woven-wire lath is then applied over Fome-Cor and fastened to all framing members at 6 inches (152 mm) on center with No. 16 gage, corrosion-resistant staples having a 1-inch crown. The staple legs must be a minimum of $1\frac{1}{4}$ inches (32 mm) long and long enough to penetrate framing at least 1 inch (25 mm). The lath is overlapped a minimum of 2 inches (51 mm). Lath overlaps should be offset from Fome-Cor overlaps. The Diamond Wall Coating is applied in two coats, in accordance with Section 2.3.1. The base coat is a minimum of $1/2$ inch (12.7 mm) thick, and is cured in accordance with Section 2.7.3. The finish coat is a minimum of $1/8$ inch (3.2 mm) thick and is applied after proper curing of the base coat.

The allowable racking shear for walls is 170 plf (2481 N/m).

2.7 Miscellaneous:

2.7.1 Inspection Requirements: Building department inspection is required on lath installation prior to application of the coating as noted in Section 108.5.5 of the code.

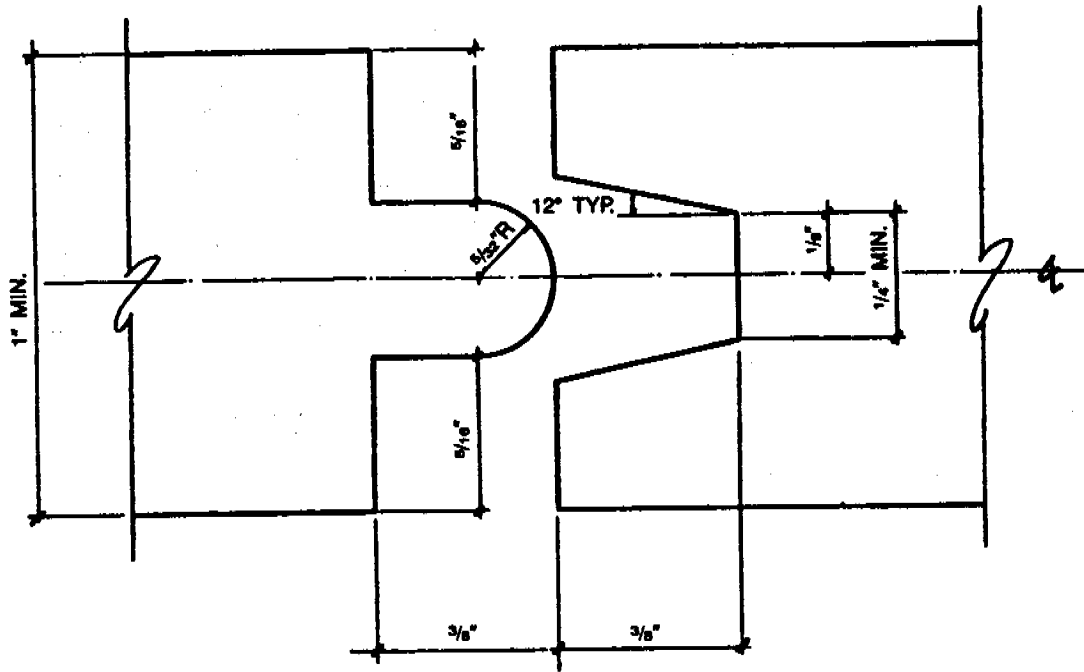
The Diamond Wall PM System requires special inspections, in accordance with Section 1701 of the code, for field-batching and mixing of components. As an alternative, when approved by the building official, continuous field inspection of all batching and mixing operations by an authorized inspector, trained and approved by Omega Products Corporation, may be used. The authorized inspector must be independent of the plastering contractor. A declaration as noted in Figure 4 shall be completed and signed in duplicate for presentation to the building owner and the building official with the plastering contractor's installation card.

2.7.2 Control Joints: Control joints must be installed as specified by the architect, designer, builder or exterior coating manufacturer, in that order. In the absence of details, conventional three-coat plastering details must be used.

2.7.3 Curing: Moist curing must be provided for 24 hours after coating applications.

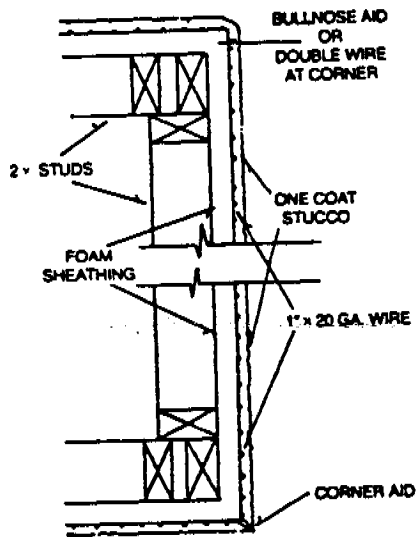
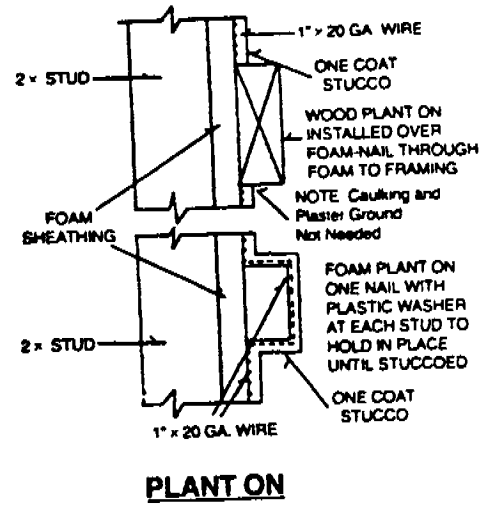
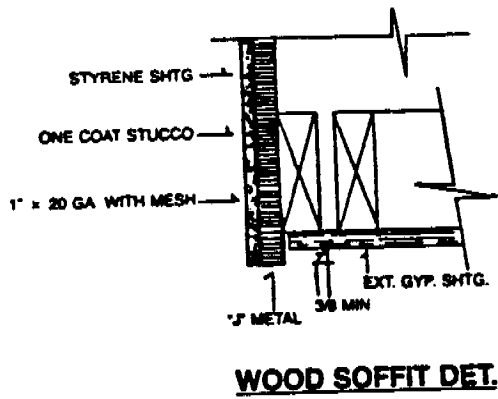
2.7.4 Soffits: The system may be applied to soffits, provided the coating is applied over metal lath complying with Table 25-B of the code in lieu of wire fabric lath. Metal lath fastening must comply with Table 25-C, except the fastener length must be increased by the thickness of any substrate.

2.7.5 Sills: The system may be applied to sills at locations such as windows and other similar areas. Sills with depths of 6 inches (152 mm) or less may have the coating and lath applied to any substrate permitted in this report, provided the coating, lath, weather-resistive barrier and substrate are installed in accordance with the appropriate section of this report. Sills with depths exceeding 6 inches (152 mm) must have substrates of solid wood or plywood. The substrate is fastened in accordance with Table 23-I-Q of the code, and over the substrate a double layer of a complying weather-resistive barrier is applied. The coating, lath, and optional EPS board are applied in accordance with Section 2.3.2 of this report.

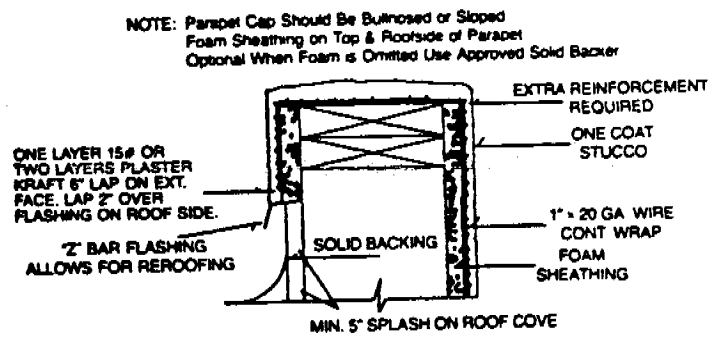


For SI: 1 inch = 25.4 mm.

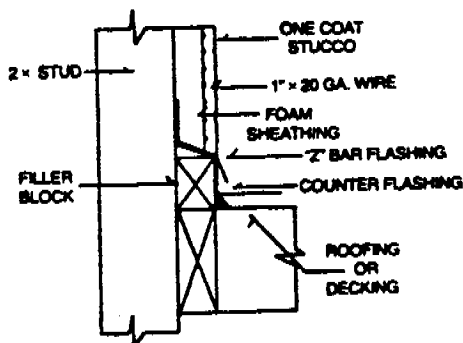
FIGURE 1—TONGUE AND GROOVE



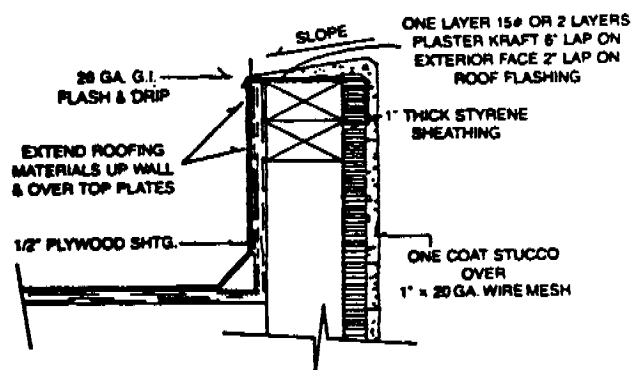
SQUARE CORNER - BULLNOSE CORNER



PARAPET & FLASHING DETAIL



GABLE OR DECK FLASHING



WOOD FRAME DOUBLE FACED PARAPET

For SI: 1 inch = 25.4 mm.

FIGURE 2—DETAILS FOR ONE-COAT STUCCO—(Continued)

Omega Products Corporation
282 S. Anita
Orange, CA 92668
(714) 935-0900

DECLARATION

Project Address: _____

Date: _____

The field batching and mixing of all components of the exterior wall coating at the address noted above have been continuously inspected. The field batching and mixing have been found to comply with current Evaluation Report ER-4004 and approved plans.

Authorized inspector's signature: _____

Authorized inspector's name (print): _____

Employer's name: _____

Employer's address: _____

Telephone Number: _____

*This is to certify that the above noted inspector, approved by Omega Products Corp., was authorized to inspect the project so noted and was trained to properly discharge his duties.

Signature of employee or officer of report holder

Signer's name (print): _____

Date: _____

*Signature required only if inspector is not an employee of evaluation report holder.

FIGURE 4

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

CERTIFICATION OF COMPLIANCE

SCHOOL DISTRICT DEVELOPMENT FEES

PROPERTY OWNER'S NAME	Cornelius R. Powers		
OWNER'S ADDRESS	4130 Broadway		
PROJECT ADDRESS	3810 23rd Ave		
PARCEL NUMBER	022-0024-012-000	LOT NUMBER	19310
SUBDIVISION NAME			
NUMBER OF UNITS			
APPLICANT'S SIGNATURE	<i>Cornelius R. Powers</i>		
TITLE OF APPLICANT			
DATE	6-24-98	TELEPHONE NUMBER	(916) 457-9303
PLAN IDENTIFICATION NUMBER	9805082		
BUILDING TYPE (CHECK ONE)	<input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> APARTMENT/CONDOMINIUM <input type="checkbox"/> COMMERCIAL/INDUSTRIAL		
SQUARE FEET OF CHARGEABLE BUILDING AREA	1428		
SIGNATURE	<i>Bill McDowell</i>		
TITLE	Electrical Inspector	DATE	6-23-98
DISTRICT CERTIFICATION NUMBER	6382		
EXEMPT	YES	COMMENTS	Replacement of structure NOT A <i>Sub</i>
RESIDENTIAL / APARTMENT / ETC.	_____	SQ. FT. X \$	= \$ _____
COMMERCIAL / INDUSTRIAL	_____	SQ. FT. X \$	= \$ _____
OTHER FEE	_____	TYPE	_____ SQ. FT. X \$ _____ = \$ _____
TOTAL FEES COLLECTED.....			\$ <u>0</u>
<p><i>This certification covers only the amount of square footage indicated above. Any additions or corrections to the square footage for this project will require an amendment to the Certificate of Compliance.</i></p> <p><i>As the authorized school district official, I hereby certify that the requirements of Government Code Section 65995 and any other authorized requirements have been complied with by the above signed applicant.</i></p>			
SIGNATURE	<i>[Signature]</i>		
TITLE	Planner	DATE	6-29-98

91a:certcomp

Distribution: Original--School District; 1st Copy--School District; 2nd Copy--Building Department; 3rd Copy--Applicant

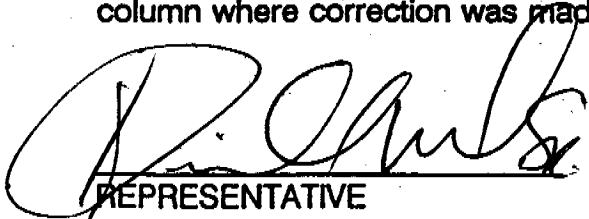
CITY OF SACRAMENTO

COMMERCIAL PLAN CHECKING/PERMIT SERVICES SECTION

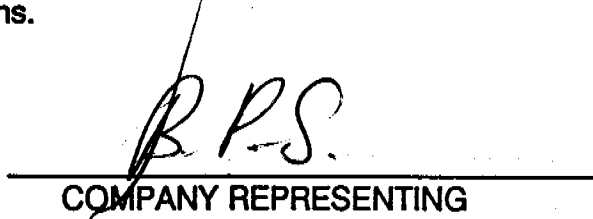
PC 9805082 ADDRESS 3810 23rd AV.

I am in receipt of the above plans and I will return the plans upon my review and completion with the appropriate corrections. I am aware of the fact that my delay or failure in returning the plans to the Building Department may delay the issuance of a permit and may constitute a complete recheck of the plans.

NOTE: RETURN CHECK SET OF PLANS WITH NEXT SUBMITTAL! Please cloud, delta, and date all revisions with next submittal of plans, indicate detail and sheet number in last column where correction was made on plans.



REPRESENTATIVE



COMPANY REPRESENTING

6-24-98
DATE

CITY USE ONLY

NOTE ON COMPUTER: Yes

DATE OUT: 6-24-98

DATE RETURNED: _____

OF BLDG SETS: 2

OF BLDG SETS RET: _____

OF SITE SETS: _____

OF SITE SETS RET: _____

OF CYCLES: _____

OF CYCLES RET: _____

CHECKED OUT BY: _____

RETURNED TO: _____

DATA ENTRY (OUT) BY: _____

DATA ENTRY (RET) BY: _____

RESIDENTIAL SCREENING FORM

PLAN CHECK PERMITS

ADDRESS _____

P.C.# _____

I APPLICATION COMPLETE (COUNTER)

DATE _____ INIT. _____

- ADDRESS
- ON PERMIT
- VERIFIED
- OWNER INFORMATION
- INSPECTION AREA/COMMUNITY NUMBER
- APPLICATION PROPERLY SIGNED
- APPLICATION FILLED OUT CORRECTLY

- ASSESSOR'S PARCEL NUMBER
- ON PERMIT
- VERIFIED
- CONTRACTOR/ARCH. INFORMATION
- PLAN CHECK NUMBER ON APPLICATION
- VIOLATION FILE CHECKED
- WORKERS' COMPENSATION ON FILE

- NATURE OF WORK LISTED
- USE
- DWELLING GARAGE
 - DUPLEX PATIO/DECK
 - TRIPLEX OTHER
- TYPE
- NEW CONST. ADDITION
 - REMODEL OTHER

- SQUARE FOOTAGE LISTED ON PERMIT
- EXISTING NEW
- CONSTRUCTION TYPE
- OCCUPANCY GROUP
- VALUATION CORRECT
- INFILL SCREENING FORM FILLED OUT
- PERMIT LEGIBLE

II PLANNING APPROVAL (COUNTER)

DATE _____ INIT. _____

- USE ZONE ON PLAN
- STANDARD SETBACKS
- PINK PLANNING ROUTE SHEET FILLED OUT?
- YES NOT REQUIRED
- PROJECT IN AN INFILL AREA

- IS ADDITIONAL PLANNING REVIEW REQUIRED
- DESIGN REVIEW YES NO
- SITE REVIEW YES NO
- IN RICHARDS BL. REDEV. AREA?
- YES NO

III PLANS ACCEPTABLE (COUNTER)

DATE _____ INIT. _____

- SITE PLAN
- ARCH. AND STRUCT. PLANS

- T-24 ENERGY APPROVAL
- 11" x 17" FLOOR PLAN

IV FLOOD ZONE SCREENING (COUNTER)

DATE _____ INIT. _____

- EXEMPT COST (< \$50,000 AND < 50%)
- EXEMPT MISC.
- ZONE X
- ZONE A-99 (WAIVER ATTACHED)

- ZONE A, AE, AO, OR AH
- ELEVATION CERTIFICATE REQ'D. (HOLD PLACED ON PERMIT)
- CONSTRUCTION VALUED AT LESS THAN 50% OF REPLACEMENT COST BEFORE IMPROVEMENTS

NATOMAS MORATORIUM AREA YES NO

HOLD PLACED ON PERMIT APPROVED APPEAL COPY IN PERMIT JACKET

EXPEDITE PLAN REVIEW

An expedited plan review has been requested for the following address:

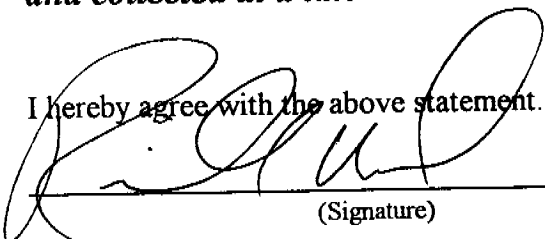
3810 23rd St
(address)

The following is an estimate for plan check hours and completion for the plan review for the first review cycle.

	<u>Hours</u>	<u>Completion Date</u>
BUILDING	_____	_____
LIFE SAFETY	_____	_____
PLUMBING	_____	_____
MECHANICAL	_____	_____
ELECTRICAL	_____	_____
FIRE	_____	_____
PROCESSING	_____	_____
TOTAL HRS.	_____	x \$77.00/hr = <u>385⁰⁰*</u>

** This fee is in addition to the plan review fee paid when applying for a Building Permit. If additional plan check cycles are required, the additional plan review hours will be charged and collected at a later date.*

I hereby agree with the above statement.


(Signature)

6-9-98
(Date)

Phone Number: (916) 457-8303

Fax # (916) 457-8326

Please Check One: OWNER CONTRACTOR OTHER: _____