



CITY OF SACRAMENTO

23

CITY PLANNING DEPARTMENT  
927 TENTH STREET  
SUITE 300  
SACRAMENTO, CA 95814  
TELEPHONE (916) 449-5604

MARTY VAN DUYN  
PLANNING DIRECTOR

July 14, 1982

**FILED**  
By the City Council  
Office of the City Clerk  
*Cont 40*  
*7-27-82*

**APPROVED**  
BY THE CITY COUNCIL

*as amended*  
*A, B + C.*  
*D withdrawn*  
*By applicant.*

JUL 20 1982

JUL 27 1982

OFFICE OF THE  
CITY CLERK

City Council  
Sacramento, California

Honorable Members in Session:

- SUBJECT:
1. Environmental Determination;
  2. Rezone from R-1 to R-1A;
  3. Subdivision Modification to waive sewer and water service connections;
  4. Tentative Map; and
  5. Appeal of Special Permit conditions relating to structural design and orientation of garages. (P82-118)

LOCATION: East of Franklin Blvd., South of Ehrhardt Avenue

SUMMARY

The applicant is requesting the necessary entitlements to develop 36 halfplex units on corner lots in an approved single family residential development. The Planning Commission recommended approval of the request subject to conditions. The applicant is, however, appealing certain conditions relating to redesign of the garages.

BACKGROUND INFORMATION

On June 10, 1982, the City Planning Commission recommended approval on a request to develop 36 halfplex units on 18 corner lots in an approved subdivision. This subdivision presently contains 196 single family lots.

Staff and Planning Commission expressed concern over the design of the halfplex units. Specifically, the units are designed with side by side garages that front on one street. This design is typically used on interior lots. The Commission required that the applicant redesign the units with a garage fronting on each street. This would eliminate a long side yard area that is normally fenced. It would also provide aesthetic relief on the corner lots and give units the appearance of an individual detached structure rather than a duplex. In addition, this design concept has been required of all recent halfplex developments. Staff feels that garages on each street frontage would create a more compatible relationship to adjacent single family units.

1005 0 S 1005

The applicant did not agree with the staff and Planning Commission and, therefore, has appealed the special permit conditions relating to the redesign of the garages. The following are specific conditions to which the applicant is objecting:

- 1. Applicant shall redesign the structures to provide a garage fronting on each street;
- 2. Design of these modifications shall be reviewed and approved by the Planning Director prior to issuance of building permits.

Staff has no objections to the proposed development as conditioned. The proposed rezoning of R-1A is compatible with the surrounding land use and single family zoning. This proposal is also consistent with the Valley Hi Community Plan and General Plan.

VOTE OF PLANNING COMMISSION

On June 10, 1982, the Planning Commission, by a vote of six ayes and three absent, recommended approval of the rezoning, tentative map, subdivision modifications to waiver water and sewer service, and special permit subject to conditions.

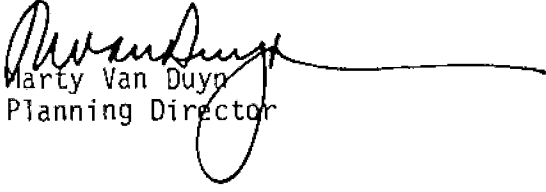
RECOMMENDATION

The staff and Planning Commission recommend that the City Council:

- 1. Ratify the Negative Declaration;
- 2. Approve the Rezoning request;
- 3. Approve the Tentative Map and Subdivision Modifications to waive water and sewer service connections; and
- 4. Deny the appeal of the special permit conditions relating to garage frontage on separate streets.

If the Council concurs with the recommendation, the proper action would be to adopt the attached rezoning ordinance, tentative map resolution, and deny the appeal subject to Findings of Fact due August 3, 1982.

Respectfully submitted,

  
 Marty Van Duyn  
 Planning Director

FOR CITY COUNCIL INFORMATION  
 WALTER J. SLIPE  
 CITY MANAGER

MVD:SC:cp  
 Attachments  
 P82-118

July 20, 1982  
 District No.7

AMENDED EXHIBIT

**ORDINANCE NO.**

ADOPTED BY THE SACRAMENTO CITY COUNCIL ON DATE OF

ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE NO. 2550, FOURTH SERIES, AS AMENDED, BY REMOVING PROPERTY LOCATED EAST OF FRANKLIN BLVD., SOUTH OF EHRHARDT AVENUE FROM THE R-1, SINGLE FAMILY ZONE AND PLACING SAME IN THE R-1A, TOWNHOUSE ZONE (FILE NO. P-82-118 ) (APN: 117-532-4,6; 117-540-01,11,17,19,22,34,37, 41,48,54,57,72,84,85)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO:

SECTION 1.

The territory described in the attached exhibit(s) which is in the R-1, Single Family zone(s), established by Ordinance No. 2550, Fourth Series, as amended, is hereby removed from said zone and placed in the R-1A, Townhouse zone(s).

This action rezoning the property described in the attached exhibit(s) is adopted subject to the following conditions and stipulations:

a. A material consideration in the decision of the Planning Commission to recommend and the City Council to approve rezoning of the applicant's property is the development plans and representations submitted by the applicant in support of this request. It is believed said plans and representations are an integral part of such proposal and should continue to be the development program for the property.

b. If an application for a building permit or other construction permit is filed for said parcel which is not in conformity with the proposed development plans and representations submitted by the applicant and as approved by the Planning Commission June 10, 1982, on file in the office of the Planning Department, or any provision or modification thereof as subsequently reviewed and approved by the Planning Commission, no such permit shall be issued, and the Planning Director shall report the matter to the Planning Commission as provided for in Ordinance No. 3201, Fourth Series.

SECTION 2.

The City Clerk of the City of Sacramento is hereby directed to amend the maps which are a part of said Ordinance No. 2550, Fourth Series, to conform to the provisions of this ordinance.

SECTION 3.

Rezoning of the property described in the attached exhibit(s) by the adoption of this ordinance shall be deemed to be in compliance with the procedures for the rezoning of property prescribed in Ordinance No. 2550, Fourth Series, as said procedures have been affected by recent court decisions.

PASSED FOR PUBLICATION:

PASSED:

EFFECTIVE:

\_\_\_\_\_  
MAYOR

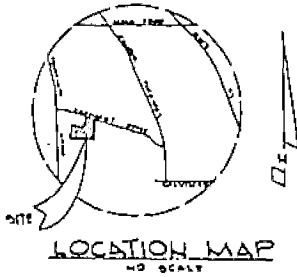
ATTEST:

\_\_\_\_\_  
CITY CLERK

P82-118

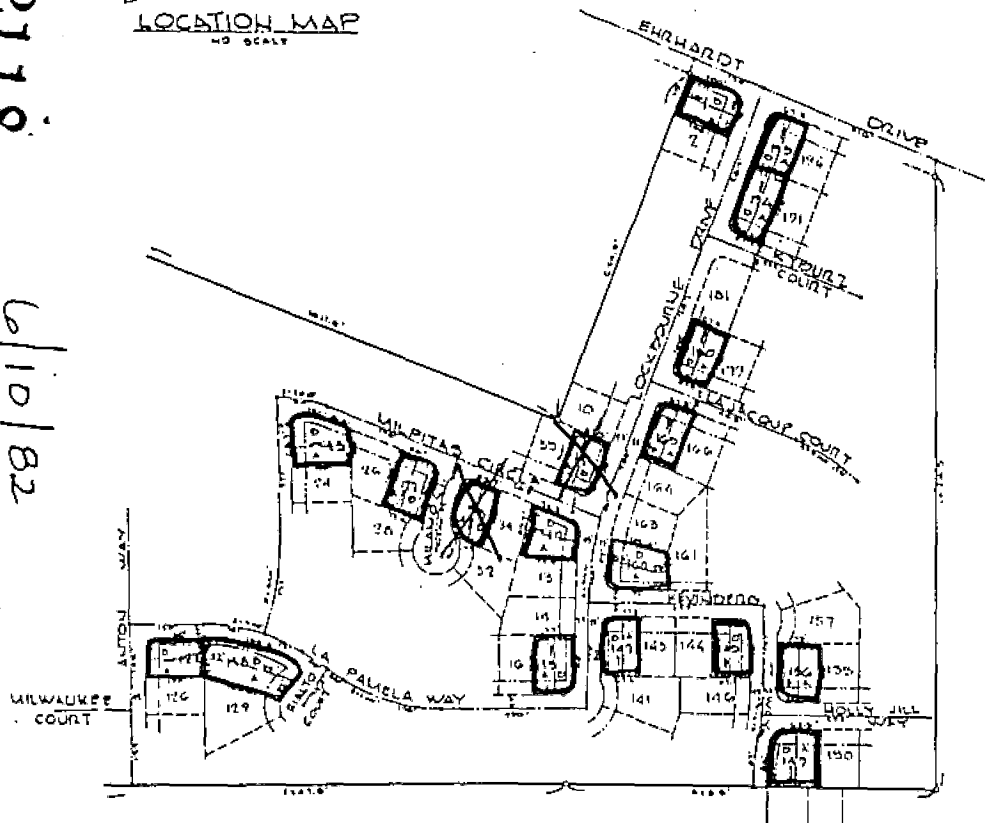
TENTATIVE MAP FOR THE  
 RESUBDIVISION OF LOTS 1, 11, 12, 15, 25, 27, 33, 117, 118, 142, 145, 149,  
 156, 161, 165, 180, 192 & 193

**EHRHARDT ESTATES**  
 CITY OF SACRAMENTO CALIFORNIA  
 MAY, 1982 1" = 100'



P 82118

6/10/82



X DELETED BY APPLICANT

OWNER / SUBDIVIDER:

CENTER HOMES  
 10144 FAIR OAKS BLVD.  
 FAIR OAKS, CA 95628  
 (916) 961-3000

ENGINEER:

GW CONSULTING ENGINEERS  
 2400 GLENDALE LANE  
 SACRAMENTO, CA 95825  
 (916) 455-1770

LEGAL DESCRIPTION:

LOTS 1, 11, 12, 15, 25, 27, 33, 117, 118, 142, 145, 149, 156, 161, 165, 180, 192 & 193  
 OF EHRHARDT ESTATES, BOOK 129 OF MAPS, MAP NO. 6

APN:

117-531-446; 117-534-G47; 117-540-1, 11, 17, 19, 27, 34, 37, 41, 48, 54, 57, 77, 84 & 85

PUBLIC IMPROVEMENTS:

EXISTING: SEE IMPROVEMENT PLANS FOR EHRHARDT ESTATES ON FILE WITH CITY OF SACRAMENTO

ZONING:

EXIST: R-1; PROPOSED: R-1A

FIRE:

CITY OF SACRAMENTO

WATER / DRAINAGE:

CITY OF SACRAMENTO

SCHOOLS:

ELK GROVE SCHOOL DIST.

SEWER:

SANITATION DISTRICT #1

PARKS:

CITY OF SACRAMENTO

EXHIBIT

	G. W. CONSULTING ENGINEERS REGISTERED PROFESSIONAL ENGINEERS 2400 GLENDALE LANE SACRAMENTO, CALIFORNIA 95825	SHEET NO. 012 TOTAL SHEETS 012	DATE 5/1982	CITY OF SACRAMENTO, CALIFORNIA
	TENTATIVE MAP FOR THE RESUBDIVISION OF LOTS 1, 11, 12, 15, 25, 27, 33, 117, 118, 142, 145, 149, 156, 161, 165, 180, 192 & 193 OF <b>EHRHARDT ESTATES</b> CITY OF SACRAMENTO, CALIFORNIA	15322	15322	15322
	15322	15322	15322	15322
	15322	15322	15322	15322

No. 15

23

# RESOLUTION No.

Adopted by The Sacramento City Council on date of

A RESOLUTION ADOPTING FINDINGS OF FACT,  
APPROVING A REQUEST FOR SUBDIVISION  
MODIFICATION AND TENTATIVE MAP FOR PROPERTY  
LOCATED EAST OF FRANKLIN BOULEVARD, SOUTH OF  
EHRHARDT AVENUE (APN: 117-532-4,6; 117-540-01,11,  
17,19,22,34,37,41,48,54,57,72,84,85 (P82-118)

WHEREAS, the Planning Commission has submitted to the City Council its report and recommendations concerning the request for Subdivision Modification and Tentative Map for property located east of Franklin Boulevard, south of Ehrhardt Avenue, (hereinafter referred to as the proposed subdivision).

WHEREAS, the Council of the City of Sacramento, based on testimony submitted at public hearing(s) conducted on July 20, 1982, hereby finds and determines as follows:

- A. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and the Valley Hi Community Plan in that both plans designate the subject site for residential uses. Also, any required improvements are to be designed and constructed within the provisions of the Subdivision Regulations which, by Section 40.102 of said regulations, is designated as a Specific Plan of the City of Sacramento.
- B. The site is physically suitable for the type and proposed density of development in that the subject site is flat with no significant erosional, soil expansion or other similar problems.
- C. The design of the subdivision or proposed improvements are not likely to cause substantial environmental damage, and will not substantially and avoidably injure fish or wildlife or their habitat. The proposed project has been reviewed and assessed by the Environmental Coordinator who has filed a Negative Declaration with the City Clerk. By virtue of the Negative Declaration, the proposed project will not cause individual or cumulative adverse effects on the natural and social-physical environment nor substantially and avoidably injure fish, wildlife, or their habitat.
- D. The design of the subdivision or the type of improvements are not likely to cause serious public health problems in that community water and sewer systems exist at the site. The site is not within an established floodplain or over a known seismic fault.

- E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public for access through, or use of, the property within the proposed subdivision in that there are no access easements for use by the public at large on the subject site.
- F. The discharge of waste from the proposed subdivision into the community sewer system servicing the proposed subdivision will not result in or add to a violation of the waste discharge requirements applicable to said sewer system which were prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that the existing County of Sacramento treatment plants have a design capacity for which the discharge from the proposed project will not create a condition exceeding the design capacity.
- G. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the proposed subdivision, taking into consideration the local climate, the contour and configuration of the parcel to be divided, and such other design and improvement requirements applicable to the proposed subdivision.
- H. In the matter of the requested Subdivision Modification, the Council determines as follows:
  - a. That the property to be divided is of such size or shape, or is affected by such topographic conditions, or that there are such special circumstances or conditions affecting the property that it is impossible, impracticable or undesirable in the particular case to conform to the strict application of these regulations.
 

Fact: The waiver of service connections will only be temporary until building permits are obtained.
  - b. That cost to the subdivider of strict or literal compliance with the regulation is not the sole reason for granting the modification.

Fact: It is difficult to determine the adequate size of service lines until specific plans are submitted.



- c. That the modification will not be detrimental to the public health, safety, or welfare, or be injurious to other properties in the vicinity.

Fact: The granting of the modification will not alter the character of the area.

- d. That granting the modification is in accord with the intent and purpose of these regulations and is consistent with the General Plan and with all other applicable Specific Plans of the City.

Fact: The site is designated for residential uses.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sacramento as follows:

- A. The Negative Declaration be ratified;
- B. The Tentative Map and Subdivision Modification be approved subject to the following conditions:
  - 1. Applicant shall place the following note on the final map: The units shall be built to the new State Residential Energy Conservation Building Standards scheduled to become effective in July 1982, whether or not said standards then become effective.
  - 2. If there are any existing assessments, file the necessary segregation requests and fees to segregate existing assessments.
  - 3. Pursuant to City Code, Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.

234#

4. Sewer line shall be extended to Lot 11A.

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK

P82-118

23 ~~44~~

NOTICE OF APPEAL OF THE DECISION OF THE  
SACRAMENTO CITY PLANNING COMMISSION

DATE: June 14, 1982

TO THE PLANNING DIRECTOR:

I do hereby make application to appeal the decision of the City  
Planning Commission of June 10, 1982 when:  
(Date)

     Rezoning Application      Variance Application  
  X   Special Permit Application     

was:   X   Granted      Denied by the Commission

GROUND FOR APPEAL: (Explain in detail)

Applicant wishes to construct half-plexes using duplex plans or as dictated by  
the marketplace.

PROPERTY LOCATION: Erhardt Estates

PROPERTY DESCRIPTION: Numerous corner lots in Erhardt Estates

ASSESSOR'S PARCEL NO. 117-532-04 & 06  
117 - 534 - 06 & 07  
117-540-1, 11, 17, 19, 22, 34, 37, 41, 48, 54, 57, 72, 84 & 85.  
PROPERTY OWNER: Centex Homes of California

ADDRESS: 10144 Fair Oaks Boulevard Fair Oaks, California 95628

APPLICANT: Centex Homes of California

ADDRESS: 10144 Fair Oaks Boulevard Fair Oaks, California 95628

APPELLANT:  Mac W. Huss  
(SIGNATURE)

ADDRESS: 10144 Fair Oaks Boulevard Fair Oaks, California 95628

FILING FEE:

by Applicant: \$105.00 RECEIPT NO. 250  
 by 3rd party: 60.00

FORWARDED TO CITY CLERK ON DATE OF: \_\_\_\_\_

P-82-118 CITY PLANNING DEPARTMENT

5/82

JUN 28 1982

(4 COPIES REQUIRED): MVD

RECEIVED

HY  
WW  
CP  
MMM - original



23  
~~47~~

3 absent

**CITY PLANNING COMMISSION**

927-10th Street, Ste 309- SACRAMENTO, CALIFORNIA 95814

APPLICANT	G. W. Consulting Engineers, 2400 Glendale Lane, Ste. G, Sacramento, CA		
OWNER	Centrex Homes of Calif., 10144 Fair Oaks Blvd., Fair Oaks, CA 95628		
PLANS BY	G. W. Consulting Engineers, 2400 Glendale Lane, Ste. G., Sacramento, CA		
FILING DATE	5-4-82	50 DAY CPC ACTION DATE	REPORT BY SD:bw
NEGATIVE DEC.	5-28-82	EIR	ASSESSOR'S PCL. NO. See*

APPLICATION:

1. Environmental Determination
  2. Rezone 18 existing corner lots from Single Family R-1 to Townhouse, R-1A
  3. Special Permit for the development of 36 halfplex units
  4. Subdivision Modification to waive sewer and water services
  5. Tentative Map
- \*117-532-04 & 06; 117-540-01,11,17,19,22,34,37,41,  
48,54,57,72,84,85

LOCATION:

East of Franklin Boulevard, south of Ehrhardt Avenue

PROPOSAL:

The applicant is requesting the necessary entitlements to develop 18 corner lots with 36 halfplex units.

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
1965 Valley Hi Community Plan Designation: Light Density Residential  
Existing Zoning of Site: R-1  
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Single Family; R-1  
South: Single Family; R-1  
East: Single Family; R-1  
West: Single Family; R-1

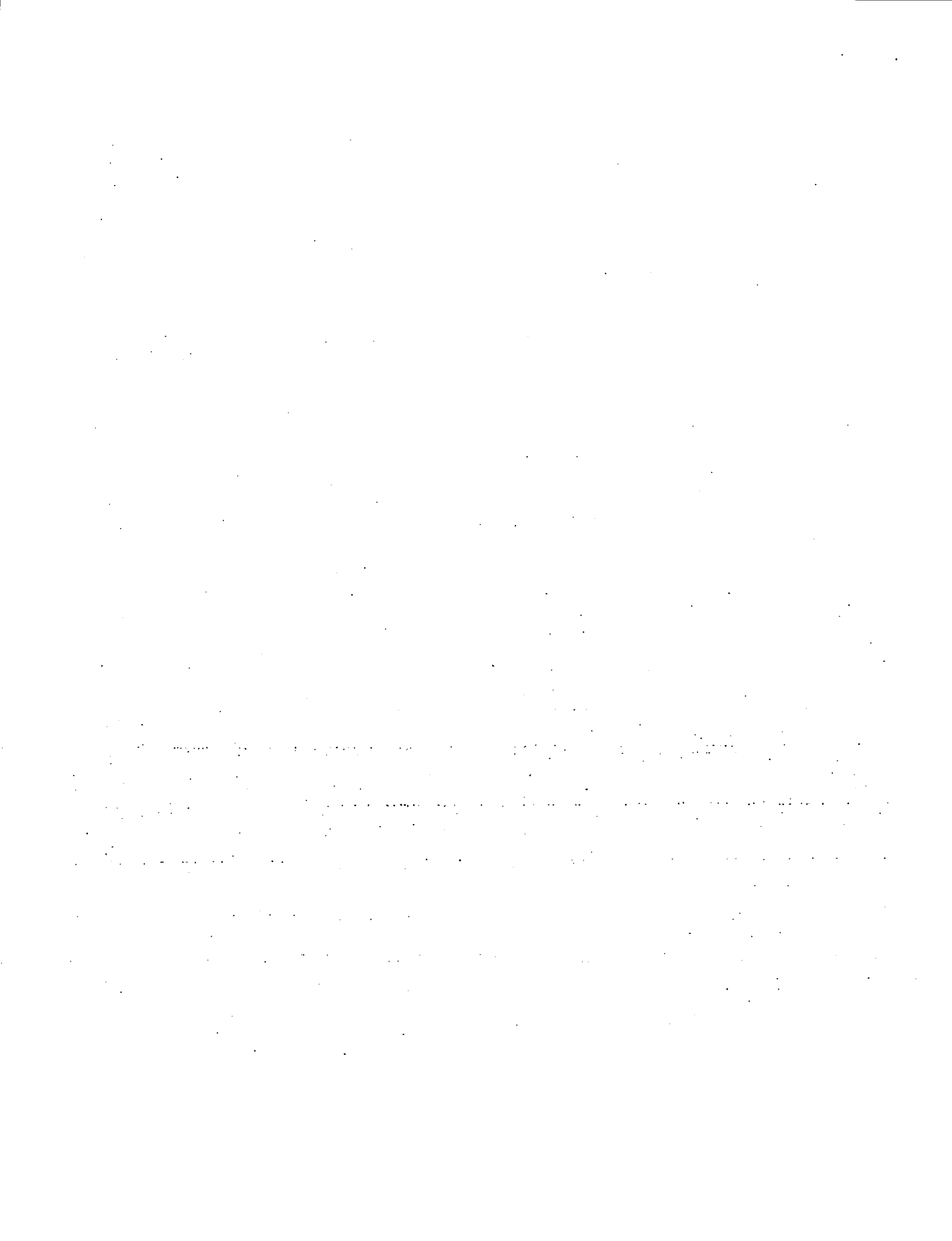
Parking Required: 36 spaces  
Parking Provided: 36 spaces  
Parking Ratio: 1 space per dwelling unit  
Square Footage of Building: 1126,975  
Topography: Flat  
Street Improvements/Utilities: Existing  
North/South Orientation: 61 percent

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: At the May 26, 1982 meeting, by a vote of five ayes and four absent, the Subdivision Review Committee voted to recommend approval of the map. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

APPLC. NO. P82-118

MEETING DATE June 10, 1982

CPC ITEM NO. 15



1. Place the following note on the final map: Separate water and sewer service connections must be paid for and installed at the time of obtaining building permits;
2. If there are any existing assessments, file the necessary segregation requests and fees to segregate existing assessments;
3. Pursuant to City Code, Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
4. Sewer line shall be extended to Lot 11A.

BACKGROUND INFORMATION: The subject site consists of various corner lots located in Ehrhardt Estates. The subdivision consisted of 196 lots located on 43.9+ acres. The project, P-8085, was approved by the City Council on April 4, 1978. Housing mix was not addressed at that time.

STAFF EVALUATION: Staff has the following observations and comments with regard to this project:

1. Duplex units are allowed on all corner lots in the R-1 zone. The proposed project therefore does not represent an increase in density or a change in the character of the neighborhood. The proposal will allow for individual ownership of each unit. Staff has no objection to the proposal.
2. The applicant is proposing units with both garages fronting on one street. Staff suggests that these be redesigned so that a garage fronts on each street. This will help relieve monotony on the corners and give units the appearance of an individual, detached structure rather than duplexes. Further, this design will result in less surfaced area concentrated in one location which results in less mass heating under summer sun and increasing temperature of the micro-environment.

The redesign should be reviewed and approved by the Planning Director prior to final map approval so that any changes in lot design to accommodate the units can be incorporated in the final map.

3. The applicant is proposing two and three-bedroom units with single car garages. Four outside elevations are proposed. Staff suggests, for additional variety and visual interest, that Unit A, Plan 1126,975, be designed with a hip roof treatment. Further, pillars at the front outside corners of Plan 1126,975 should be a variety of materials such as brick or rock. Finally, a decorative garage door treatment on the order of Unit B should be applied to Unit A of the same plan. These modifications can be reviewed and approved by the Planning Director at the time building permits are approved.

- 4. The Planning and Community Services Departments have determined that 0.403 acres of land are required for parkland dedication purposes, and that fees are to be charged in lieu of the required dedication. The subdivider shall submit to the City an appraisal of the land to be subdivided. Said appraisal shall be dated and submitted within 90 days prior to filing the final map.
- 5. The project achieves only 61 percent north/south lot orientation. Staff finds that because of the alignment of existing streets, additional lot and halfplex structure orientation is infeasible. Staff requests that all the units be constructed to meet the new State Residential Energy Conservation Building Standards scheduled to become effective in July 1982. A note referencing this requirement should be placed on the final map.

STAFF RECOMMENDATION: Staff recommends the following actions:

- 1. Ratification of the Negative Declaration;
- 2. Approval of the Rezone from R-1 to R-1A;
- 3. Approval of the Special Permit, subject to conditions and based on Findings of Fact to follow;
- 4. Approval of the Subdivision Modification to waive sewer and water services;
- 5. Approval of the Tentative Map, subject to conditions.

Conditions - Special Permit

- a. Plan 1126,975, Unit A, shall be redesigned with a hip roof treatment, and the garage fronts shall have a decorative design applied.
- b. Front pillars for Plan 1126,975 shall be of a variety of materials such as wood, brick and rock.
- c. Applicant shall redesign the structures to provide a garage fronting on each street.
- d. Design of these modifications shall be reviewed and approved by the Planning Director prior to issuance of building permits.

Findings of Fact - Special Permit

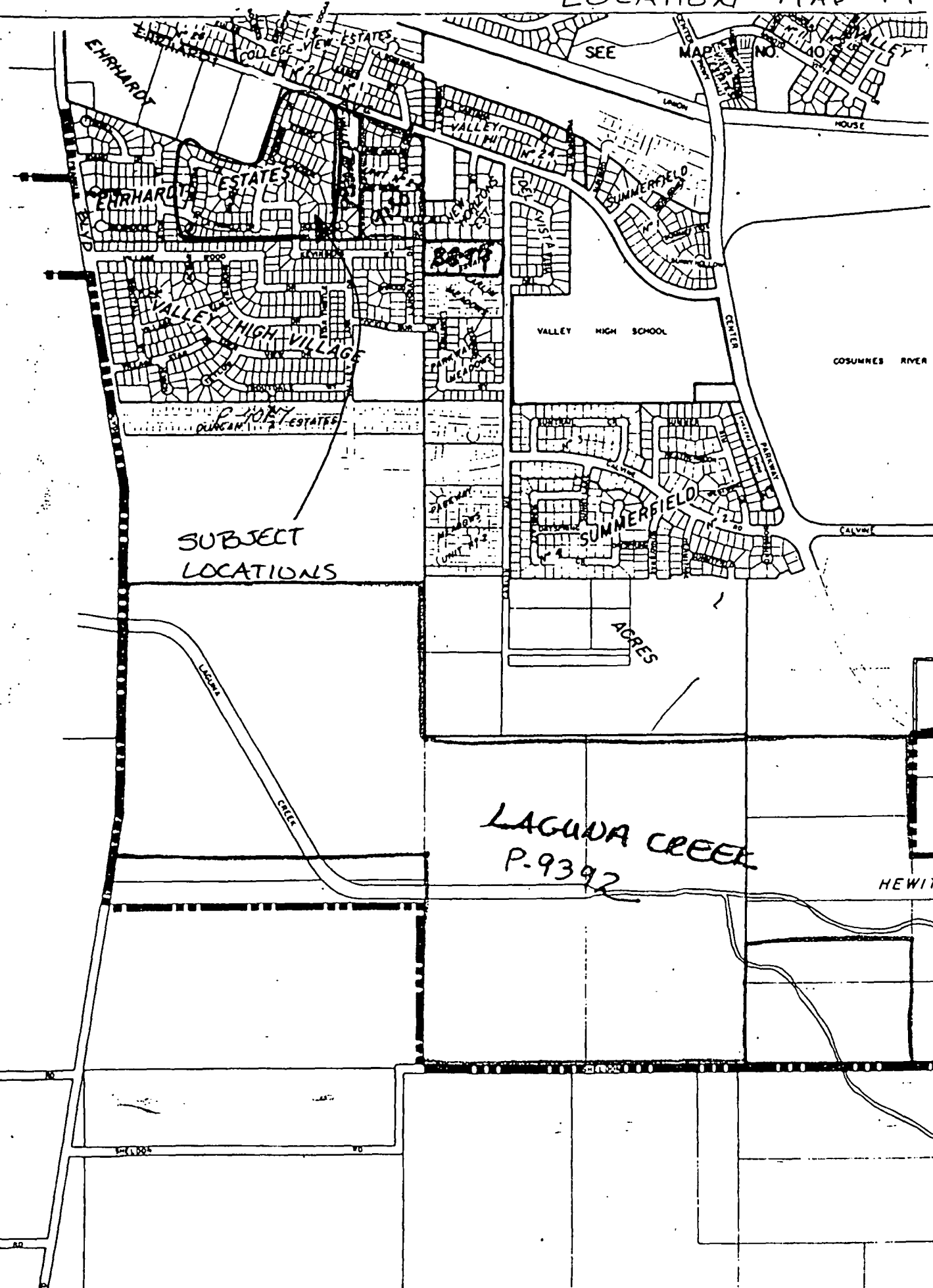
- a. The project as conditioned is based on sound principles of land use in that:
  - 1) an alternative type of housing and ownership potential is provided;
  - 2) the project provides for passive solar energy access.



- b. The project as conditioned will not be injurious to the surrounding properties in that it will not alter the characteristics of the area which consist of residential and vacant residential uses.
- c. The project is compatible with the 1965 Valley Hi Community Plan which designates the area Light Density Residential.
- d. The project is compatible with the 1974 General Plan which encourages alternative housing types.

Conditions - Tentative Map

- a. Applicant shall place the following note on the final map: The units shall be built to the new State Residential Energy Conservation Building Standards scheduled to become effective in July 1982, whether or not said standards then become effective.
- b. If there are any existing assessments, file the necessary segregation requests and fees to segregate existing assessments.
- c. Pursuant to City Code, Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.
- d. Sewer line shall be extended to Lot 11A.



SUBJECT LOCATIONS

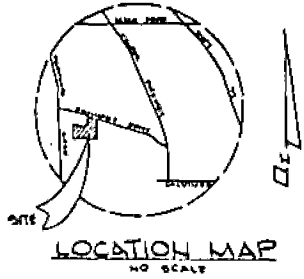
LAGUNA CREEK  
P. 9392

TENTATIVE MAP FOR THE  
RESUBDIVISION OF LOTS 1, 11, 17, 15, 25, 27, 33, 127, 128, 142, 145, 149,  
156, 167, 168, 180, 192 & 193

# EHRHARDT ESTATES

CITY OF SACRAMENTO  
MAY, 1982

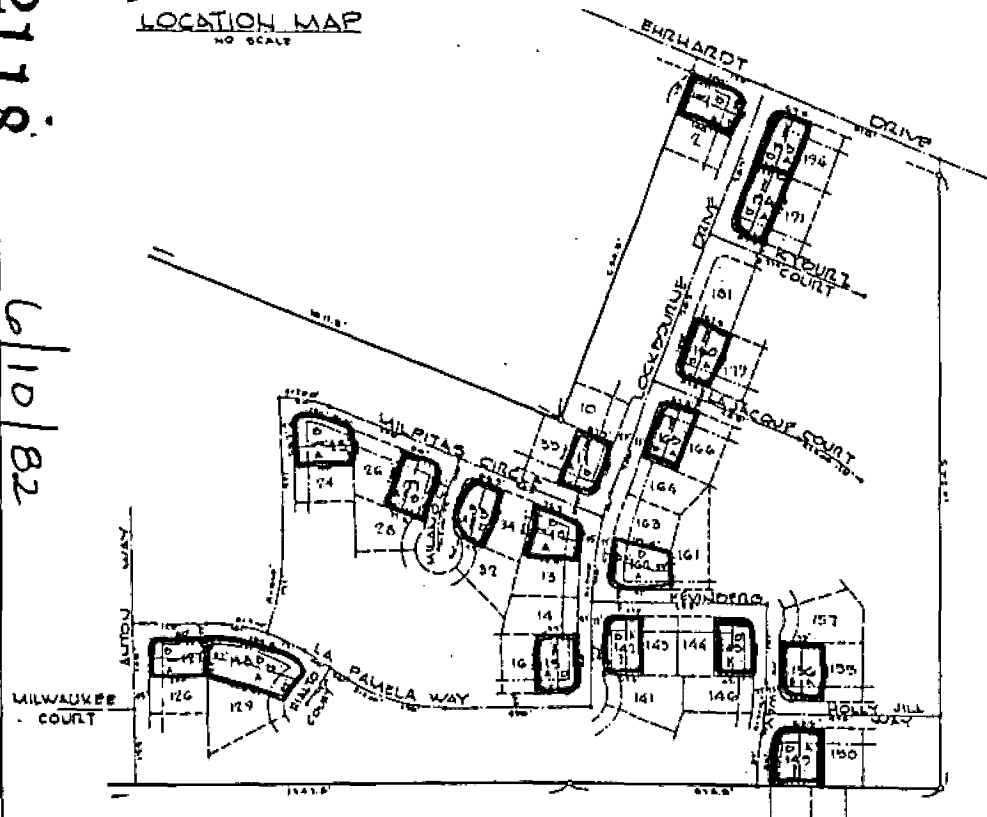
CALIFORNIA  
1" = 100'



P 82118

6/10/82

17



OWNER/SUBDIVIDER:

CENTER HOMES  
10144 FAIR OAKS BLVD.  
FAIR OAKS, CA 95628  
(916) 961-3080

ENGINEER:

GW CONSULTING ENGINEERS  
2400 GLENDALE LANE  
SACRAMENTO, CA 95828  
(916) 488-1770

LEGAL DESCRIPTION:

LOTS 1, 11, 17, 15, 25, 27, 33, 127, 128, 142, 145, 149, 156, 167, 168, 180, 192 & 193  
OF EHRHARDT ESTATES, BOOK 129 OF MAPS, MAP NO. G

APN:

117-532-446; 117-534-G+7; 117-540-1, 11, 17, 19, 27, 34, 37, 41, 48, 54, 57, 77, 84 & 85

PUBLIC IMPROVEMENTS:

EXISTING: SEE IMPROVEMENT PLANS FOR EHRHARDT  
ESTATES ON FILE WITH CITY OF SACRAMENTO

ZONING:

EXIST: R-1 ; PROPOSED: R-1A

FIRE:

CITY OF SACRAMENTO

WATER/DRAINAGE:

CITY OF SACRAMENTO

SCHOOLS:

ELK GROVE SCHOOL DIST.

SEWER:

SANITATION DISTRICT #1

PARKS:

CITY OF SACRAMENTO

EXHIBIT





GW CONSULTING ENGINEERS  
PLANNING & DESIGN DIVISION  
2400 GLENDALE LANE, SACRAMENTO, CALIFORNIA 95828  
916-488-1770

Drawn by: G.J.	Scale: 1" = 100'
Checked by: J.L.	Date: 5/19/82
Reviewed by: J.L.	Project No: 16322

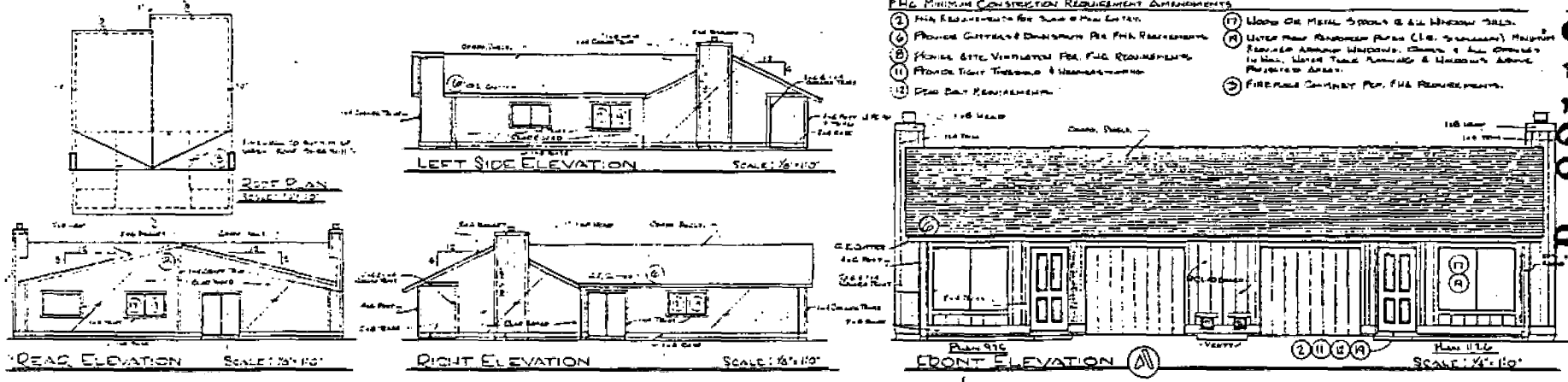
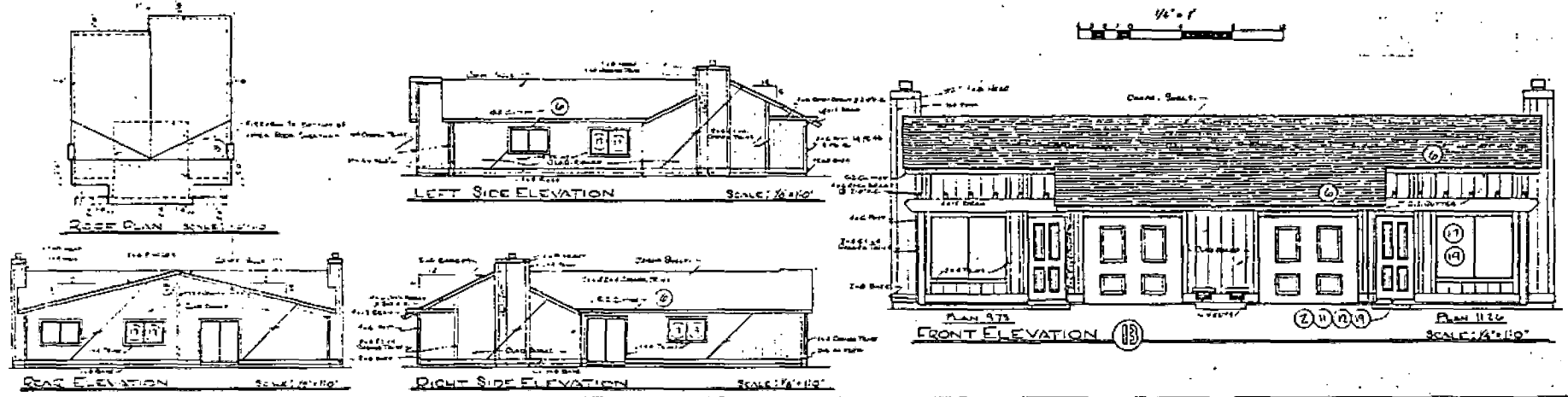
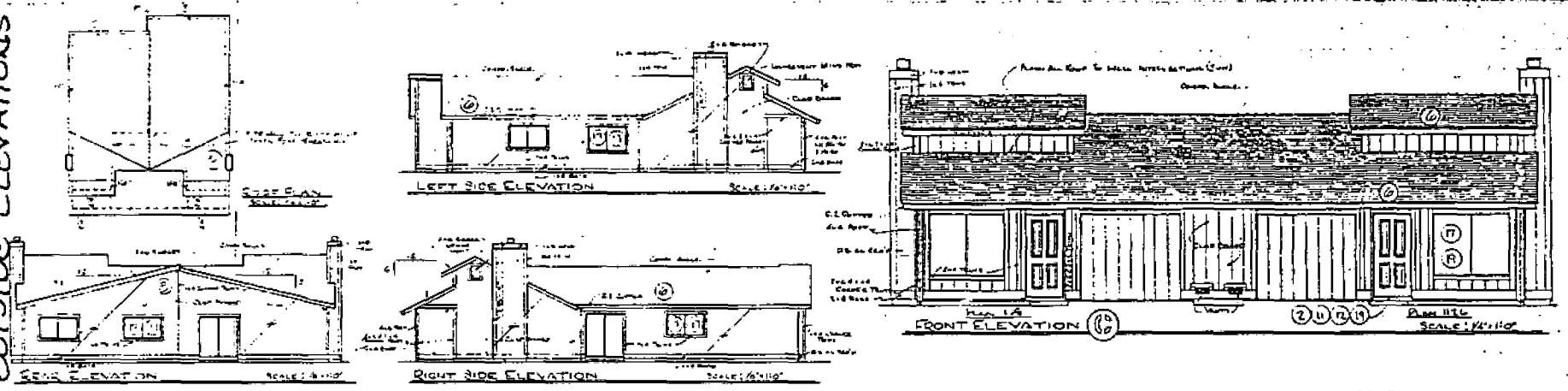
TENTATIVE MAP FOR THE  
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142, 145, 149, 156, 167, 168, 180, 192 & 193 OF  
EHRHARDT ESTATES  
CITY OF SACRAMENTO, CALIFORNIA


No. 15

23 #

23 #1

OUTSIDE ELEVATIONS



**FHA MINIMUM CONSTRUCTION REQUIREMENT AMENDMENTS**

- (1) FILL REQUIREMENTS FOR STAIR & POOL ENTRY
- (2) PROVIDE OUTSIDE DRAINAGE FOR FHA REQUIREMENTS
- (3) PROVIDE SITE VENTILATION PER FHA REQUIREMENTS
- (4) PROVIDE TIGHT THRESHOLDS & WEATHERSTRIPPING
- (5) DEAD END REQUIREMENTS
- (6) WOOD OR METAL SPINDS & ALL WINDOW SILLS
- (7) WATER TIGHT RAISED PORCH (I.E. TERRACE) MUST BE FINISHED AROUND WINDOWS, DOORS & ALL CORNERS IN WALL, WATER TIGHT RAISING & HOLDING ABOVE FINISHED GRADE
- (8) FIREPLACE CHIMNEY PER FHA REQUIREMENTS

NO.	DATE	BY	REVISIONS

**SHAW & ASSOCIATES, INC.**  
 1108 C. SHAW LIC. #8771  
 BUILDING DESIGNERS - LAND PLANNERS  
 3713 S. FAIR OAKS BLVD. CARLSBAD, CALIFORNIA 92008  
 (619) 844-2348

Plan 112A  
 Plan 976

**821718**  
 A, B, C EXTERIOR CALCULATIONS  
 & ROOF PLANS  
**CENTEX HOMES**  
 1014 FAIR OAKS BLVD. (714) 941-8800  
 P.O. BOX 100, CARLSBAD, CA

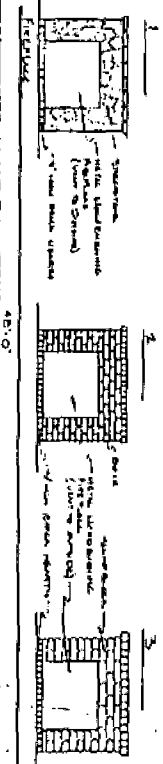
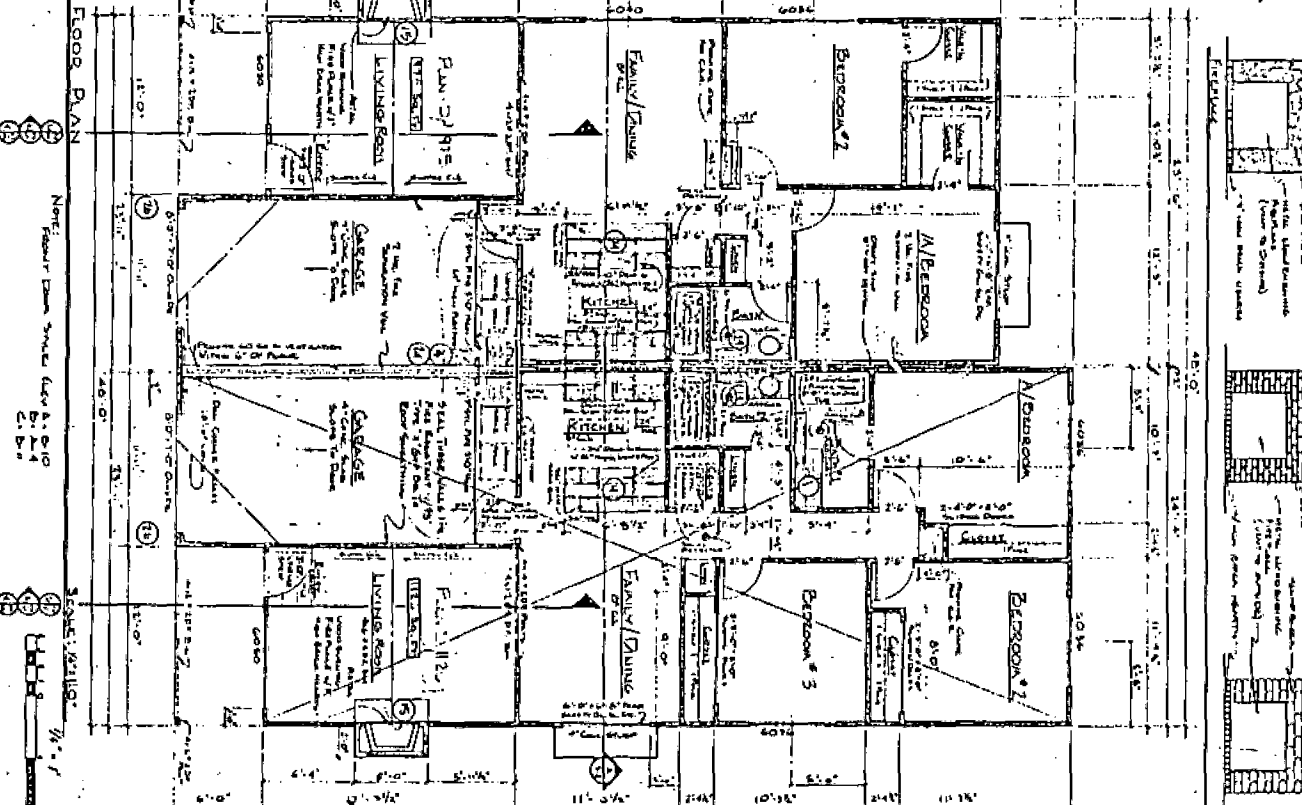
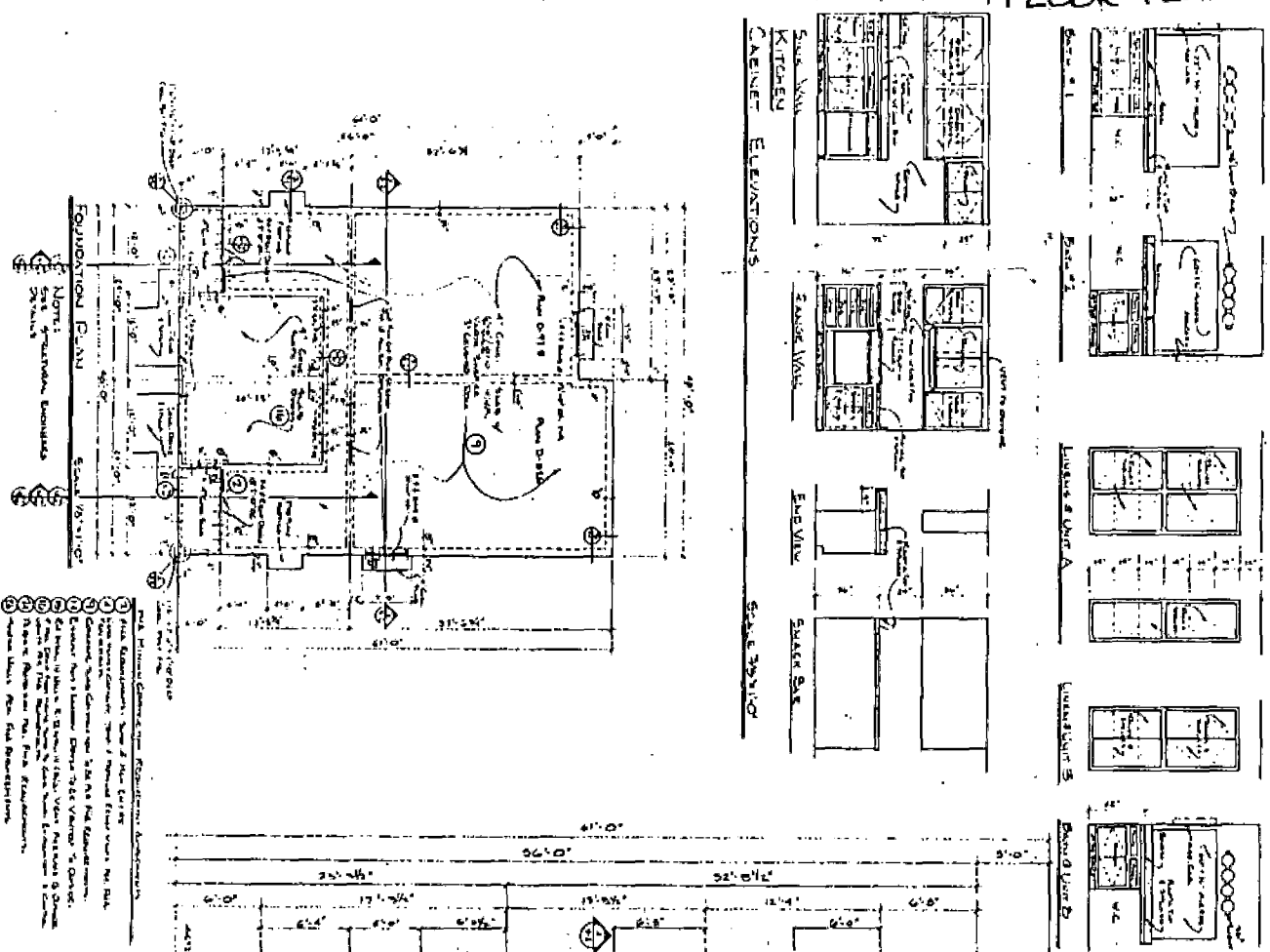
DATE 3-1-81	DRAWN BOB
DATE 11-10-80	CHECKED
SCALE AS NOTED	DRAWN
SHEET	

No. 15

18  
 6/10/82

20  
4#

FLOOR PLAN



P 82118

6/16/82

DATE	9-81
DRAWN	Page
JOB	21-02-10
SCALE	AS NOTED
CHECKED	
DRAWER	

FLOOR PLAN, FOUNDATION PLAN & CABINET ELEVATIONS

**CENTEX HOMES**  
OF CALIFORNIA  
10144 FAIR OAKS BLVD. (714) 761-2000  
FAIR OAKS, CA 92626

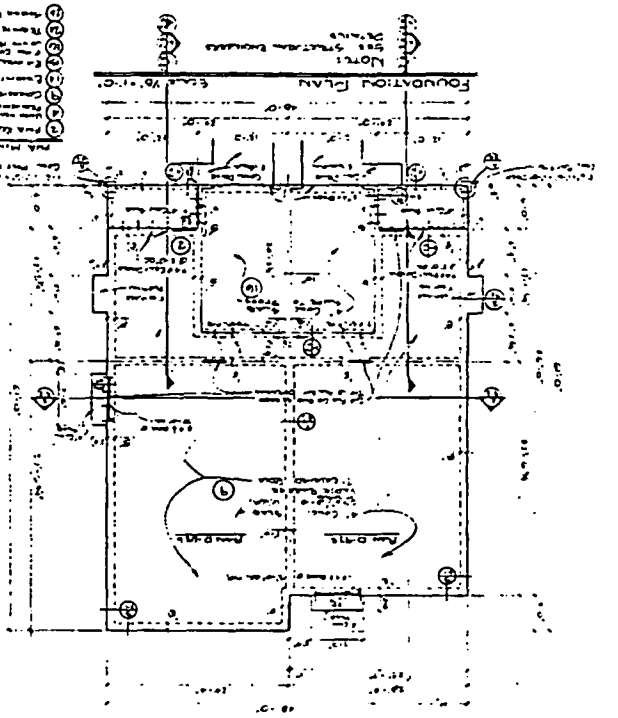
**PLAN**  
D-975

**SHAW & ASSOCIATES, INC.**  
BOB C. SHAW LIC. NO 772  
BUILDING DESIGNERS - LAND PLANNERS  
27104 FAIR OAKS BLVD. (800) 844-2345  
CARMICHAEL CALIFORNIA 92608  
A DUPLEX HAVING 4115 SQ. FT.

REVISIONS	BY
1-10-81	RF
2-10-81	RF
3-10-81	RF

No. 15

FLOOR PLAN



Note: See Foundation Plan for Foundation Details.

1. Foundation Details are shown on Foundation Plan.

2. Foundation Details are shown on Foundation Plan.

3. Foundation Details are shown on Foundation Plan.

4. Foundation Details are shown on Foundation Plan.

5. Foundation Details are shown on Foundation Plan.

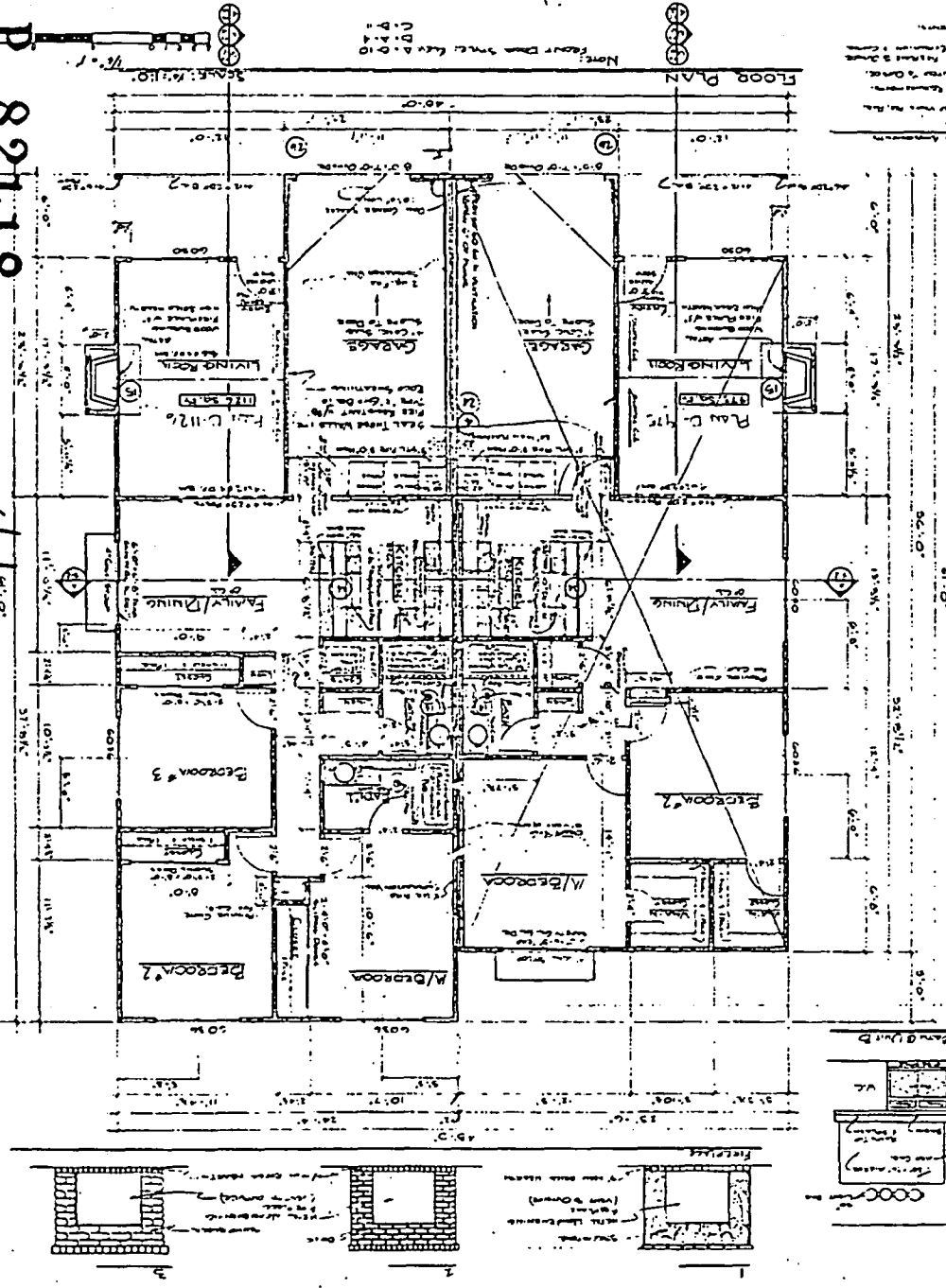
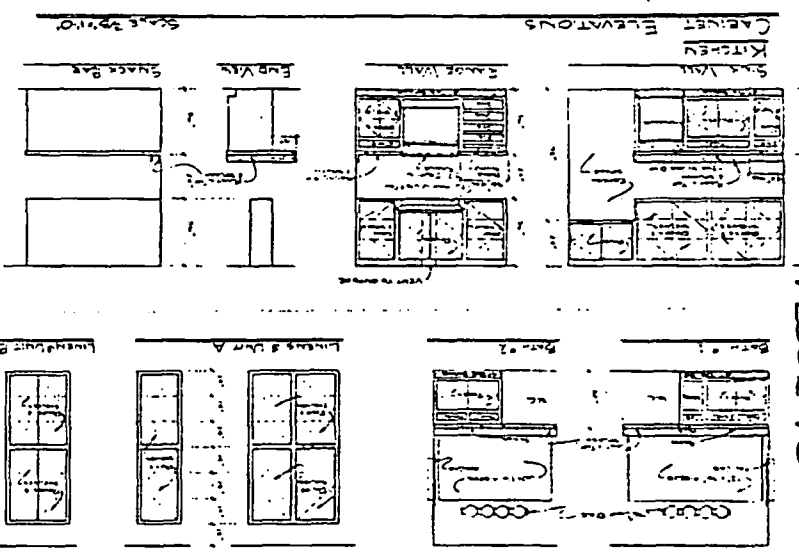
6. Foundation Details are shown on Foundation Plan.

7. Foundation Details are shown on Foundation Plan.

8. Foundation Details are shown on Foundation Plan.

9. Foundation Details are shown on Foundation Plan.

10. Foundation Details are shown on Foundation Plan.



Note: See Foundation Plan for Foundation Details.

1. Foundation Details are shown on Foundation Plan.

2. Foundation Details are shown on Foundation Plan.

3. Foundation Details are shown on Foundation Plan.

4. Foundation Details are shown on Foundation Plan.

5. Foundation Details are shown on Foundation Plan.

6. Foundation Details are shown on Foundation Plan.

7. Foundation Details are shown on Foundation Plan.

8. Foundation Details are shown on Foundation Plan.

9. Foundation Details are shown on Foundation Plan.

10. Foundation Details are shown on Foundation Plan.

DATE: 7-1-81

DRAWN BY: [Signature]

CHECKED BY: [Signature]

PROJECT: 82118

FLOOR PLAN: FOUNDATION PLAN

CLIENT: CENTEX HOMES

1044 RAINBOW DRIVE, (714) 922-2222

PLAN: D-1126

SHAW & ASSOCIATES, INC.

11714 FARM CREEK BLVD., CARLSBAD, CALIFORNIA 92008

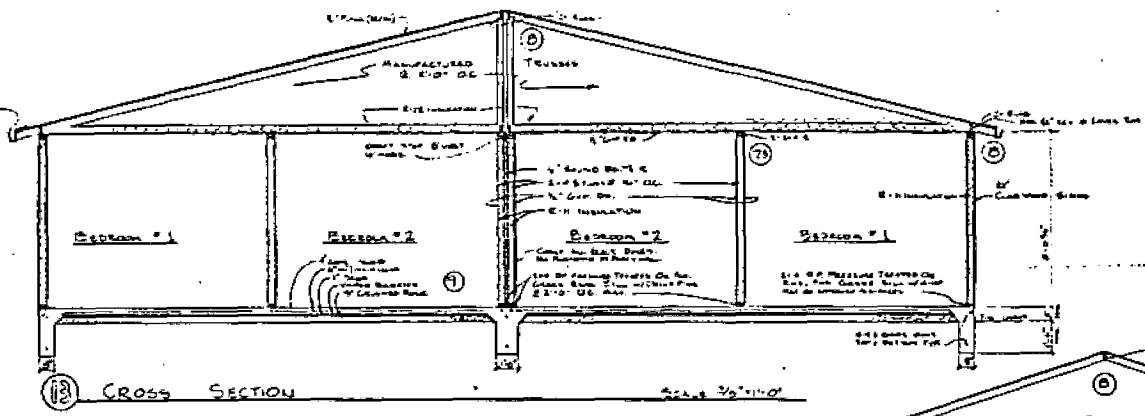
PHONE: (619) 444-1345

NO.	REVISION

23  
44

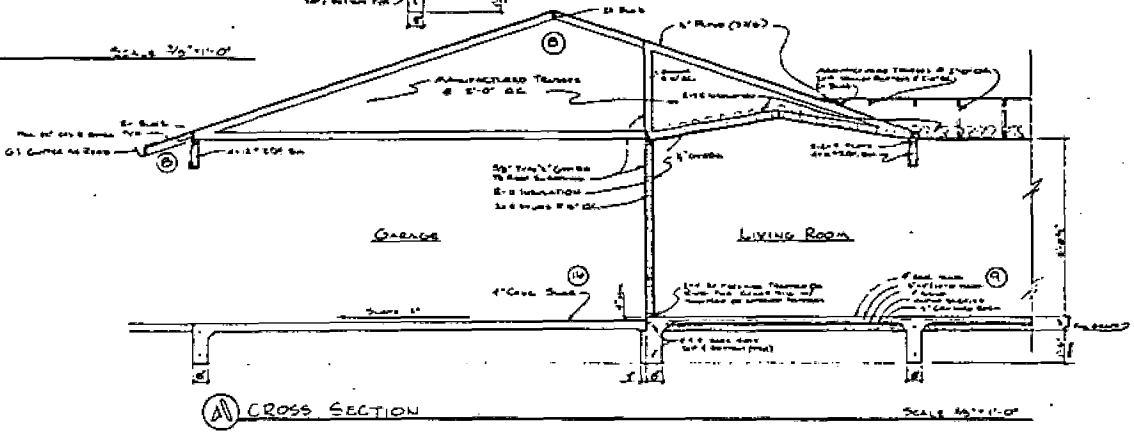
OUTSIDE ELEVATIONS

No. 15

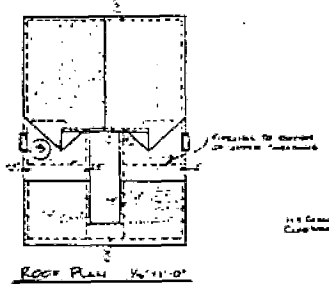


CROSS SECTION SCALE 3/8"=1'-0"

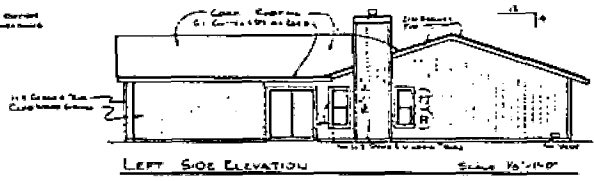
- FHA MINIMUM CONSTRUCTION REQUIREMENT AGREEMENT
1. FIVE BEDROOMS: 3 AND 2 1/2 BATHS
  2. FERRAS GARAGE FOR FIVE REQUIREMENTS
  3. PLUMBING AND VENTILATION FOR FIVE REQUIREMENTS
  4. CONCRETE SLAB CONSTRUCTION FOR FIVE REQUIREMENTS
  5. PROVIDE VERY THOROUGH INSULATIONS
  6. PLUMBING REQUIREMENTS
  7. 1/2" MIN. CLEAR FROM WALLS TO CURTAIN RODS, EXHAUSTION & CENTRAL HEATING FOR FIVE REQUIREMENTS
  8. WOOD OR METAL TRUSS & ALL JOIST TRUSS
  9. WINDSTORM RESISTANT PANELS (1/2" MINIMUM) MASONRY FINISHES EXTERIOR WALLS, DOORS & WINDOWS. HEAVY TENSILE REINFORCING & BRACING AS PER PLAN AND SPEC.
  10. THE BOTTOM CORNER OF ALL TENSILE REINFORCING & BRACING LOCATED CORNER.



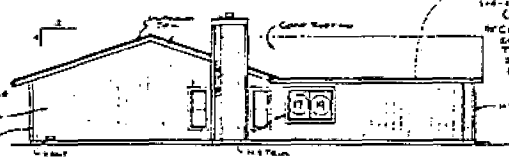
CROSS SECTION SCALE 3/8"=1'-0"



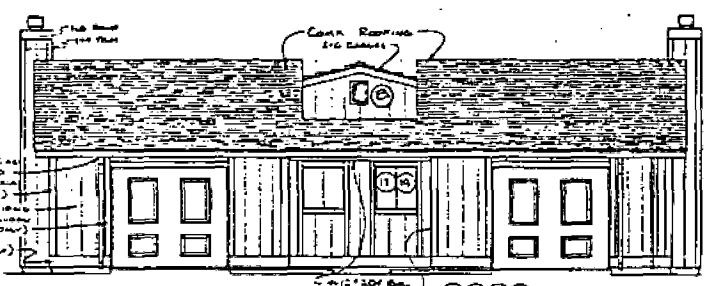
ROOF PLAN 1/2"=1'-0"



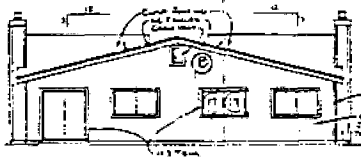
LEFT SIDE ELEVATION SCALE 1/8"=1'-0"



RIGHT SIDE ELEVATION SCALE 1/8"=1'-0"



FRONT ELEVATION SCALE 1/8"=1'-0"



REAR ELEVATION SCALE 1/8"=1'-0"

NO.	DATE	REVISIONS
1	11-15-81	1. 1-1/2" x 4" x 8" x 12"
2	11-15-81	2. 1-1/2" x 4" x 8" x 12"
3	11-15-81	3. 1-1/2" x 4" x 8" x 12"

SHAW & ASSOCIATES, INC.  
 BOB C. SHAW LIC. #1774  
 BUILDING DESIGNERS - LAND PLANNERS  
 1114 S. MAIN ST. SUITE 100  
 CAROLINA, CALIFORNIA 94008  
 A. CHANDLER, Manager, A. Terman, Jr.  
 1826 Buell St., Walnut Hills, Ohio

ENGINEERING BY:  
**PLAN D1556**

ENTRANCE ELEVATIONS, ROOF PLAN, CROSS SECTIONS  
**CENTEX HOMES**  
 10144 Park Crest Blvd. (940) 761-4000  
 Fremont, Calif., Ca.

DATE 11-15-81  
 DRAWN BY  
 JOB 81-021-15  
 SCALE AS SHOWN  
 CHECKED  
 DRAWN

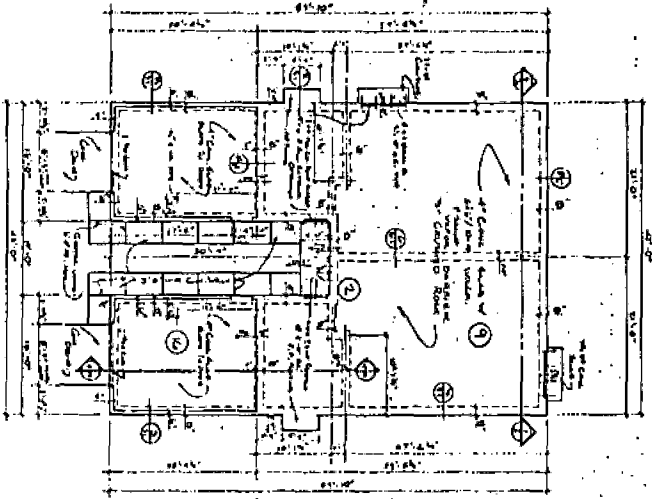
6/10/82

P 82118

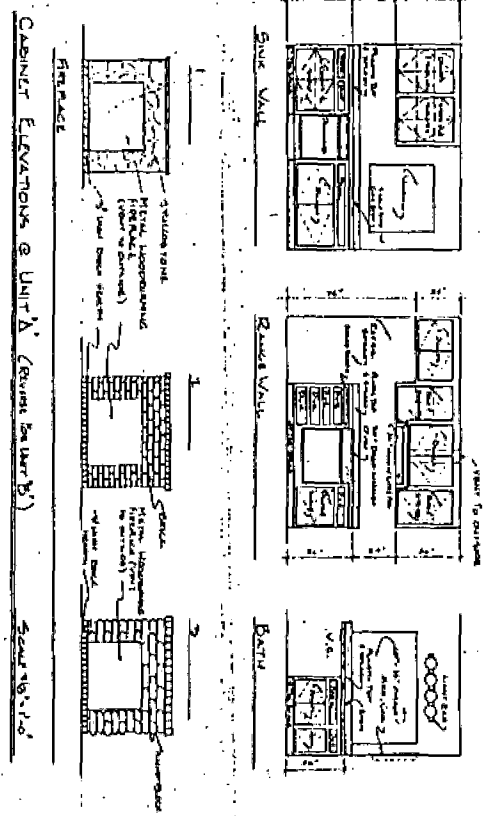


# FLOOR PLAN

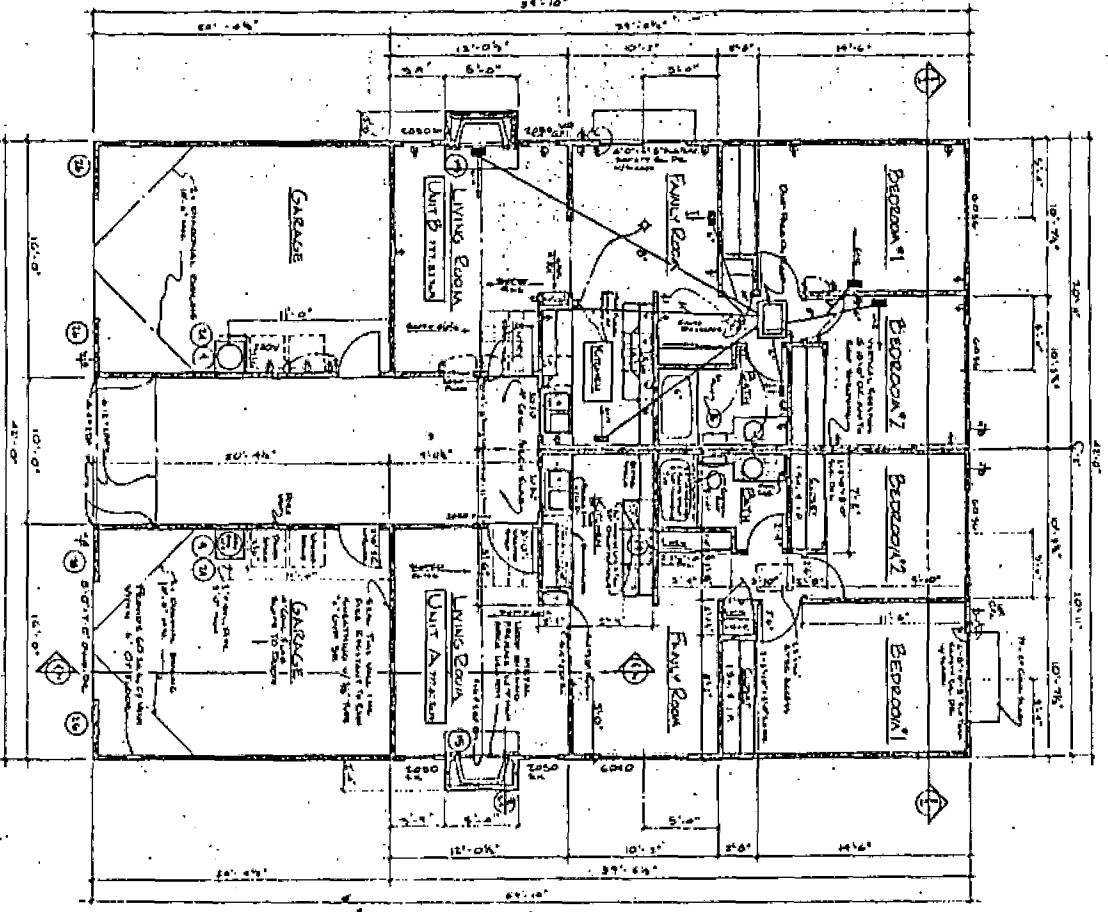
1/16 Minimum Construction Requirements  
 This Foundation Plan is based on the following assumptions:  
 1. The soil is of average bearing capacity.  
 2. The foundation is to be constructed in accordance with the provisions of the California Building Code, Section 1801.0.  
 3. The foundation is to be constructed in accordance with the provisions of the California Building Code, Section 1801.0.  
 4. The foundation is to be constructed in accordance with the provisions of the California Building Code, Section 1801.0.  
 5. The foundation is to be constructed in accordance with the provisions of the California Building Code, Section 1801.0.  
 6. The foundation is to be constructed in accordance with the provisions of the California Building Code, Section 1801.0.  
 7. The foundation is to be constructed in accordance with the provisions of the California Building Code, Section 1801.0.  
 8. The foundation is to be constructed in accordance with the provisions of the California Building Code, Section 1801.0.  
 9. The foundation is to be constructed in accordance with the provisions of the California Building Code, Section 1801.0.  
 10. The foundation is to be constructed in accordance with the provisions of the California Building Code, Section 1801.0.



FOUNDATION PLAN  
 Notes: See Structural Eng. Details



CABINET ELEVATIONS & UNITS (General Schedule)



FLOOR PLAN WITH ELECTRICAL, HEATING/COOLING PLAN  
 Notes: See Structural Eng. Details  
 SCALE: 1/8" = 1'-0"

P 82118

6/10/82

DATE	5-1-81
DRAWN	TRB
JOB	01-05-19
SCALE	AS SHOWN
CHECKED	
DRAWER	

FLOOR PLAN, FOUNDATION PLAN, CABINET ELEVATIONS  
**CENTEX HOMES**  
 OF CALIFORNIA  
 10144 FAIR OAKS BLVD. (916) 461-5200  
 FAIR OAKS, CA 95628

ENGINEERING BY:  
**PLAN**  
**DI556**

**SHAW & ASSOCIATES, INC.**  
 BOB C. SHAW I.C. NO 772  
 BUILDING DESIGNERS - LAND PLANNERS  
 7833A FAIR OAKS BLVD. (916) 844-1345  
 CARMICHAEL CALIFORNIA 95608  
 A Duplex Having a Total of 1556 Sq. Ft.

REVISIONS	BY
1-0-0-0	1



ALTERNATIVE COMPONENT MEASURE PACKAGES

MEASURE	PACKAGE A	PACKAGE B	PACKAGE C
SPACE CONDITIONING			
CEILING INSULATION	30	30	30
WALL INSULATION	11	19	11
FLOOR INSULATION			
SLAB EDGE	7	7	7
RAISED FLOOR	11	19	11
MINIMUM GLAZING U VALUE <i>DOUBLE PANE</i>	0.65	0.50	0.65
GLAZING ORIENTATION (1)	50% South	No	No
MAXIMUM GLAZING AREA (2)	16%	16%	16%
SHADING OF SOUTH GLASS	3 ft. overhang	3 ft. overhang	3. ft. overhang
SHADING OF EAST & WEST GLASS	No	0.36 shade coeff.	No
THERMAL MASS (3)	4.67 Btu/°F-ft <sup>2</sup>	No	No
HEATING SYSTEM TYPE	Gas or Heat Pump	Gas or Heat Pump	Gas or Heat Pump
HEAT EXCHANGER	No	No	No
POLYETHYLENE ON WALLS	No	No	No
ELECTRICAL OUTLET GASKETS	No	No	No
WATER HEATING			
TANK BLANKET	R12	R12	R12
HEATING SYSTEM TYPE	Gas or Solar	Gas or Solar	Solar With Gas Backup

- (1) Percent of total glass
- (2) Percent of conditioned floor area
- (3) Equivalent to not carpeting one half the concrete on the ground floor. Based on total square feet of ground floor.

Source: Calif. Energy Commission  
Committee Proposed Resid. 35.  
Building Standards - April 81.  
P-400-81-005

Approved 25 Sept 81 by  
Cal. State Building Stds.  
Committee. Effective 30/Nov/81  
-No. 15

P-82118

6/10/82 23

NOTICE OF APPEAL OF THE DECISION OF THE  
SACRAMENTO CITY PLANNING COMMISSION

DATE: June 14, 1982

TO THE PLANNING DIRECTOR:

I do hereby make application to appeal the decision of the City  
Planning Commission of June 10, 1982 when:  
(Date)

       Rezoning Application        Variance Application  
  X   Special Permit Application       

was:   X   Granted        Denied by the Commission

GROUND FOR APPEAL: (Explain in detail)  
Applicant wishes to construct half-plexes using duplex plans or as dictated by  
the marketplace.

PROPERTY LOCATION: Erhardt Estates

PROPERTY DESCRIPTION: Numerous corner lots in Erhardt Estates

ASSESSOR'S PARCEL NO. 117-532-04 & 06  
117 - 534 - 06 & 07  
117-540-1, 11, 17, 19, 22, 34, 37, 41, 48, 54, 57, 72, 84 & 85.  
PROPERTY OWNER: Centex Homes of California

ADDRESS: 10144 Fair Oaks Boulevard Fair Oaks, California 95628

APPLICANT: Centex Homes of California

ADDRESS: 10144 Fair Oaks Boulevard Fair Oaks, California 95628

APPELLANT: \* *[Signature]*  
(SIGNATURE)

ADDRESS: 10144 Fair Oaks Boulevard Fair Oaks, California 95628

FILING FEE:  
 by Applicant: \$105.00 RECEIPT NO. 250  
 by 3rd party: 60.00

FORWARDED TO CITY CLERK ON DATE OF: \_\_\_\_\_

P- 82-118

# SACRAMENTO CITY PLANNING DEPARTMENT

Application Information

Application taken by/date: \_\_\_\_\_

Project Location East of Franklin Blvd., South of Ehrhardt Avenue P N ~~9754~~  
 Assessor Parcel No. 117-532-4 & 6; 117-540-01,11,17,19,22,34,37,41,48,54, P **82118**  
 Owners Centrex Homes of CA 57,72,84,85 Phone No. \_\_\_\_\_  
 Address 10144 Fair Oaks Blvd., Fair Oaks 95628  
 Applicant G. W. Consulting Engineers, 2400 Glendale Ln, Phone No. 488-1720  
 Address 2400 Glendale Lane, Suite G, Sacramento CA  
 Signature \_\_\_\_\_ C.P.C. Mtg. Date 6-10-82

**REQUESTED ENTITLEMENTS**

**ACTION ON ENTITLEMENTS**

**Filing Fees**

REQUESTED ENTITLEMENTS	Commission date	Council date	Filing Fees
<input checked="" type="checkbox"/> Environ. Determination <u>Neg. Dec.</u>	_____	_____	\$ _____
<input type="checkbox"/> General Plan Amend _____	_____	_____	\$ _____
<input type="checkbox"/> Community Plan Amend _____	_____	Res. _____	\$ _____
<input checked="" type="checkbox"/> Rezone <u>18 existing corner lots from single family R-1 to Townhouse, R-1A</u>	<u>A</u>	_____	\$ _____
<input checked="" type="checkbox"/> Tentative Map <u>to divide 18 existing vacant corner lots into 36 halfplex lots</u>	<u>AC</u>	Ord. _____	\$ _____
<input checked="" type="checkbox"/> Special Permit <u>for the development of 36 halfplexes.</u>	<u>AC &amp; FF</u>	Res. _____	\$ _____
<input type="checkbox"/> Variances _____	_____	_____	\$ _____
<input type="checkbox"/> Plan Review _____	_____	_____	\$ _____
<input type="checkbox"/> PUD _____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Other <u>Subdivision Modification: to waive sewer and water services</u>	<u>A</u>	_____	\$ _____

FEE TOTAL \$ \_\_\_\_\_  
 RECEIPT NO. \_\_\_\_\_  
 By/date \_\_\_\_\_

Sent to Applicant: \_\_\_\_\_ Date \_\_\_\_\_ By: \_\_\_\_\_ Sec. to Planning Commission

**Key to Entitlement Actions**

- |                                    |   |  |
|------------------------------------|---|--|
| R - Ratified                       | D - Denied                                    | IAF - Intent to Approve based on Findings of Fact  |
| Cd - Continued                     | RD - Recommend Denial                         | AFF - Approved based on Findings of Fact           |
| A - Approved                       | RA - Recommend Approval                       | RPC - Return to Planning Commission                |
| AC - Approved W/conditions         | RAC - Recommend Approval W/conditions         | CSR - Condition Indicated on attached Staff Report |
| AA - Approved W/amended conditions | RMC - Recommend Approval W/amended conditions |  |

**P 82118**

NOTE: There is a thirty (30) consecutive day appeal period from date of approval. Action authorized by this document shall not be conducted in such a manner as to constitute a public nuisance. Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions taken on rezonings, special permits and variances.

Centrex Homes of CA  
10144 Fair Oaks Boulevard  
Fair Oaks, CA 95628

June 30, 1982

On June 22, 1982, the following matter was filed with my office to set a hearing date before the City Council:

- P82-118 Various requests for property located east of Franklin Boulevard, south of Ehrhardt Avenue. (D7)
- A. Rezone from R-1 to R-1A.
  - B. Tentative Map to divide 18 lots into 36 halfplex lots.
  - C. Subdivision Modification to waive sewer and water services.
  - D. Appeal of conditions to special permit to develop 36 halfplex units.

This hearing has been set for July 20, 1982, 7:30 p.m., Council Chamber, Second Floor, City Hall, 915 "I" Street, Sacramento, California. Interested parties are invited to appear and speak at the hearing.

Pursuant to Council Rules of Procedure 4.5, continuance of the above matter may be obtained only by the property owner of the above property, applicant, or appellant, or their designee, by submitting a written request delivered to this office no later than 12:00 Noon the day prior to the scheduled hearing date. If written request is not delivered to this office as specified herein, a continuance may only be obtained by appearing before the City Council at the time of the hearing and submitting a verbal request to the Council.

Any questions regarding this hearing should be directed to the **City Planning Department, 927 Tenth Street, Sacramento, California, phone 449-5604.**

Sincerely,

Lorraine Magana  
City Clerk

LM/mlt

cc: G. W. Consulting Engineers, 2400 Glendale Lane, Ste G, 95825  
P82-118 Mailing List (33)

City of San Francisco  
Department of Public Works  
Office of the City Engineer  
101 California Street, Suite 1000  
San Francisco, California 94111  
Phone: (415) 361-3300  
Fax: (415) 361-3301  
www.sfdph.org/dph/ce

July 22, 1982

Centrex Homes of California  
10144 Fair Oaks Boulevard  
Fair Oaks CA 95628

On July 20, 1982, the following matter was scheduled to be heard before the City Council:

Various requests for property located east of Franklin Blvd. south of Ehrhardt Ave. (D7) (P82-118):

- A. Rezone from R-1 to R-1A
- B. Tentative Map to divide 18 lots into 36 halfplex lots.
- C. Subdivision Modification to waive sewer and water services.
- D. Appeal of conditions to special permit to develop 36 halfplex units.

This hearing has been continued to July 27, 1982 at the hour of 7:30 p.m., in the City Council Chamber, Second Floor, City Hall, 915 "I" Street, Sacramento California. Interested parties may appear and speak at the hearing.

Pursuant to Council Rules of Procedure 4.5(3), "No person who has once obtained a continuance of a hearing, whether by notice to the City Clerk as provided in Section 4.5(1) or by personal appearance as provided in paragraph 4.5(2) shall be granted a further continuance except by personally appearing at the Council meeting at the time at which the hearing is scheduled and by satisfying the Council that extraordinary circumstances exist which would justify such a continuance." Continuances may be requested by the owner of the subject property, applicant, appellant, or a designee for same.

Any questions regarding this hearing should be referred to the **City Planning Department, 927 Tenth Street, Sacramento California, phone (916) 449-5604.**

Sincerely,

Lorraine Magana  
City Clerk

LM/mlt

cc: G. W. Consulting Engineers, 2400 Glendale Ln Ste G, Sacramento  
P82-118 Mailing List (29)

1981, SS 1285

1981, SS 1285

1981, SS 1285



July 27, 1982

Office of the City Clerk  
915 I Street  
City Hall - Room 203  
Sacramento, Ca.. 95814

Re; Application No. P82-118  
Ehrhardt Estates - Rezone for Half-Plexes

Gentlemen:

Please consider this letter our request to withdraw lot #12 from the above application. We do not have a building that will fit with-in the lot boundries using the new plan that was approved by the staff showing the front entry on both streets.

Very truly yours,

  
Mac W. Huss

**FILED**  
By the City Council  
Office of the City Clerk

JUL 27 1982





July 27, 1982

Office of the City Clerk  
915 I Street  
City Hall - Room 203  
Sacramento, Ca. 95814

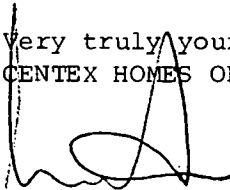
Re: Application No. P82-118  
Ehrhardt Estates - Rezone for Half-plexes

Gentlemen:

Pursuant to the staff's recommendation, we have resolved all of our differences on the Special Permit and subsequently wish to withdraw the appeal on Items 5A, B, C & D.

However, on the conditions relative to the Tentative Map, No. A, we wish to continue this appeal and we will comply with the demand of the Council as this will be the only item we will address on the eve of July 27, 1982.

Very truly yours,  
CENTEX HOMES OF CALIFORNIA, INC.

  
Mac W. Huss  
President - Sacramento Division

**FILED**  
By the City Council  
Office of the City Clerk

JUL 27 1982

MWH/vf



# CITY OF SACRAMENTO

## OFFICE OF THE CITY CLERK

915 I STREET  
CITY HALL ROOM 203

SACRAMENTO, CALIFORNIA 95814  
TELEPHONE (916) 449-5428

LORRAINE MAGANA  
CITY CLERK

July 28, 1982

Centrex Homes of California  
10144 Fair Oaks Boulevard  
Fair Oaks CA 95628

Dear Gentlemen:

On July 27, 1982, the Sacramento City Council took the following action(s) for property located east of Franklin Boulevard south of Ehrhardt Avenue (P-82118):

Adopted a Resolution adopting Findings of Fact and approving a request for Subdivision Modification and Tentative Map for property located east of Franklin Blvd, south of Ehrhardt Avenue.

Adopted a Ordinance removing property located east of east of Franklin Blvd, south of Ehrhardt Ave.

The appeal of conditions to special permit to develop 36 half-plex units was withdrawn by the applicant.

Enclosed, for your records, is a fully certified copy of above referenced resolution, ordinance, and findings of fact.

Sincerely,

Lorraine Magana  
City Clerk

LM/mlt/23  
Enclosure

cc: Planning Department  
Sacramento Consulting Engineers, 2400 Glendale Ln Ste G,

RESOLUTION No.

Adopted by The Sacramento City Council on date of

JUL 27 1982

A RESOLUTION ADOPTING FINDINGS OF FACT,  
APPROVING A REQUEST FOR SUBDIVISION  
MODIFICATION AND TENTATIVE MAP FOR PROPERTY  
LOCATED EAST OF FRANKLIN BOULEVARD, SOUTH OF  
EHRHARDT AVENUE (APN: 117-532-4,6; 117-540-01,22,  
34,37,41,48,54,57,72,84,85)(P82-118)

WHEREAS, the Planning Commission has submitted to the City Council its report and recommendations concerning the request for Subdivision Modification and Tentative Map for property located east of Franklin Boulevard, south of Ehrhardt Avenue, (hereinafter referred to as the proposed subdivision).

WHEREAS, the Council of the City of Sacramento, based on testimony submitted at public hearing(s) conducted on July 27, 1982, hereby finds and determines as follows:

- A. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and the Valley Hi Community Plan in that both plans designate the subject site for residential uses. Also, any required improvements are to be designed and constructed within the provisions of the Subdivision Regulations which, by Section 40.102 of said regulations, is designated as a Specific Plan of the City of Sacramento.
- B. The site is physically suitable for the type and proposed density of development in that the subject site is flat with no significant erosional, soil expansion or other similar problems.
- C. The design of the subdivision or proposed improvements are not likely to cause substantial environmental damage, and will not substantially and avoidably injure fish or wildlife or their habitat. The proposed project has been reviewed and assessed by the Environmental Coordinator who has filed a Negative Declaration with the City Clerk. By virtue of the Negative Declaration, the proposed project will not cause individual or cumulative adverse effects on the natural and social-physical environment nor substantially and avoidably injure fish, wildlife, or their habitat.
- D. The design of the subdivision or the type of improvements are not likely to cause serious public health problems in that community water and sewer systems exist at the site. The site is not within an established floodplain or over a known seismic fault.

2000

1000

- E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public for access through, or use of, the property within the proposed subdivision in that there are no access easements for use by the public at large on the subject site.
- F. The discharge of waste from the proposed subdivision into the community sewer system servicing the proposed subdivision will not result in or add to a violation of the waste discharge requirements applicable to said sewer system which were prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that the existing County of Sacramento treatment plants have a design capacity for which the discharge from the proposed project will not create a condition exceeding the design capacity.
- G. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the proposed subdivision, taking into consideration the local climate, the contour and configuration of the parcel to be divided, and such other design and improvement requirements applicable to the proposed subdivision.
- H. In the matter of the requested Subdivision Modification, the Council determines as follows:
  - a. That the property to be divided is of such size or shape, or is affected by such topographic conditions, or that there are such special circumstances or conditions affecting the property that it is impossible, impracticable or undesirable in the particular case to conform to the strict application of these regulations.  
  
**Fact:** The waiver of service connections will only be temporary until building permits are obtained.
  - b. That cost to the subdivider of strict or literal compliance with the regulation is not the sole reason for granting the modification.

**Fact:** It is difficult to determine the adequate size of service lines until specific plans are submitted.

- c. That the modification will not be detrimental to the public health, safety, or welfare, or be injurious to other properties in the vicinity.

Fact: The granting of the modification will not alter the character of the area.

- d. That granting the modification is in accord with the intent and purpose of these regulations and is consistent with the General Plan and with all other applicable Specific Plans of the City.

Fact: The site is designated for residential uses.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sacramento as follows:

- A. The Negative Declaration be ratified;
- B. The Tentative Map and Subdivision Modification be approved subject to the following conditions:
  - 1. Applicant shall place the following note on the final map: The project shall comply with the General Plan policy that requires 80% north/south lot orientation. In order to comply with this policy, the applicant (subdivider) may substitute 13% (4 lots) of the units not sited on north/south facing lots with dwellings that will meet the State Residential Energy Conservation (Title 24) requirements.
  - 2. If there are any existing assessments, file the necessary segregation requests and fees to segregate existing assessments.
  - 3. Pursuant to City Code, Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map.

4. Sewer line shall be extended to Lot 11A.

PHILLIP L. ISENBERG  
MAYOR

ATTEST:

**LORRAINE MAGANA**

CITY CLERK





1948 30

1949 31

SECTION 3.

Rezoning of the property described in the attached exhibit(s) by the adoption of this ordinance shall be deemed to be in compliance with the procedures for the rezoning of property prescribed in Ordinance No. 2550, Fourth Series, as said procedures have been affected by recent court decisions.

PASSED FOR PUBLICATION:      JULY 13, 1982  
PASSED:                              JULY 27, 1982  
EFFECTIVE:                          AUGUST 26, 1982

**PHILLIP L. ISENBERG**

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MAYOR

ATTEST:

**LORRAINE MAGANA**

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CITY CLERK

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**TENTATIVE MAP FOR THE RESUBDIVISION OF LOTS 1, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100 OF EHRHARDT ESTATES**  
 CITY OF SACRAMENTO  
 MAY, 1982  
 CALIFORNIA 1/100'

**OWNER/SUBDIVIDER:**  
 CENTER HOMES  
 1014 FAIR OAKS BLVD.  
 FAIR OAKS, CA 95615  
 (916) 961-3050

**ENGINEER:**  
 GW CONSULTING ENGINEERS  
 1400 GLENDALE LAKE  
 SACRAMENTO, CA 95826  
 (916) 455-1710

**LEGAL DESCRIPTION:**  
 LOTS 1, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100 OF EHRHARDT ESTATES, BOOK 119 OF MAPS, MAP NO. G

**APN:**  
 117-537-416; 117-534-017; 117-540-11; 117-19-29, 34, 37, 41, 45, 51, 57, 64, 65

**PUBLIC IMPROVEMENTS:**  
 EXISTING: SEE IMPROVEMENT PLANS FOR EHRHARDT ESTATES ON FILE WITH CITY OF SACRAMENTO

**ZONING:**  
 EXIST: R-1A; PROPOSED: R-1A  
 CITY OF SACRAMENTO

**SCHOOLS:**  
 ELK GROVE SCHOOL DISTRICT  
 CITY OF SACRAMENTO

**PARKS:**  
 CITY OF SACRAMENTO

**SEWER:**  
 SANITATION DISTRICT #1  
 CITY OF SACRAMENTO

**WATER/DRAINAGE:**  
 CITY OF SACRAMENTO

**EXISTING: SEE IMPROVEMENT PLANS FOR EHRHARDT ESTATES ON FILE WITH CITY OF SACRAMENTO**

**LEGAL DESCRIPTION:**  
 LOTS 1, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100 OF EHRHARDT ESTATES, BOOK 119 OF MAPS, MAP NO. G

**APN:**  
 117-537-416; 117-534-017; 117-540-11; 117-19-29, 34, 37, 41, 45, 51, 57, 64, 65

**PUBLIC IMPROVEMENTS:**  
 EXISTING: SEE IMPROVEMENT PLANS FOR EHRHARDT ESTATES ON FILE WITH CITY OF SACRAMENTO

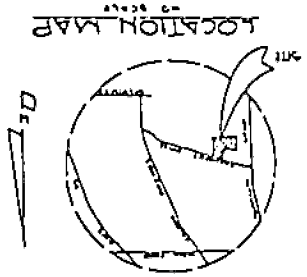
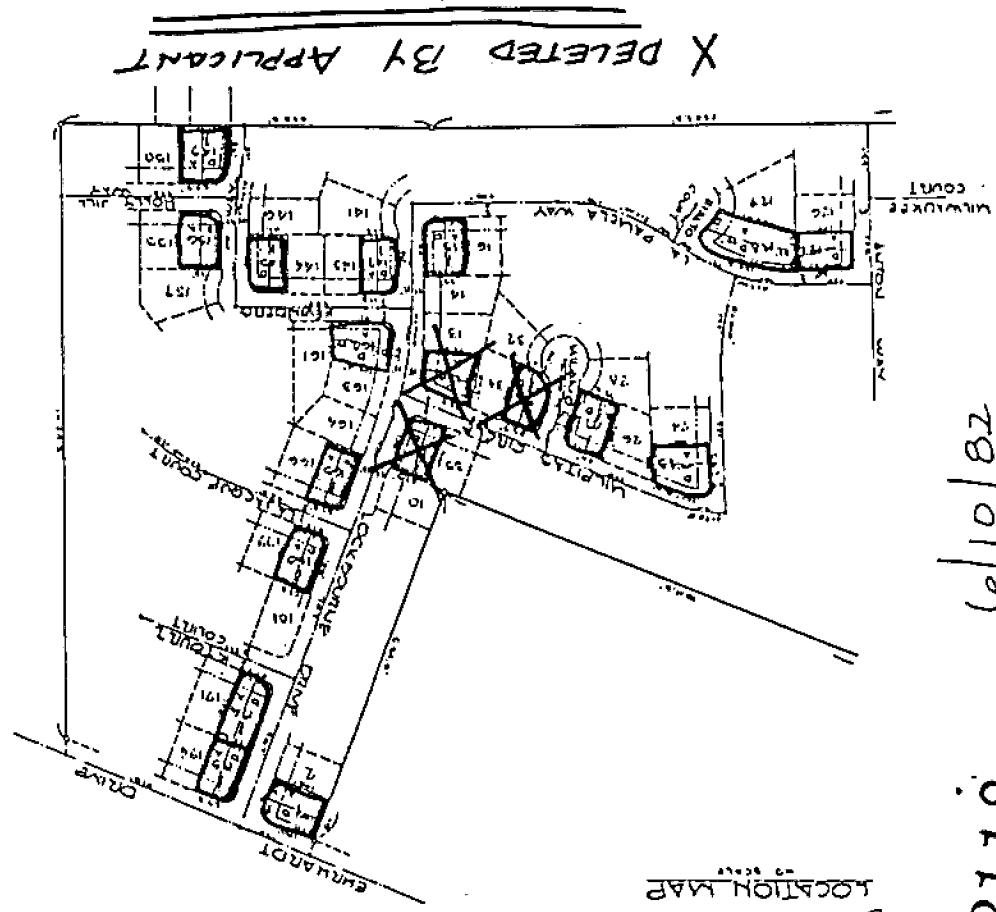
**ZONING:**  
 EXIST: R-1A; PROPOSED: R-1A  
 CITY OF SACRAMENTO

**SCHOOLS:**  
 ELK GROVE SCHOOL DISTRICT  
 CITY OF SACRAMENTO

**PARKS:**  
 CITY OF SACRAMENTO

**SEWER:**  
 SANITATION DISTRICT #1  
 CITY OF SACRAMENTO

**WATER/DRAINAGE:**  
 CITY OF SACRAMENTO



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