

P04-186 – Sonoma Avenue Rezone

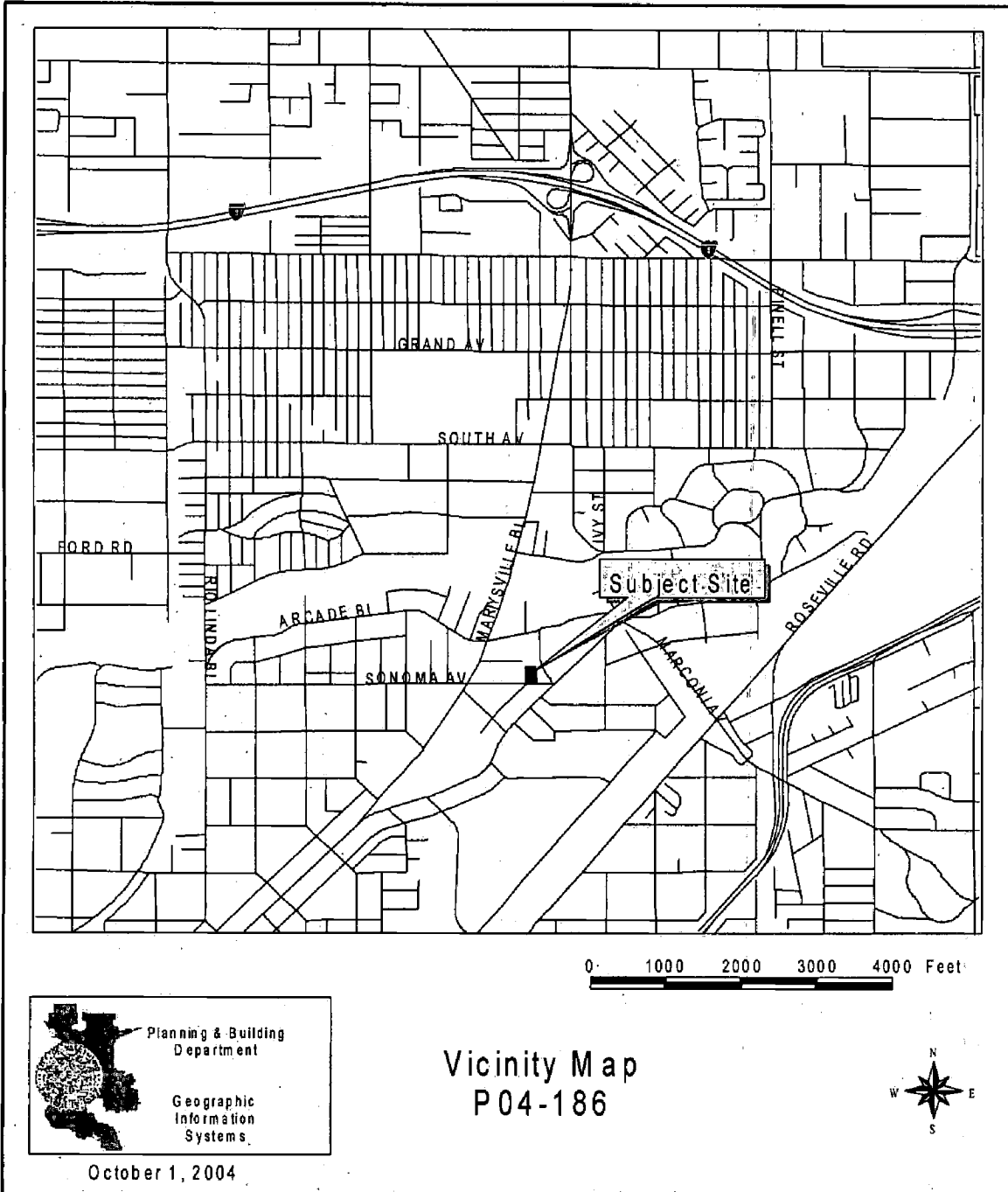
- REQUEST:
- A. Environmental Determination: Exempt (CEQA Section 15332).
 - B. Rezone 0.62± vacant acres from Multi-Family (R-3) to the Standard Single Family (R-1) zone.
 - C. Tentative Parcel Map to subdivide one lot totaling 0.62± acres into two lots in the proposed Standard Single Family (R-1) zone.
 - D. Special Permit to develop two deep lots with two single family residences each in the proposed Standard Single Family (R-1) zone.

LOCATION: 1559 Sonoma Avenue
APN: 265-0052-059
North Sacramento Unified School District
Council District 2

APPLICANT:	Lisa Haynes Robert Grigas & Associates, (916) 202-9471 18 Alazar Ct. Sacramento, CA 95835
OWNER:	Craig Letvin, (916) 247-4122 1500 El Camino Avenue, #188 Sacramento, CA 95821
APPLICATION FILED:	September 15, 2004
STAFF CONTACT:	Michael York, (916) 808-8239

SUMMARY:

The applicant is proposing to rezone a 0.62± acre lot from the Multi-Family (R-3) zone to the Standard Single Family (R-1) zone and split the lot into two lots. The two newly created lots would then be developed as deep lots with two residential units each. Two 1570± square foot structures would be developed on each lot. The purpose of the rezone is to allow development of each lot as a deep lot with the intention to create a transition between the existing apartments to the east and the single family to the west. Staff supports the applicants proposal. A neighborhood group has come forward in opposition of the project.



RECOMMENDATION:

Staff recommends the approval of the project. This recommendation is based on the conclusion that the proposed development will not negatively affect the surrounding area. The proposed project supports development in the City's infill areas, promotes efficient growth patterns where urban services are readily available, provides a variety of housing types in the area, and the development creates a transition between the existing apartment units and single family residences. The residences will be designed so as to positively enhance the existing neighborhood. The design is consistent with the City's Single Family Design Principles.

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential (4-15 du/na)
North Sacramento	
Community Plan Designation:	Residential (4-8du/na)
Existing Land Use of Site:	Vacant
Existing Zoning of Site:	Multi-Family (R-3)

Surrounding Land Use and Zoning:

North: Single Family; Single Family (R-1)
 South: Vacant, Single Family; Single Family (R-1)
 East: Apartments; Multi-Family (R-3)
 West: Apartments, Single Family; Multi-Family (R-3), Single Family (R-1)

Setbacks:	Required	Provided
Front:	25'	33'
W. Side(Int):	5'	5'
E. Side(Int):	5'	5'
Rear:	15'	15'

Property Dimensions:	213' x 125' (irregular)
Property Area:	0.62± acres (26,620 square feet)
Density of Development:	6 units per net acre
Height of Building:	16 feet, one story
Exterior Building Materials:	Stucco, stone, brick, lap siding
Roofing Materials:	Composition (30 yr)
Parking Required:	1 spaces per dwelling
Parking Provided:	2 spaces per dwelling
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

Permit
Off-Site Improvements
Building Permit
Driveway Permit

Agency
Development Engineering, Plan Check Section
Building Division
Development Engineering

BACKGROUND INFORMATION:

The site is currently vacant and has never been developed. Research of the entitlement history revealed no activity.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

1. General Plan & North Sacramento Community Plan

The General and North Sacramento Community Plans designate the site as Low Density Residential (4-15 du/na) and Residential (4-8 du/na) respectively. The project is consistent with the following General Plan and North Sacramento Community Plan policies:

"Promote infill development as a means to meet future housing needs" (Policy 4, Sec. 2-16).

"Develop residential land uses in a manner which is efficient and utilizes existing and planned urban resources" (Goal C, Sec. 2-15).

"Provide adequate housing sites and opportunities for all households" (Goal 1, Sec. 3.10-2).

"Provide adequate housing opportunities to attract new residents and employment centers" (NSCP, pg 48).

"Increase the supply of decent and safe housing, affordable particularly to lower and moderate income owners and renters" (NSCP, pg 48).

2. Smart Growth Principles

The project is consistent with the following Smart Growth principles:

"Concentrate new development and target infrastructure investments within the urban core of the region" to allow for efficient use of existing facilities, infill and reuse areas. (Policy 12).

"Create a range of housing opportunities and choices" with a diversity of affordable housing near employment centers. (Policy 12).

B. Rezone

The applicant is proposing to rezone the site from Multi-Family (R-3) to Standard Single Family (R-1). The R-3 zone is intended for traditional apartment style development with the R-1 zone as typical detached single family development. The rezone from R-3 to R-1 is a down zone that allows less dense development. Based on the acreage of the project site (0.62± acres), a maximum of 17 units could be developed under the current zoning of R-3 which is inconsistent with the North Sacramento Community Plan designation of 4-8 du/na. A rezone to R-1 will allow a total of four units (6du/na) for the entire project site based on the acreage of the site, which is consistent with the North Sacramento Community Plan designation of 4-8 du/na.

In initial meetings with the applicant, staff encouraged the applicant to develop the site with a more traditional multi-family development under the current zoning of Multi-Family (R-3) in order to maximize development of the site. The applicant was only interested in detached single family type development. The applicant was prepared to split the site into two lots without rezoning and develop one single family residence on each lot, which is permitted and only requires design review approval. Subdividing this lot into two smaller lots, though permitted creates less viable lots for future multi-family development. Therefore staff recommends the site be rezoned to R-1 due to the newly created lot sizes and to be consistent with the North Sacramento Community Plan designation.

In order to increase the number of housing units on the project site staff is supporting a rezone to R-1 along with a lot split and a special permit to develop each lot as a deep lot. Based on the acreage of the project site, creating two lots and developing each lot as a deep lot, two single family residences can be developed on each lot. This is two more units than the applicant was prepared to go forward with.

Additionally, the area around the project site is predominately single family development, so rezoning and developing as single family would not be out of character with the area.

Staff supports the rezone and development of the site with two single family residences on each lot since it maintains the residential character of the street, enhances an existing neighborhood, and is consistent with existing development.

C. Tentative Map

The proposed map subdivides 0.62± gross acres into two lots to develop two single family residences on each lot. Developing four units, two per lot, puts the density of the project at approximately six units per net acre. The density of the project is within the density ranges for both the General Plan (4-15du/na) and the North Sacramento Community Plan (4-8du/na).

The two newly created lots average approximately 13,100± square feet in area, more than adequate than the 10,400 square feet (5,200sf per residence) of lot area required to allow development of two single family residences on each lot. The subdivision is such that the lots each have public right-of-way frontage, allow sufficient room for setbacks from

property lines and area between each of the residential units, and does not prohibit the future extension of Strader Avenue which is just north of the project site. Staff has no issues with the map as proposed.

D. Special Permit

The City's Zoning Ordinance requires a special permit to allow development of deep lots in any zone. The project consists of developing two 1,570± square foot single family residences on two separate lots for a total of four units. In order to approve a special permit, each lot is required to have a minimum of 5,200 square feet of lot area for each residence to be constructed. The special permit requirement allows staff, the Planning Commission, and the public, to review and establish conditions on a project-by-project basis to ensure that projects will not have negative effects on surrounding areas.

In this case, each of the two lots will be approximately 63' wide by 213' deep with 13,100± square feet of lot area. Developing two residences on each lot requires a minimum of 10,400 square feet of lot area. This proposal meets that requirement. Based on the two units per lot, there is a requirement that a minimum 10 foot driveway be provided for each lot for access to the residences. For this project, the two 10 foot access drives will be provided along the shared property line between the two lots, essentially creating one 20 foot wide driveway. This alignment is preferred in that only one curb cut is needed at the public right-of-way frontage creating less conflict along the public right-of-way and fulfills Fire Department needs of 20 foot wide access lane for fire apparatus.

E. Site Design/Setbacks

The project will be designed with two single family homes on each lot, one home located toward the rear of the lot and one home in front toward the public right-of-way. The two 10' wide drives will be centrally located along the common property line between the two lots creating the one 20' wide driveway from the public right-of-way. The one driveway will provide access to the garages of each of the homes. Staff supports the proposed driveway alignment.

Setbacks of five feet will be provided along interior property lines, 15 feet will be provided along the rear property lines, and 35 feet will be provided along the front property line. Staff recommends reducing the front setback to 25 feet as well as moving the rear homes further forward to allow for more usable yard area and reduce the amount of paved driveway. The project will be conditioned to have a 25 foot front setback and minimum 20 foot rear yard setback.

D. Building Design

The building materials for the homes will be a combination of stucco and brick with a 30 year composition roof. Elements such foam trim pop-outs around the windows, decorative vents, raised panel doors, gridded windows, and brick veneer wainscoting are being provided to create more appealing elevations.

To de-emphasize the garage, the two units at the front of each lot will have the garages oriented internally away from the street. The two units at the rear of each lot have been shifted slightly closer to the common property between the two lots so they are not directly behind the homes at the front of the lots. Shifting the homes out from behind the homes in front gives the elevations of these homes more prominence creating a better streetscape elevation. The garages of the homes on the rear of each lot will remain on the front elevation, but will not be seen from public view because that portion of the homes on the rear of the lots will be directly behind the homes at the front of the lots. The homes are consistent with the Single Family Design Principles.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The proposed project is exempt from environmental review pursuant to CEQA Guidelines (CEQA Section 15332)

B. Public/Neighborhood/Business Association Comments

The project was routed to the Hagginwood Community Association and the Del Paso Heights Improvement Association. A written response was received from Bill Maynard of the Hagginwood Community Association initially opposing the development. The neighborhood group wanted to see the site developed as a traditional apartment complex. After clarification of the project and staff's evaluation, the neighborhood group is no longer in opposition of the project.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. Comments received have been incorporated as conditions of approval for the project.

Development Engineering, Utilities & Fire

All applicable comments are addressed in the conditions.

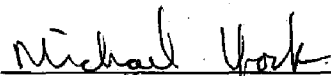
PROJECT APPROVAL PROCESS: Of the entitlements below, Planning Commission has the authority to recommend approval or denial of the tentative map and special permit. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action. The rezone entitlement requires City Council approval.

RECOMMENDATION:

Staff recommends the Planning Commission take the following actions:

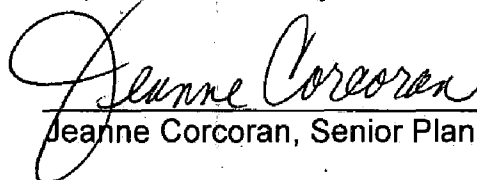
- A. Adopt the attached Notice of Decision and Findings of Fact which finds that the project is Exempt pursuant to CEQA Section 15332;
- B. Recommend approval and forward to City Council the Rezone of 0.62± acres from the Multi-Family (R-3) zone to the Standard Single Family (R-1) zone;
- C. Adopt the attached Notice of Decision and Findings of Fact approving the Tentative Parcel Map to subdivide one lot totaling 0.62± acres into two lots in the proposed Standard Single Family (R-1) zone;
- D. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to develop two deep lots with two single family residences each in the proposed Standard Single Family (R-1) zone;

Report Prepared By,



Michael York, Assistant Planner

Report Reviewed By,



Jeanne Corcoran, Senior Planner

Attachments

Attachment 1	Notice of Decision & Findings of Fact
Exhibit 1	Rezone Exhibit
Exhibit 2	Tentative Map
Exhibit 3	Site Plan
Exhibit 4	Elevation
Exhibit 5	Floor Plan
Attachment 6	Land Use & Zoning Map

**ATTACHMENT 1
NOTICE OF DECISION AND FINDINGS OF FACT FOR THE
SONOMA AVENUE REZONE, LOCATED AT 1559 SONOMA AVENUE SACRAMENTO,
CALIFORNIA IN THE PROPOSED STANDARD SINGLE FAMILY (R-1) ZONE. (P04-186)
(APN: 265-0052-059)**

At the regular meeting of April 14, 2005 the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. Environmental Determination, Exempt, Section CEQA Section 15332;**
 - B. Recommend approval and forwarded to City Council the Rezone of 0.62± acres from the Multi-Family (R-3) zone to the Standard Single Family (R-1) zone;**
 - C. Approved the attached Notice of Decision and Findings of Fact approving the Tentative Parcel Map to subdivide one lot totaling 0.62± acres into two lots in the proposed Standard Single Family (R-1) zone;**
 - D. Approved the attached Notice of Decision and Findings of Fact approving the Special Permit to develop two deep lots with two single family residences each in the proposed Standard Single Family (R-1) zone;**
-

FINDINGS OF FACT

- A. Catagorical Exemption: The City Planning Commission finds and determines that the proposed project is exempt from environmental review pursuant to Section #15332 of the CEQA Guidelines.**
- C. Tentative Parcel Map to subdivide one lot totaling 0.62± acres into two lots in the proposed Standard Single Family (R-1) zone: The Tentative Map is **approved** based upon the following findings of fact:**
 1. The proposed map is consistent with the General Plan and North Sacramento Community Plan, and other applicable provisions of the City Code;
 2. The site is physically suitable for the proposed density of development;
 3. The design of the subdivision and the type of improvements will not cause any environmental damage and will not injure fish, wildlife or their habitat;
 4. The design of the subdivision and the type of improvements will not cause serious public health problems;

5. The design of the subdivision and the improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision;
6. Subject to Section 66474.4 of the Subdivision Map Act, that the land is not subject to a contract entered into pursuant to the California Land Conservation Act of 1965 (commencing with Section 51200 of the Government Code);
7. None of the conditions described in Government Code Section 66474, subsection (a) through (g) inclusive, exist with respect to the proposed subdivision;
8. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City's General Plan, and Title 16 of the City Code, which is a Specific Plan of the City;
9. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
10. The resulting parcels conform to the requirements of the city's building code and the city's zoning ordinance. (Prior code § 40.04.404).

D. Special Permit to develop two deep lots with two single family residences each in the proposed Standard Single Family (R-1) zone: The Special Permit is **approved** based upon the following findings of fact:

1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. The project will utilize a vacant lot;
 - b. The residential units will be designed to blend in and enhance the existing neighborhood and are consistent with the Single Family Design Guidelines; and
 - c. The project will not adversely affect the surrounding land uses in that the units are being located in an area predominately residential.
2. The project, as conditioned, will not be detrimental to the public welfare, safety, or result in the creation of a public nuisance:
 - a. The proposed project will eliminate the potential for nuisance activities such as illegal dumping on a vacant lot;
 - b. The proposed project supports redevelopment and rehabilitation efforts to eliminate neighborhood blight; and

- c. The project is consistent with the Single Family Residential Design Principles, which provides for eyes on the street by utilizing prominent front entries, porch areas, and living space fronting on the street.
3. The project, as conditioned, complies with the General Plan Policies that promote infill development to meet future housing needs, maintain and improve residential neighborhoods and to develop residential land that utilizes existing and planned urban resources.

CONDITIONS OF APPROVAL

- C. Tentative Parcel Map to subdivide one lot totaling 0.62± acres into two lots in the proposed Standard Single Family (R-1) zone is hereby approved subject to the following conditions of approval:

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map. The design of any improvement not covered by these conditions shall be to city standard.

The applicant shall satisfy each of the following conditions prior to filing the Parcel Map unless a different time for compliance is specifically stated in these conditions. Any condition requiring an improvement that has already been designed and secured under a City approved improvement agreement may be considered satisfied:

Development Engineering

- C1. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;
- C2. Private reciprocal ingress, egress, and maneuvering access easements are required for future development of the area covered by this Tentative Map. The applicant shall enter into and record an Agreement For Conveyance of Easements with the City stating that a private reciprocal ingress, egress, and maneuvering access easement shall be conveyed to and reserved from Parcels 1 and 2, at no cost, at the time of sale or other conveyance of either parcel.
- C3. Show all continuing and proposed/required easements on the Parcel Map;
- C4. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition;
- C5. Repair or replace/reconstruct any existing deteriorated curb, gutter and sidewalk per City standards to the satisfaction of the Development Engineering & Finance

Division;

- C6. The design and placement of walls, fences, signs and Landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height. The area of exclusion shall be determined by the Development Engineering & Finance Division;

Utilities Department

- C7. Dedicate a standard 12.5 foot public utility easement (PUE) for underground and overhead facilities and appurtenances adjacent to all public street right of ways;
- C8. The owner / developer must disclose to future / potential owners the existing 69kV electrical facilities.
- C9. Provide separate metered domestic water services to each parcel. Any excess services must be abandoned to the satisfaction of the Department of Utilities. Construction of new services may be deferred until the time of building permit.
- C10. Provide separate sanitary sewer services to each parcel to the satisfaction of the Department of Utilities. Construction of new services may be deferred until the time of building permit.
- C11. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities. The proposed development shall not block existing off-site drainage that flows through the site. Private facilities shall be constructed to convey existing off-site drainage and if necessary, the owner shall execute a drainage agreement with the City assuring maintenance of the private drainage facilities. Each new lot shall be graded to drain independently to Sonoma Avenue. If an on-site piped drainage system is required, an off-site drainage main extension will be required to the satisfaction of the Department of Utilities. Lot grading may be deferred until the time of building permit.
- C12. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the subdivision improvement plans. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- C13. Lot pad elevations shall be a minimum of 1.5 feet above the controlling overland

release elevation and a minimum of 1.2 feet above the highest adjoining back of sidewalk elevation. Finished lot pad elevations shall be accepted by the Department of Utilities.

- C14. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Only source control measures are required. This will not affect site design. Refer to the "Guidance Manual for On-Site Stormwater Quality Control Measures" dated January 2000 for appropriate source control measures.

Parks Department

- C15. The Applicant shall comply with City Code 16.64 (Parkland Dedication) and dedicate a park site at a location deemed acceptable to the City's PPDD; **and/or**, as determined by PPDD, request the City have prepared, at the applicants expense, a fair market value appraisal of the property to be subdivided and pay the required parkland dedication in lieu fees or, as an alternative to the appraisal process, pay the required parkland dedication in lieu fees based on the Community Planning Area "fixed market value " per acre of land as adopted by Sacramento City Council.
- C16. The applicant must provide proof they have initiated and completed the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annexed the project to an existing parks maintenance district prior to recording a Parcel Map. The applicant shall pay all city fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood park maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the cost will be spread based upon the hearing report, which specifies the tax rate and method of apportionment. (Contact Development Services Department, Special Districts, Project Manager)

Fire Department

- C17. Dead ends exceeding 150 feet in length require an approved Fire Department turn-around (45' radius cul-de-sac or standard hammerhead).
- C18. Roads used for Fire Department access shall have an unobstructed width of not less than 20' and unobstructed vertical clearance of 13'6" or more.

Advisory Notes

- A. The proposed project is located in the Flood Zone designated as an X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) dated July 6, 1998. Within the X zone, there are no requirements to elevate or flood proof.

- B. SMUD has an existing 69kv overhead line on Sonoma Avenue.
- C. Developing this property may require the payment of additional sewer impact fees. Applicant should contact the Fee Quote Desk at 876-6100 for sewer impact fee information.
- D. Existing Sacramento Regional County Sanitation District (SRCSD) facilities serving this proposed project are capacity constrained. Ultimate capacity will be provided by construction of the Lower Northwest and Upper Northwest Interceptors, currently scheduled for completion in 2010. SRCSD is working to identify potential interim projects to provide additional capacity. SRCSD and County Sanitation District 1 (CSD-1) will issue sewer permits to connect to the system if it is determined that capacity is available and the property has met all other requirements for service. This process is "first come, first served". There is no guarantee that capacity will be available when actual requests for sewer service are made. Once connected, the property has the entitlement to use the system. However, its entitlement is limited to the capacity accounted for by the payment of the appropriate SRCSD fees.
- D. Special Permit to develop two deep lots with two single family residences each in the proposed Standard Single Family (R-1) zone is hereby approved subject to the following conditions of approval:
- D1. Repair or replace/reconstruct any existing deteriorated curb, gutter and sidewalk per city standards to the satisfaction of the Development Engineering and Finance Division.
- D2. All new driveways shall be designed and constructed to city standards to the satisfaction of the Development Engineering and Finance Division. Any existing site driveways shall be redesigned and reconstructed, if necessary, to city standards to the satisfaction of the Development Engineering and Finance Division.
- D3. The design of walls, fences, signage, and landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Development Engineering and Finance Division.
- D4. Any new domestic water services shall be metered. Only one domestic water service is allowed per parcel. Excess services shall be abandoned to the satisfaction of the Department of Utilities. Section 13.04.060 of the City Water Code states that for a single-family domestic service connection, the maximum size shall be one (1) inch, or one and one half (1-1/2) inches if residential fire sprinkler systems are present, unless otherwise authorized by the Director of the

Department of Utilities. Prior to submitting plans to the Building Department the applicant should contact the Chief Plumbing Inspector with the Building Division to determine the size of the domestic water tap required for this project. If the required size is greater than one and one half inches, then the applicant must submit a request to the Department of Utilities for approval of a larger tap size. Approvals need to be obtained prior to issuing the building permit.

- D5. Provide separate sanitary sewer services to each parcel to the satisfaction of the Department of Utilities.
- D6. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities. The proposed development shall not block existing off-site drainage that flows through the site. Private facilities shall be constructed to convey existing off-site drainage and if necessary, the owner shall execute a drainage agreement with the City assuring maintenance of the private drainage facilities. Each new lot shall be graded to drain independently to Sonoma Avenue. If an on-site piped drainage system is required, an off-site drainage main extension will be required to the satisfaction of the Department of Utilities.
- D7. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the subdivision improvement plans. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- D8. Lot pad elevations shall be a minimum of 1.5 feet above the controlling overland release elevation and a minimum of 1.2 feet above the highest adjoining back of sidewalk elevation. Finished lot pad elevations shall be accepted by the Department of Utilities.
- D9. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Only source control measures are required. This will not affect site design. Refer to the "Guidance Manual for On-Site Stormwater Quality Control Measures" dated January 2000 for appropriate source control measures.
- D10. Front setback shall be 25 feet and rear setback shall be minimum 20 feet.
- D11. The project shall substantially conform to the approved plans as shown on attached Exhibits 3-5. Any modification to the project shall be subject to review and approval by Planning Staff (and may require additional entitlements) prior to issuance of building permits.

- D12. Front entry doors shall have a raised panel design, as per approved plans. Sliding doors shall have a white vinyl frame to match windows.
- D13. The project shall provide smooth finish stucco siding at all four sides of homes per approved drawings.
- D14. The project shall provide decorative raised panel garage doors.
- D15. Landscaping (including lawn, shrubs, and a minimum of one tree) and automatic irrigation shall be provided at front elevations.
- D16. Roofing shall be a minimum 30-year laminated dimensional composition shingle.
- D17. Gutters and downspouts shall be provided.
- D18. The project shall provide decorative light fixtures at front entry door, including garage door.
- D19. Brick or rock veneer wainscoting shall be on one elevation and shall wrap around a minimum of two feet on side elevations as shown on plans.

Advisory Notes

- A. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the fire suppression systems.
- B. The proposed project is located in the Flood Zone designated as an X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) dated July 6, 1998. Within the X zone, there are no requirements to elevate or flood proof.
- C. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
- D. Provide the required fire hydrants in accordance with CFC 903.4.2 and Appendix III-B, Section 5.
- E. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.

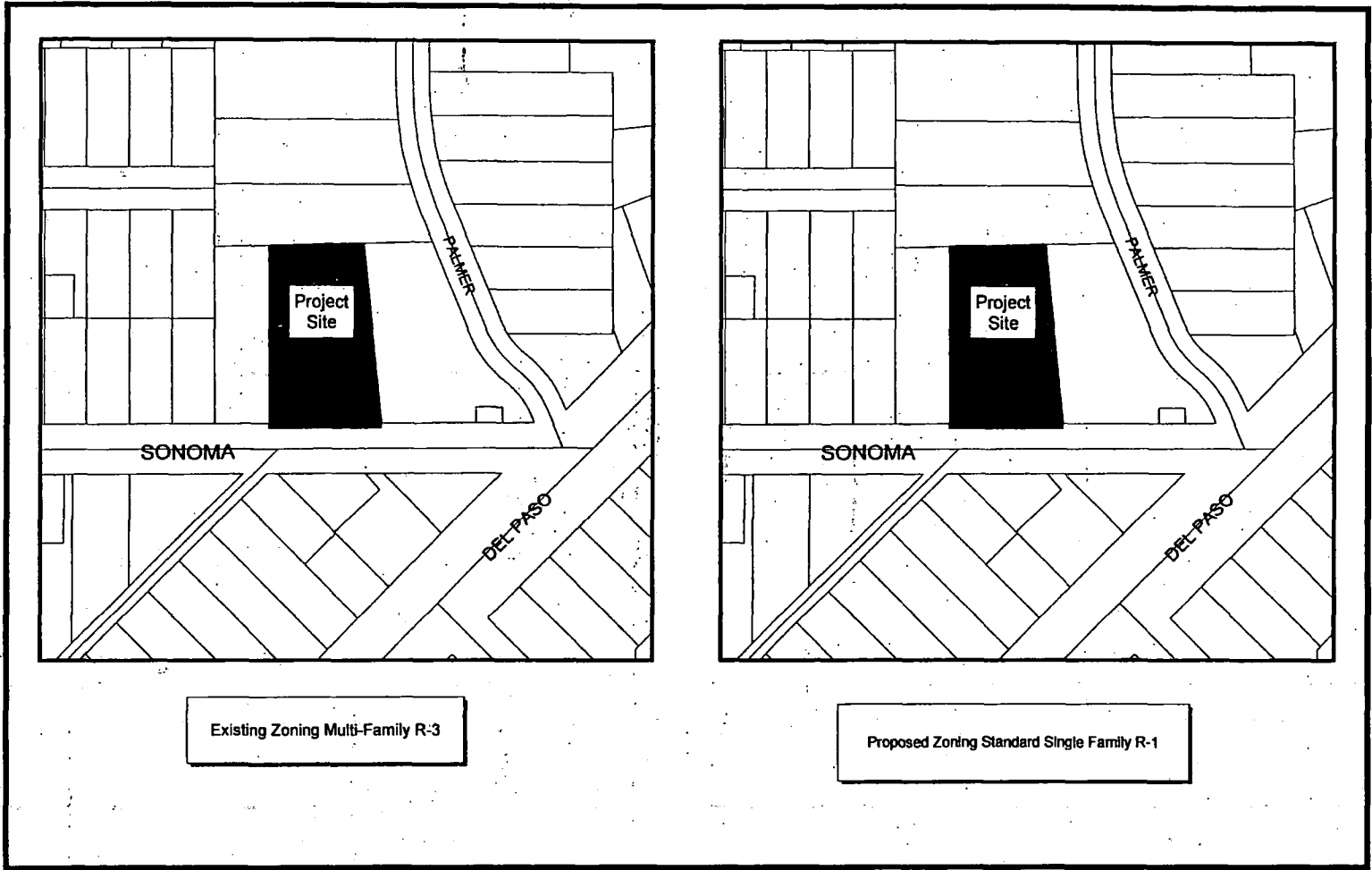

CHAIRPERSON

ATTEST:


SECRETARY TO CITY PLANNING COMMISSION

4/14/05
DATE (P04-186)

- Exhibit 1 Rezone Exhibit
- Exhibit 2 Tentative Map
- Exhibit 3 Site Plan
- Exhibit 4 Elevation
- Exhibit 5 Floor Plan



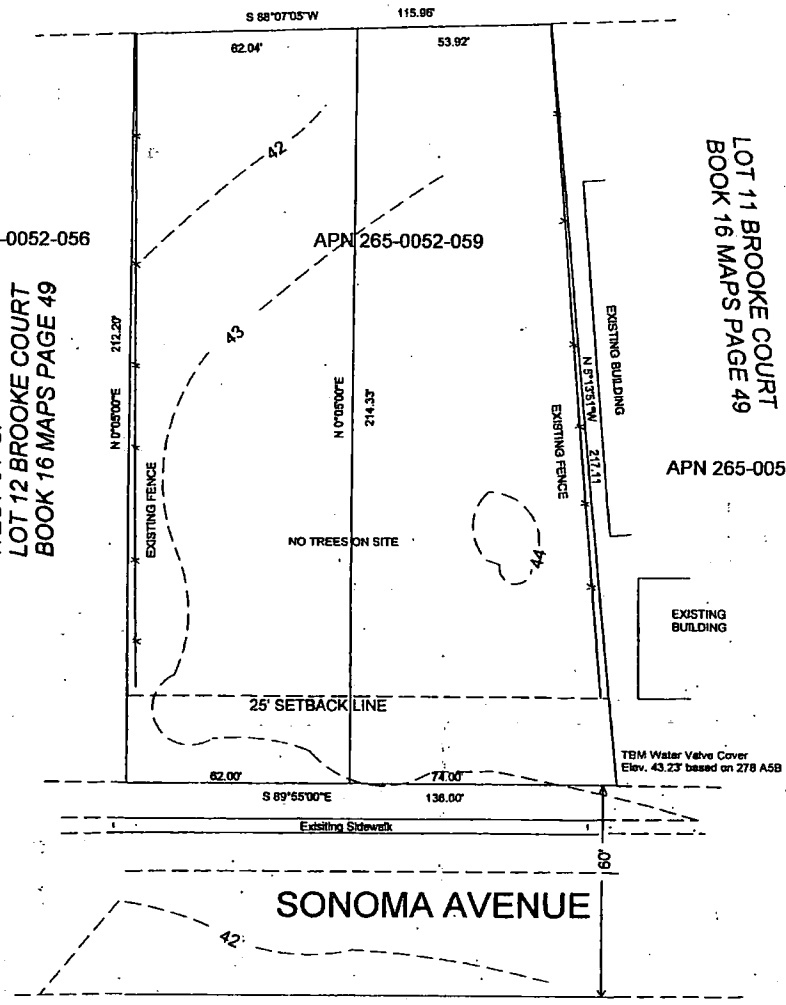
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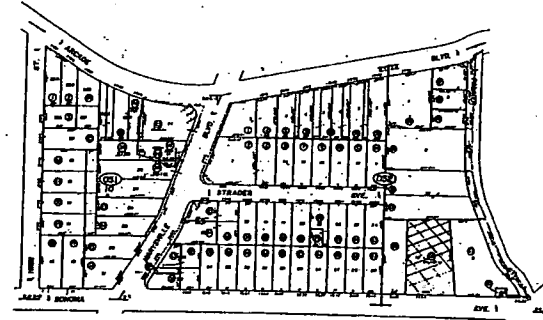
APN 265-0052-056

WEST 64' OF
LOT 12 BROOKE COURT
BOOK 16 MAPS PAGE 49



LOT 11 BROOKE COURT
BOOK 16 MAPS PAGE 49

APN 265-0052-049



LOCATION MAP



NAME
Letvin Parcel Map
Por. Lot 12 Brooke Court
Bk. 16 Maps Pg. 49

OWNER
Craig & Monique Letvin
1500 W. El Camino Ave. #13
Sacramento, CA 95833
916-223-1394

SUBDIVIDER
Robert Grigas and Associates
P.O. Box 2212
Loomis, CA 95650
916-223-1394

SURVEYOR
Ralph Miller, LS 3639
P.O. Box 5062
Auburn, CA 95604
530-885-0882

ZONING
Present R3 Proposed Same

USE
Present Vacant
Proposed Homesites

LOTS 2

AREA 26996 sq.ft. gross

SCHOOL DISTRICTS
North Sacramento Elementary
Grant Union High
Los Rios Community Collegé

WATER SUPPLY
City of Sacramento - In Street

SEWER
City of Sacramento - In Street

TENTATIVE PARCEL MAP
LETVIN PROPERTY
Por. Lot 12 Brooke Court
Book 16 Maps, Page 12 S.C.R.
Located in Sec. 16, Rancho Del Pas
Ralph Miller, LS 3639 March 2004

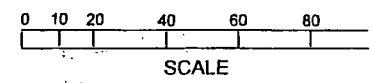
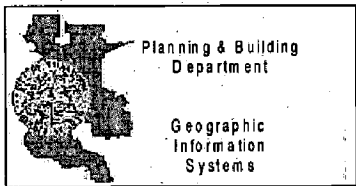
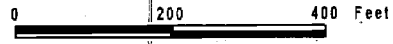
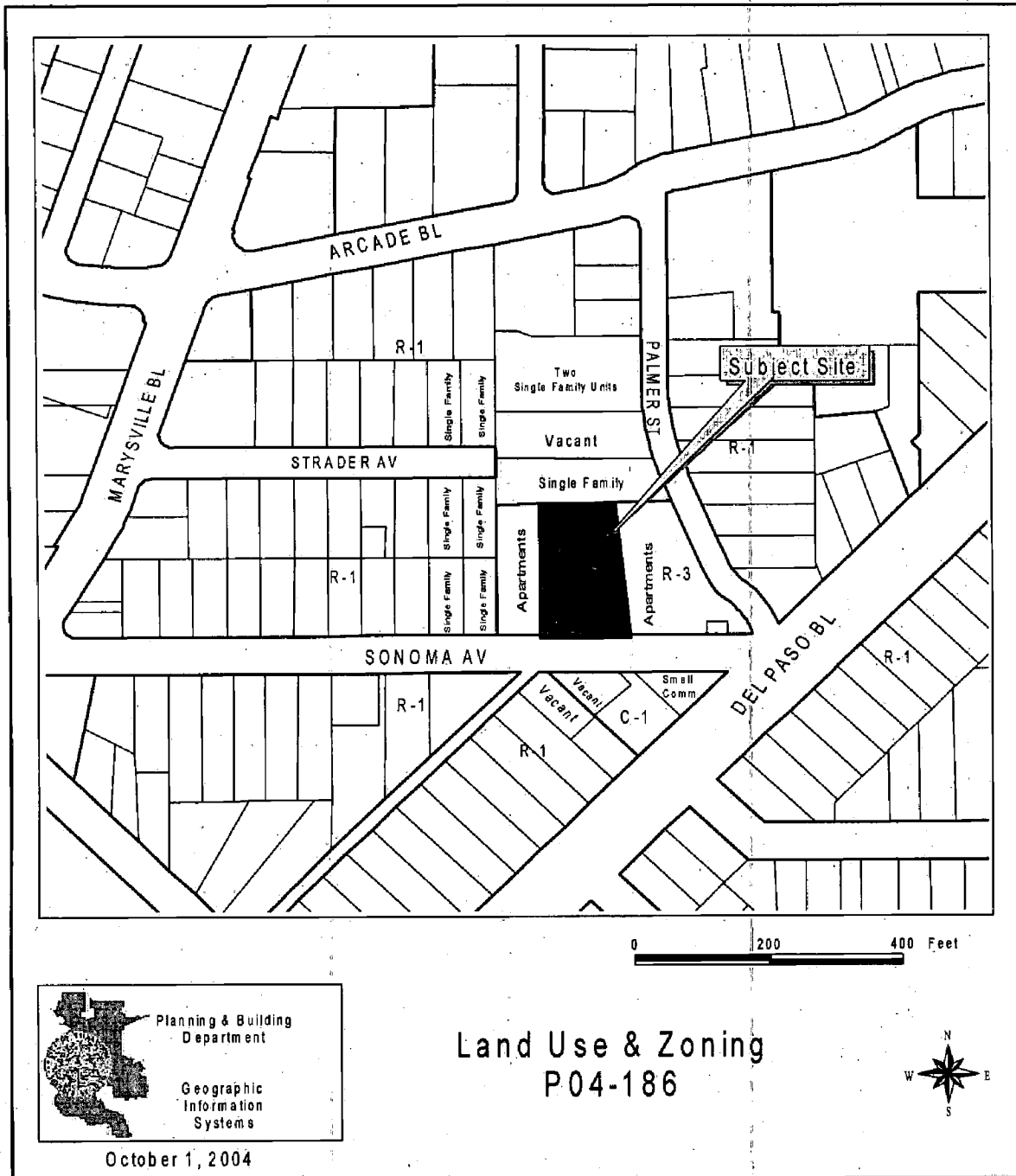


Exhibit 2 - Tentative Map

Attachment 4 – Land Use & Zoning Map



October 1, 2004

Land Use & Zoning
P04-186

