

# CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	MacKay & Soms, 1787 Tribute Road, Suite E., Sacramento, CA 95815				
OWNER	U. S. Home Corporation, 1525 Response Road, Suite 1, Sacramento, CA 95815				
PLANS BY	OWNER				
FILING DATE	4/9/87	ENVIR. DET.	4/9/87	REPORT BY	FG/vf
ASSESSOR'S-PCL. NO.	225-690-88 to 91, 93 to 108, 118 to 142				

- APPLICATION:
- A. Negative Declaration
  - B. Special Permit Modification to change the elevations and floor plans to develop standard single family homes;
  - C. Variance to reduce the 20 ft. front yard setback to 19 feet (withdrawn)

LOCATION: Bridgecreek Drive west of Truxel Road

PROPOSAL: The applicant is requesting the necessary entitlements to develop single family residences.

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
1986 South Natomas Community  
Plan Designation: Low Density Residential  
Existing Zoning of Site: R-1A  
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning	Setbacks:	Required	Provided	
North:	Single Family; R-1	Front:	20'	20' minimum
South:	School Site; A	Side (Int):	5' & 0'	5' minimum
East:	Single Family; R-1, R-1A			
West:	Single Family; (under construction); R-1A	Rear:	10'	10' minimum

Parking Required: 1 space  
Parking Provided: 2 spaces  
Property Dimensions: Irregular  
Property Area: 5.4+ acres  
Density of Development: 8.3 d. u. per acre  
Square Footage of Building: 1,206 - 1,690 sq. ft.  
Topography: Flat  
Street Improvements: Existing  
Utilities: Available to site  
Exterior Building Materials: Horizontal siding, brick veneer  
Roof Material: Wood shingles

APPLC. NO. P87-185 MEETING DATE May 14, 1987 ITEM NO. 27

BACKGROUND INFORMATION: On April 27, 1978, the Planning Commission recommended approval of Woodcreek Subdivision (P-8161) which reserved the western portion of the subject site for future school use. On May 11, 1978, Woodbridge Subdivision (P-8186) was recommended for approval, reserving the northern portion of the site for the same purpose. The school district was unable to acquire the entire site under State regulations. On January 26, 1984, Bridgecreek Subdivision (P83-384) was recommended for approval which deleted a portion of the school site and the site was rezoned to R-1A. A special permit was approved to allow development of 107 zero-lot line, single family units. One of the major concerns with the proposal at that time was expressed by adjacent property owners who did not want second story windows in the rear of the units. The Commission and City Council, however, approved the rear window elevation. On June 24, 1986, Planning Staff approved a modification to the original special permit to change from zero lot line to petite homes and changed the elevations.

On June 24, 1986, a special permit was approved to develop four model homes on the northwest corner of Bridgecreek Drive and Truxel Road. An adjacent property owner to the north, however, appealed this special permit because the rear window of the 2nd story model home would impact onto his rear yard area. To resolve this concern, the builder (Mark III) agreed to relocate the rear windows to the side of the two-story structure. The appellant agreed to this solution and therefore, withdrew his appeal. Subsequently, the model homes and several homes to the west of the school site have been constructed. The remaining 45 lots located north of the school site were sold to U. S. Home Corporation, who is the current applicant.

PROJECT EVALUATION: Staff has the following comments:

- A. The subject site consists of 45 vacant lots totaling 4+ acres. The site is zoned Townhouse (R-1A) and is designated for residential use in both the General Plan and the 1986 South Natomas Community Plan. Surrounding uses are exclusively single family with a vacant school site located to the south.
- B. The applicant proposes to modify the existing floor plans and elevations. The revised plans include 2, 3, and 4 bedroom units ranging in size from 1,203 to 1,690 square feet. Both one and two-story units will be constructed. The exterior elevations offer an architectural design which has movement and is visually attractive. Exterior materials would include horizontal siding, brick veneer with composition shingle roof, which staff recommends be wood shake to match the neighboring units. The major concern with the proposed elevations is the second floor, rear window elements. Staff has been contacted by adjacent property owners who object to the loss of privacy due to the second story windows. Unit model 1470 is the only two story model which has second story, rear bedroom windows which would look down on the adjacent properties. The original request also included second story windows, however, the applicant modified the building elevations to eliminate the windows at the request of the neighbors. Staff has discussed modifying the second story window element with the applicant, but due to the bay window element, a modification is not possible according to the applicant. It should be noted that the original zero lot line dwellings were providing only a ten foot rear yard

setback, whereas unit model 1470 will have a minimum 23 foot rear yard setback. Since a normal residential (R-1) rear yard setback is only 15 feet for a one or two story structure, staff feels that the proposed setback would be adequate to reduce any impact on adjacent property. Staff would suggest that model 1470 be constructed on those lots which back onto the adjacent lots on which two story units have been constructed (See Exhibit A).

- C. The proposal has been reviewed by Traffic and the South Natomas Advisory Committee. No comments were received.

ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the project will not have an adverse impact and has filed a negative declaration.

RECOMMENDATION: Staff recommends the Commission take the following action:

- A. Ratify the Negative Declaration;
- B. Approve the special permit modification subject to conditions and based upon findings of fact which follow.
- C. Withdraw the variance to reduce front yard setback.

Conditions - Special Permit - Variance

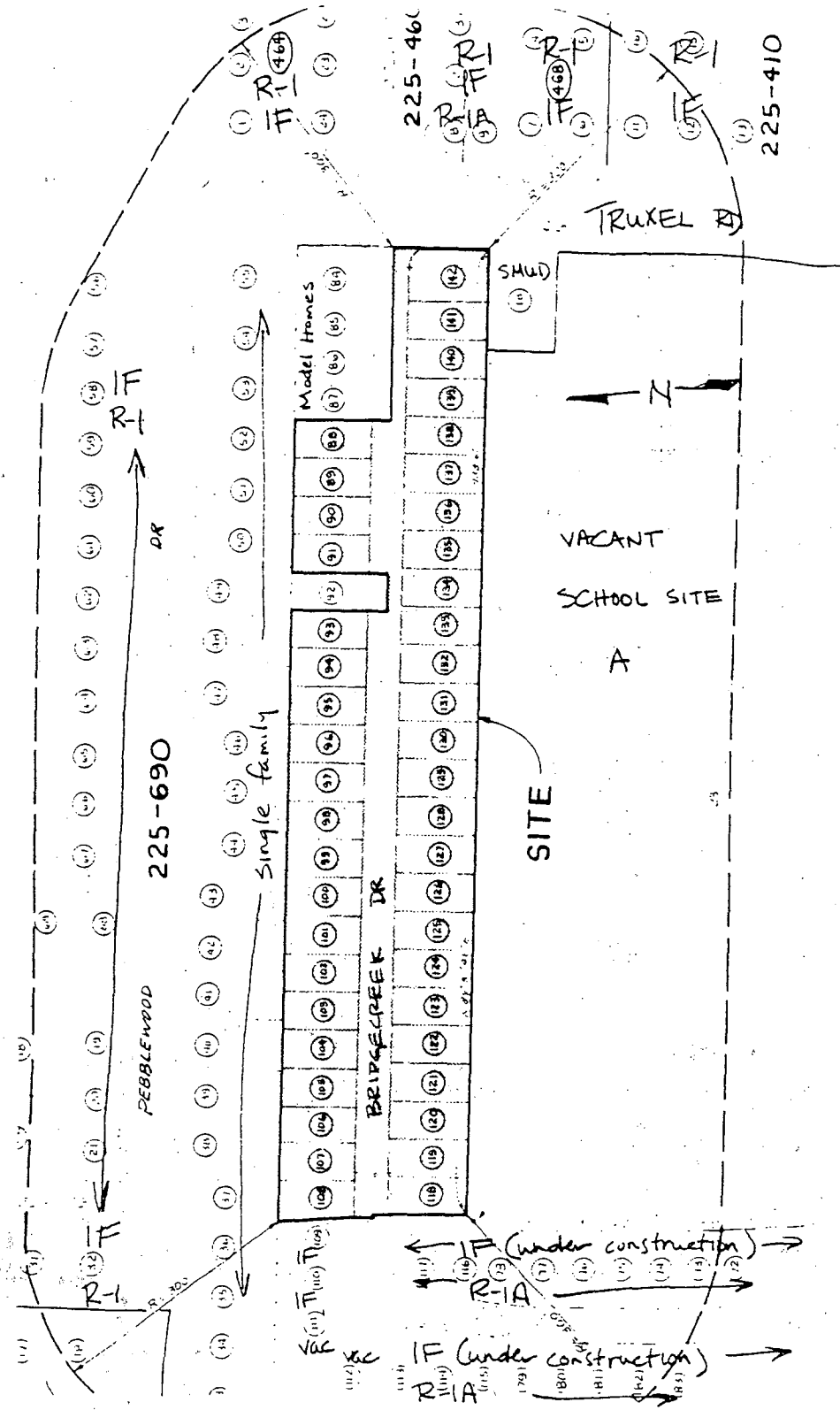
1. The roof material shall consist of wood shingles or wood shakes.
2. Model 1470 shall not be constructed on lots which abut the rear of lots in the Woodbridge Subdivision on which one-story dwellings units have been constructed.
3. Minimum setbacks shall be as follows:

Model 1203 Lots:	20 ft. front; 5 ft. interior; 10 ft. rear
Model 1470 lots:	22 ft. front; 5 ft. interior; 23 ft. rear
Model 1690 lots:	20 ft. front; 5 ft. interior; 18.5 ft. rear

Findings of Fact - Special Permit - Variance

1. The project, as conditioned, is based upon sound principles of land use in that:
  - a. adequate solar access is provided;
  - b. varied and interesting streetscape will be created.
2. The project, as conditioned, will not be detrimental to surrounding property in that:

- a. it is compatible with surrounding residential uses:
  - b. varied setbacks, building materials and outside elevations are provided:
  - c. adequate on-site parking is provided.
3. Granting the variance would not constitute a special privilege extended to an individual applicant in that any applicant facing similar circumstances (substandard lot size) would be granted a variance.
  4. Granting the variance would not be injurious to public health, safety or welfare in that setback, height and area regulations are consistent with the R-1A zone.
  5. The proposed project is consistent with the City's Discretionary Land Use Policy in that the site is designated for low density residential by the South Natomas Community Plan and the proposed single family dwellings are consistent with the plan designation.

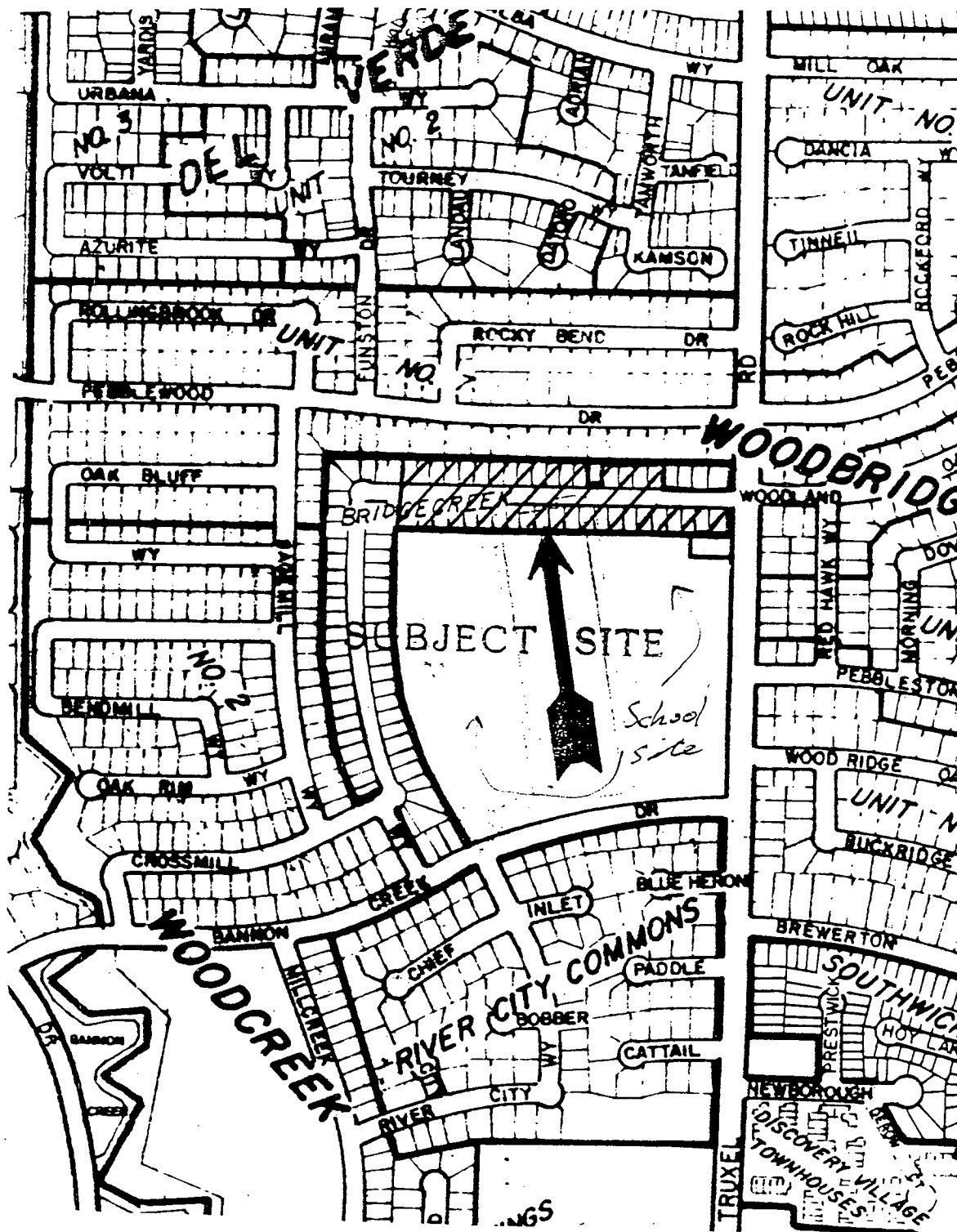


# LAND USE & ZONING MAP

P87-185

5-14-87

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VICINITY MAP

P87-185

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Item

987-165

5-14-87

IFM

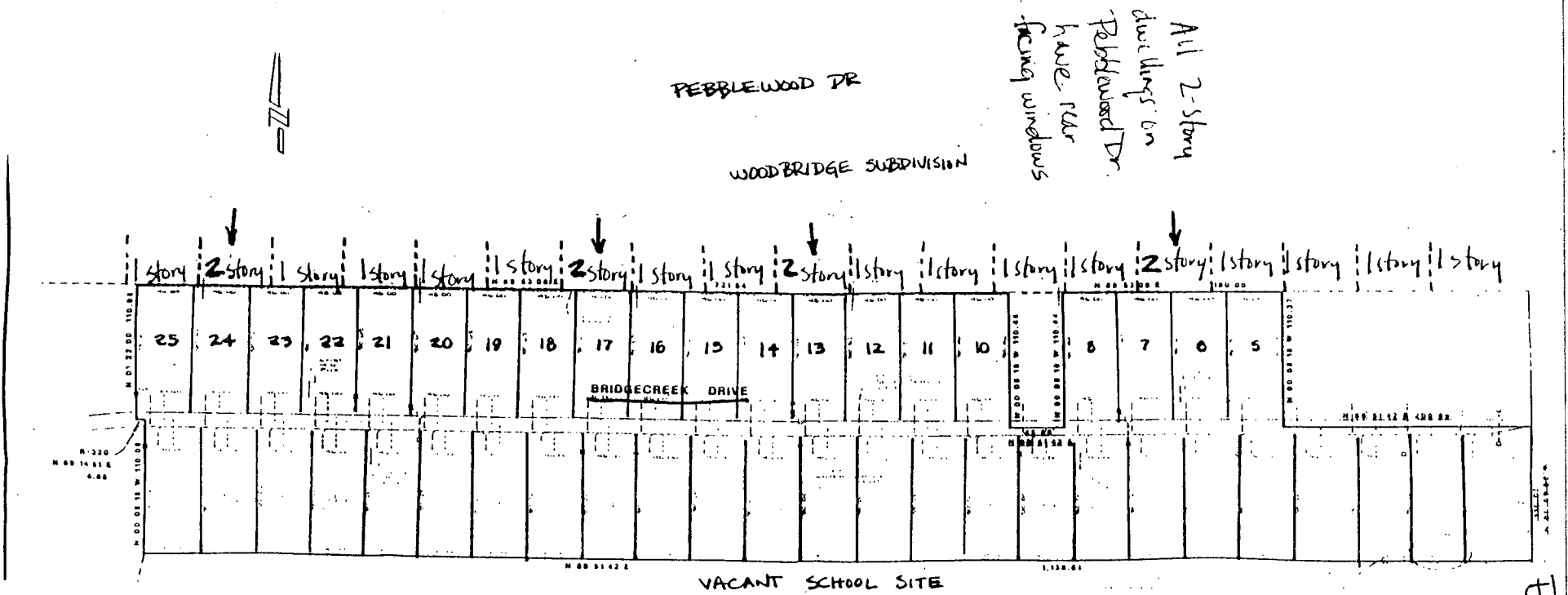
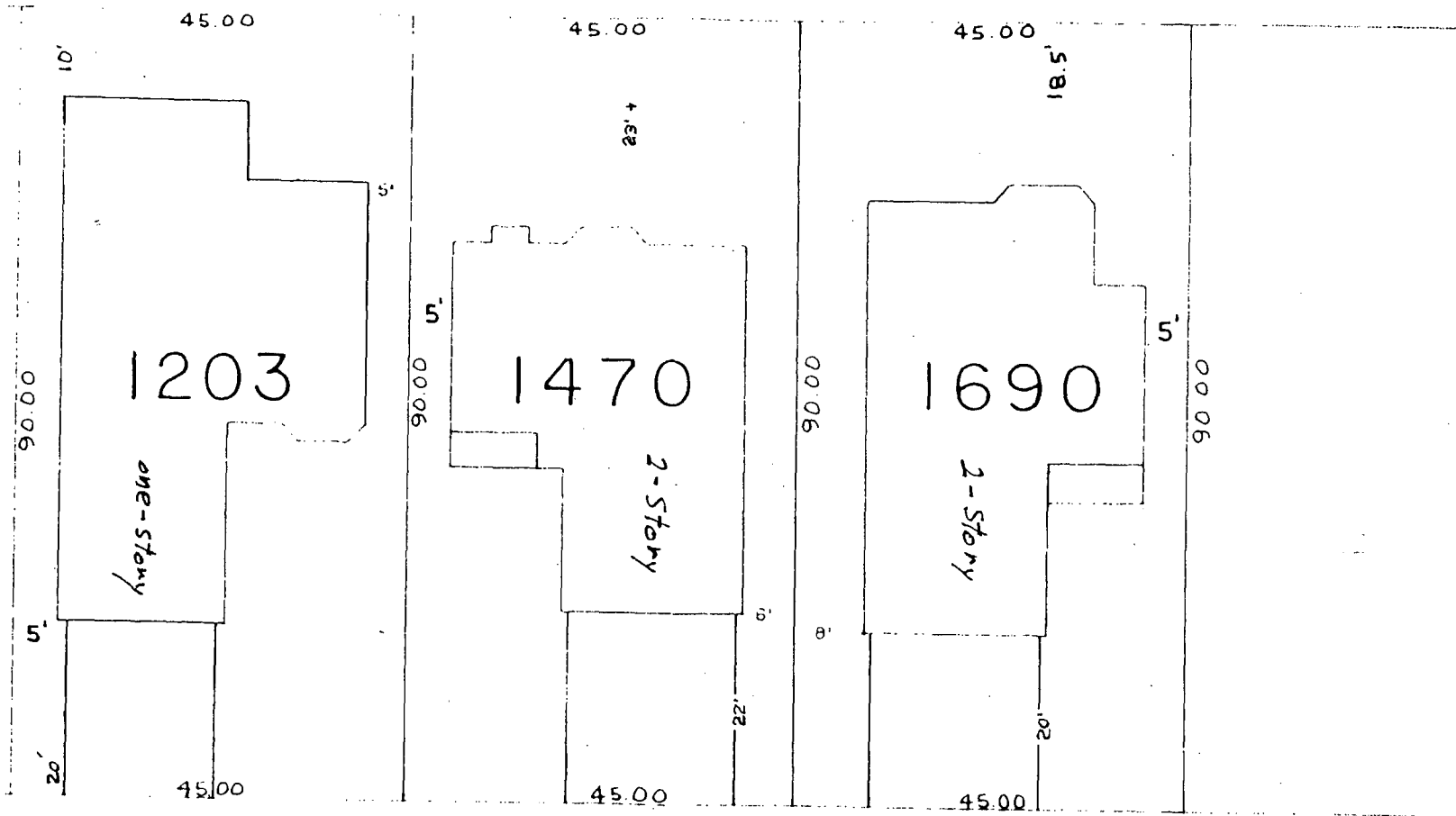


Exhibit A

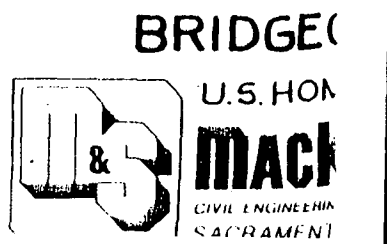
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BRIDGECREEK DRIVE  
TYPICAL LOT PLOT



109 N Model 1115

US Home

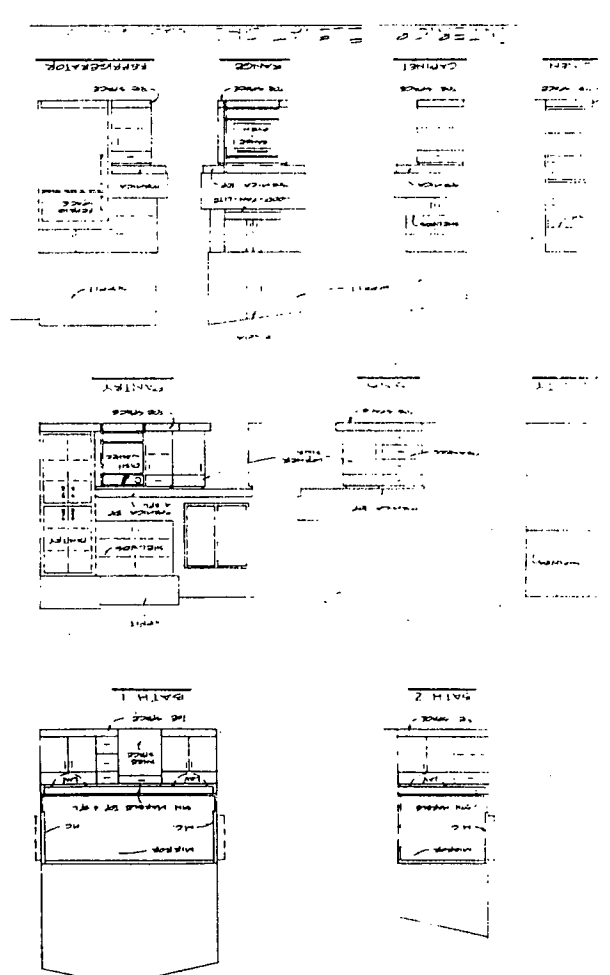
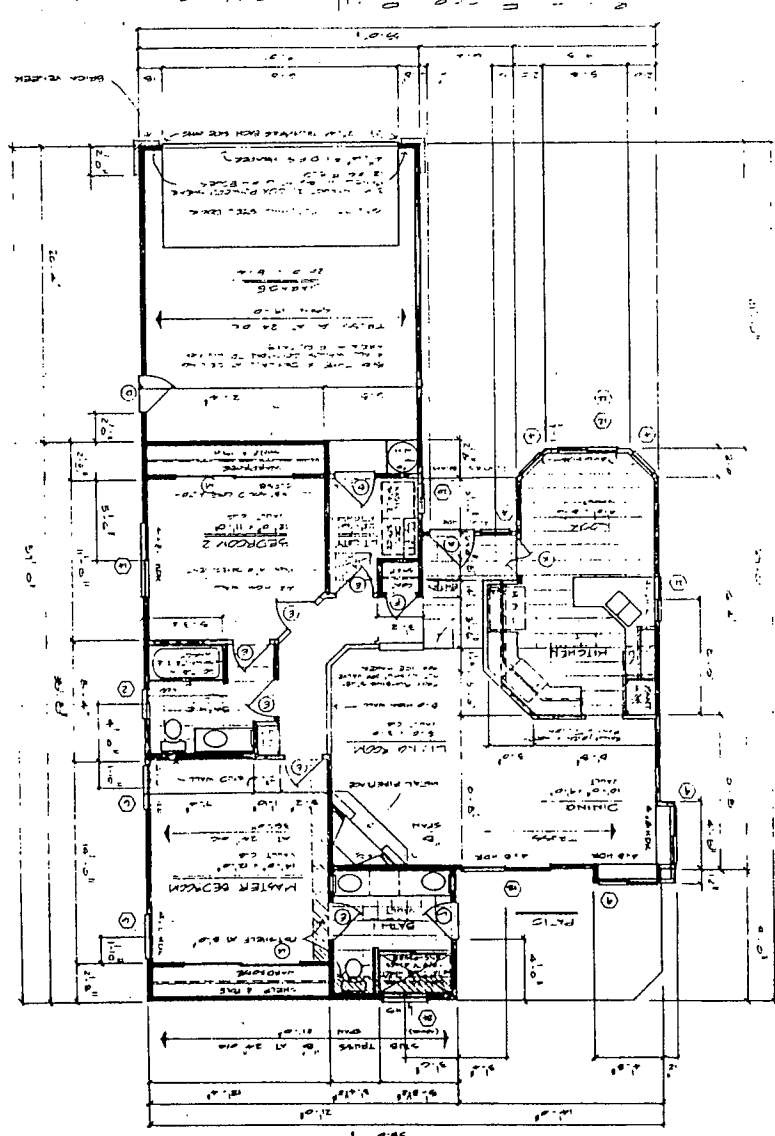
2391 ARDEN WAY, SUITE 113  
SACRAMENTO, CALIF. 95825

VILLAGE HOMELIFE  
COMMERCIAL DIVISION  
FLOOR PLANNING

Notes:  
1. All dimensions are in feet and inches.  
2. All dimensions are to the center of the wall unless otherwise noted.

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1. All dimensions are in feet and inches.  
2. All dimensions are to the center of the wall unless otherwise noted.

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	CEILING	1	SQ. FT.	1101 SQ. FT. LIVING AREA
2	FLOOR	1	SQ. FT.	1101 SQ. FT. LIVING AREA
3	WALLS	1	SQ. FT.	1101 SQ. FT. LIVING AREA
4	DOORS	1	EA.	1101 SQ. FT. LIVING AREA
5	WINDOWS	1	EA.	1101 SQ. FT. LIVING AREA
6	STAIRS	1	EA.	1101 SQ. FT. LIVING AREA
7	BATHS	1	EA.	1101 SQ. FT. LIVING AREA
8	KITCHEN	1	EA.	1101 SQ. FT. LIVING AREA
9	DINING	1	EA.	1101 SQ. FT. LIVING AREA
10	LIVING	1	EA.	1101 SQ. FT. LIVING AREA
11	BEDROOM 1	1	EA.	1101 SQ. FT. LIVING AREA
12	BEDROOM 2	1	EA.	1101 SQ. FT. LIVING AREA
13	BEDROOM 3	1	EA.	1101 SQ. FT. LIVING AREA
14	BEDROOM 4	1	EA.	1101 SQ. FT. LIVING AREA
15	BEDROOM 5	1	EA.	1101 SQ. FT. LIVING AREA
16	BEDROOM 6	1	EA.	1101 SQ. FT. LIVING AREA
17	BEDROOM 7	1	EA.	1101 SQ. FT. LIVING AREA
18	BEDROOM 8	1	EA.	1101 SQ. FT. LIVING AREA
19	BEDROOM 9	1	EA.	1101 SQ. FT. LIVING AREA
20	BEDROOM 10	1	EA.	1101 SQ. FT. LIVING AREA
21	BEDROOM 11	1	EA.	1101 SQ. FT. LIVING AREA
22	BEDROOM 12	1	EA.	1101 SQ. FT. LIVING AREA
23	BEDROOM 13	1	EA.	1101 SQ. FT. LIVING AREA
24	BEDROOM 14	1	EA.	1101 SQ. FT. LIVING AREA
25	BEDROOM 15	1	EA.	1101 SQ. FT. LIVING AREA
26	BEDROOM 16	1	EA.	1101 SQ. FT. LIVING AREA
27	BEDROOM 17	1	EA.	1101 SQ. FT. LIVING AREA
28	BEDROOM 18	1	EA.	1101 SQ. FT. LIVING AREA
29	BEDROOM 19	1	EA.	1101 SQ. FT. LIVING AREA
30	BEDROOM 20	1	EA.	1101 SQ. FT. LIVING AREA



Notes:  
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2. All dimensions are to the center of the wall unless otherwise noted.

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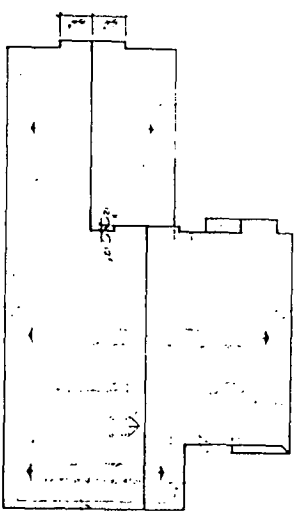
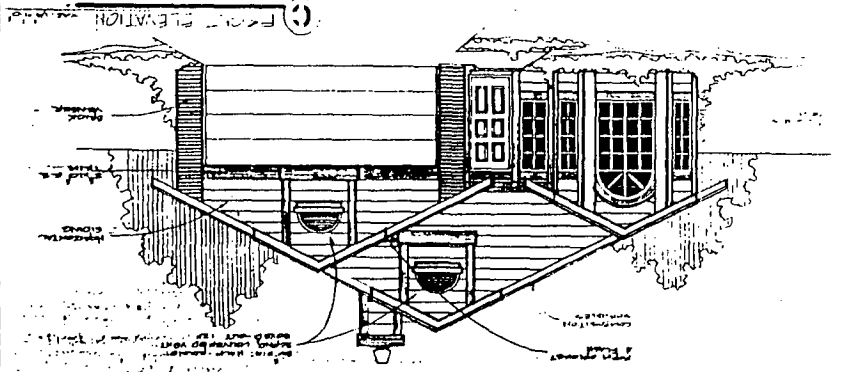
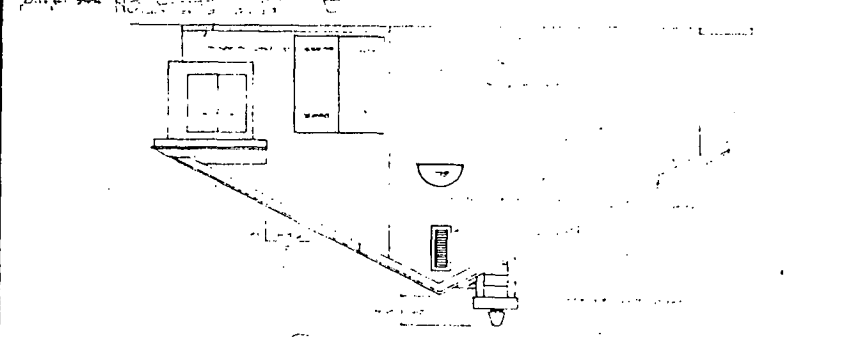
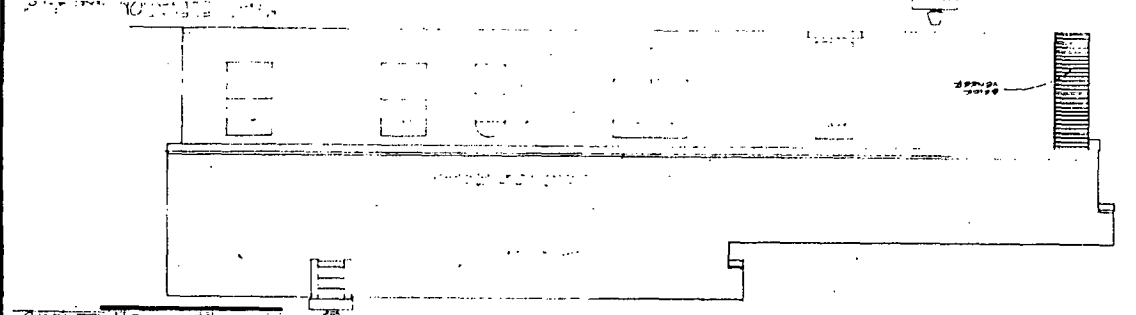
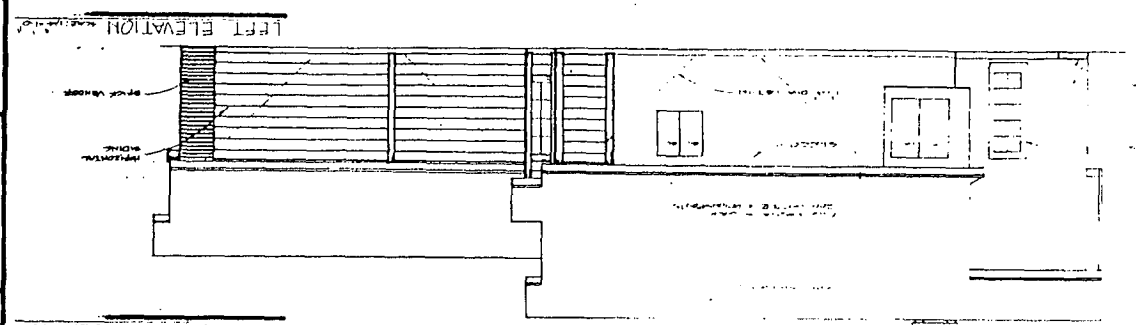
P87-185

10 of 7 SHEET Model 1176

US • HOME

2391 ARDEN WAY, SUITE 10  
SACRAMENTO, CALIF. 95825

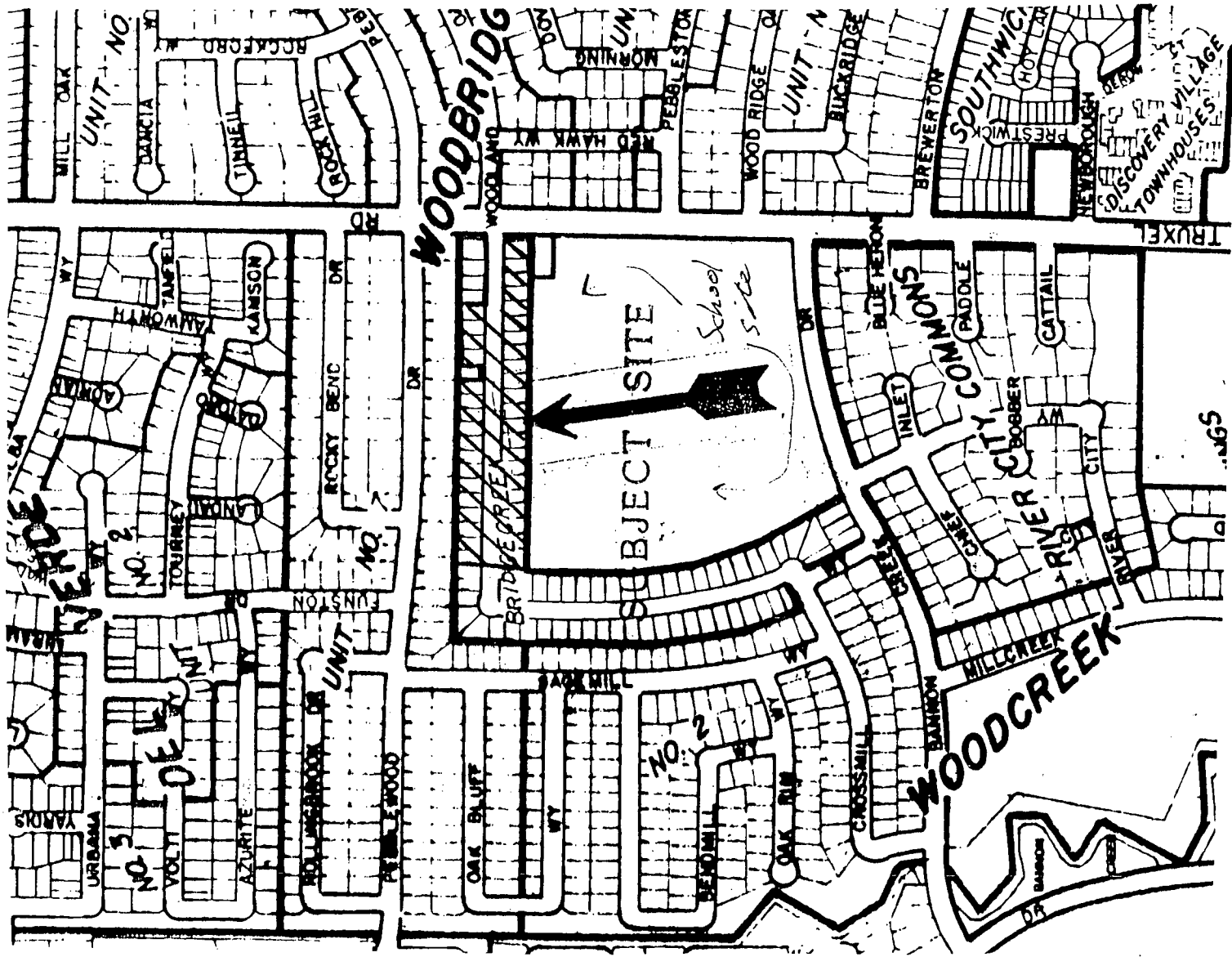
VILLAGE BUILDING  
GENERAL CONTRACTORS  
FRANK WHITNER



Fem 27

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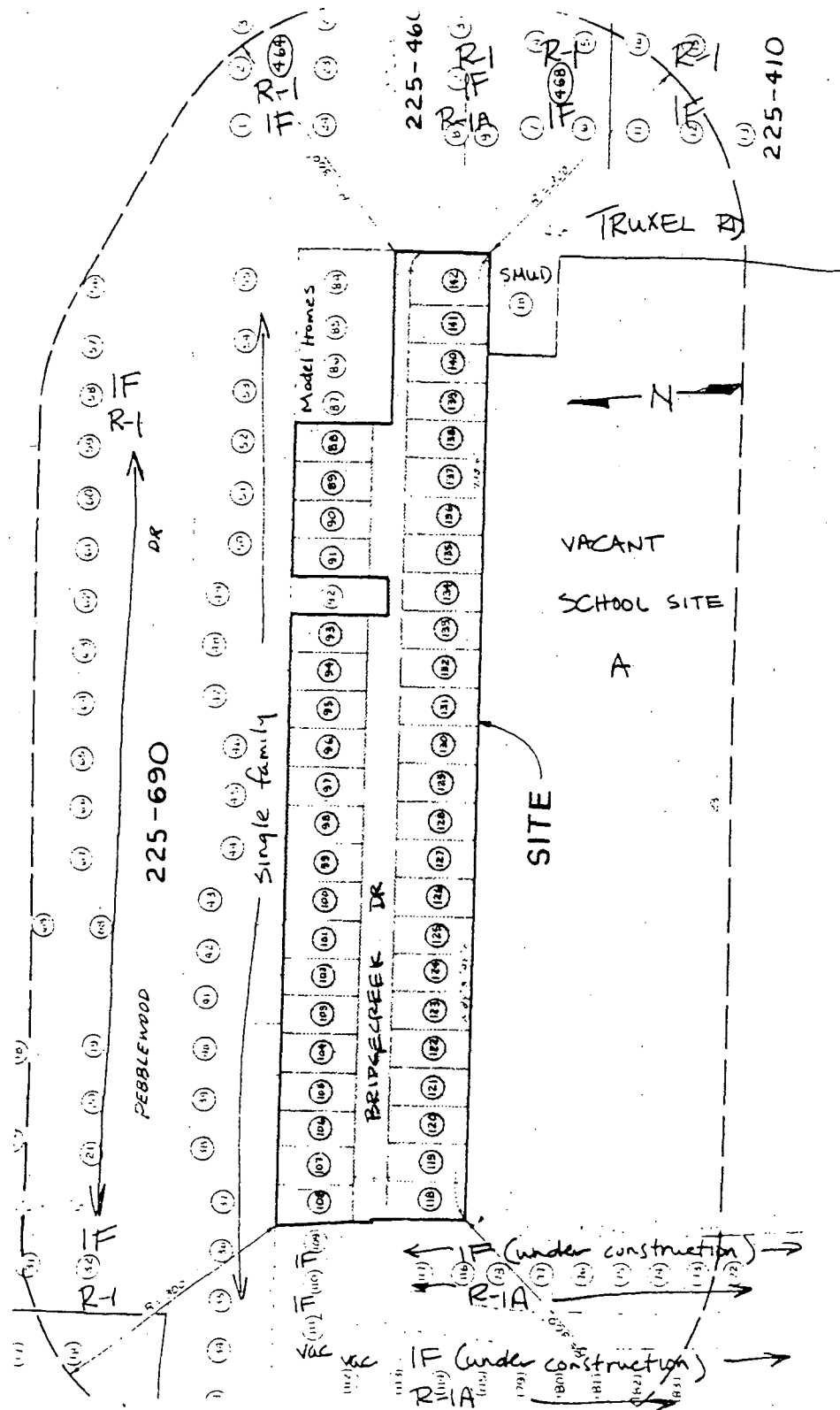


VICINITY MAP

P87-185

5-14-67

Tom



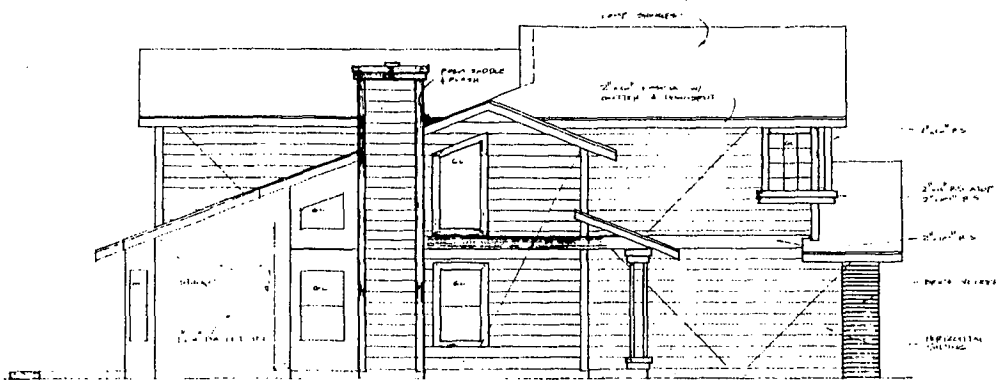
# LAND USE & ZONING MAP

P87-185

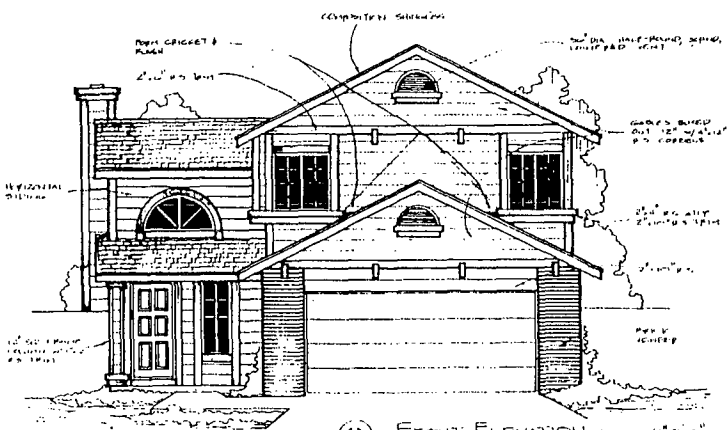
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Item 27

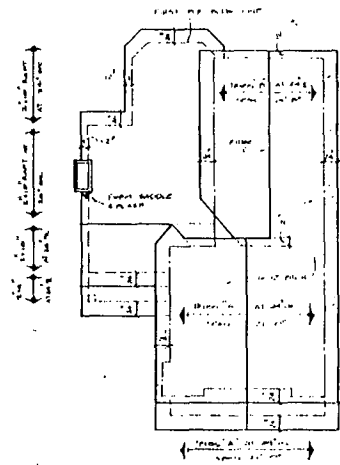
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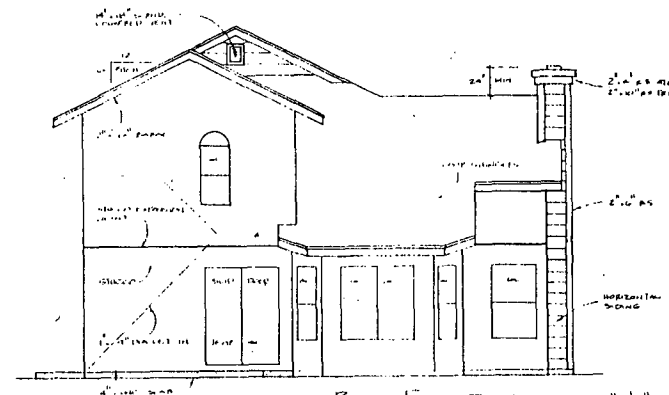
LEFT ELEVATION



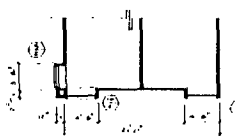
FRONT ELEVATION



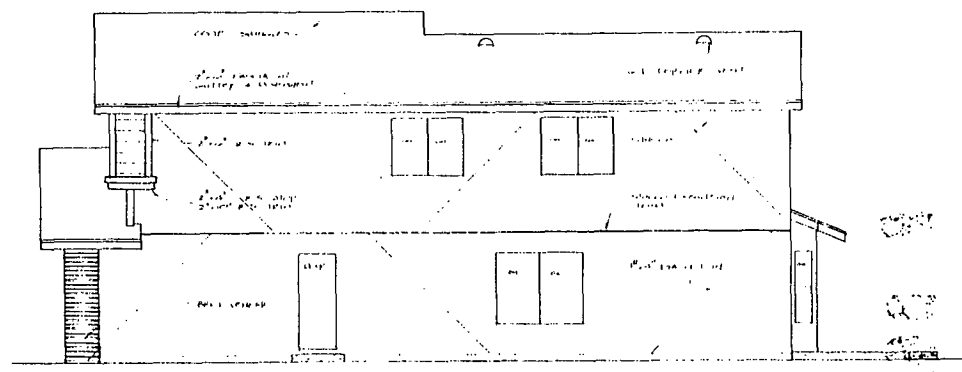
ROOF PLAN



REAR ELEVATION



FLOOR PLAN



RIGHT ELEVATION

S-14-87

Item 27

WILLIAM HANSEN & SONS  
 ARCHITECTS  
 2331 ARDEN WAY, SUITE 103  
 SACRAMENTO, CALIF. 95825

**US • HOME**

Model 1690

SHEET 7

ITEM 27

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PH 1785

1. FINISHES: SEE FINISH SCHEDULE AND FINISH SPECIFICATIONS.

2. PAINTS: SEE PAINT SCHEDULE AND FINISH SPECIFICATIONS.

3. FLOORING: SEE FLOORING SCHEDULE AND FINISH SPECIFICATIONS.

4. CEILING: SEE CEILING SCHEDULE AND FINISH SPECIFICATIONS.

5. WALLS: SEE WALL SCHEDULE AND FINISH SPECIFICATIONS.

6. ROOFING: SEE ROOFING SCHEDULE AND FINISH SPECIFICATIONS.

7. MECHANICAL: SEE MECHANICAL SCHEDULE AND FINISH SPECIFICATIONS.

8. ELECTRICAL: SEE ELECTRICAL SCHEDULE AND FINISH SPECIFICATIONS.

9. PLUMBING: SEE PLUMBING SCHEDULE AND FINISH SPECIFICATIONS.

10. GLAZING: SEE GLAZING SCHEDULE AND FINISH SPECIFICATIONS.

11. METALS: SEE METALS SCHEDULE AND FINISH SPECIFICATIONS.

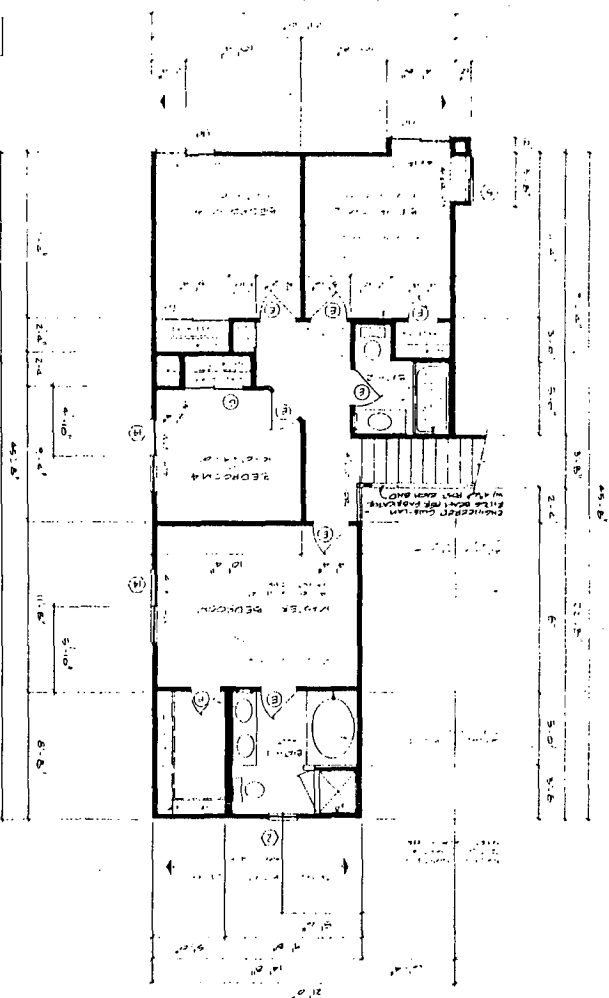
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13. STAIRS: SEE STAIR SCHEDULE AND FINISH SPECIFICATIONS.

14. ELEVATORS: SEE ELEVATOR SCHEDULE AND FINISH SPECIFICATIONS.

15. SPECIALTIES: SEE SPECIALTIES SCHEDULE AND FINISH SPECIFICATIONS.

SECOND FLOOR



1. FINISHES: SEE FINISH SCHEDULE AND FINISH SPECIFICATIONS.

2. PAINTS: SEE PAINT SCHEDULE AND FINISH SPECIFICATIONS.

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4. CEILING: SEE CEILING SCHEDULE AND FINISH SPECIFICATIONS.

5. WALLS: SEE WALL SCHEDULE AND FINISH SPECIFICATIONS.

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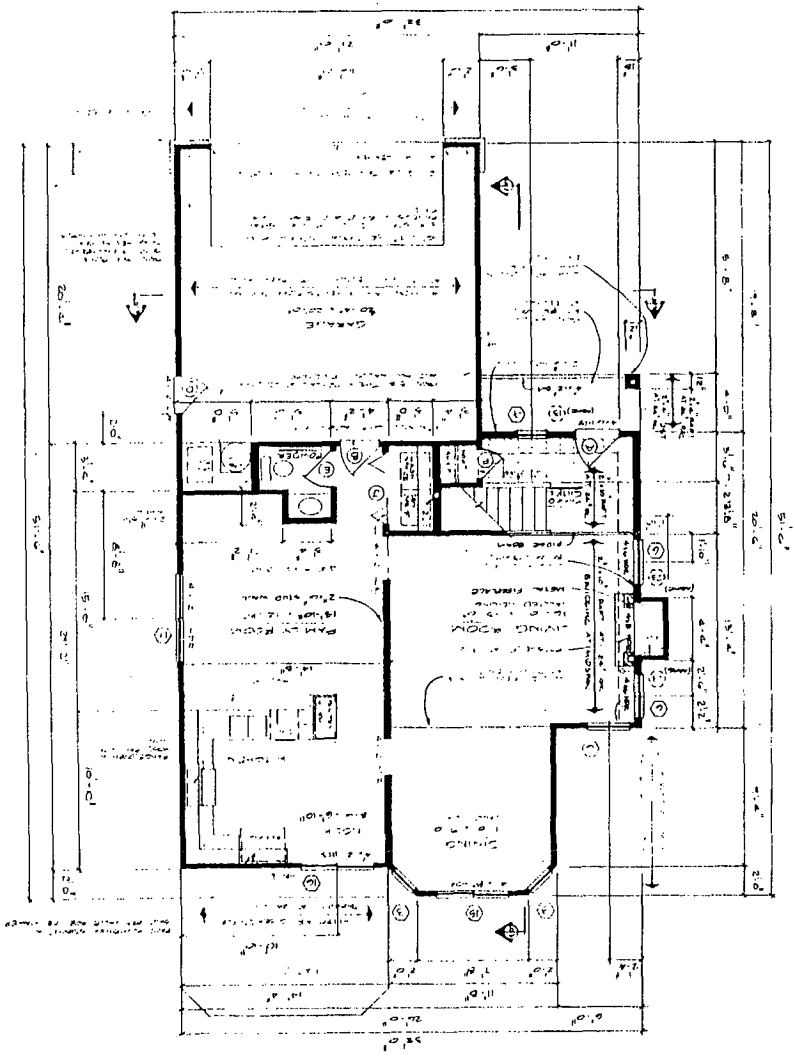
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14. ELEVATORS: SEE ELEVATOR SCHEDULE AND FINISH SPECIFICATIONS.

15. SPECIALTIES: SEE SPECIALTIES SCHEDULE AND FINISH SPECIFICATIONS.

RIGHT FLOOR PLAN - FIRST FLOOR



NO.	DESCRIPTION	QTY.	UNIT	REMARKS
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2	FLOORING			SEE FINISH SCHEDULE
3	WALLS			SEE FINISH SCHEDULE
4	ROOFING			SEE FINISH SCHEDULE
5	MECHANICAL			SEE MECHANICAL SCHEDULE
6	ELECTRICAL			SEE ELECTRICAL SCHEDULE
7	PLUMBING			SEE PLUMBING SCHEDULE
8	GLAZING			SEE GLAZING SCHEDULE
9	METALS			SEE METALS SCHEDULE
10	WOODWORK			SEE WOODWORK SCHEDULE
11	STAIRS			SEE STAIR SCHEDULE
12	ELEVATORS			SEE ELEVATOR SCHEDULE
13	SPECIALTIES			SEE SPECIALTIES SCHEDULE

Model 1690

**US·HOME**

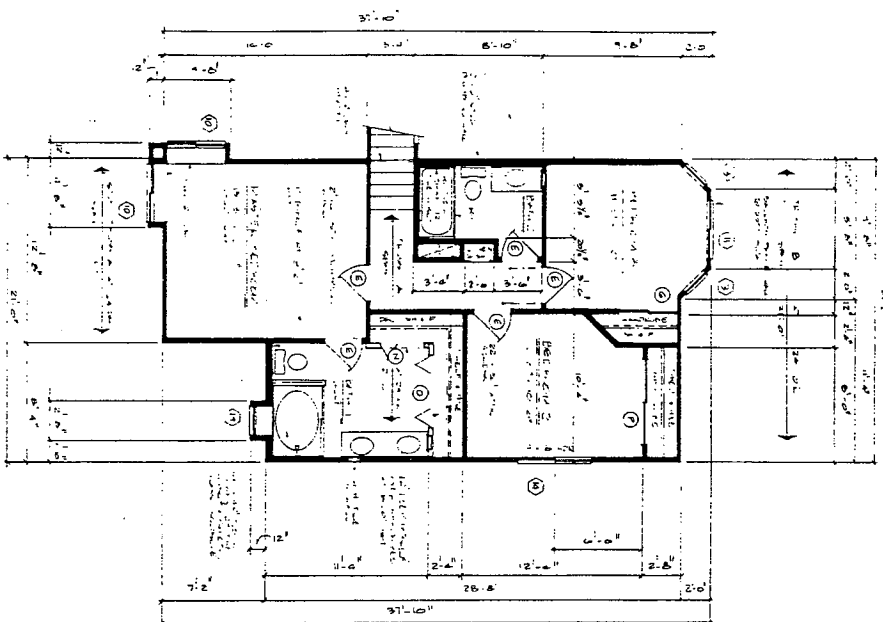
2291 BAKER WAY, SUITE 43  
SACRAMENTO, CALIF. 95825

WILLIAM B. BROWN  
ARCHITECT

287-185

5-14-87

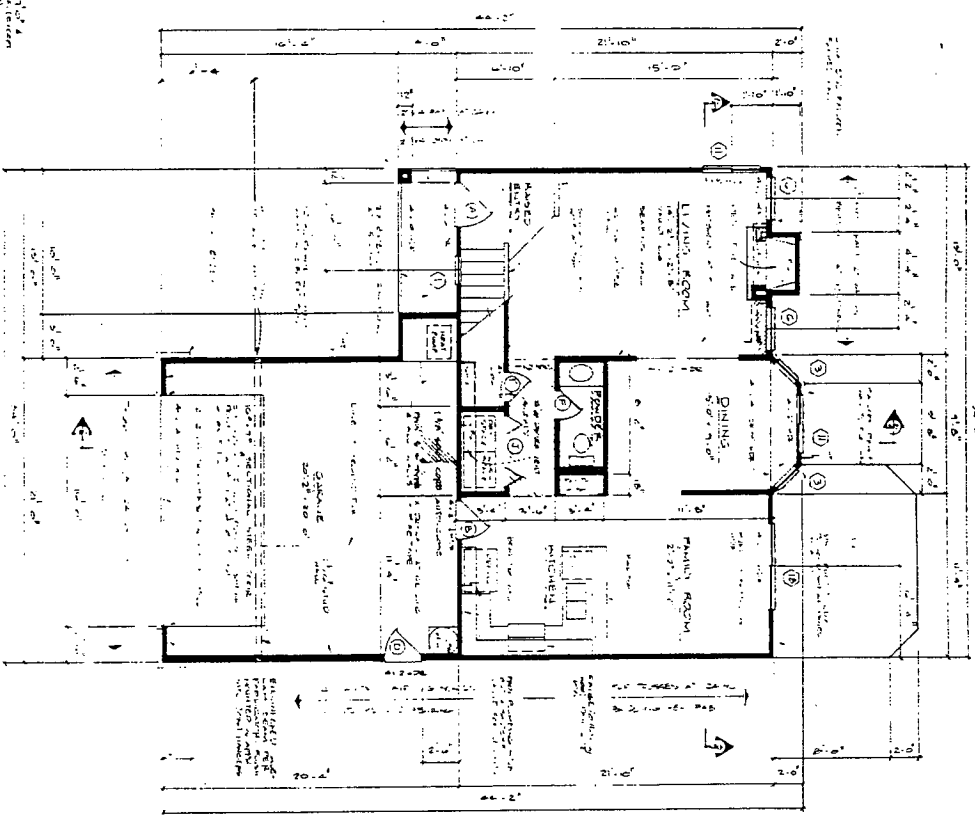
ITW 07



Second Floor Plan - 12' x 12'

DOOR SCHEDULE

Window Schedule



First Floor Plan - 12' x 12'

Window Schedule

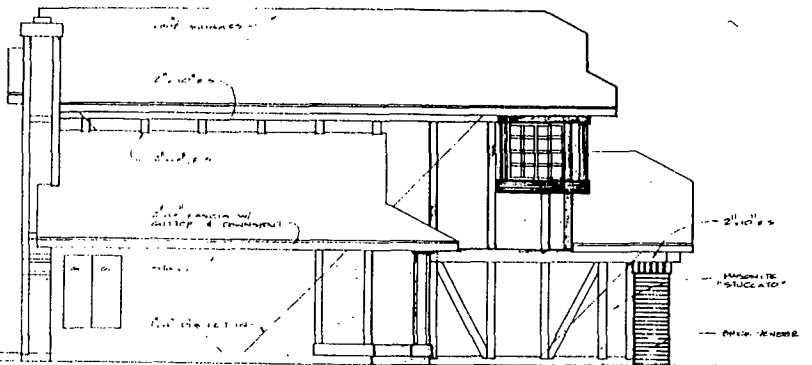
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50	6' x 6' 6\"	50	6' x 6' 6\"

Model 1470

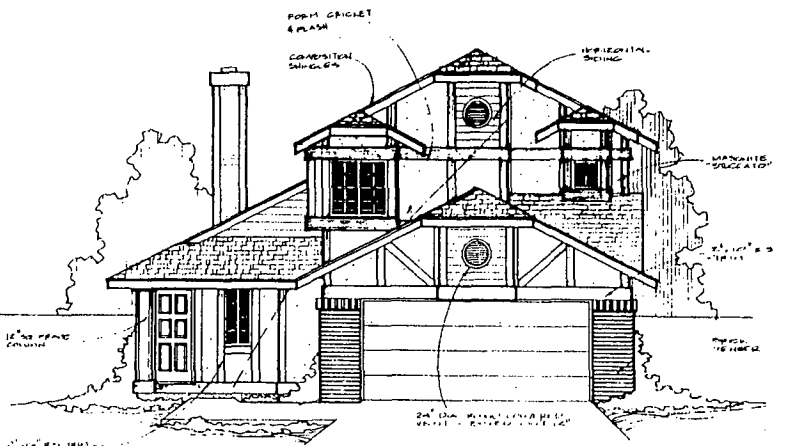
US • HOME 2391 ARDEN WAY, SUITE 43 SACRAMENTO, CALIF 95825

WILLIAM HUBBARD

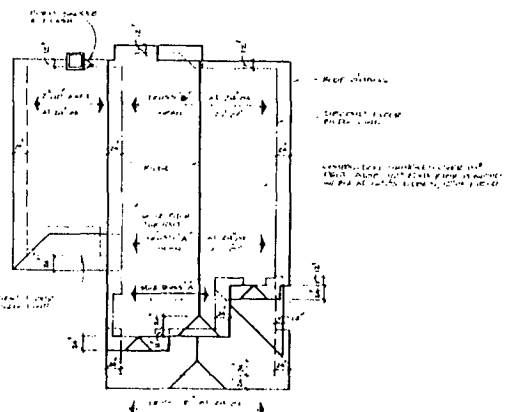
Pf7-185



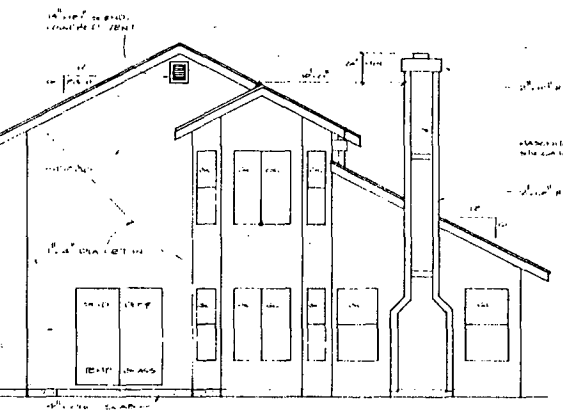
LEFT ELEVATION scale 1/4" = 1'-0"



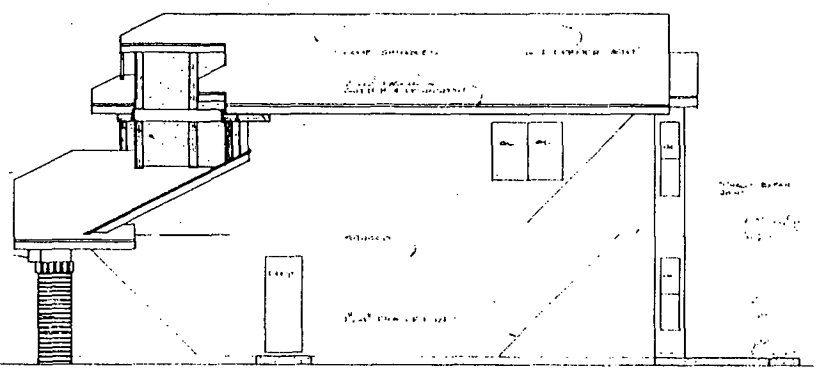
FRONT ELEVATION scale 1/4" = 1'-0"



FLOOR PLAN scale 1/4" = 1'-0"



REAR ELEVATION scale 1/4" = 1'-0"



RIGHT ELEVATION scale 1/4" = 1'-0"

5-14-87

IFCM 37

WILLIAM WELLS  
 3371 ARDEN BOY, SUITE 100  
 BUCKLEUP, SEATTLE, WA 98148  
**US • HOME**  
 Model 1470

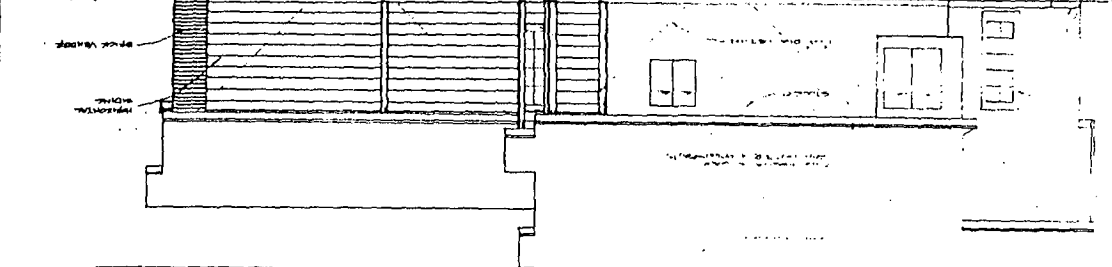
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7  
Model 176

US·HOME

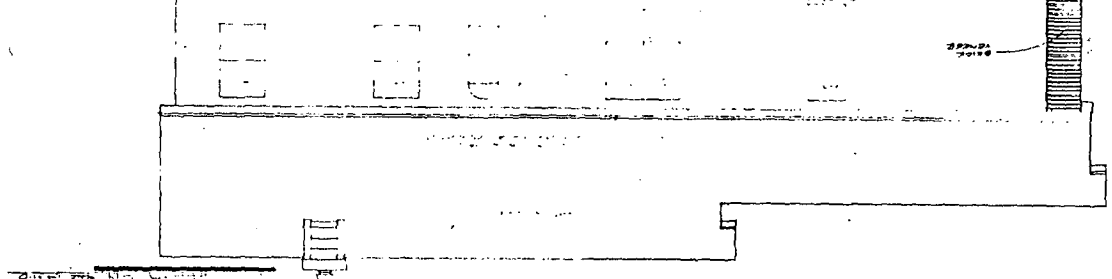
3331 ORCHARD AVE., SUITE 103  
SERRANO, CALIF. 92082

CHILDREN'S HOSPITAL  
GENERAL HOSPITAL  
FRANK WITTMER

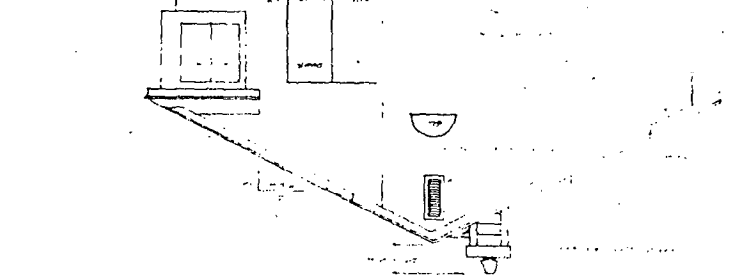
LEFT ELEVATION



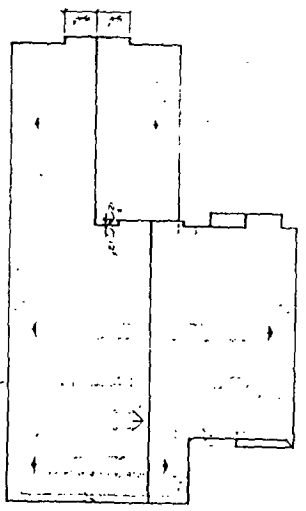
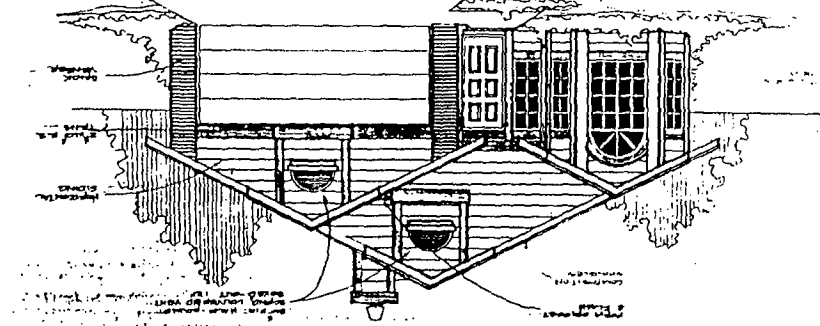
RIGHT ELEVATION



REAR ELEVATION



FRONT ELEVATION



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5-14-67

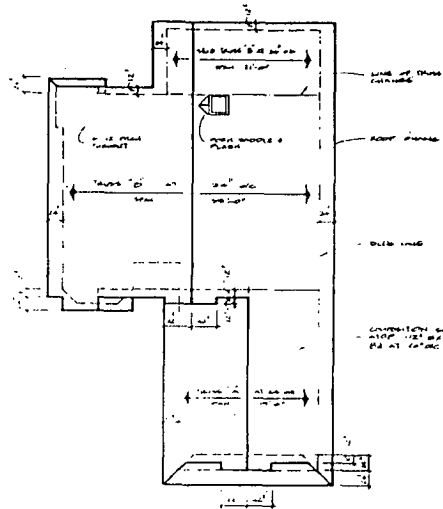
Item 27



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5-14-87

ITEM 25

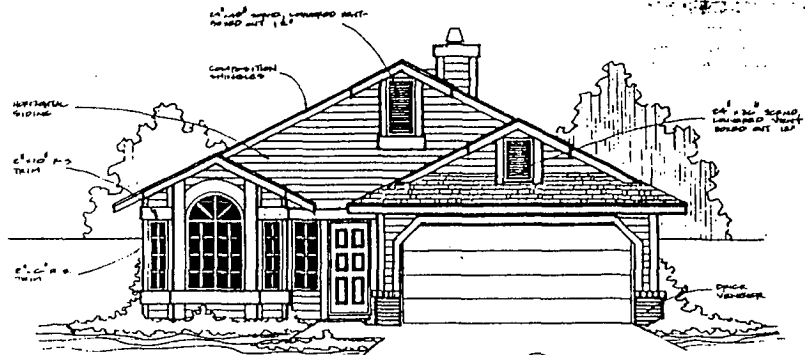


FLOOR PLAN

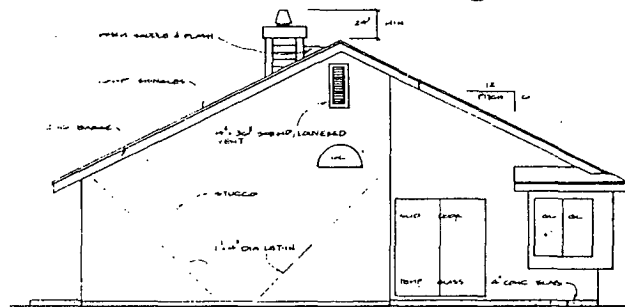
ALL DIMENSIONS IN FEET AND INCHES

ALL DIMENSIONS IN FEET AND INCHES

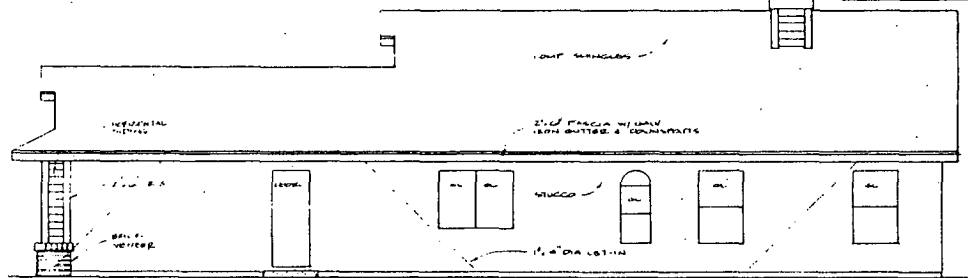
ALL DIMENSIONS IN FEET AND INCHES



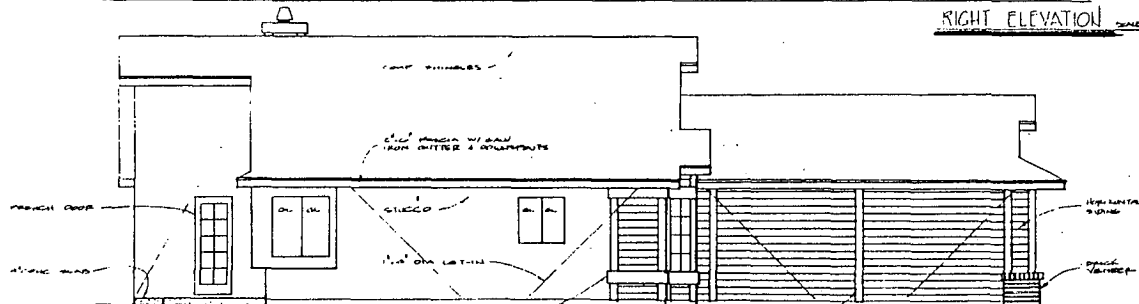
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

WILLIAM HAMILTON  
GENERAL SERVICES  
FRANK WITTMER

2391 ARDEN WAY, SUITE 41  
SACRAMENTO, CALIF. 95825

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Model 1175

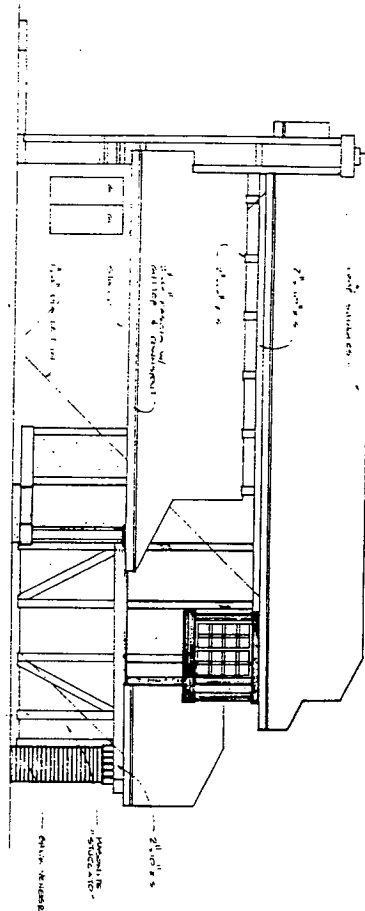
SHEET  
OF 5  
10



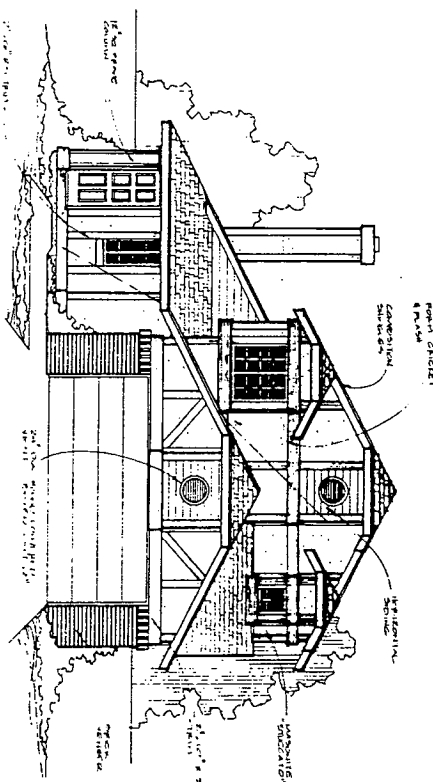




P87-185

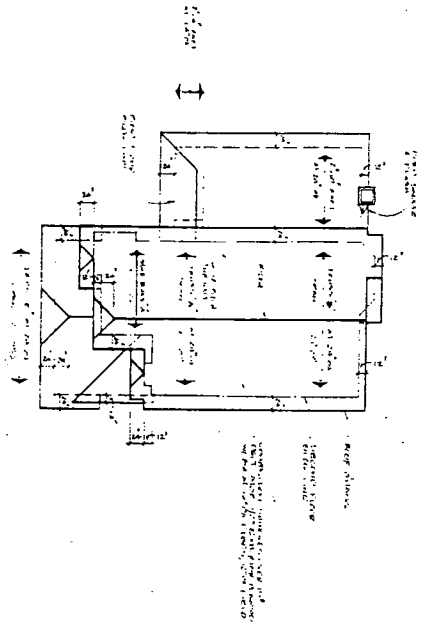


LEFT ELEVATION SCALE 1/4" = 1'-0"

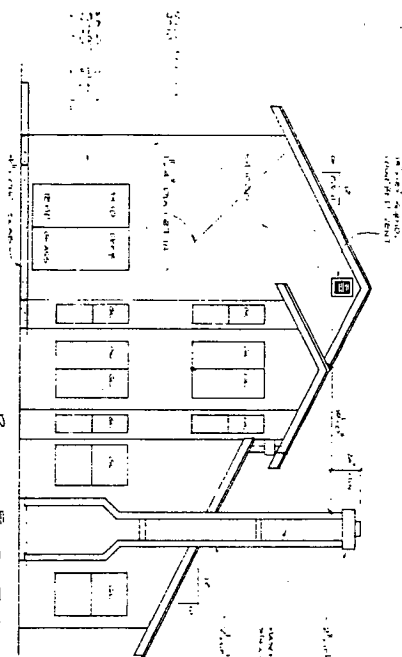


FRONT ELEVATION SCALE 1/4" = 1'-0"

5-14-87



REAR ELEVATION SCALE 1/4" = 1'-0"



RIGHT ELEVATION SCALE 1/4" = 1'-0"

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Model 1470

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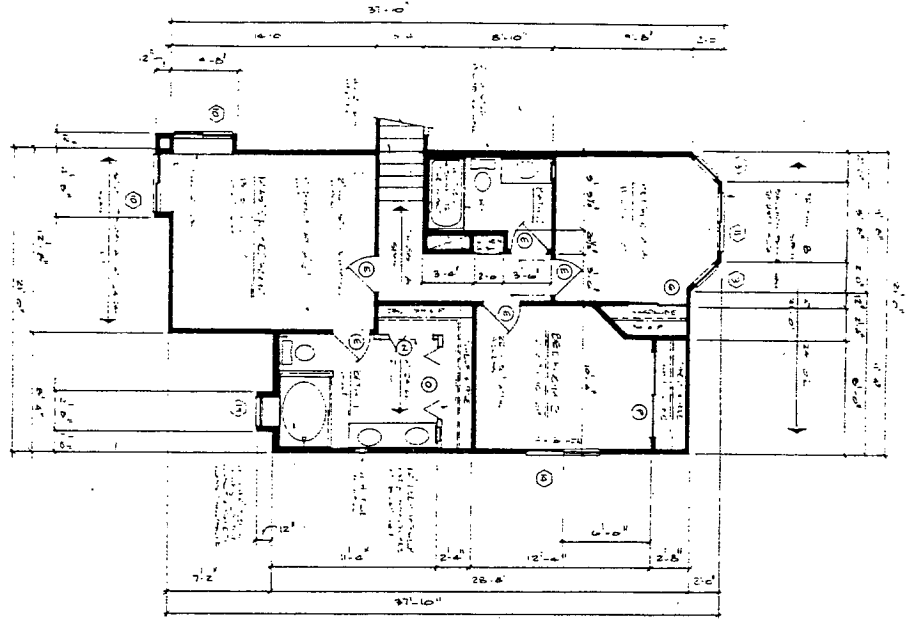
2391 ORCHARD WAY, SUITE 200  
BOSTON, MASS. 02134

WILLIAM BRIDGEMAN

287-185

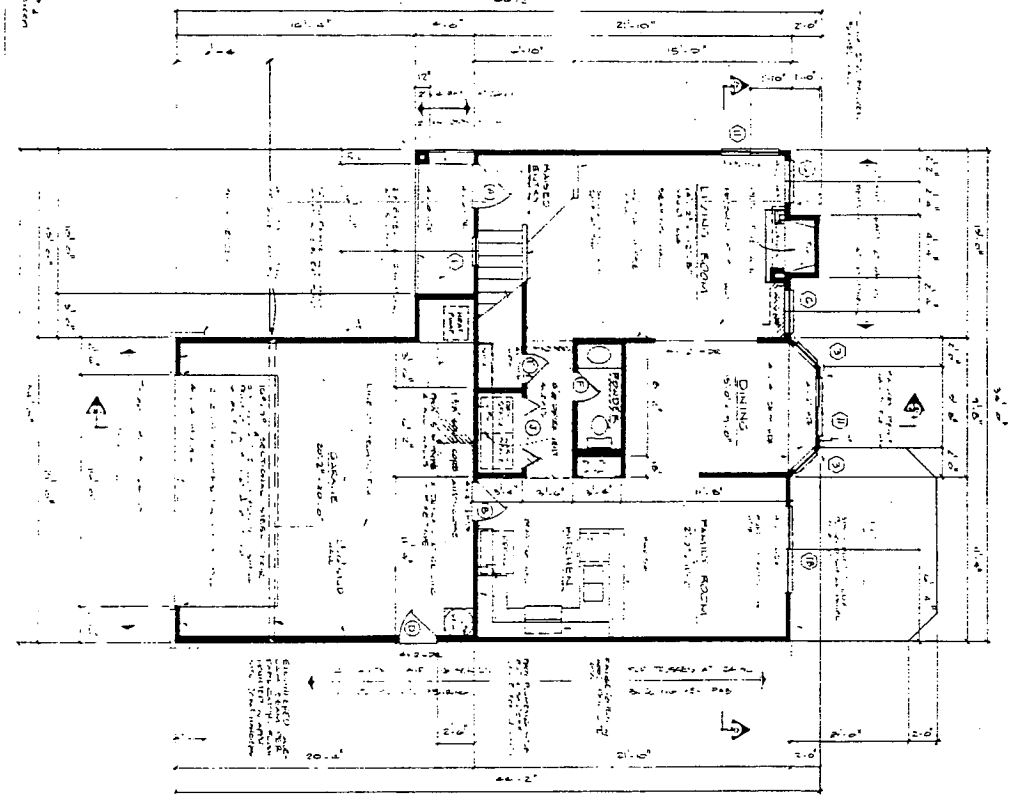
5-14-87

Item 27



CHINA CABINET  
PARADEL  
SCHEDULE

SWITCH  
SCHEDULE



Right Floor Plan First Floor

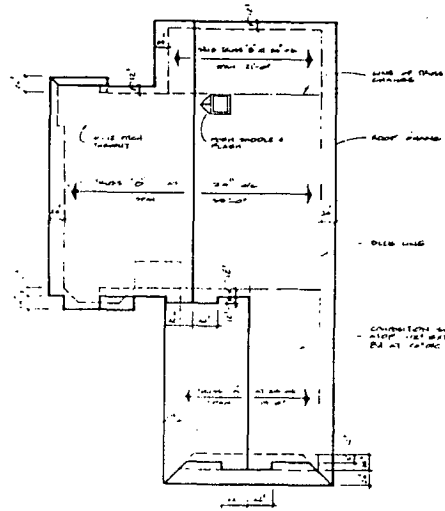
- NOTES:**
- 1. ALL WORK TO BE ACCORDING TO THE SACRAMENTO LOOKING WEST FLOOR PLAN.
  - 2. ALL WORK TO BE ACCORDING TO THE RIGHT FLOOR PLAN.
  - 3. ALL WORK TO BE ACCORDING TO THE CHINA CABINET PARADEL SCHEDULE.
  - 4. ALL WORK TO BE ACCORDING TO THE SWITCH SCHEDULE.
  - 5. ALL WORK TO BE ACCORDING TO THE WINDOW SCHEDULE.
  - 6. ALL WORK TO BE ACCORDING TO THE DOOR SCHEDULE.
  - 7. ALL WORK TO BE ACCORDING TO THE ELECTRICAL SCHEDULE.
  - 8. ALL WORK TO BE ACCORDING TO THE MECHANICAL SCHEDULE.
  - 9. ALL WORK TO BE ACCORDING TO THE PLUMBING SCHEDULE.
  - 10. ALL WORK TO BE ACCORDING TO THE PAINT SCHEDULE.
  - 11. ALL WORK TO BE ACCORDING TO THE FINISH SCHEDULE.
  - 12. ALL WORK TO BE ACCORDING TO THE LANDSCAPE SCHEDULE.
  - 13. ALL WORK TO BE ACCORDING TO THE SITEWORK SCHEDULE.
  - 14. ALL WORK TO BE ACCORDING TO THE UTILITY SCHEDULE.
  - 15. ALL WORK TO BE ACCORDING TO THE EXTERIOR SCHEDULE.
  - 16. ALL WORK TO BE ACCORDING TO THE INTERIOR SCHEDULE.
  - 17. ALL WORK TO BE ACCORDING TO THE ROOF SCHEDULE.
  - 18. ALL WORK TO BE ACCORDING TO THE FOUNDATION SCHEDULE.
  - 19. ALL WORK TO BE ACCORDING TO THE STRUCTURE SCHEDULE.
  - 20. ALL WORK TO BE ACCORDING TO THE FINISH SCHEDULE.

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CHINA CABINET PARADEL SCHEDULE				
2	SWITCH SCHEDULE				
3	WINDOW SCHEDULE				
4	DOOR SCHEDULE				
5	ELECTRICAL SCHEDULE				
6	MECHANICAL SCHEDULE				
7	PLUMBING SCHEDULE				
8	PAINT SCHEDULE				
9	FINISH SCHEDULE				
10	LANDSCAPE SCHEDULE				
11	SITEWORK SCHEDULE				
12	UTILITY SCHEDULE				
13	EXTERIOR SCHEDULE				
14	INTERIOR SCHEDULE				
15	ROOF SCHEDULE				
16	FOUNDATION SCHEDULE				
17	STRUCTURE SCHEDULE				
18	FINISH SCHEDULE				

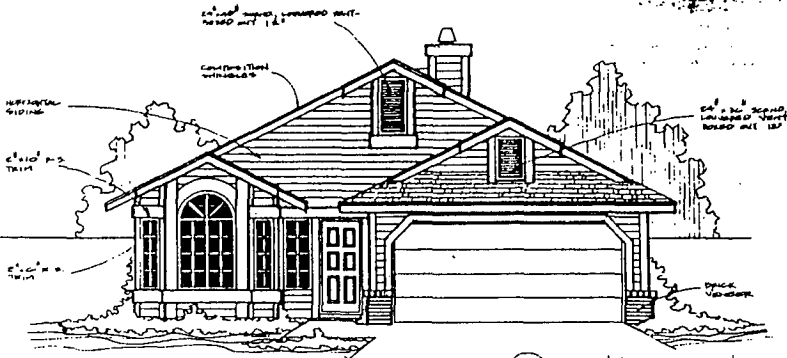
P87-185

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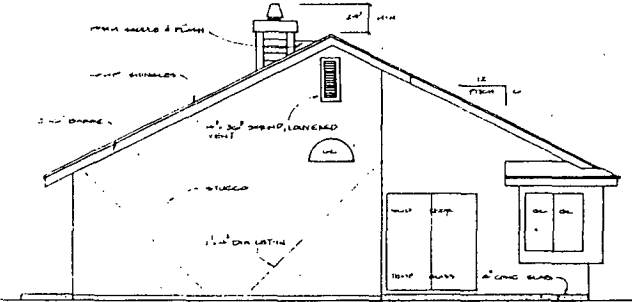
Item 30



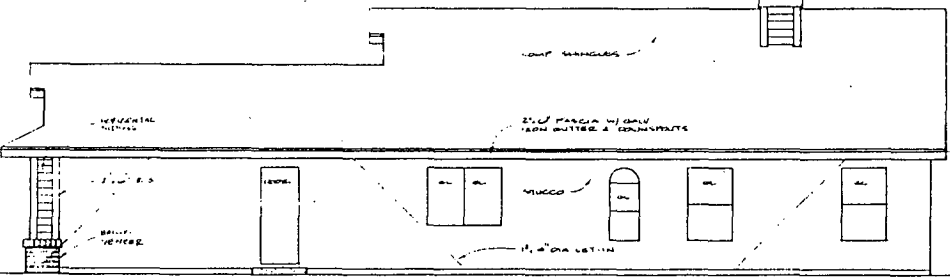
FLOOR PLAN  
 ALL WORK DRAWN BY JIMMY PARSONS  
 1231 ARDEN WAY, SUITE 113  
 SACRAMENTO, CALIF. 95825



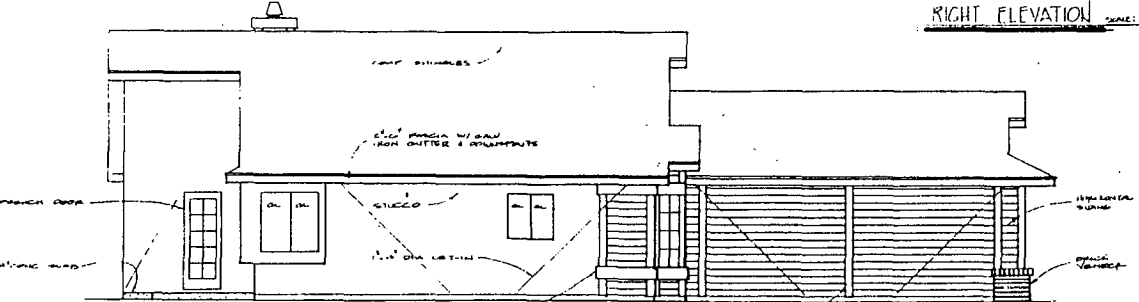
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

WILLIAM HAMILTON  
 ARCHITECT  
 2351 ARDEN WAY, SUITE 113  
 SACRAMENTO, CALIF. 95825

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Model 1175

SHEET  
 5  
 10

