

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 0111190

Insp Area: 1
Thos Bros: 298A5

Site Address: 5315 H ST SAC

Parcel No: 004-0323-009
N

MOVING FROM 3015 G ST TO 5315 H ST

Sub-Type: MOVE
Housing (Y/N):

CONTRACTOR

OWNER

O'NEAL JOE
441 46TH ST
SACRAMENTO CA 95815-1453

ARCHITECT

Nature of Work: 2860-SF HOUSE MOVE, 240-SF PORCH, NEWFOUNDATION, UPGRADE TO 125 AMP, REMAINDER STORAGE), STAIRS, NEW WATER AND SEWER/GAS.

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class _____ License Number _____ Date _____ Contractor Signature _____

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

I am exempt under Sec. _____ B & PC for this reason: _____

Date 9/20/2001 Owner Signature *Joseph B. O'Neal*

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date 9/20/2001 Applicant/Agent Signature *Joseph B. O'Neal*

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier *Exempt* Exp Date _____

(This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date 9/20/2001 Applicant Signature *Joseph B. O'Neal*

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

OWNER-BUILDER VERIFICATION

ATTENTION PROPERTY OWNERS

An owner-builder building permit has been applied for in your name and bearing your signature.

Please complete and return this information in the envelope provided at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

1. I personally plan to provide the major labor and materials for construction of the proposed Improvement (yes or no) no
2. I (have/have not) have signed an application for A building permit for the proposed work.

3. I have contracted with the following person (firm) to provide the proposed construction:

Name TBA Address _____

City _____ Telephone _____

Contractors License No. _____

4. I plan to provide portions of the work, but I have hired the following person to coordinate, Supervise, and provide the major work.

Name _____ Address _____

City _____ Telephone _____

Contractors License No. _____

5. I will provide some of the work but I have contracted (hired) the following to provide the Work indicated:

Name	Address	Phone	Type of work

Signed Joseph B. Deuel

Job Address 5315 H Street

Permit No: 0111190

September 20, 2001

City Of Sacramento
Building Division
1231 I Street, Room 200
Sacramento, CA 95814

Re: House move from 3015 G Street to 5315 H Street

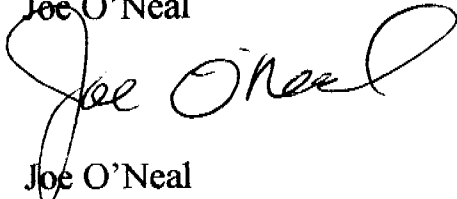
Dear Willie,

This letter is to confirm that the work to be done to the house we are moving from 3015 G Street to 5315 H Street will be completed 60 days from September 20, 2001 (or the date of issuance of building permit, if other than today).

If the work is not completed in this timeframe, I hereby authorize the City of Sacramento to demolish house.

Cautiously,

Joe O'Neal

A handwritten signature in black ink that reads "Joe O'Neal". The signature is written in a cursive style with a large, looping initial "J".

Joe O'Neal
Capital Development Company
441 46th Street
Sacramento, CA 95819
916-736-0289 home/office

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of Sacramento } ss.

On 09-20-01, before me, Janet G. Elliott, Notary Public
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")

personally appeared JOSEPH B. ONEAL
Name(s) of Signer(s)

personally known to me
 proved to me on the basis of satisfactory evidence



to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Janet G. Elliott
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Letter to City of Sacramento

Document Date: 9-20-01 Number of Pages: _____

Signer(s) Other Than Named Above: N/A

Capacity(ies) Claimed by Signer

Signer's Name: _____

- Individual
- Corporate Officer — Title(s): _____
- Partner — Limited General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: _____

RIGHT THUMBPRINT OF SIGNER


Top of thumb here

Signer Is Representing: _____

TRANSPORTATION PERMIT

010920-02

CITY OF SACRAMENTO
 DEPARTMENT OF PUBLIC WORKS
 1231 I STREET
 SACRAMENTO, CA 95814
 PHONE (916) 264-7995 FAX (916) 448-8450

AUTHORIZED FOR YES NO	PERMIT VALID BETWEEN SUNRISE <i>October 20</i>	PERMIT # <i>010920-02</i>
SATURDAY <input checked="" type="checkbox"/> <input type="checkbox"/>	SUNSET <i>October 21</i>	FEE \$ <i>15.00</i>
SUNDAY <input checked="" type="checkbox"/> <input type="checkbox"/>	SEE NOTE BELOW FOR	 CITY REPRESENTATIVE
SUNRISE - SUNSET	TIME RESTRICTIONS	

IN COMPLIANCE WITH YOUR REQUEST AND SUBJECT TO ALL OF THE TERMS, CONDITIONS AND RESTRICTIONS WRITTEN BELOW AND THE ATTACHMENTS, PERMISSION IS GRANTED TO:

COMPANY NAME: *Scott House Movers*
 ADDRESS: *7029 32nd Street*
 CITY, STATE *North Highlands, CA 95660*
 PHONE *(916) 920-8368* FAX *(916) 334-8078*

HAUL <input type="checkbox"/>	LOAD OR EQUIPMENT AND MODEL # <i>DOLLY</i>
DRIVE <input type="checkbox"/>	
TOW <input checked="" type="checkbox"/>	TYPE VEHICLE: <i>SEM1 & DOLLYS</i>

KING PIN TO LAST AXLE:
40

COMB. VEHICLE LENGTH:
120'

FAXED PERMITS NOT VALID WITHOUT STAMP

CITY OF SACRAMENTO

LOADED DIMENSIONS DIFFERENT THAN OR WEIGHTS EXCEEDING THOSE SHOWN BELOW ARE NOT AUTHORIZED

MAX HEIGHT: <i>21</i>	MAX WIDTH: <i>34</i>	MAX OVERALL LENGTH: <i>120</i>	MAX OVERHANG: <i>2'</i>						
AXLE NUMBER:	1	2	3	4	5	6	7	8	9
NUMBER OF TIRES:									
AXLE SPACING:									
AXLE WIDTH:									
WEIGHT:									

ORIGIN: *3015 G Street* DESTINATION: *5315 H Street* TRIPS: *1*

AUTHORIZED CITY STREETS [REDACTED] COUNTY AND/OR STATE PERMITS REQUIRED

See attached route description

NOTE: NO MOVEMENT 7:00 TO 9:00 A.M. OR FROM 4:00 TO 6:00 P.M. WEEKDAYS!!
 THIS PERMIT DOES NOT GRANT PERMISSION TO STAND OR PARK IN PUBLIC RIGHT OF WAY!!

PILOT CAR	YES <input type="checkbox"/>	NONE REQUIRED <input type="checkbox"/>	ATTACHMENTS
I CERTIFY THAT ALL ZONING PERMITS HAVE BEEN OBTAINED IF THIS PERMIT IS FOR TOWING A MOBILEHOME			PERMIT CONDITIONS

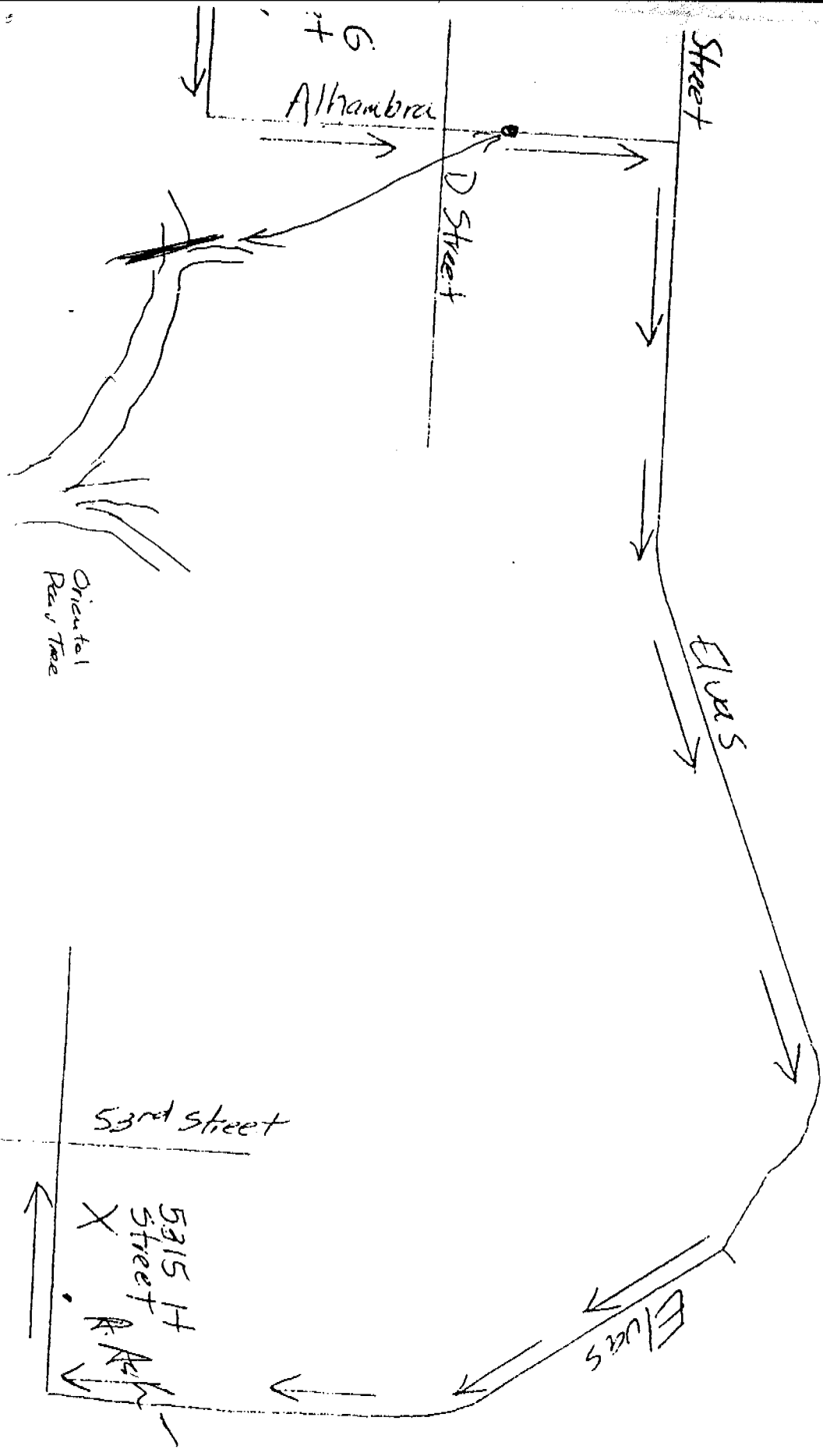
Joseph B. O'Connell *9/20/2001*
 AUTHORIZED AGENT SIGNATURE DATE

See

9, 2001

Proposed Route for 3015 G Street house move to 5315 H Street

Capital Dev. Co.
441 46th St.
Sac, CA 95819
(916) 736-0289
Joe Orvas



53rd Street
5315 H Street
X

BUILDING MOVE
DEPARTMENT CLEARANCES AND CONDITIONS

The following signatures are required in order to submit a complete application to the City Department of Planning and Development, Design Review Section. The following persons approve the building move, subject to conditions shown below, as provided by Ordinance No. 86-20, Chapter 9, Section 9.423 and 9.424 of the Sacramento City Code. Please provide an accurate drawing to dimension of the structure height, width and length when loaded for transit (see sample illustration attached to building move application packet) and show to each signee below.

PROPOSED ROUTE OF MOVE AS SPECIFIED BY MOVING CONTRACTOR:

from 3015 G Street, East on G to Alhambra, North on Alhambra
to C Street, East on C Street to Elvas, Straight on Elvas
to H Street, West on H Street to 5315 H Street.

Old Address: 3015 G Street Old Parcel #: 003-0211-011
New Address: 5315 H Street New Parcel #: 004-0323-009

SIGNATURES:

1. City Arborist (433-6345; 5730 24th Street - Building 12; D. Pskowski or M. Fitch between 7:00 and 7:30 a.m. and 3:00 to 3:30 p.m.)

Signature: Mart Fitch Date: 7-11-01
Comments: Authorized to trim pear at 415 Alhambra
& A. Ash at 791 El Dorado. No other trimming of
branches over 2" dia.

2. City Fire Department (264-5480; 1231 I St., 4th Floor; Ross Woodman before 9:00 a.m. or after 4:00 p.m.)

Signature: Ron Woodman Date: 6-28-01
Comments: Any changes in date or time, notify FIRE DEPT

3. City Building Division (264-5716; 1231 I St., Room 200; Don Dumford). Note: Building must be (check) inspected before move, however; submit application prior to contacting Building Division.

Signature: Ron Jones Date: 9-10-01
Comments: _____

4. City Design Review Section (1231 I Street, Room 200; Luis Sanchez, 264-5957 or Randy Lum 264-5896) Note: See conditions attached to plans.

Signature: Wend. Almitt Date: 8.21.01
Comments: DR01-121

AFTER THE ABOVE SIGNATURES ARE OBTAINED, TAKE THIS FORM TO TRANSPORTATION DIVISION:

5. City Transportation Division (264-5307; 1000 I Street, Suite 170).

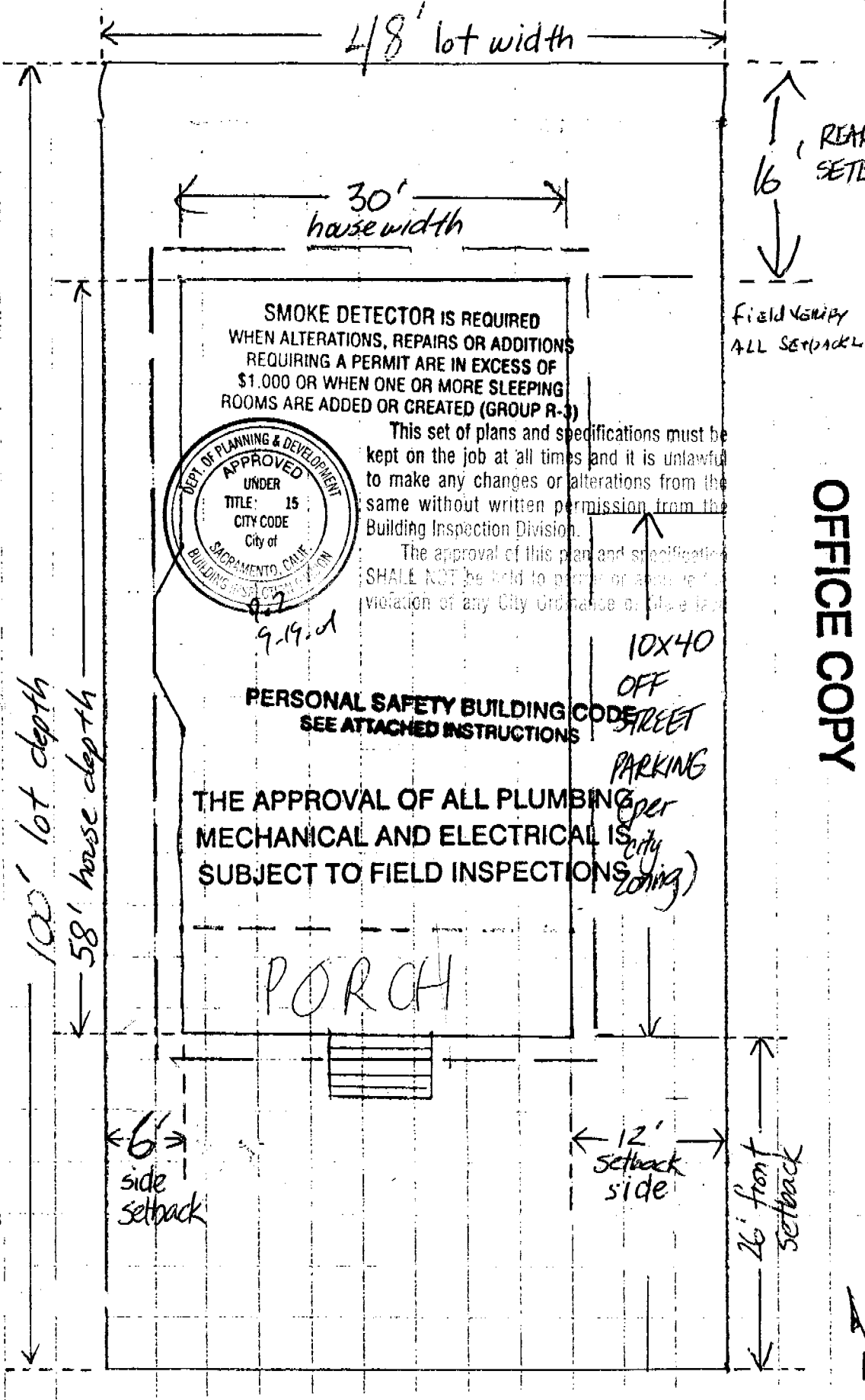
Signature: [Signature] Date: 9/20/01
Comments: _____

Egress or rescue windows from sleeping rooms shall have a minimum net clear opening of 5.7 square feet. The minimum net clear opening height dimension shall be 24 inches. The minimum net clear opening width dimension shall be 20 inches. Where windows are provided as a means of egress or rescue they shall have a finished sill height not more than 44 inches above the floor.

ISSUED
SEP 20 2001

Sheet Index

- 1.Site Plan
- 2.Services Plan
- 3.Lower Floor plan
- 4.Upper Floor plan
- 5.Notes & Details
- 6.South Elevation
- 7.West Elevation
- 8.North Elevation
- 9.East Elevation
- 10.Foundation Plan
- 11.Interior FND -section
- 12.Interior FND - calcs
- 13.Exterior FND -section
- 14.Exterior FND - calc
- 15.Framing notes & details

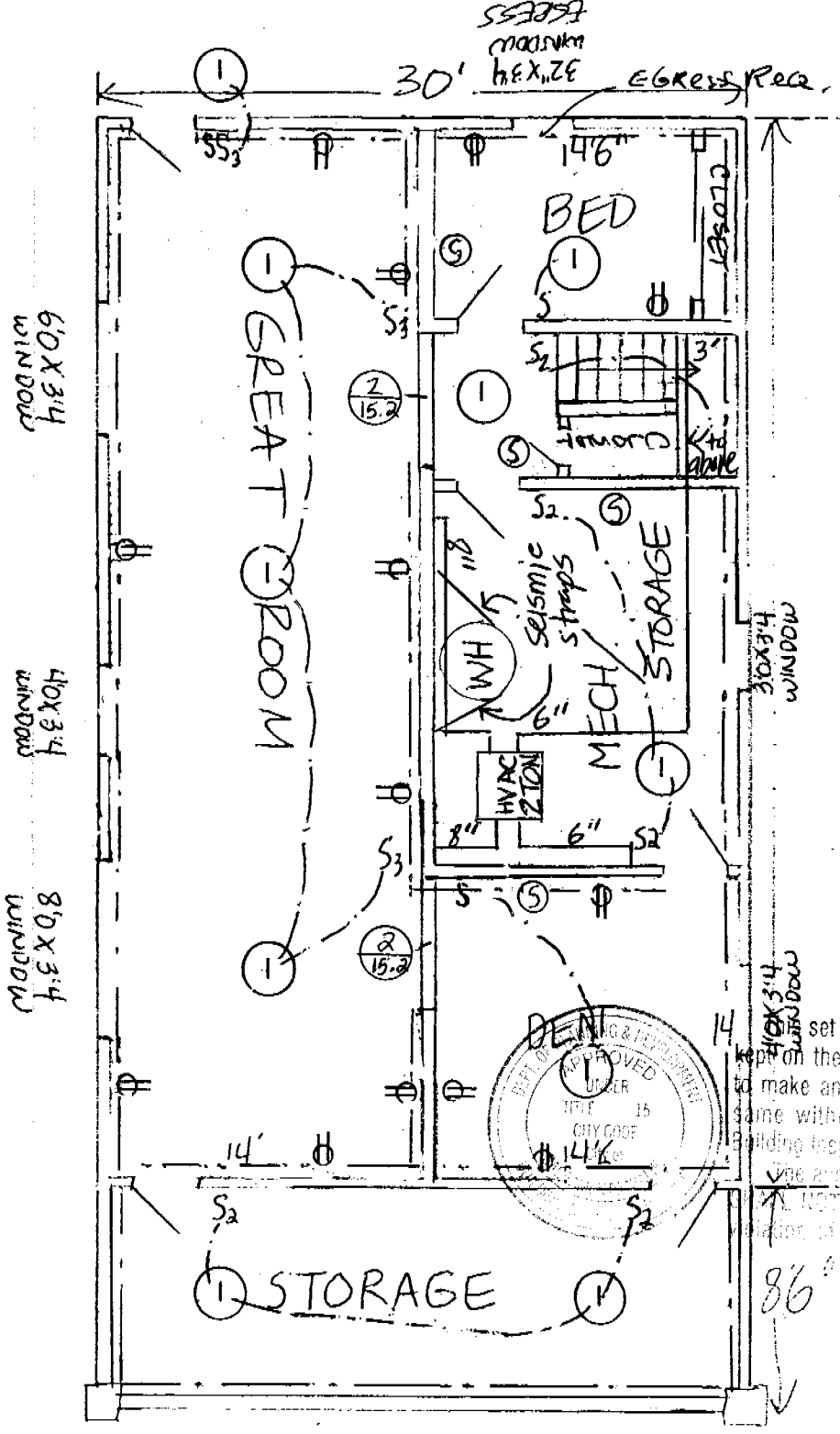


SITE PLAN

Date: 9.5.2001
Scale: varies
Sheet: 1 of 15

House Move from 3015 G Street to
5315 H Street APN: 004-0323-009
for Joe and Jamie O'Neal of
Capital Development Company

By: Joe O'Neal
441 46th Street, Sacramento, CA 95811
916.736.0289 fax 916.508.1111



THE APPROVAL OF ALL PLUMBING
MECHANICAL AND ELECTRICAL IS
SUBJECT TO FIELD INSPECTIONS

A set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification is NOT to hold in part or whole the location of any City Ordinance.

OFFICE COPY

Note: 1. all walls 48" tall except 2 - 2x4x8 walls under water walls of stair well.

2. Shear - 7/16 OSB nailed 8d 6" o.c. edge & 12" o.c. field
(ENTIRE lower floor pony walls) (VERIFY TRANSVERSE BRACE WALLS)

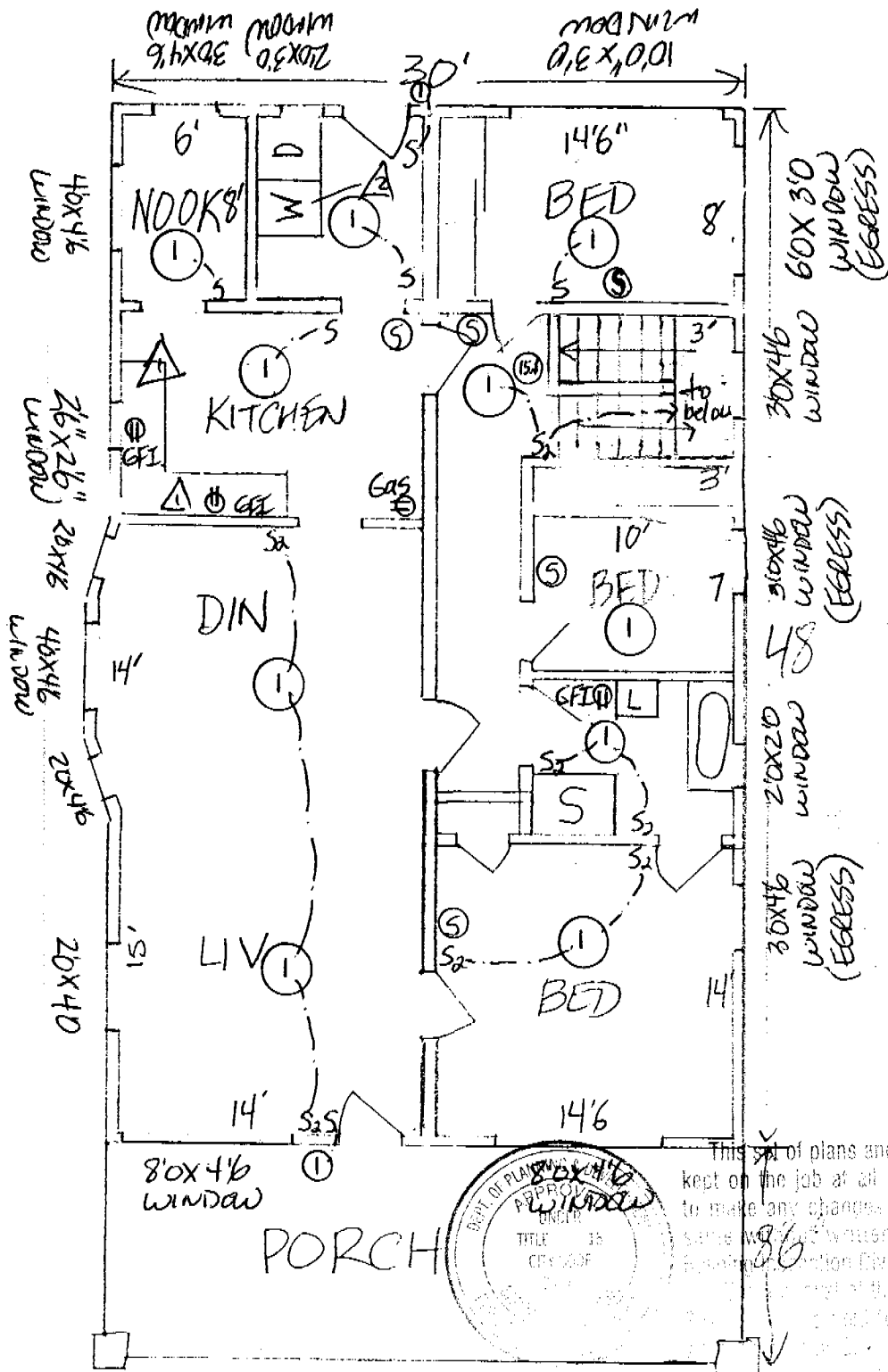
LOWER FLOOR PLAN

Date: 9.5.2001
Scale: varies
Sheet: 3 of 15

House Move from 3015 G Street to
5315 H Street APN: 004-0323-009
for Joe and Jamie O'Neal of
Capital Development Company

By: Joe O'Neal
441 46th Street, Sacramento, CA 95819
916.736.0289 fax 916.565.0321

- △ - 2-ea. 20-AMP ded. ckts. GFCI
- △ - 1- 20AMP ded. ckt.



THE APPROVAL OF ALL PLUMBING
MECHANICAL AND ELECTRICAL IS
SUBJECT TO FIELD INSPECTIONS

UPPER FLOOR PLAN

Date: 9.5.2001
Scale: varies
Sheet: 4 of 15

House Move from 3015 G Street to
5315 H Street APN: 004-0323-009
for Joe and Jamie O'Neal of

By: Joe O'Neal
441 46th Street, Sacramento, CA 95819
916.736.0289 fax 916.565.0321

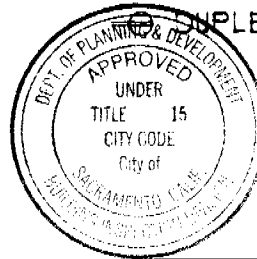
Notes & Details:

1. This home was built in 1927 and there were two major renovations one in the 60's and the second in the 80's. During these upgrades the electrical system was upgraded to romex, the water was upgraded to copper there were gas appliances added and a central heat and air system installed.
2. Occupancy Group-R3
Occupancy Type- V N
3. All PME and Building Codes will be required per or as though a new residence or new building.
4. This structure is required to be brought into compliance with all current applicable codes both city and state within 120 days after date of move.
5. Both properties have already been security fenced completely around site.

LEGEND

- (FL) FLORESCENT LIGHTING
- (R) RECESSED LIGHTING
- (RD) RECESSED LIGHT, DIRECTIONAL
- (F) FAN/LIGHT COMBINATION
- (I) INCANDESCENT LIGHT
- (TL) TRACK LIGHT
- (W) WALL MOUNTED LIGHT
- (L) LOW VOLTAGE LIGHTING
- (MD) MOTION DETECTOR
- FLUORESCENT TUBE

- S SINGLE POLE SWITCH
- S, THREE-WAY SWITCH
- S, FOUR-WAY SWITCH
- S, TIMED SWITCH
- (S) SMOKE DETECTOR, INTERCONNECTED



RECEIVED
 This plan and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State law.

OFFICE COPY

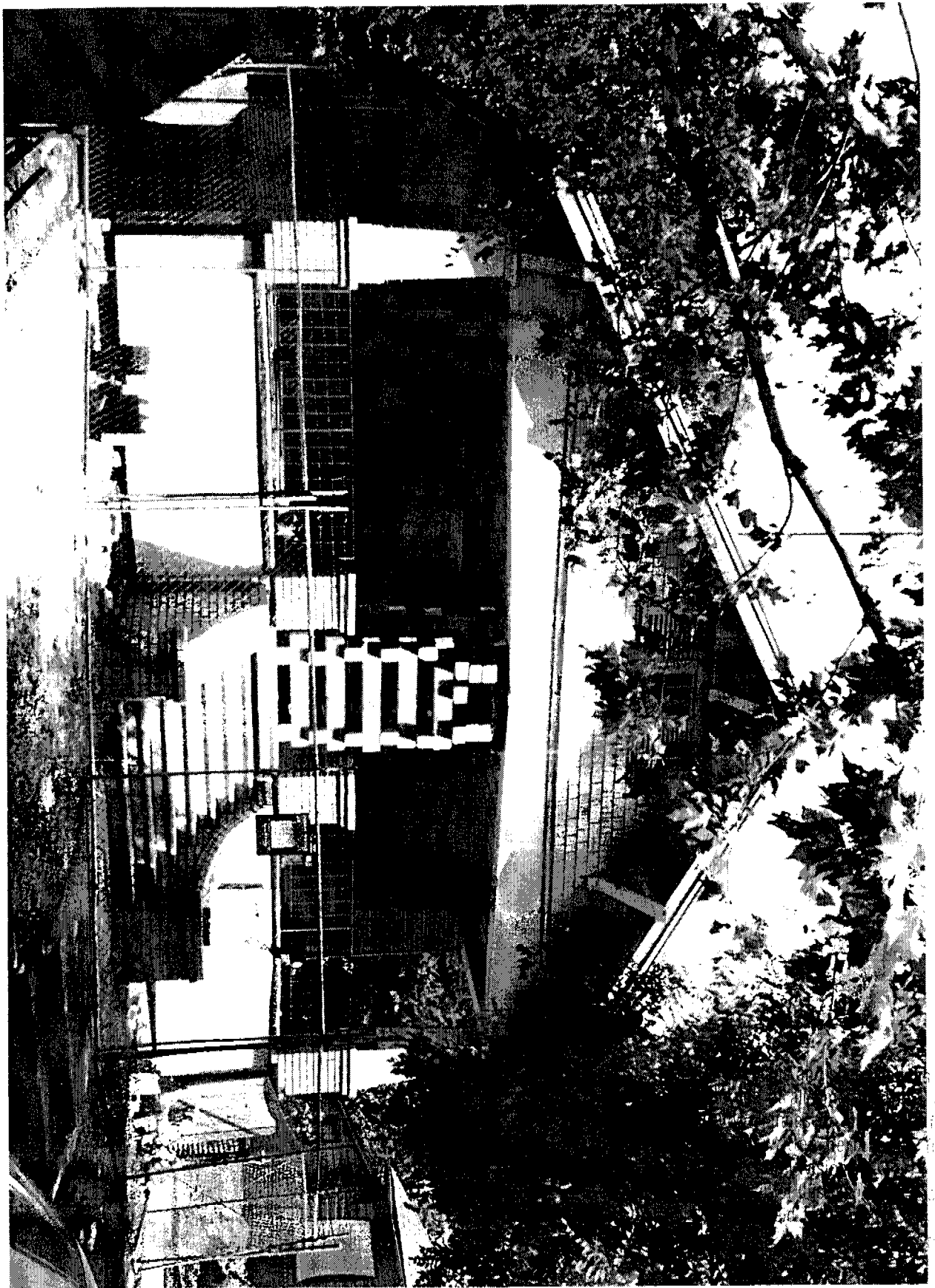
General Notes & Details

Date: 9.5.2001
 Scale: varies
 Sheet: 5 of 15

House Move from 3015 G Street to
 5315 H Street APN: 004-0323-009
 for Joe and Jamie O'Neal of
 Capital Development Company

By: Joe O'Neal
 441 46th Street, Sacramento, CA 95819
 916.736.0289 fax 916.565.0321

South Elevation



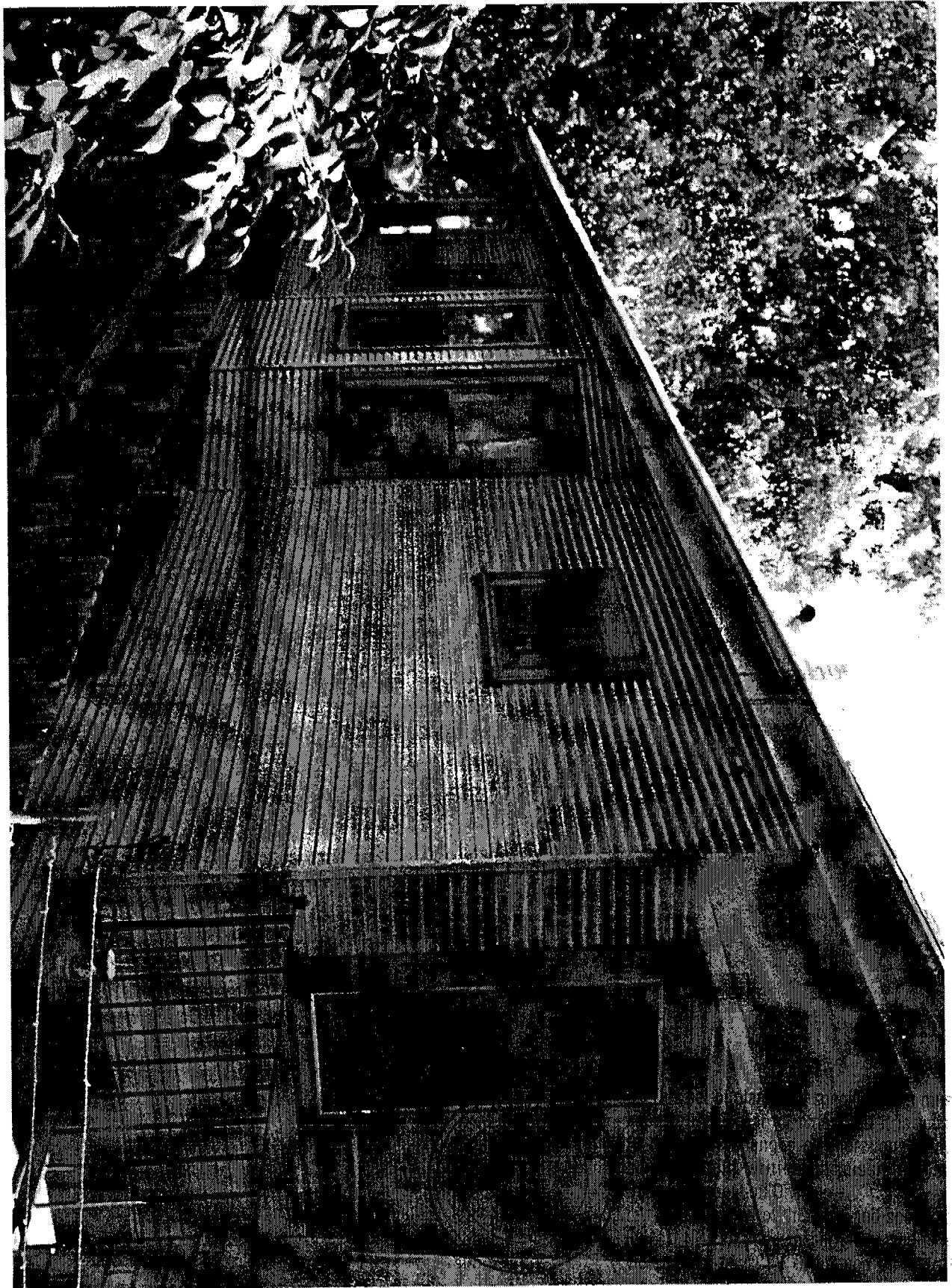
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Date: 9.5.2001
Scale: varies
Sheet: 6 of 15

House Move from **3015 G Street** to
5315 H Street APN: 004-0323-009
for Joe and Jamie O'Neal of
Capital Development Company

By: Joe O'Neal
441 46th Street, Sacramento, CA 95819
916.736.0289 fax 916.565.0321

West Elevation

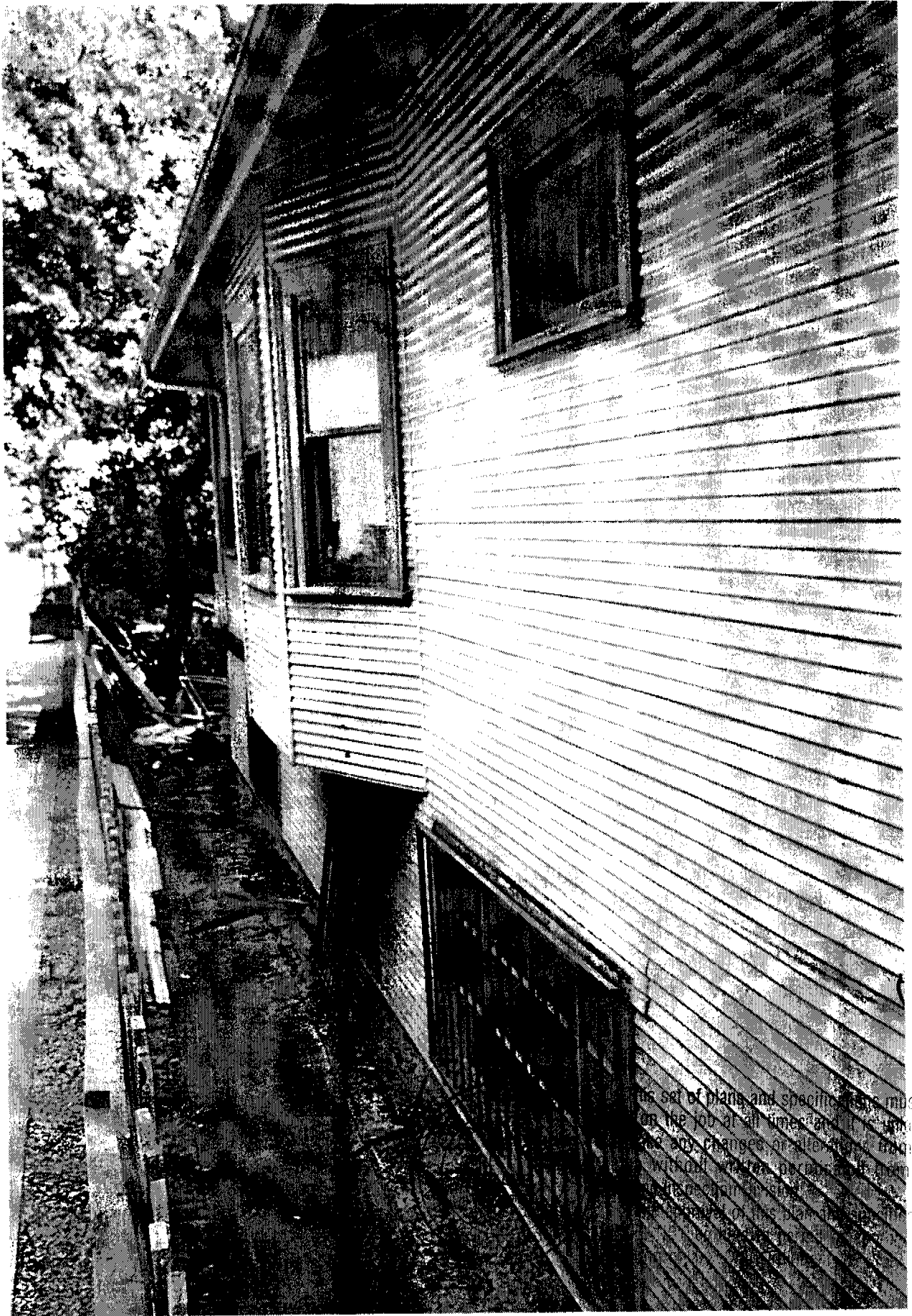


Date: 9.5.2001
Scale: varies
Sheet: 7 of 15

House Move from **3015 G Street** to
5315 H Street APN: 004-0323-009
for Joe and Jamie O'Neal of
Capital Development Company

By: Joe O'Neal
441 46th Street, Sacramento, CA 95819
916.736.0289 fax 916.565.0321

West Elevation with lower level windows showing



This set of plans and specifications must be
used for the job at all times and no changes
shall be made without the written approval
of the architect.

Date: 9.5.2001
Scale: varies
Sheet: 7.1 of 15

House Move from 3015 G Street to
5315 H Street APN: 004-0323-009
for Joe and Jamie O'Neal of
Canital Development Company

By: Joe O'Neal
441 46th Street, Sacramento, CA 95819
916.736.0289 fax 916.565.0321

North Elevation



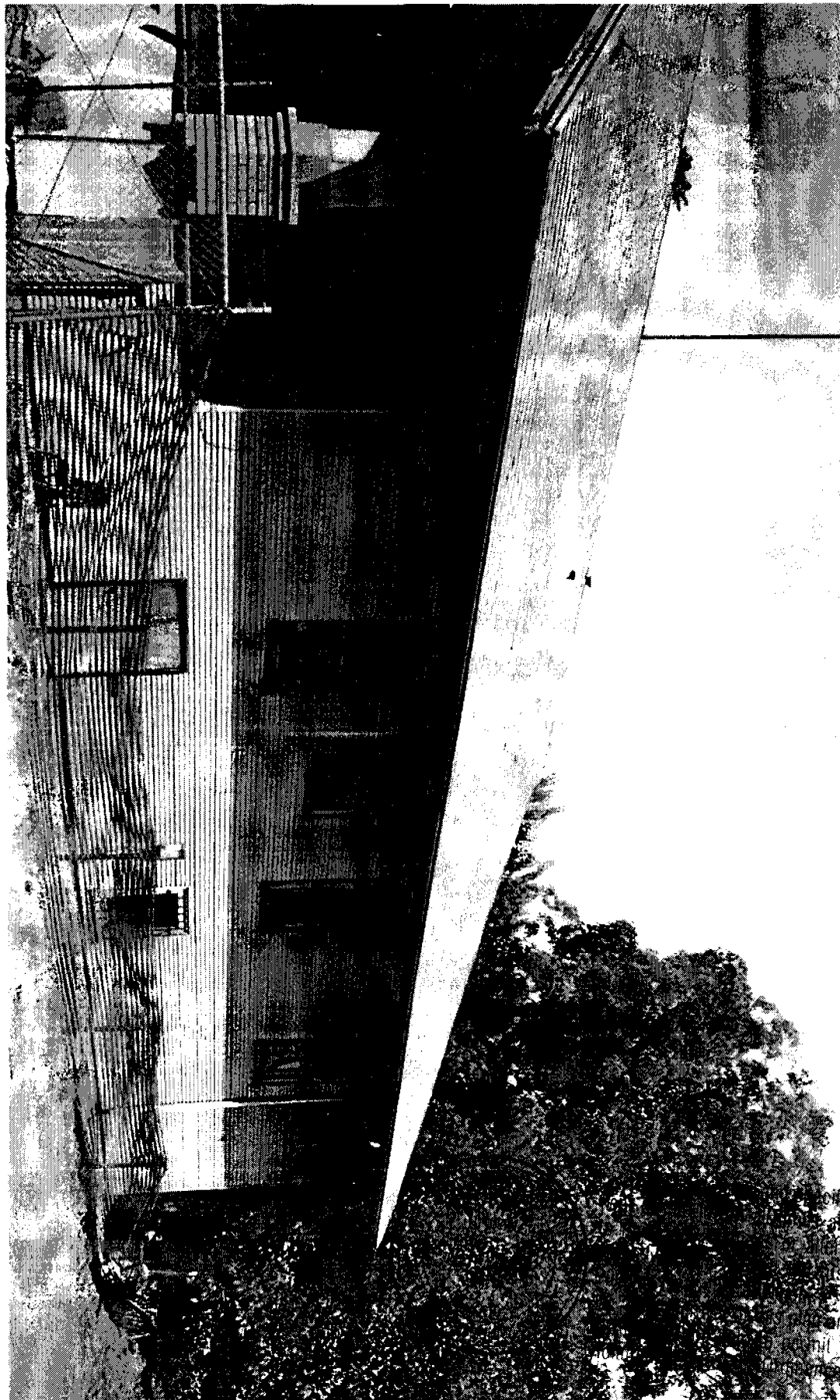
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of any City Ordinance

Date: 9.5.2001
Scale: varies
Sheet: 7 of 15

House Move from **3015 G Street** to
5315 H Street APN: 004-0323-009
for Joe and Jamie O'Neal of
Capital Development Company

By: Joe O'Neal
441 46th Street, Sacramento, CA 95819
916.736.0289 fax 916.565.0321

East Elevation

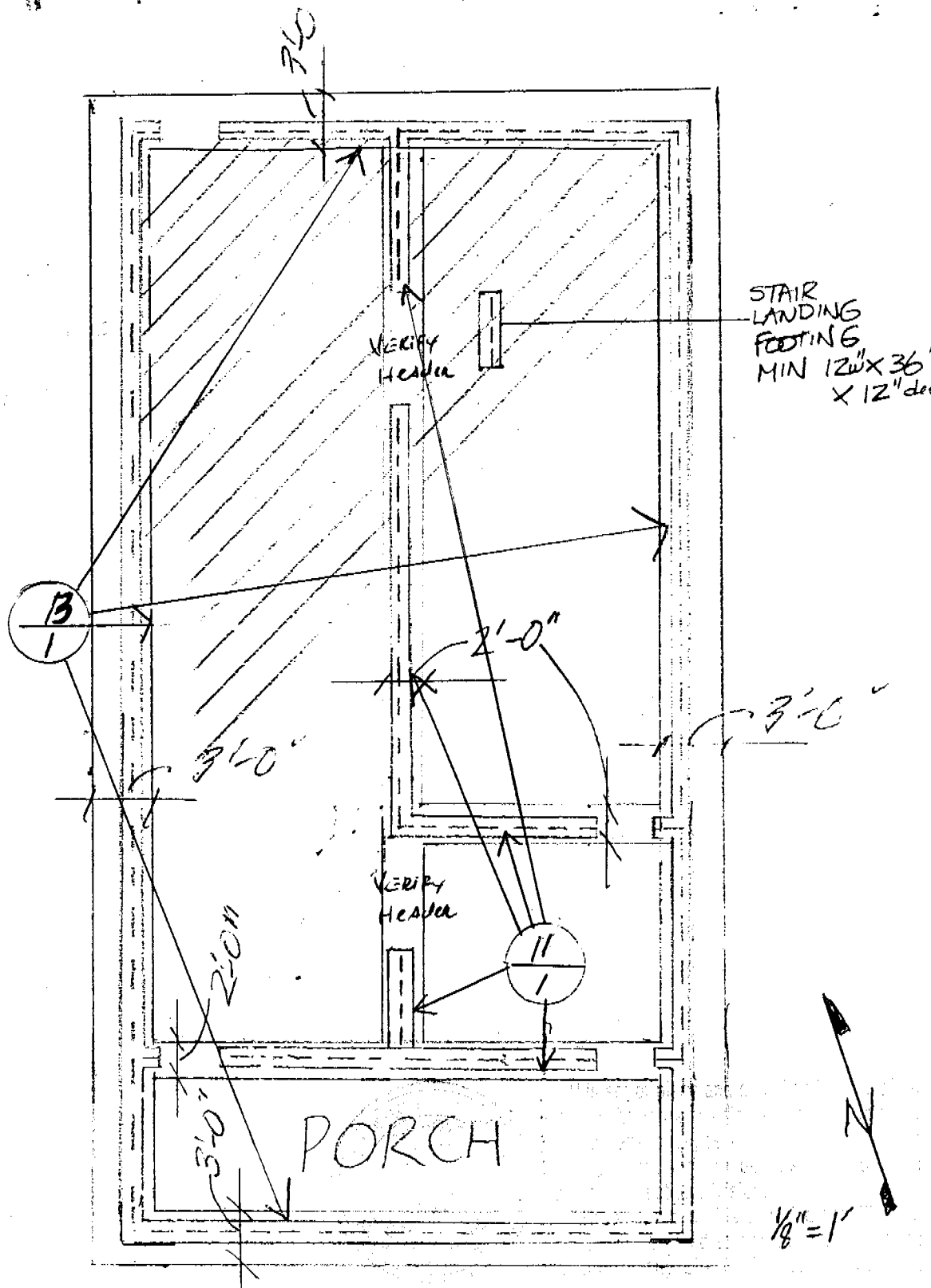


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Date: 9.5.2001
Scale: varies
Sheet: 9 of 15

House Move from **3015 G Street** to
5315 H Street APN: 004-0323-009
for Joe and Jamie O'Neal of
Capital Development Company

By: Joe O'Neal
441 46th Street, Sacramento, CA 95819
916.736.0289 fax 916.565.0321



FOUNDATION PLAN

Date: 9.5.2001
 Scale: varies
 Sheet: 10 of 15

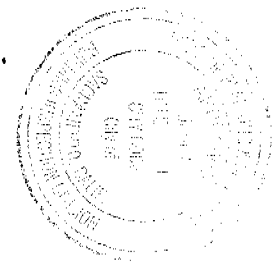
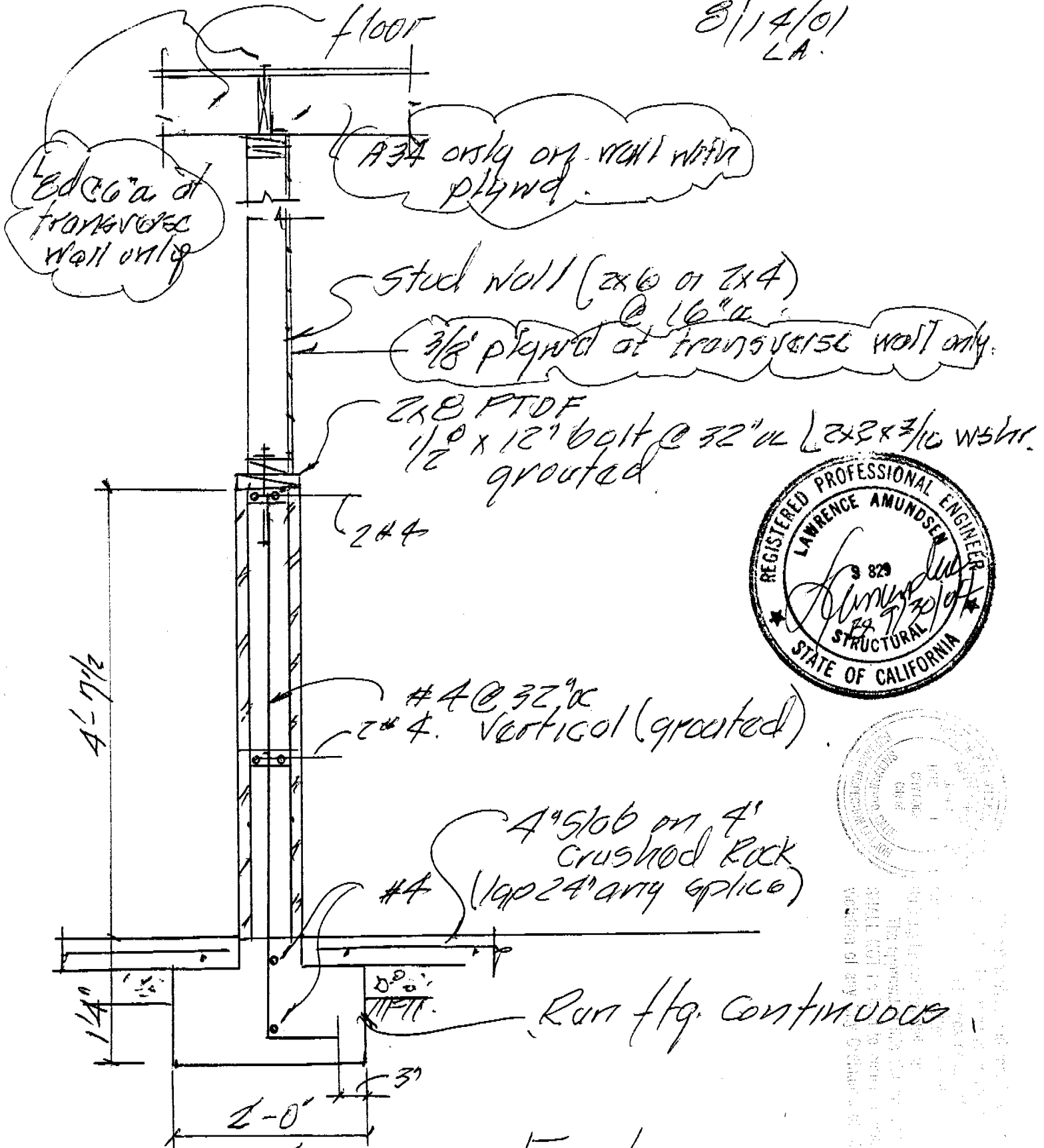
House Move from 3015 G Street to
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 for Joe and Jamie O'Neal of

By: Joe O'Neal
 441 46th Street, Sacramento, CA 95819
 916.736.0289 fax 916.565.0321

5315 H St.
Sacramento

LAWRENCE AMUNDSEN
Structural Engineer
P.O. Box 935
West Sacramento, CA 95691-0955

8/14/01
LA.



Vertical of any
 This document
 SHALL NOT BE
 used in any
 project without the
 signature of any
 California Registered
 Professional Engineer

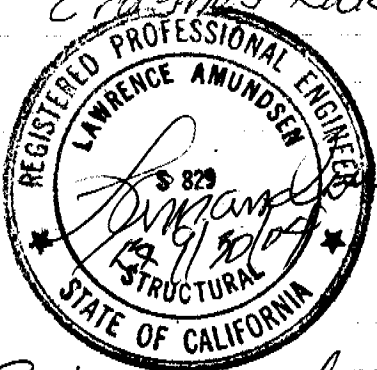
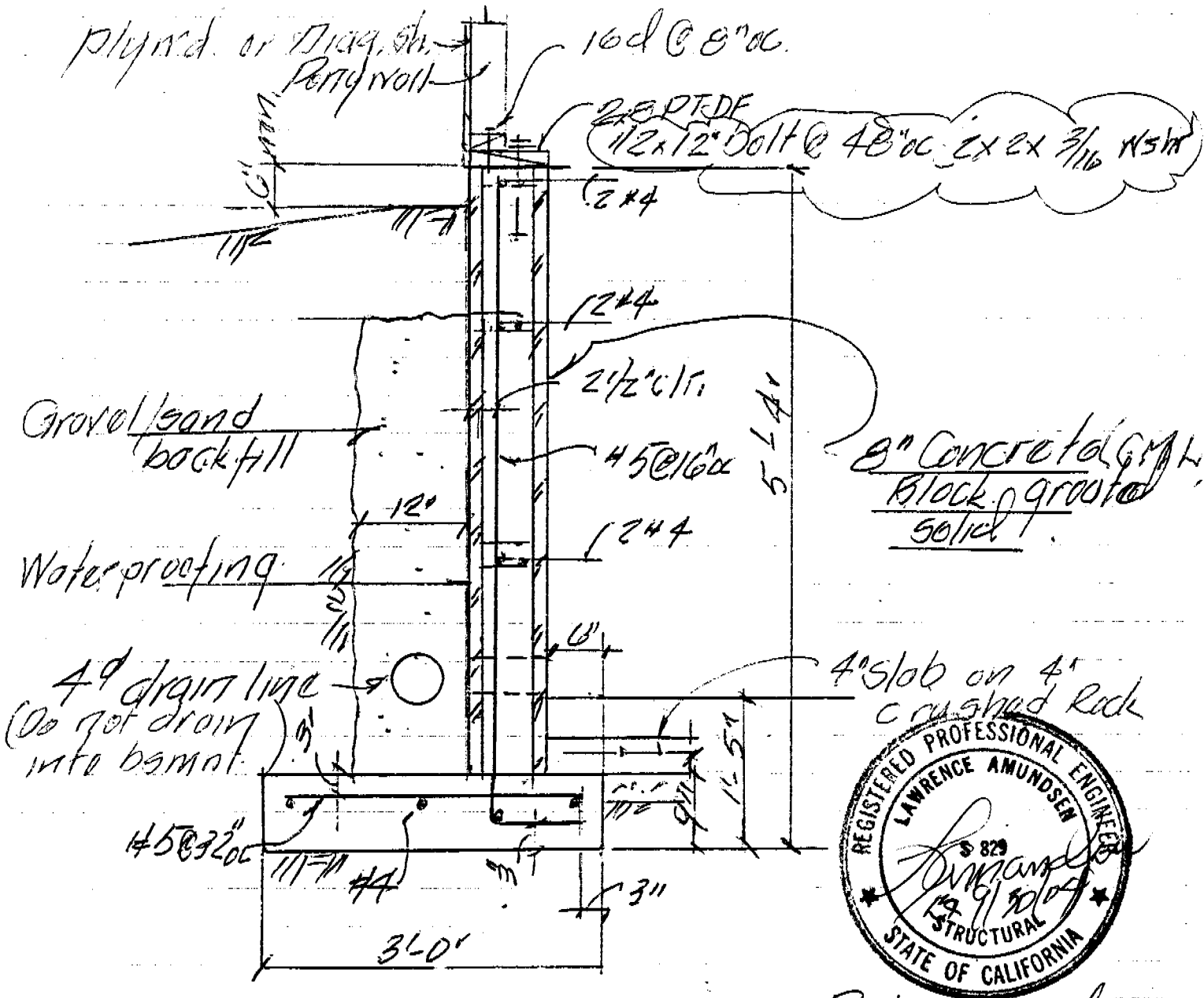
② Interior Footing
 3/4" = 1'-0"

LAWRENCE AMUNDSEN
 Structural Engineer
 P.O. Box 955
 West Sacramento, CA 95691-0955

3

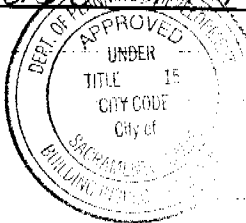
5315 H St / Sacramento, CA
 for Capital Development Co

LA 7/30/01



Rebar: Grade 60
 Concrete: 2500 PSI
 Grout: 2500 FC
 Block: 2500 FC

Basement Exterior Foot Wall 1



of plans and
 job at
 y changes of
 out with
 section of
 approval of
 be held
 of any City

3/4" x 1'-0"
 Bond horiz. rebar 24" ground cover,
 and top 24" ony splices

LAWRENCE AMUNDSEN

Structural Engineer

P.O. Box 955

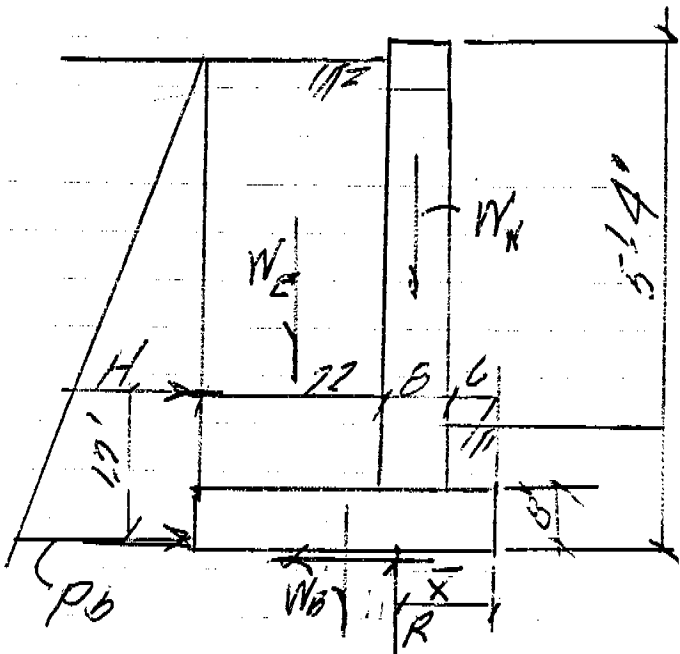
West Sacramento, CA, 95691-0955

1/1

5315 H St. Sacramento, CA.

for Capital Development Co. LA 7/30/61

4 foot not Earth Retaining Wall



Total W = Ww + Wb + We

Wall: 84# x 4.67' = 392

base: 100# x 3 = 300

earth: 100# x 2' x 4 = 800

W = 1492#

Pb = 35# x 5' = 175 psf

H = 175 x 5' = 430 PLF

This set of plans and specifications must be read on the job at all times and it is unlawful to make any changes or alterations from the original without the written consent of the engineer.

O.T.M. = 438# x 1.7' = 745#-ft

Stability M = 300# x 1.5' + 392# x .8 + 800# x 2.08

= 2364#-ft

2364 / 745 = 3.17 (F.S.)

Sliding resistance = 1492 x .35 = 522 + passive at toe

Base X = 2364 - 745 = 1619

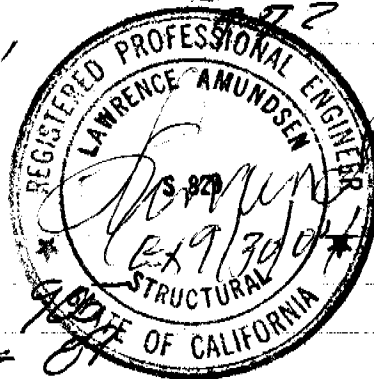
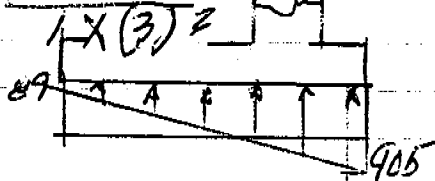
C' = 1.5' - 1.09' = 0.41'

W/A = 1492 / 3' = 497

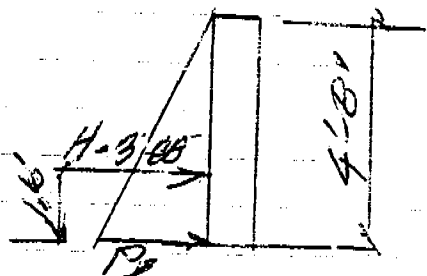
+ 1492 x .41 (6) = 408 psf

497 - 408 = 89

497 - 408 = 89



5315 H St, Sacramento, CA LA 7/30/01
for Capital Development Co
Wall stem



$$P_B = 35 \times 4.67 = 165 \text{ psf}$$

$$H = \frac{165 (4.7)}{2} = 388 \text{ PLF}$$

$$\text{Strength } M = (388 \times 1.17) 1.6 = 1055 \text{ #ft}$$

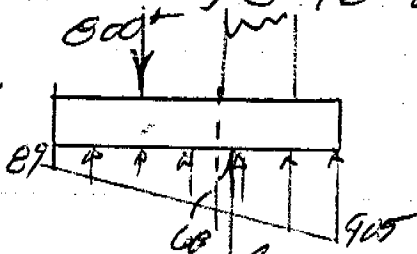
$$(12) M = \phi A_s F_y (d - a/2)$$

$$A_s = \frac{1055 (12)}{9 \times 60,000 (5 - 1)} = 0.652 \text{ ft}^2$$

$$\# 4 @ 10 \text{ in } a = 0.150 \text{ ft}$$

$$\# 3 @ 16 \text{ in } a = 1.08$$

Base



$$M = 800 \times 192 - (89 + 600) 1.92 (7) = 736 - 439 = 305 \text{ #ft}$$

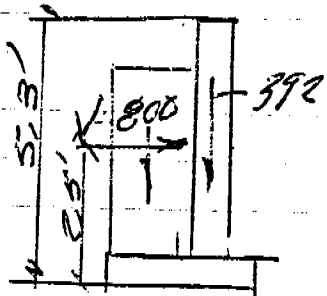
$$\text{Strength } M = 305 \times 1.17 = 519$$

$$A_s = \frac{519 (12)}{9 \times 60,000 \times 4} = 1.03 \text{ ft}^2$$

$$\# 4 @ 32 \text{ in } a = \frac{0.2}{2.67} = 0.075 \text{ ft}^2/\text{ft}$$



Seismic 0.9D + 1.0E



$$0.1TM = 303 \times 25 = 7575$$

$$+ 0.1TM(\text{other})$$

$$W = 800 \times 392 = 1192$$

$$V = \frac{3.06 W \times L}{R \times 1.4}$$

$$V = \frac{3 \times 36 \times 1192 \times 1.4}{3 \times 1.4} = 303$$

$$\frac{7575}{150.9} < 2369 \text{ (OK)}$$

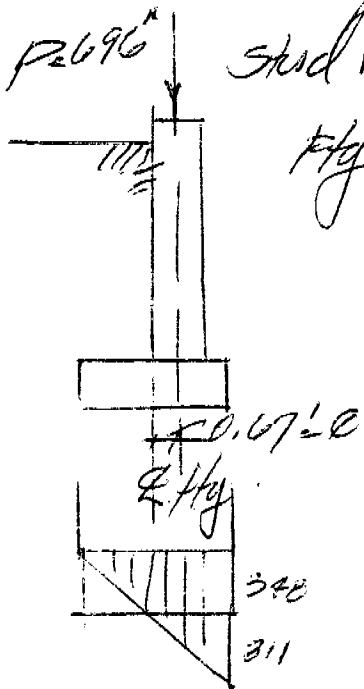
B

5315 H St. Sacramento, CA
 for Capital Development. LA 7/30/01

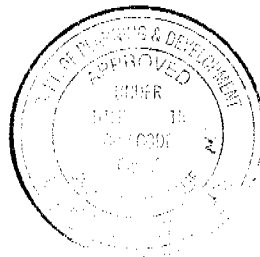
Fdn./Retaining Wall
Vertical Wall Loads

Roof (120 + 104) 10' = 440
 Floor (100 + 404) 8' = 128
 Stud wall 150 x 8' = 120
696 PLF

Hyd. $\frac{P_0}{3} = \frac{696 \times .67(6)}{1 \times (3)^2} = 311 \text{ psf}$
 $\frac{P_0}{4} = \frac{696}{3} = 348 \text{ psf}$



No additional Rebar



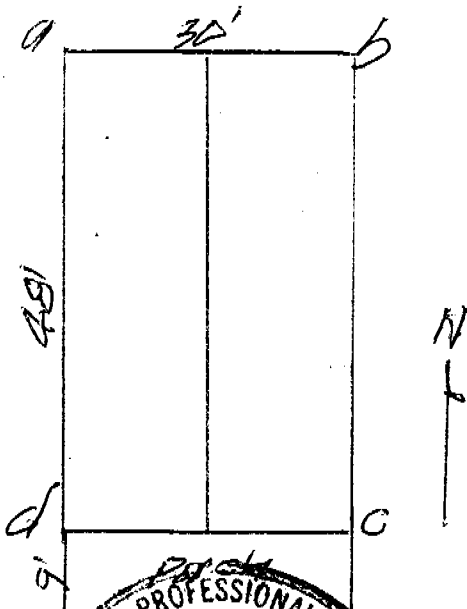
This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

The applicant of this plan and specification shall be held to permit or repair in accordance with the Ordinance of California.

5315 H St,
 Sacramento, CA 9/14/01 CA

One story frame structure 30' x 48'
 With Basement
 (E) Superstructure — New sub-structure

Perimeter walls abcd
 to have plywd below
 first floor for lateral shear



(A) Wind acting East-West
walls ab + cd resisting

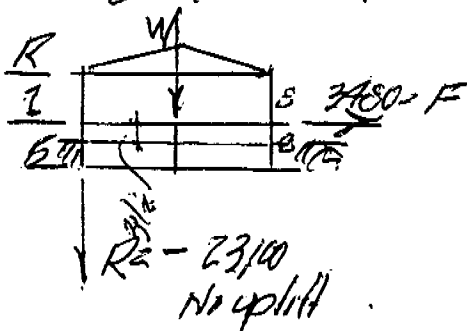
75 MPH - Exposure B



$P = C_e \cdot C_q \cdot G_s$
 $= 1.62 (1.8 + 0.5) 14.5$
 $= 11.7 \text{ PSF}$

$11.7 \text{ PSF} \times 10' \times 48' = 6960 \text{ lbs}$
 $V_{cd} = 6960 / 2 = 3480 \text{ lbs}$
 $U = 3480 / 27' = 129 \text{ PLF}$

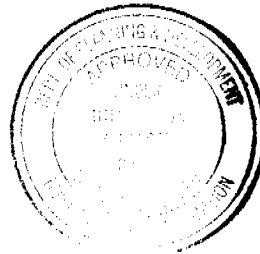
3/8 plywd; Plywd nailing 8d @ 6" OC E, N, 12d @ field



$F = 3480 \text{ lbs of flood}$
 $W = \text{Wall} = 9' \times 8 \times 90 = 1620 \text{ lbs}$
 $R = 3480 \times 7/2 - 1620 \times 1 \times 30 = -23,100$
 No uplift

Building Notes & Details:

1. Any plumbing fixtures removed or installed will require as though "new" and current codes will be required.
2. Any existing plumbing in walls or under floors to remain "as is".
3. Any wall within existing moved structure will require field inspection and engineering approvals if structurally opened or affected structurally in any way.
4. **Insulation Note: R-13 typical @ 2x4 wood walls lower level
R-38 typical @ roof framing in attic**
5. No plumbing changed, just repairs to reconnect copper, ABS and cast Iron.
6. In January when I came and spoke with Brad Marchetti he told me the City of Sacramento didn't require the 6 mil plastic under the slab and the engineer did not suggest it and we already dug the hole and put in the rock and steel. I hope the drain system I am putting in, which also wasn't required by the city, will reduce or eliminate the need for the plastic. Is it OK that we not put that plastic in this slab? Please advise. = *Yes, Required.*
7. Drain in bottom step connected to drain running around foundation.



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.

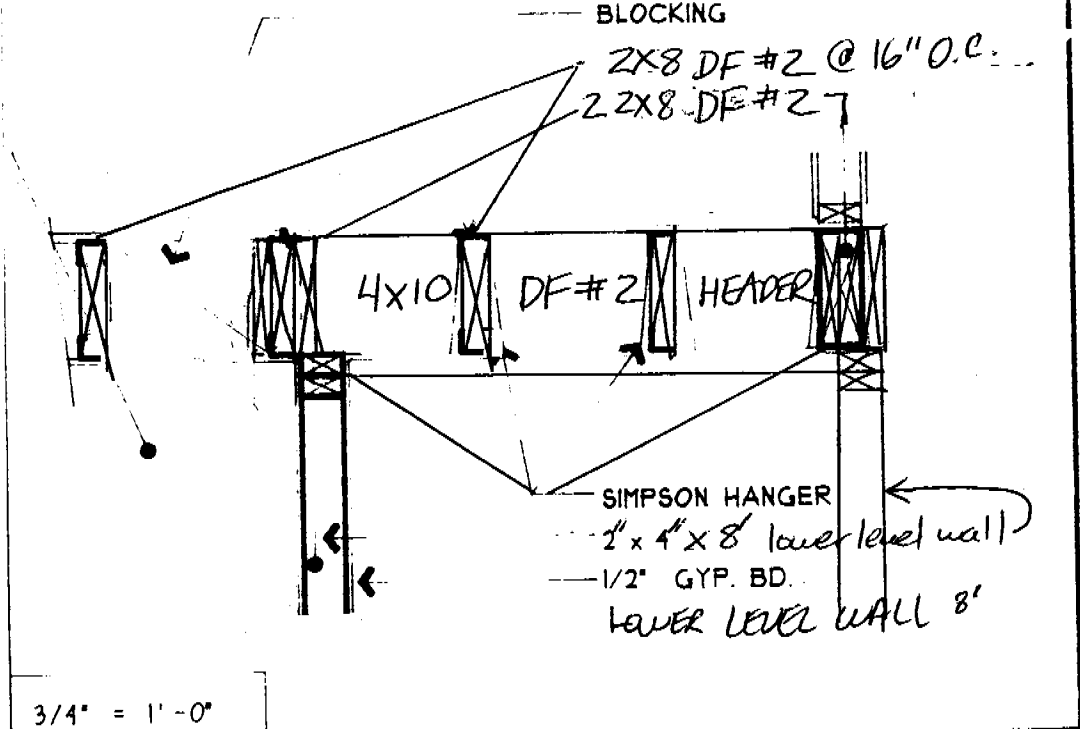
The approval of this plan and specification SHALL NOT be held to permit or approve the violation of any City Ordinance or State law.

Framing Notes

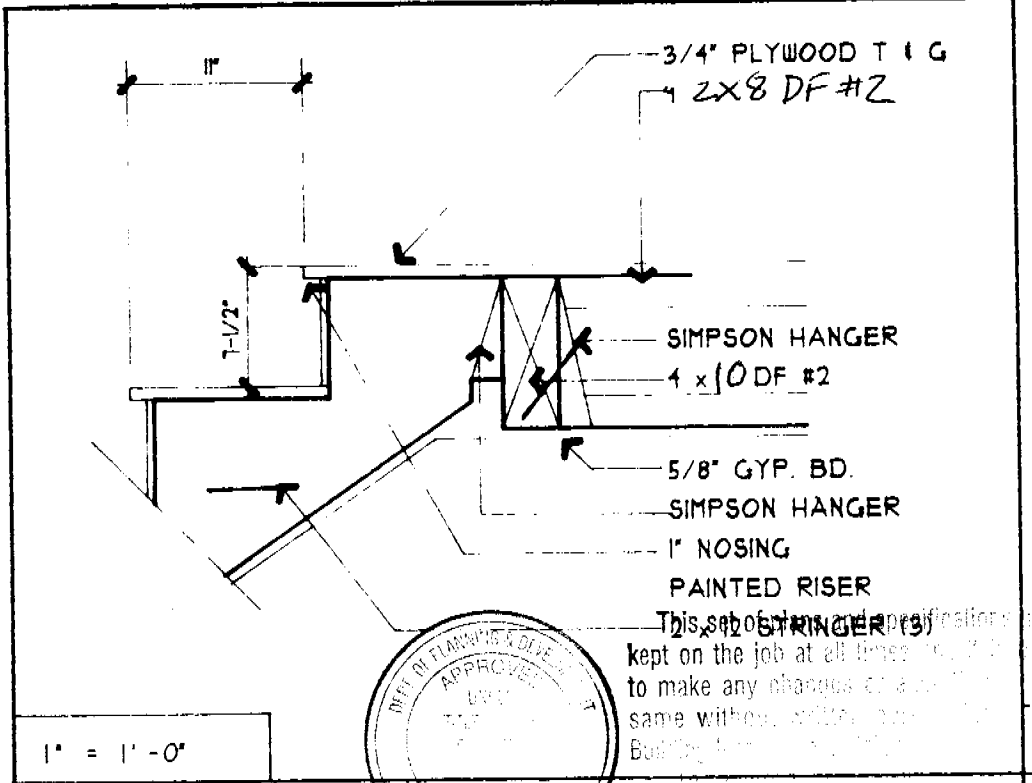
Date: 9.5.2001
Scale: varies
Sheet: 15 of 15

House Move from **3015 G Street** to
5315 H Street APN: 004-0323-009
for Joe and Jamie O'Neal of
Capital Development Company

By: Joe O'Neal
441 46th Street, Sacramento, CA 95819
916.736.0289 fax 916.565.0321



1
15.1 BEAM @ STAIRWELL



2
15.2 STAIR

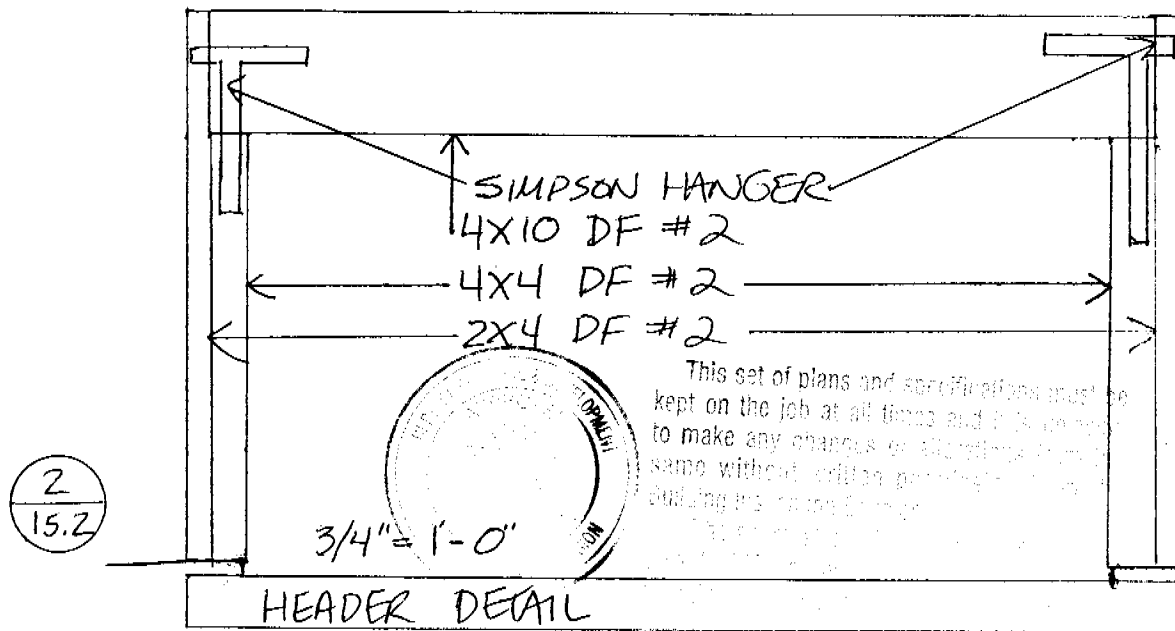
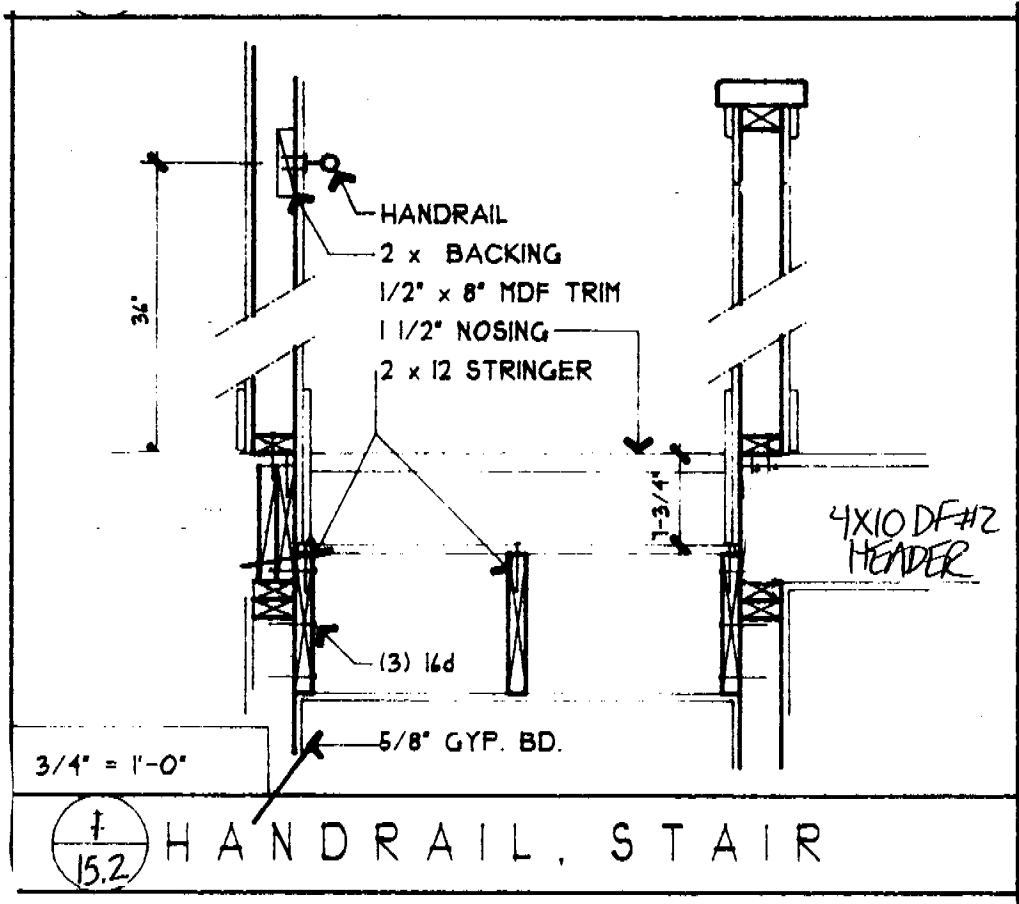


Framing Details

Date: 9.5.2001
 Scale: varies
 Sheet: 15.1 of 15

House Move from 3015 G Street to
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By: Joe O'Neal
 441 46th Street, Sacramento, CA 95819
 916.736.0289 fax 916.565.0321



Framing Details

Date: 9.5.2001
 Scale: varies
 Sheet: 15.2 of 15

House Move from 3015 G Street to
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 for Joe and Jamie O'Neal of
 Capital Development Company

By: Joe O'Neal
 441 46th Street, Sacramento, CA 95819
 916.736.0289 fax 916.565.0321

LAWRENCE AMUNDSEN
Structural Engineer
P.O. Box 955
West Sacramento, CA 95691-0955

1/1

3015 G St
Sacramento, CA 9/10/01 LA

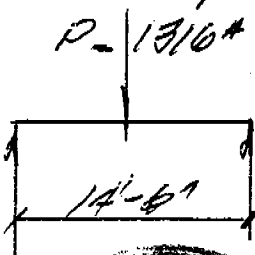
Stairway Opening I 1st floor
Header Beam In Floor

span = 8'-0"
 $w_d = (10 + 40) \cdot 7' = 329 \text{ PLF}$
 $\frac{w_d}{8} = \frac{329}{8} = 41.125 \text{ k/ft}$

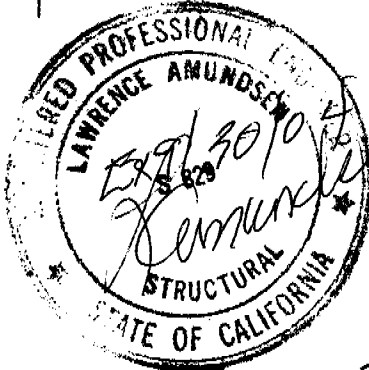
Use 3
 $4 \times 8; f = \frac{2632(12)6}{3/8(7/4)^2} = 1030 \text{ psi}$

2x8 ~~Header~~ floor joists carrying header

span = 14'-6"
 $D = 329 \times 8' / 2 = 1316 \text{ lb}$
 $R = 1316 / 2 = 658 \text{ lb}$



$R = 658$
 $PL = 1316 \times 14.5 = 19082 \text{ lb-ft}$
 $2 \times 2x8; f = \frac{19082(12)}{3(7.25)^2} = 2178 \text{ psi}$



Use 3-2x8
 $D = \frac{658 \times 1.5}{4.5 \times 7.25} = 30 \text{ k}$

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$\Delta = \frac{PL^3}{48EI} = \frac{19082(174)^3}{48 \times 110 \times 10^6 \times 148} = 0.15 \text{ in (OK)}$
 $= 2/1513$

Use 3-2x8