



CITY OF SACRAMENTO  
CALIFORNIA

NEIGHBORHOODS, PLANNING  
AND DEVELOPMENT SERVICES DEPARTMENT

1231 I STREET  
ROOM 200  
SACRAMENTO, CA  
95814-2998

**PLANNING DIRECTOR'S SPECIAL PERMIT  
FOR SINGLE FAMILY RESIDENTIAL IN A PUD**

**FILE:** P99-016

**PREVIOUS FILE NUMBER(S):** P95-085, P97-043

**PROJECT NAME:** Morrison Homes in Northborough - Village 4  
(Villa Collection)

**ASSESSOR'S PARCEL NUMBER(S):** Various

**APPLICANT'S NAME/ADDRESS:** Morrison Homes (Jennifer Martin) (916)853-5440  
11344 Coloma Rd #390  
Gold River, Ca 95670

**APPROVAL:** This Planning Director's Special Permit (PDSP) approval is for **89 lots** in Northborough Village 4. After approval of the PDSP, the following entitlements are required prior to construction of the residential development: 1) Zoning Administrator's Special Permit for a Model Home Complex; and 2) Building Permit.

**PROJECT INFORMATION:**

Zoning -	R-1A-PUD	Range in House Size -	1,428 to 2,265 sf
Typical Lot Size -	45 feet x 105 feet	Range in Price -	to be determined
Number of Lots -	89 lots	Number of Models -	5 (plus options)
Gross Acres -	16.6 acres	Number of Elevations -	4
Net Acres -	11.1 acres	No. of Color Palettes -	9
Net Density -	8.0 du/na		

**BACKGROUND:**

On October 24, 1996, the Planning Commission approved the Tentative Master Parcel Map and Tentative Subdivision Map for the Northborough project (P95-085). On December 3, 1996, the City Council approved the Development Agreement, Plan Amendments to make minor land use changes and to modify a loop street to a spine street, a Rezone to be consistent with the NNCP, and PUD

Designation, including the PUD Schematic Plans. The PUD Guidelines for the Northborough Neighborhoods were approved by the Council on August 7, 1997. In approving the PUD Guidelines, the Council determined that a Planning Director's Special Permit, in lieu of a Planning Commission Special Permit, was required for single family / two family residential development within the PUDs.

The applicant is requesting approval of a Planning Director's Special Permit for five single family house plans on 89 lots within Northborough - Village 4 of the Northborough Neighborhood 10 PUD (see Vicinity Map). The village is located at the southeast corner of Northborough Drive (spine street) and Club Center Drive (North Loop Road).

**House Plans:** Please see Table 1 below regarding information for each house plan. Plans 1428, 1494, 1510, 1854, and 2265 are the basic models and represent the square footage of each home.

**Table 1**

Plan #	# Stories	# Bedrooms (# / optional)	Garage Stalls	Square Footage (House/ Garage/ Porch)	Porch (sf)	Relation of Garage to House	% Lot Coverage
1428	1	4	2	(1,428 / 428 / -)	-0-	garage projects 15'	39%
1494	2	4	2	(1,494 <sup>2</sup> / 476 / 65)	65	garage projects 6'	28%
1510	1	3	2	(1,510 / 420 / 72)	72 <sup>1</sup>	garage projects 15' <sup>5</sup>	42%
1854	2	4	2	(1,854 <sup>3</sup> / 474 / 70)	70	porch projects	31%
2265	2	5	2	(2,265 <sup>4</sup> / 474 / 100)	100	porch projects	35%

Notes- 1- One of 4 elevations has a smaller porch of 58 sf.

2- The first floor square footage used to calculate lot coverage for Plan 1494 is 805 sf.

3- The first floor square footage used to calculate lot coverage for Plan 1854 is 917 sf.

4- The first floor square footage used to calculate lot coverage for Plan 2265 is 1,066 sf.

5- Originally, the garage projected 17 feet in front of the porch. The applicant agreed to add 2 feet to the front of the porch dropping the garage projection to 15 feet and adding at least one of five mitigation options.

Other features of the house plans include:

Plan 1428: Smaller of 2 single story homes; garage projects 15 feet in front of living area; optional courtyard is proposed with four materials and designs; no porch; and 4<sup>th</sup> bedroom faces the front and may be an optional den.

Plan 1494: Smallest of 3 two story homes; covered porch with railing; living room faces the front; 4<sup>th</sup> bedroom may be an optional den; and second story over the garage half of the home, with single story over the living room area.

Plan 1510: Larger of 2 single story homes, garage projects 15 feet in front of porch; optional courtyard is proposed with four materials and designs; living room faces the front; and 3

bedrooms with no options.

Plan 1854: Middle sized two story home; full second story; covered porch on each elevation (Elevation A has railing); porch projects in front of garage; living room faces the front; and 4 bedrooms - with 1 bedroom to master retreat option and 1 bedroom to loft option.

Plan 2265: Largest of 3 two story homes, full second story; covered porch on each elevation (Elevation A has railing); porch projects in front of garage; living room faces to the front; and upstairs bonus room is a two bedroom option.

Planning staff is concerned with the two single story homes (Plans 1428 and 1510) because in both plans the garage projects in front of the living area or porch by 15 feet. Plan 1428 does not have a porch but may be constructed with a courtyard. Plan 1510 has a porch; in Elevation A the porch spans 8 feet of the living area and in Elevations B, C, and D the porch spans the entire 15 foot width of the living area. The applicant does not want to delete either or both the plans because these plans are his only single story homes. The applicant estimates that 35 percent of the plans will be Plan 1428 or Plan 1510, or about 31 of the 89 units. Thirteen of the 89 lots are corner lots.

Planning staff and the applicant have agreed to the following condition regarding the single story homes with the projecting garages (Plans 1428 and 1510): Each Plan 1428 or Plan 1510 home shall be built with at least one of the following mitigation options: 1) the home shall be built on a corner lot; 2) the home shall be built with a courtyard; 3) the home shall be built with a window in the side elevation of the garage; and/or 4) the home shall be built with windows in the garage.

The homebuilder is intending to model the following three homes: 1) Plan 1428 with a courtyard, 2) Plan 1854, and 3) Plan 2265.

**Height, Setbacks, and Lot Coverage:** The proposed height of the homes is one and two stories which is in compliance with the maximum height of 35 feet. The minimum required setbacks are provided as shown below:

	<u>Required</u>	<u>Provided</u>
FRONT:	18 feet for the living area and 15 feet for a porch	Varies with plan, minimum is met Varies with plan, minimum is met
DRIVEWAY:	20 feet (per Public Works requirements)	20 feet
SIDE:	5 feet	5 feet
REAR:	15 feet	15 feet

The maximum lot coverage is 45 percent for one story homes with an allowance for porches and recessed garages and 40 percent for two story homes with the same allowance. As noted in Table 1 above, all of the proposed plans comply with the maximum lot coverage without the allowance.

**Elevations, Materials, and Colors:** Four elevations are proposed for each house plan. The building materials and features proposed for each elevation are shown below:

<u>Elevation</u>	<u>Materials</u>	<u>Features</u>
A -	Wood siding and stucco	Gabled roof on all plans; shutters on all plans except Plan 1510

B -	Wood siding, stucco and ledgestone	Hipped gable roof on Plans 1428, 1494, and 1854; shutters on Plans 1428 and 2265
C -	Wood siding, stucco and brick	Shed roof on all plans, with a gable on Plan 1494 and a hipped gable on Plan 2265
D -	Stucco and wood siding	Multiple gable roofs on all plans; house body in stucco with wood siding in gables

Good variation is provided among the four elevations across all the house plans. Nine color options are offered for the house plans. The roof is proposed to be concrete flat tile by Pioneer.

Enhanced side and rear elevations are required whenever the home faces a public street, park, canal, or other public space. Thirteen corner lots are shown on the site plan (Exhibit 1). Each corner lot will have enhanced side elevations. Lots that back on to Northborough Drive (spine street) and Club Center Drive (North Loop Road) shall have enhanced rear elevations. Lots that side or back on to the future neighborhood park south of the village shall have enhanced side and/or rear elevations (Lots 1 through 10, 15 and 16). Enhanced elevations shall include, at a minimum, stucco over foam trim, finished with a smooth texture instead of the rough texture of the house.

**Landscaping:** Typical lot landscaping plans are provided for both the interior lots and the corner lots (see Exhibits 2 and 3). Approximately two street trees per lot will be provided on the frontage at an average spacing of 20 to 30 feet on center. Also, each corner lot will be planted with two street trees at 20 to 30 feet on center and three side street accent trees along the street side. The side street trees in this village will be *Cedrus deodara* (Deodar cedar) and *Sequoia sempervirens* (Coast redwood). The street trees are identified in the Natomas Park Street Tree Matrix and Diagram and include the following trees - *Platanus acerifolia* (London plane tree) along Northborough Drive and Club Center Drive; and *Tilia cordata* (Little-leaf linden); *Celtis sinensis* (Chinese hackberry); and *Acer campestre* (Hedge maple) along the internal streets of the village. Front yard landscaping materials shall include, in addition to the street trees: one 15-gallon accent tree, one 5-gallon specimen shrub, 20 1-gallon foundation and accent shrubs, ground cover with a maximum spacing of 12 inch on center with decorative bark, and turf. Side yard landscaping shall include, in addition to the street and side street/ accent trees: one 5-gallon specimen shrub, ground cover with a maximum spacing of 12 inch on center with decorative bark, and turf. Plant materials shall be selected from the plant list in the Northborough PUD Guidelines Exhibit 10 or in the Natomas Park Design Review Handbook Figure VII-1, page 43.

**Fences and Walls:** Lots adjacent to Northborough Drive and Club Center Drive back on to those streets. All other lots within the subdivision front on or side on to internal subdivision streets. A six foot masonry wall will be constructed along Natomas Boulevard and Club Center Drive per the Natomas Park Design Review Handbook, pages 28 and 29, attached as Exhibit 9. The acoustical study prepared by Brown Buntin Associates for Natomas Park (dated September 29, 1998) indicates that no additional noise mitigation is required to comply with the City's noise standard. Fencing adjacent to the neighborhood park south of the village shall have wood fencing with steel posts and continuous top and bottom rails per Exhibit 9. Wood fence with wood posts will be provided elsewhere in the village per Exhibit 9.

**Air Quality Mitigation Strategy:** The master developer of Natomas Park, which includes Northborough Neighborhood #10 PUD and this village, has submitted an Air Quality Mitigation Plan. The Plan was approved by City Planning and Public Works. The homebuilder of this village is

responsible for the following mitigation measures: 1) participation in the North Natomas Transportation Management Association (TMA); 2) install energy efficient windows, low emission water heaters, gas or electric outlets in the backyard, and ISDN wiring and connections (or current technological equivalent) in all the homes; and 3) provide information to homebuyers about electric vehicles and lawn equipment and the TMA.

**COMMENTS:**

Public notice was mailed to adjacent property owners by the applicant on February 9, 1999. No comments were received from the public notice. The project plans were presented by the applicant to the Natomas Community Association on February 16, 1999. NCA verbally commented that the plans are acceptable as proposed.

On December 3, 1996, the City Council ratified a Negative Declaration for the original project (P95-085). Potentially significant environmental issues regarding Animal Life, Noise, Land Use, and Cultural Resources were discussed and mitigated in this document. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. Section 15162 of the California Environmental Quality Act Guidelines provides that an additional Negative Declaration (or Environmental Impact Report) need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan was prepared for the mitigation measures identified in the previous Negative Declaration. The applicant shall comply with the Mitigation Monitoring Plan, when applicable to the proposed project.

Public Works staff comments require that a minimum 20 foot driveway be provided on each Plan. Also, Public Works staff has reviewed and approved the Transportation Systems Management and Air Quality (TSMAQ) Plan for Natomas Park, including Northborough Neighborhood #10 PUD. TSM measures are being provided with these plans, and are included as conditions of approval.

Staff finds that the proposed house plans comply with all applicable General Plan, Community Plan, and Zoning Ordinance requirements, and are consistent with the Northborough Neighborhood 10 PUD Guidelines and Schematic Plan.

**ACTION:**

The Planning Director approves the requested Planning Director's Special Permit based on the following findings and subject to the following conditions:

**Findings:**

1. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
  - o the project is consistent with the General Plan land use designations;
  - o the project is consistent with the 1994 North Natomas Community Plan land use designations;

- o the project is consistent with policies related to land use, including residential densities and open space proximity;
  - o the project begins to develop planned North Natomas neighborhoods each focused on an elementary school, with a variety of housing densities and types, and commercial, civic, transit, and park uses close by; and
  - o the project advances City transportation management and air quality goals.
2. The proposed residential development is consistent with the adopted PUD Guidelines and Schematic Plan for the Northborough Neighborhood 10 PUD in that the housing designs provided comply with requirements related to setbacks, height, and lot coverage and meet the purposes and criteria stated in the City Zoning Ordinance Sections 8A and 8B in that the PUD facilitates mixed residential uses designed to assure that new development is healthy and of long lasting benefit to the North Natomas community and the City; and
  3. The proposed residential development will not be detrimental to the public health, safety or welfare in that the single family residential development will be in harmony with the general purposes and intent of the Zoning Ordinance in that the approved elevations are well-designed; and that the proposed uses will not create a negative impact on any nearby sensitive uses.

**Conditions:**

1. The design of the proposed house plans shall substantially conform to the plans as shown on Exhibits 1 thru 8, specifically:
  - a. Single Story Homes (Plans 1428 and 1510): Each Plan 1428 or Plan 1510 home shall be built with at least one of the following mitigation options: 1) the home shall be built on a corner lot; 2) the home shall be built with a courtyard; 3) the home shall be built with a window in the side elevation of the garage; and/or 4) the home shall be built with windows in the garage.
  - b. All elevations shall have stucco and wood siding standard. And, Elevation B shall have ledgestone veneer standard and Elevation C shall have brick veneer standard;
  - c. Roof pitch shall be no less than a 5 to 12 pitch;
  - d. The roof shall be finished with end and ridge caps; and
  - e. Nine color palette options shall be offered for each of the house plans as indicated in the color board for Villa Collection - Morrison Homes.

Any change in the design, materials or colors shall be submitted to the Planning Director for review and approval.

2. Prior to development of any model homes, the applicant shall obtain a Zoning Administrator's Model Home Special Permit.

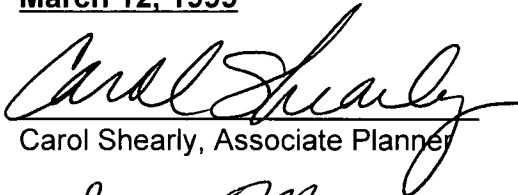
3. The applicant shall obtain all necessary building permits prior to commencement of construction.
4. The applicant shall comply with the originally approved Mitigation Monitoring Plan (P95-085) on file at the Planning Division.
5. The Planning Director's Special Permit shall expire two years from date of issue, on March 12, 2001.
6. Air Quality Mitigation: The applicant shall comply with the Natomas Park TSMAQ Plan for residential development, including but not limited to the following:
  - a. Participate in the North Natomas Transportation Management Association (TMA);
  - b. Install low nitrogen oxide emitting, and/or high efficiency water heaters;
  - c. Install gas or electric outlets in the backyard;
  - d. Install energy efficient dual-pane windows, and/ or energy efficient windows treated with reflective coatings; and
  - e. Provide new homeowners with information regarding alternative travel modes.
7. Street Trees - The parcel builder shall provide and install an average of two 15-gallon size trees per lot frontage, with the trees specified in the Street Tree Matrix in the Natomas Park Design Review Handbook. These trees shall have an average spacing of 20' to 30' on center, as measured along the entire length of the street. For corner lots, the exposed side yard facing the street shall also be planted with two 15-gallon size trees as per the Street Tree Matrix and three side street/accent trees as indicated on Exhibits 2 and 3. If spacing is interrupted by street lights or driveways, the trees shall be re-spaced to accommodate required clearances while maintaining the required quantity of trees on average. All planting shall conform to City standards for sight line requirements at intersections and driveways.
8. Landscaping - Front yard landscaping materials shall include, in addition to the street trees: one 15-gallon accent tree, one 5-gallon specimen shrub, 20 1-gallon foundation and accent shrubs, ground cover at a maximum spacing of 12 inch on center with decorative bark, and turf. Side yard landscaping shall include, in addition to the street and accent trees: one 5-gallon specimen shrub, ground cover with a maximum spacing of 12 inch on center with decorative bark, and turf. Plant materials shall be selected from the plant list in the Northborough PUD Guidelines Exhibit 10 or in the Natomas Park Design Review Handbook Figure VII-1, page 43. All planting shall conform to City standards for sight line requirements at intersections and driveways.
9. Fencing and Walls - A six foot masonry wall shall be constructed by Lennar Communities along Northborough Drive and Club Center Drive per the Natomas Park Design Review Handbook, pages 28 and 29, attached as Exhibit 9. Wood fencing with steel posts and continuous top and bottom rails shall be provided for lots that side or back on to the neighborhood park south of the village. Wood fencing with wood posts shall be provided elsewhere in the village per the PUD Guidelines. Side and rear yard fences visible from the park and other public areas which are composed of wood shall have continuous top and

bottom rails. All fencing visible to the public shall have a semi-transparent stain in a neutral tone to be specified by the Natomas Park Design Review Committee. The location of fencing for interior and corner lots shall be as shown on Exhibits 2 and 3. Side yard fences up to six feet (6'-0") in height from house grade are allowed. Within the front setback area, no fence or wall shall be greater than 3'-6" in height. All fencing shall conform to City standards for sight line requirements at intersections and driveways.

10. Design Enhancements on Visible Elevations: For corner lots, design enhancements shall be provided on the exterior street side. Window enhancements include a stucco "pop-out" (foam trim with stucco overlay) sanded to a finished texture that is different from the texture of the house. Other enhancements include a four foot return of the veneer material used on the front. For homes which back on to or side on to a major street (Northborough Drive and Club Center Drive), window enhancements shall be provided on the entire side or rear elevation, as appropriate. Homes which side or back on to the future neighborhood park, window enhancements shall be provided on the entire side or rear elevation, as appropriate.
11. Driveways - Driveways shall have a pattern of score lines to minimize the expanse of concrete. "Hollywood style" driveways are encouraged with a minimum 2 foot 6 inch planter strip between the two driveways.

**APPROVED ON:** March 12, 1999

**PREPARED BY:**

  
Carol Shearly, Associate Planner

**APPROVED BY:**

  
Scot Mende, Senior Planner

Attachments: Vicinity Map

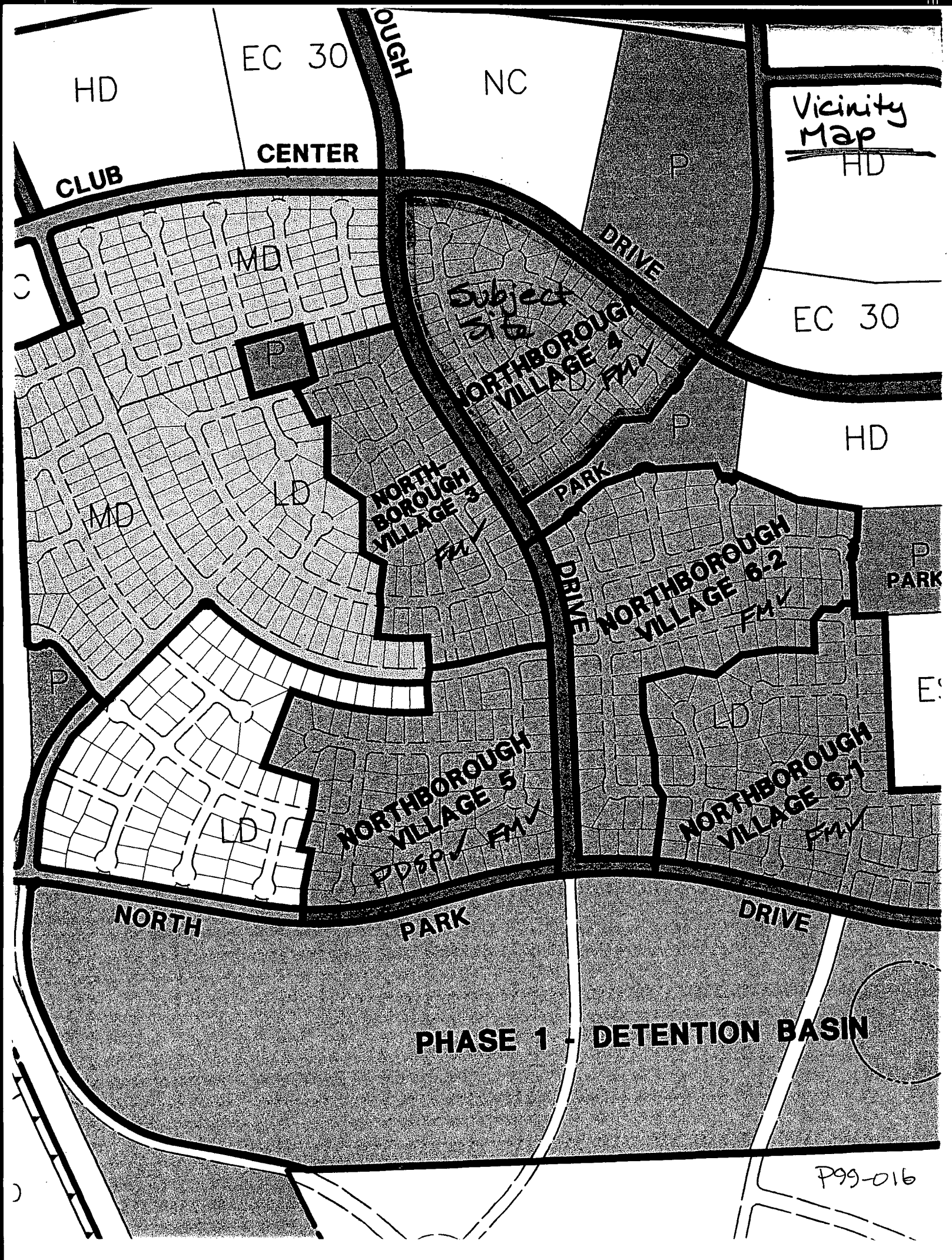
- Exhibit 1: Site Plan for Northborough Village 4
- Exhibit 2: Landscape Plan - Typical Interior Lot
- Exhibit 3: Landscape Plan - Typical Corner Lot
- Exhibit 4: Plan 1428 - Typical Lot Layout, Floor Plan, Elevations, and Courtyard Options
- Exhibit 5: Plan 1494 - Typical Lot Layout, Floor Plan, and Elevations
- Exhibit 6: Plan 1510 - Typical Lot Layout, Floor Plan, and Elevations
- Exhibit 7: Plan 1864 - Typical Lot Layout, Floor Plan, and Elevations
- Exhibit 8: Plan 2265 - Typical Lot Layout, Floor Plan, and Elevations
- Exhibit 9: Wall and Fence Detail
- Exhibit 10: Natomas Park Design Review Committee Approval Letter

File: Original

cc: Applicant

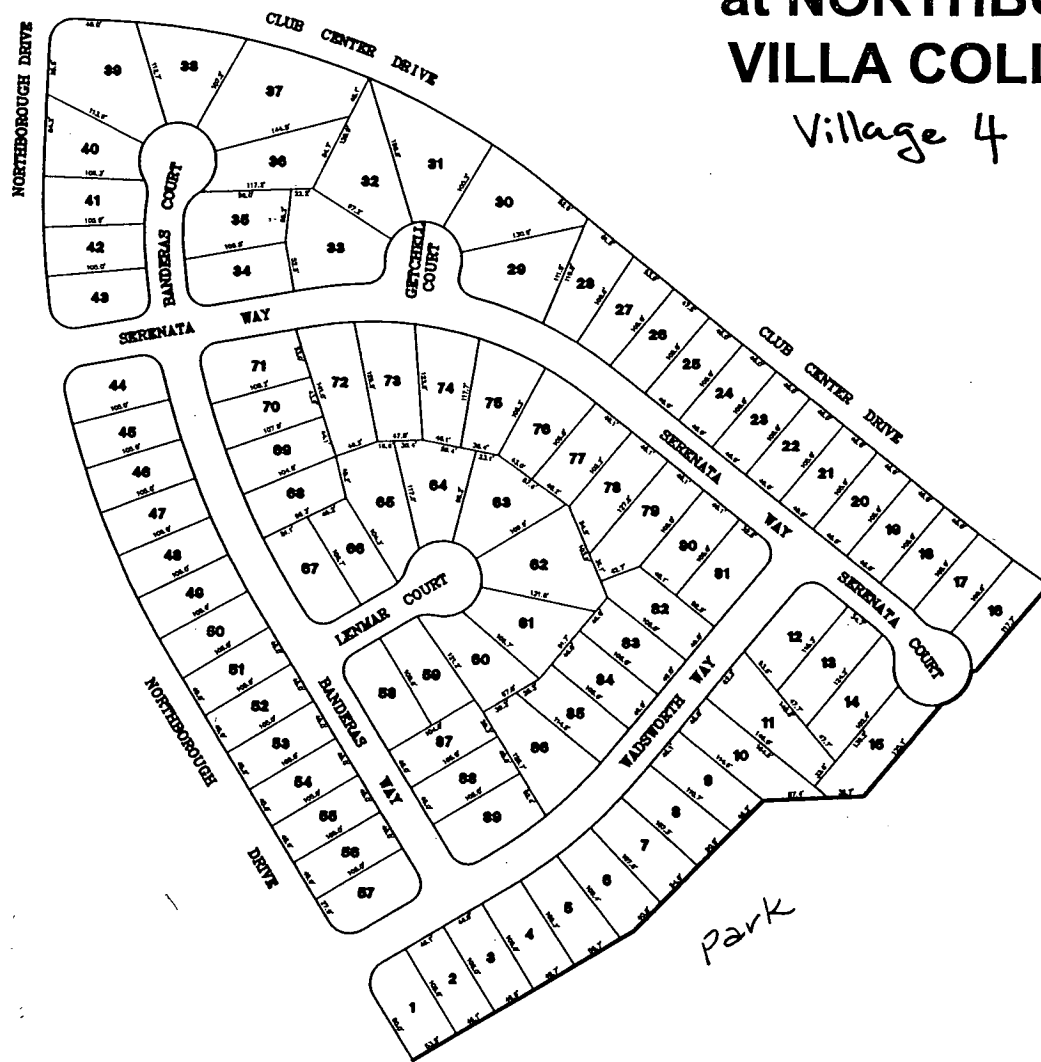
Development Services - Building Division (2)  
PDSP Binder

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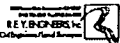


# MORRISON HOMES at NORTHBOROUGH VILLA COLLECTION

Village 4

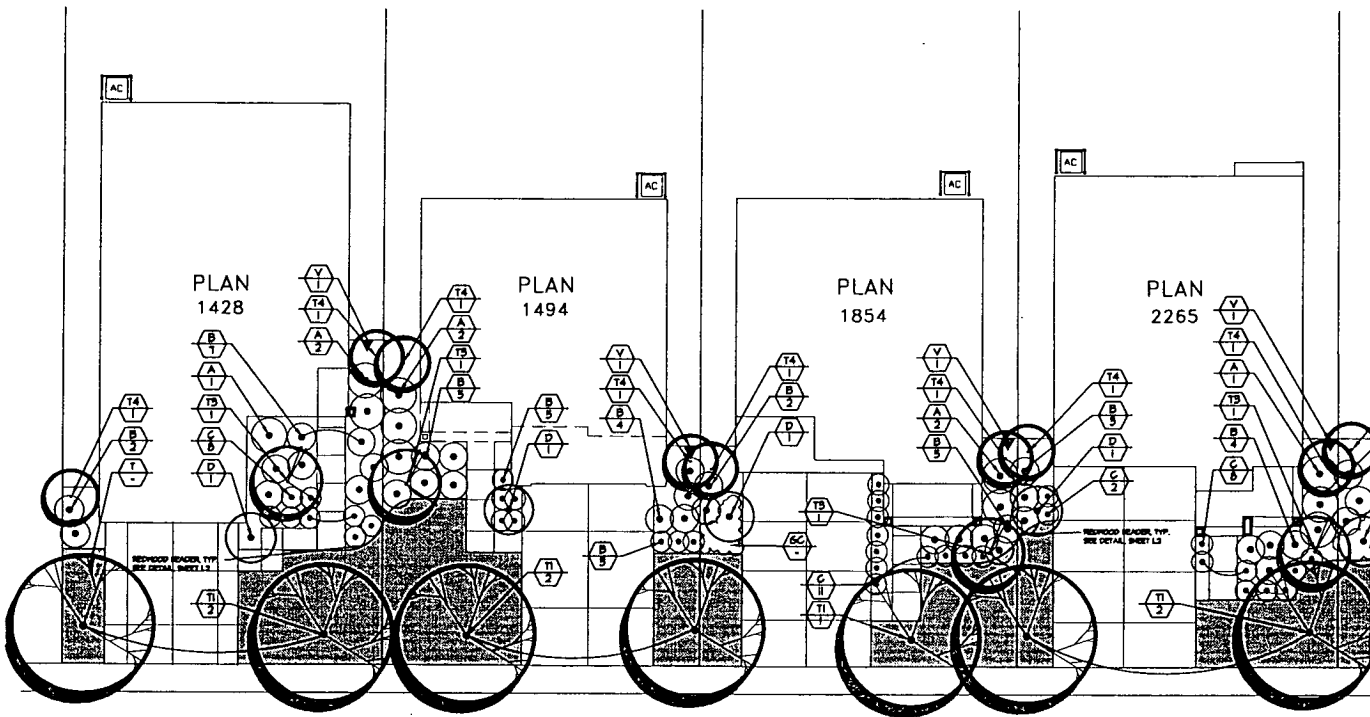


SCALE: 1" = 60'



DATE: 01-27-89

Exhibit 1  
P99-016



## TYPICAL INTERIOR PLAN

### PLANT MATERIALS LIST

THE VILLA COLLECTION AT NORTHBOROUGH

PLANT MATERIAL FOR USE WITH NORTH AND EAST EXPOSURES

KEY	BOTANICAL NAME/COMMON NAME	SIZE	KEY	BOTANICAL NAME/COMMON NAME	SIZE
<b>TREES</b>					
1	SEE STREET TREE LEGEND	3 SA.	<b>ACCENT SHRUBS</b>		
2	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	1	ACER CAPPARINE / HEDGE PEARL	1 SA.
3	ORNAMENTAL SHRUBS: CHINESE HAZELBERRY	1 SA.	2	TILIA CORDATA / LITTLE LEAF LARCH	1 SA.
<b>ACCENT TREE</b>					
4	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	3	PLATANUS ACERIFOLIA / SILVERWOOD	1 SA.
<b>SPECIFIC SHRUBS</b>					
5	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	4	PLATANUS ACERIFOLIA / SILVERWOOD	1 SA.
6	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	5	PLATANUS ACERIFOLIA / SILVERWOOD	1 SA.
<b>FOUNDATION SHRUBS (CALLARIS 8-FEET/10)</b>					
7	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	6	PLATANUS ACERIFOLIA / SILVERWOOD	1 SA.
8	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	7	PLATANUS ACERIFOLIA / SILVERWOOD	1 SA.
<b>GROUND COVER</b>					
9	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	8	PLATANUS ACERIFOLIA / SILVERWOOD	1 SA.
10	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	9	PLATANUS ACERIFOLIA / SILVERWOOD	1 SA.

PLANT MATERIAL FOR USE WITH NORTH AND EAST EXPOSURES

KEY	BOTANICAL NAME/COMMON NAME	SIZE	KEY	BOTANICAL NAME/COMMON NAME	SIZE
<b>TREES</b>					
1	SEE STREET TREE LEGEND	3 SA.	<b>ACCENT SHRUBS</b>		
2	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	1	ACER CAPPARINE / HEDGE PEARL	1 SA.
3	ORNAMENTAL SHRUBS: CHINESE HAZELBERRY	1 SA.	2	TILIA CORDATA / LITTLE LEAF LARCH	1 SA.
<b>ACCENT TREE</b>					
4	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	3	PLATANUS ACERIFOLIA / SILVERWOOD	1 SA.
<b>SPECIFIC SHRUBS</b>					
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10	ORNAMENTAL SHRUBS: PETER PANNY SHAW (L.Y. 10-12 FT.)	1 SA.	9	PLATANUS ACERIFOLIA / SILVERWOOD	1 SA.

SHRUB TREE LEGEND - SPACE NO. MORE THAN 32. 00.

STREET NAME	APPROVED TREE
BANDERAS COURT	ACER CAPPARINE / HEDGE PEARL
BANDERAS WAY	TILIA CORDATA / LITTLE LEAF LARCH
DETROIT COURT	CELTIS SHINER / CHINESE HAZELBERRY
LINCOLN COURT	TILIA CORDATA / LITTLE LEAF LARCH
NORTHBOROUGH DRIVE	PLATANUS ACERIFOLIA / SILVERWOOD / LINDEN PLANE TREE
BERNATA COURT	ACER CAPPARINE / HEDGE PEARL
BERNATA WAY	CELTIS SHINER / CHINESE HAZELBERRY
WASHINGTON WAY	CELTIS SHINER / CHINESE HAZELBERRY



99-016  
 EXHIBIT 2



**HILA GROUP**  
 LANDSCAPE ARCHITECTS & PLANNERS

The HILA Group  
 Landscape Architects & Planners, Inc.

1900 Third Street  
 Suite 500  
 Sacramento  
 California 95811  
 916/441-7400  
 FAX 916/441-8879

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
Morrison Homes  
**VILLA COLLECTION**  
 NORTHBOROUGH  
 Sacramento California

**PRELIMINARY PLANTING PLAN**

Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 JPN  
 Job No. 46094  
 Date: 2/2/99  
 Scale: \_\_\_\_\_

The drawing is not for construction and is not to be used for any other purpose without the written consent of the drafter.

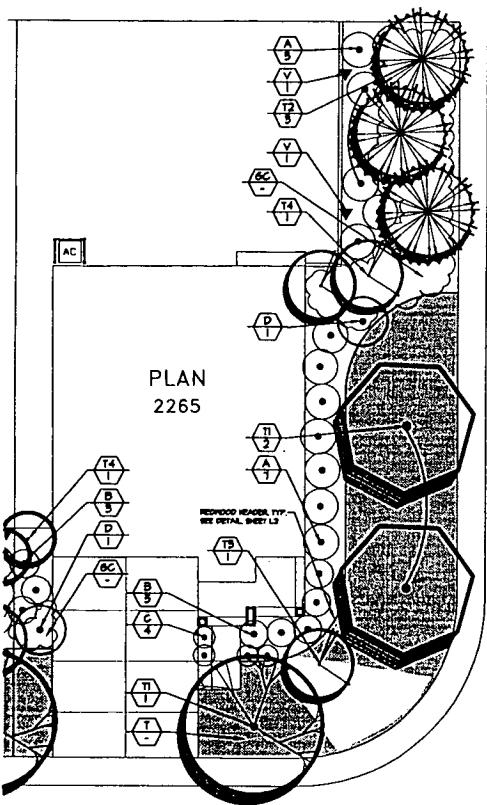
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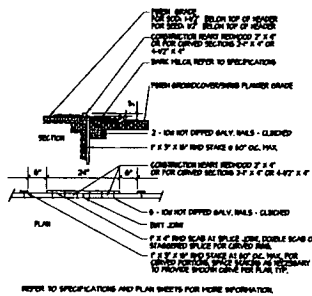
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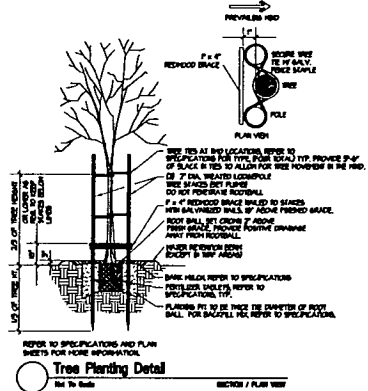
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TYPICAL CORNER PLAN



Redwood Header Detail  
See to Scale



Tree Planting Detail  
See to Scale

**PLANTING NOTES**

- PLANT MATERIAL IDENTITIES SHOWN ON DRAWINGS ARE INFORMATIONAL ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REQUIRED.
- PLANT KEY  
QTY
- IMMEDIATELY AFTER AWARD OF CONTRACT, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF SPECIFIED PLANT MATERIAL IS UNAVAILABLE FROM COMMERCIAL SOURCES. IN CASE A PLANT IS NOT AVAILABLE, THE LANDSCAPE ARCHITECT SHALL PROVIDE ALTERNATE PLANT MATERIAL SELECTION. SUCH CHANGES SHALL NOT ALTER THE CONTRACTOR'S ORIGINAL BID PRICE UNLESS A CAREY IS DUE TO THE OWNER.
- EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS UNDER FULLY FLOODED WETLANDS SHALL DRAIN WITHIN 6 HOURS OF FILLING. THE CONTRACTOR SHALL ENSURE ALL PLANT PITS HAVE POSITIVE DRAINAGE. SEE SPECIFICATIONS FOR EXACT REQUIREMENTS.
- ALL PLANT MATERIALS SHALL COMPLY WITH FORM AND CHARACTERISTIC REQUIREMENTS AS SPECIFIED. ALL PLANT MATERIAL SHALL COMPLY WITH AND BE SOFT PACKAGED FOR NURSERY STOCK.
- LANDSCAPE INSTALLATION SPECIFICATIONS ARE IN BOOK FORM. THE CONTRACTOR SHALL CONFORM TO ALL CONDITIONS AND REQUIREMENTS CONTAINED THEREIN. THE CONTRACTOR SHALL HAVE AVAILABLE ON THE JOB SITE AT ALL TIMES, THE CONTRACTOR HAS SPECIFICATION MANUAL FOR INSPECTION BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPORT IN THE MANUAL ALL OFFICIAL / APPROVED ADDENDUMS UNDER CHANGE ORDERS RELATIVE TO THE LANDSCAPE INSTALLATION IN CHRONOLOGICAL ORDER.
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION CONTROL MEASURES THAT MAY BE REQUIRED THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THESE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE ATTENTION WHEN THE CONTRACTOR INITIALLY ACCEPTS THE SITE, THE LANDSCAPE ARCHITECT OR OWNER SHOULD BE ADVISED TO ITS CONCERN. FAILURE OF THE CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT OR OWNER UPON ACCEPTANCE OF THE SITE BY THE CONTRACTOR IN ITS EXISTING CONDITION, ALL COSTS NECESSARY TO MITIGATE EXISTING EROSION PROBLEMS SHALL BE AT THE CONTRACTOR'S EXPENSE AND AT NO EXTRA COST TO THE OWNER OR INCREASE IN CONTRACT PRICE, NOT ASSURED.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITY SYSTEMS PRIOR TO EXCAVATING ANY PHASE OF CONSTRUCTION THAT MAY CAUSE DAMAGE TO EXISTING UTILITIES. CALL 800-4-A-SHALL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR / REPLACEMENT OF DAMAGED UTILITIES TO THE SATISFACTION OF THE OWNER OR GOVERNING AGENCY AND AT NO EXTRA COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- ALL PLANTING AREAS WITH THE EXCEPTION OF ASPHALT SHALL BE TOP DRESSED WITH A 1/2" LAYER OF MULCH-ON PINE BARK. MULCH...

LANDSCAPE ARCHITECTS & PLANNERS

The HLA Group  
Landscape Architects  
& Planners, Inc.

1900 Third Street  
Suite 300  
Sacramento  
California 95811  
916/447-1600  
FAX 916/447-6870  
CILA 1800

*Norison James*  
**VILLA COLLECTION**  
NORTHBOROUGH  
Sacramento  
California

*Exhibit 3*  
*P99-016*

PRELIMINARY PLANTING PLAN

Drawn By:	NDR
Checked By:	JMN
Job No.	468PM
Date	2/8/98
Sheet	
Drwing Number	12 Sheet of 2

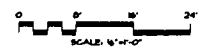
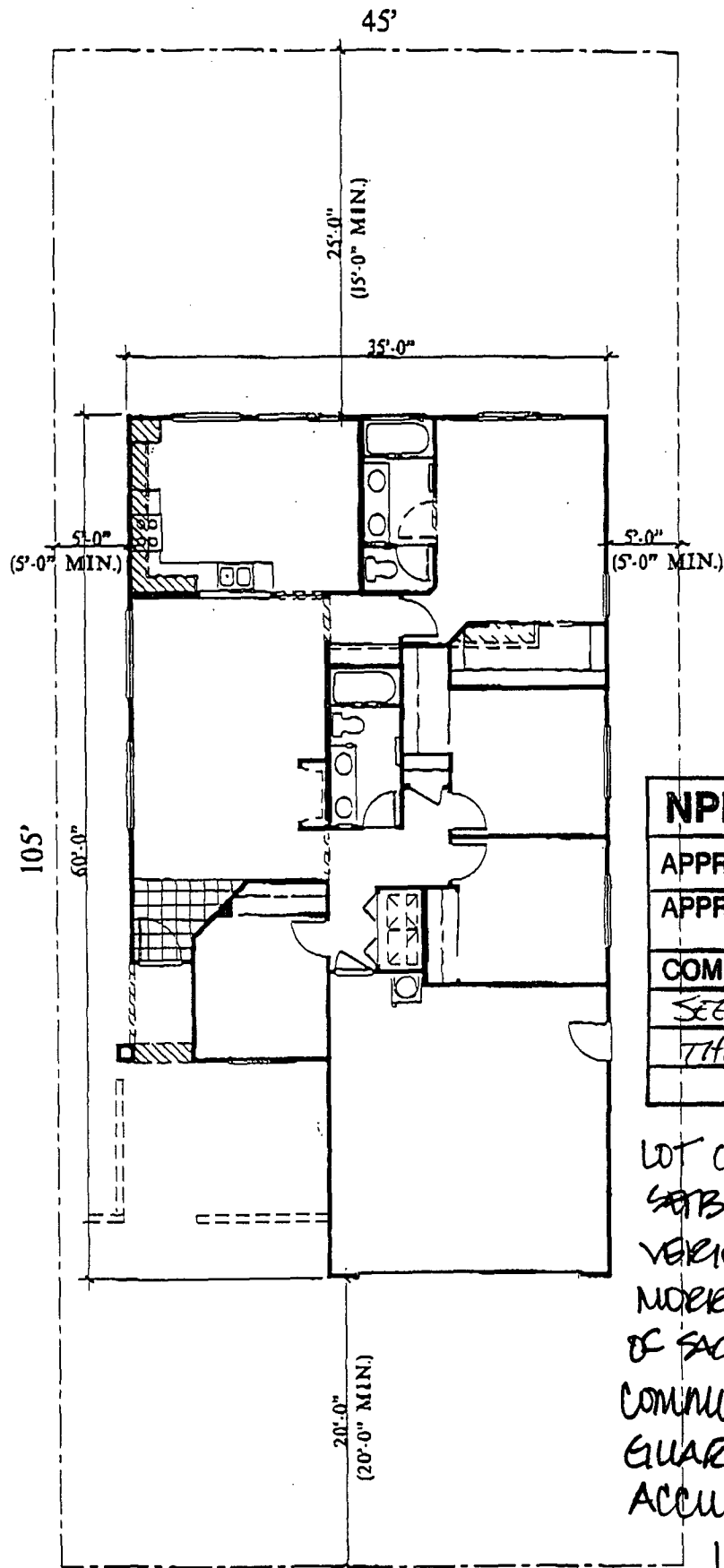


Exhibit 4-2  
P99-016



<b>NPDRC APPROVED</b>
APPROVED BY <i>Don Barnett</i>
APPROVED DATE: <i>2/4/99</i>
COMMENTS:
<i>SEE COMMENTS ON THIS SHEET</i>

LOT COVERAGE & BUILDING SETBACKS NEED TO BE VERIFIED BY MORRISON HOMES & CITY OF SACRAMENTO. LENNAR COMMUNITIES DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION.

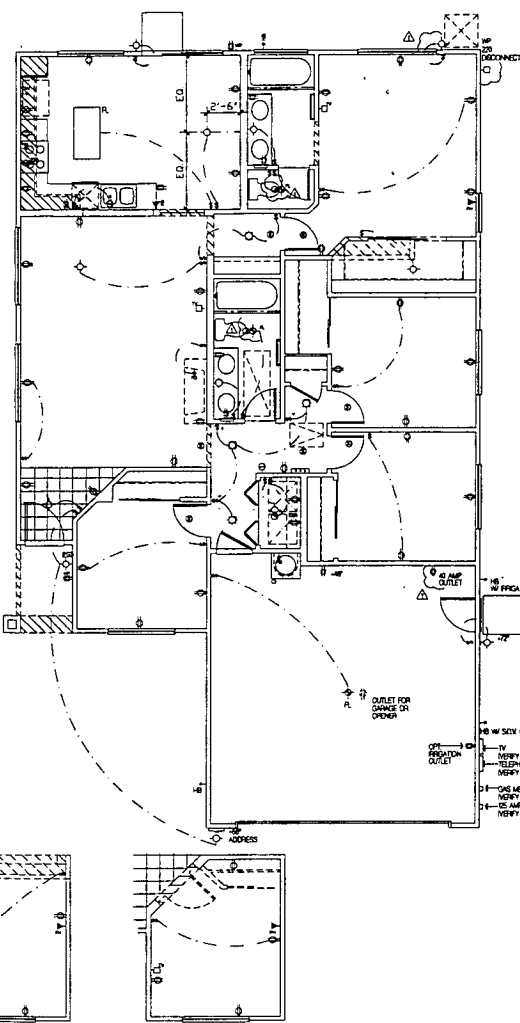
PLAN 1428

ALLOWED LOT COVERAGE: 2126 SQ FT (45%)  
ACTUAL LOT COVERAGE: 1853 SQ FT (39%)

### VILLA COLLECTION

*Morrison Homes*

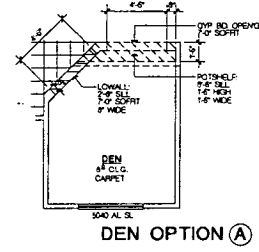
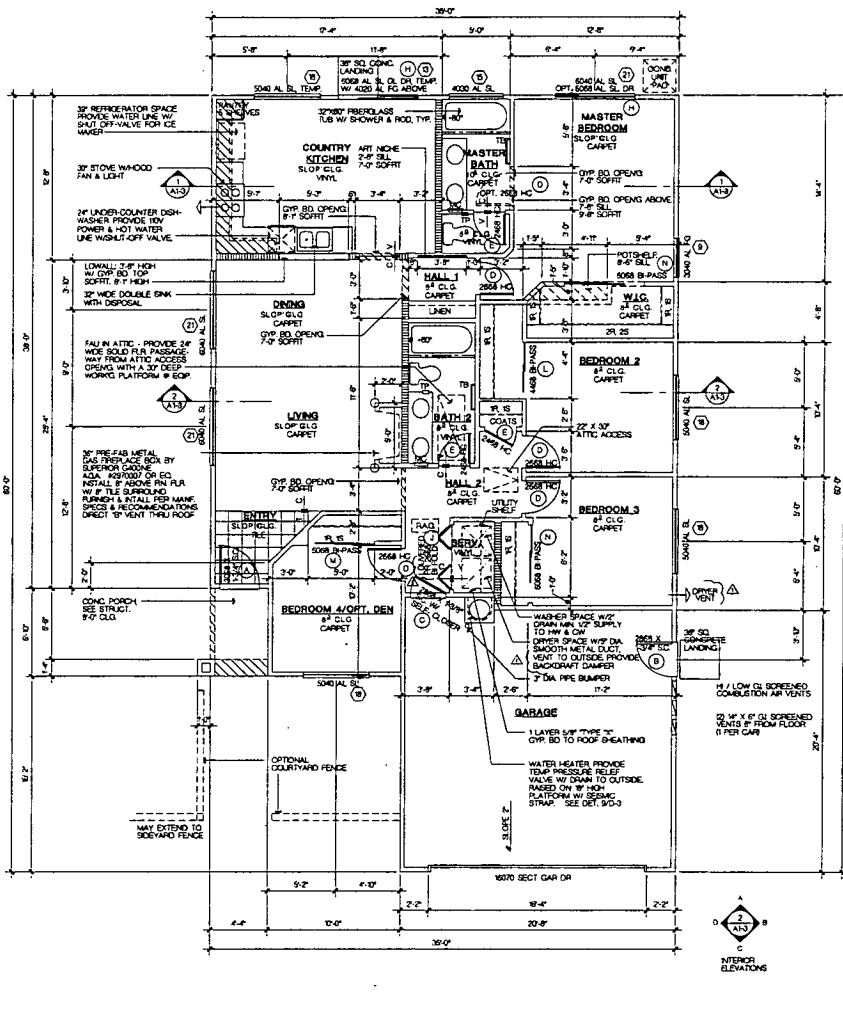




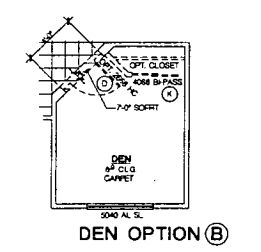
DEN OPTION

- ELEC. NOTES**
- 1. ALL 120V AC CIRCUITS SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED. ALL 120V AC CIRCUITS SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED. ALL 120V AC CIRCUITS SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.
  - 2. ALL WIRING TO BE CONFINED TO EXISTING WALL SERVICE CONDUITS UNLESS OTHERWISE NOTED.
  - 3. ALL WIRING TO BE CONFINED TO EXISTING WALL SERVICE CONDUITS UNLESS OTHERWISE NOTED.
- PLUMBING NOTES**
- 1. ALL PLUMBING SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.
  - 2. ALL PLUMBING SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.
- MECHANICAL NOTES**
- 1. ALL MECHANICAL SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.
  - 2. ALL MECHANICAL SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.
- UTILITY PLAN KEYNOTES**
- 1. ALL UTILITY PLAN KEYNOTES SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.
  - 2. ALL UTILITY PLAN KEYNOTES SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.

- UTILITY PLAN** SCALE: 1/4" = 1'-0" 2
- MECHANICAL NOTES**
- 1. ALL MECHANICAL SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.
  - 2. ALL MECHANICAL SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.
- SYMBOLS**
- |                |                |                |                |
|----------------|----------------|----------------|----------------|
| RECYCLE SYMBOL | RECYCLE SYMBOL | RECYCLE SYMBOL | RECYCLE SYMBOL |
| RECYCLE SYMBOL | RECYCLE SYMBOL | RECYCLE SYMBOL | RECYCLE SYMBOL |
- UTILITY PLAN KEYNOTES**
1. ALL UTILITY PLAN KEYNOTES SHALL BE INSTALLED IN PLAIN CONDUIT UNLESS OTHERWISE NOTED.



DEN OPTION A



DEN OPTION B

SYM	DOOR SIZE	TYPE	REMARKS	SYM	WINDOW SIZE	TYPE	REMARKS
A	3058 X1 3/4"	SG EXT.		1	310	FG	
B	2858 X1 3/4"	SG EXT.		2	420	FG	TEMPERED
C	2858 X1 3/8"	SW	SELF CLOSER	3	2020	FG	
D	2858 X1 3/8"	HC		4	2020	FG	
E	2458 X1 3/8"	HC		5	2020	SH	
F	2058 X1 3/8"	HC		6	2040	FG	
G	1858 X1 3/8"	HC		7	2050	FG	
H	6058	SL, GL, DR	TEMPERED	8	2050	SH	
J	PH 2858	BI-FOLD		9	3040	FG	
K	4058	BI-PASS		10	3040	SH	TEMP. @ ENTRY DR.
L	4458	BI-PASS		11	3050	SH	
M	5058	BI-PASS		12	4018	SL	
N	6058	BI-PASS		13	4020	FG	
				14	4030	FG	
				15	4030	SL	
				16	4040	SL	TEMP. @ BATH
				17	4050	SL	
				18	5040	SL	TEMP. @ FAMILY & COUNTRY KITCHEN
				19	5050	FG	
				20	5050	SL	
				21	6040	SL	

DOOR SCHEDULE WINDOW SCHEDULE FLOOR PLAN SCALE: 1/8" = 1'-0" 1

LEGEND

- SOFFIT
- PLANT LEDGE
- 1/4" WALL BRICK
- 2" WALL
- REFER TO FLOOR PLAN NOTES
- TUB SUPPLY
- SHOWER SUPPLY
- TUB/SHOWER SUPPLY
- ONE ROD ONE SHELF
- VINYL TILE
- CARPET
- TILE

SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	1428 S.F.
TOTAL	1428 B.F.
GARAGE	428 S.F.

GENERAL NOTES

- SMOKE DETECTORS SHALL BE INTERCONNECTED TO SOUND AN ALARM IN ALL SLEEPING AREAS OF THE DWELLING. LOCATE DETECTOR.
- PROVIDE ATTIC ACCESS OPENING (2'X8" MIN) READILY ACCESSIBLE WITH A 30" MIN CLEAR HEAD ROOM ABOVE ACCESS. ALL ATTIC SPACES WITH A MIN VERTICAL HEIGHT OF 30".
- ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN NET CLEAR OPENABLE AREA OF 5.7 SF. THE MIN NET CLEAR OPENABLE HEIGHT DIM SHALL BE 20". THE MIN NET CLEAR OPENABLE WIDTH DIM SHALL BE 20" WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE A PRESHED BALL NOT MORE THAN 4" ABOVE THE FLOOR. EGC SEC. 302.4.
- WINDOWS ADJACENT TO BATH TUBS MUST BE TEMPERED WITHIN 8" FROM THE TUB FLOOR. SHOWER ENCLOSURE AND DOOR AND ALSO WINDOW WHOSE NEAREST VERTICAL EDGE IS WITHIN A 2' RANGE OF DOOR OR WINDOW. WINDOW FINISHED FLOORING SEC. 206.4.
- HEARTH EXTENSIONS OF AN APPROVED FACTORY BUILT HEATER SHALL CONFORM TO THE CONDITIONS OF LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. EGC SEC. 302.2.3.
- HEATING AND COOLING EQUIPMENT INCLUDING WATER HEATERS LOCATED IN A GARAGE SHALL BE INSTALLED SO THAT THE PLOTS OR BURNER ARE AT LEAST 18" ABOVE THE FLOOR LEVEL. EGC SEC. 308.2. LPO 501. LPO 304M.
- PROVIDE COMBUSTION AIR TO FORCED AIR UNIT PER EGC SECTION 308.2.1.2.1 TO WATER HEATER PER LPO SECTION 500.
- DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL CORNERED HORZ AND VERT. LENGTH OF 4 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO EGC SEC. 504.8.
- EXHAUST FAN IN BATH WHERE REQUIRED IN BATH AND/OR LAUNDRY ROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND MUST PROVIDE 5 AIR CHANGES PER HOUR. EGC SECTION 1202.8.
- ALL ADA WALLS ARE AT 45 DEGREES.
- PRE BLOCKING IS REQUIRED HORZ AND VERT. AT SPACING NOT TO EXCEED 16" FOR USE OF HELLBOLD FOR FRESBLOOGING IS NOT ALLOWED.
- ON HORZ FRAMING SPACES 8" O.C. DRYWALL MUST RUN PERPENDICULAR TO THE FRAMING MEMBERS REGARDLESS WHETHER THE DRYWALL IS 1/2" OR 5/8" THICK.
- IN SHOWERS AND TUB/SHOWER COMBOS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER LPO 407.
- INDICATES DRYWALL CORNERS TO RECEIVE BALLDUGGE CORNER TRIM.

Revision Table:

No.	Date	Issue/Description
1/28/99	1ST SUBMITTAL	

Contractor:

VILLA COLLECTION  
Sacramento, CA  
Newman Homes

98339

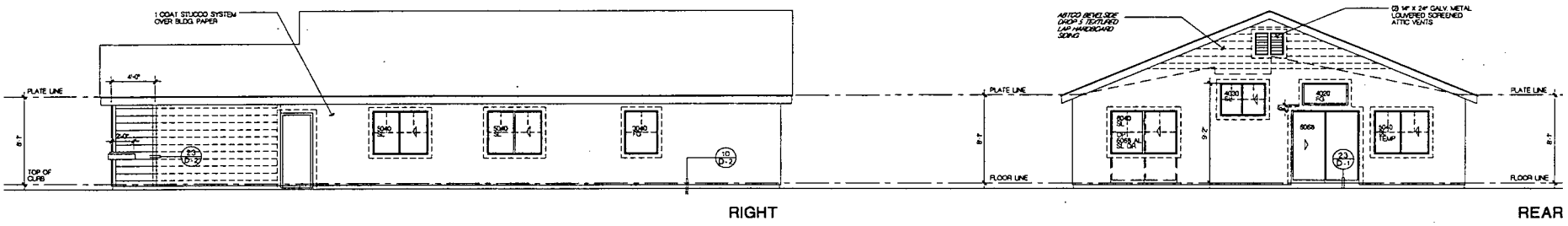
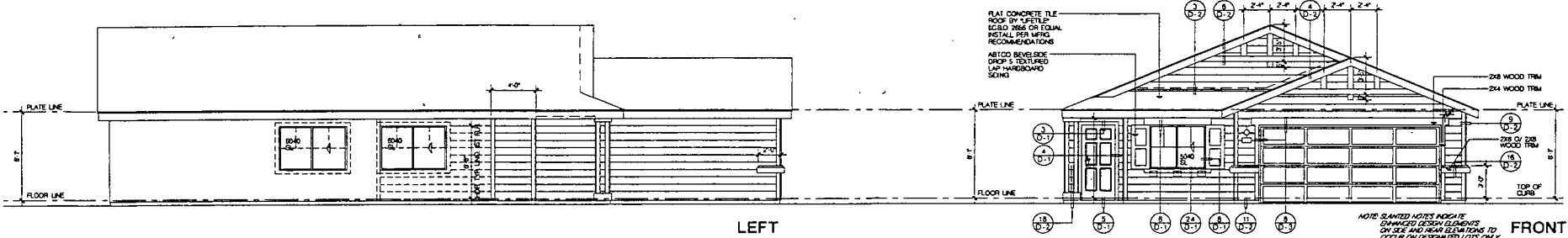


KTG GROUP, INC.  
17998 Mitchell Blvd  
Irvine, CA 92715  
7141 861-5188  
7141 863-1568 FAX

Irvine, California  
Project Director: G. OREGON  
Project Architect: G. TOSTER  
Project Engineer: G. OREGON  
Drawn By: G. OREGON  
Checked By: A. YONEMORI

PLAN 1428  
FLOOR PLAN  
AND UTILITY PLAN

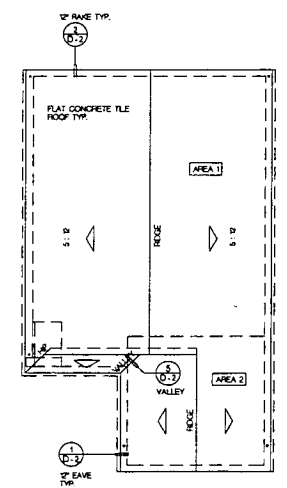
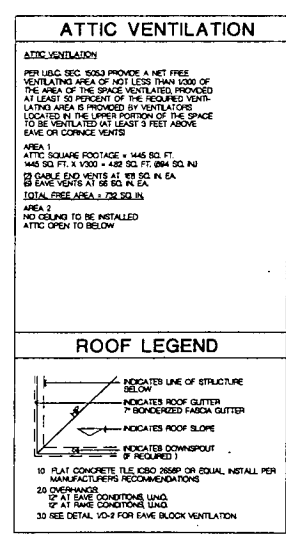
Sheet No: A1-1



EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 1



COURTYARD ELEVATION SCALE: 1/8" = 1'-0" 3



ROOF PLAN SCALE: 1/8" = 1'-0" 2

No.	Date	Issue/Description
	1/29/99	1ST SUBMITTAL

PROJECT:  
**VILLA COLLECTION**  
 Sacramento, CA

*Morrison Homes*

98339

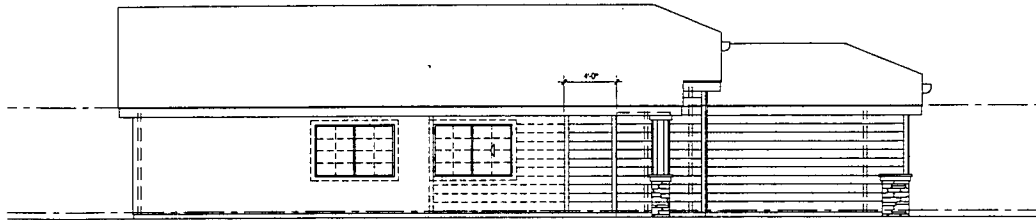
**KTGY GROUP, INC.**  
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 17386 Mitchell Branch  
 Irvine, CA 92714  
 (714) 881-2188  
 (714) 881-2188 FAX  
 Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

Principal in Charge: G. GREEDON  
 Project Director: C. TEXTER  
 Project Architect: C. TEXTER  
 Project Designer: G. GREEDON  
 Drawn By: F. YONEMORI  
 Checked By:

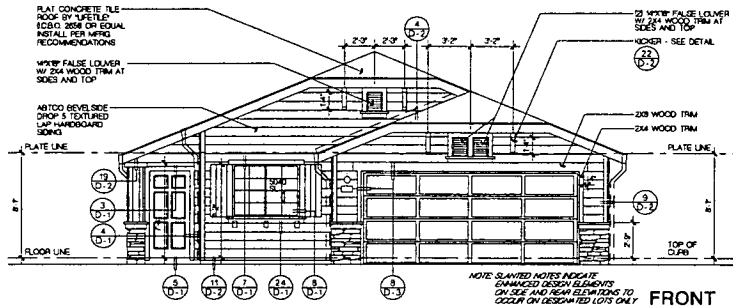
PLAN 1428  
 EXTERIOR ELEVATION 'A'  
 ROOF PLAN

Sheet No.: **A1-4**

Exhibit 4c  
 P99-016

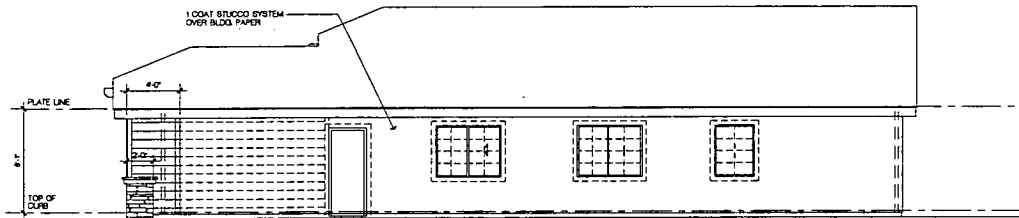


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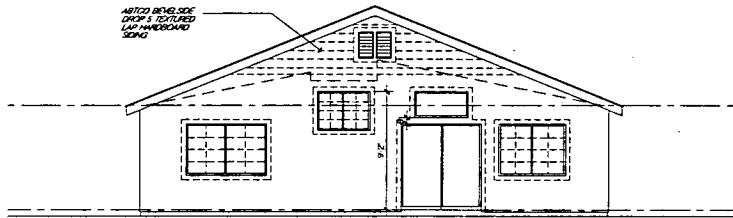


FRONT

REFER TO EXTERIOR ELEVATIONS SHEET A1-4 FOR ALL INFORMATION NOT SHOWN HERE



RIGHT



REAR

P99-016

EXTERIOR ELEVATION SCALE: 1/8" = 1'-0" 1

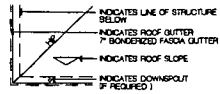
**ATTIC VENTILATION**

**ATTIC VENTILATION**  
PER USC SEC. 5043 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

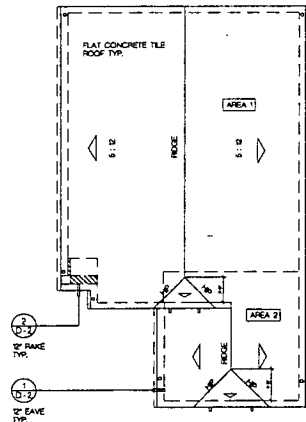
**AREA 1**  
ATTIC SQUARE FOOTAGE = 1446 SQ. FT.  
1446 SQ. FT. X 1/300 = 482 SQ. FT. (994 SQ. IN.)  
20 GABLE END VENTS AT 166 SQ. IN. EA.  
10 GABLE END VENTS AT 175 SQ. IN. EA.  
18 EAVE VENTS AT 65 SQ. IN. EA.  
TOTAL FREE AREA = 847 SQ. IN.

**AREA 2**  
NO CEILING TO BE INSTALLED  
ATTIC OPEN TO BELOW

**ROOF LEGEND**



- 10. FLAT CONCRETE TILE (30x36 OR EQUAL) INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- 20 OVERHANGS
- 30 AT RAKE CONDITIONS (U/L)
- 30 AT EAVE CONDITIONS (U/L)
- 30 SEE DETAIL VD-2 FOR EAVE BLOCK VENTILATION

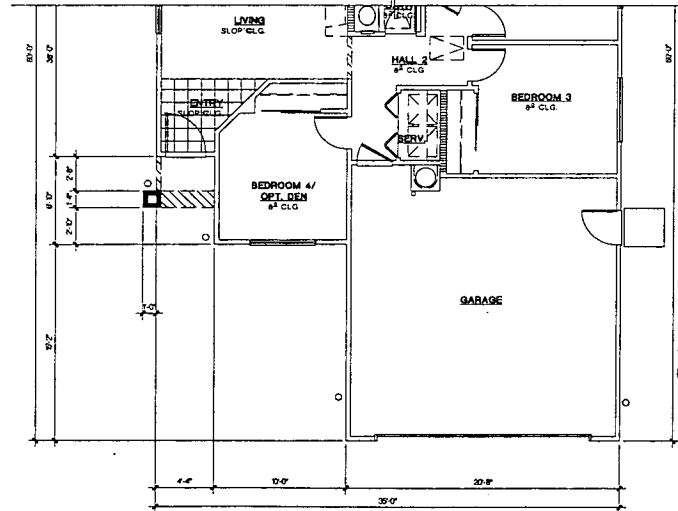


ROOF PLAN SCALE: 1/8" = 1'-0" 4



SEE SHEET C-1 FOR ALT. COURTYARD FENCES

COURTYARD ELEVATION SCALE: 1/8" = 1'-0" 3



REFER TO FLOOR PLANS SHEET A1-1 FOR ALL INFORMATION NOT SHOWN HERE

PARTIAL FLOOR PLAN SCALE: 1/8" = 1'-0" 2

No.	Date	Issue/Description
	1/29/09	1ST SUBMITTAL

Consultant:

VILLA COLLECTION  
Sacramento, CA  
*Monson Homes*

98339



KTGY GROUP, INC.

Architects Pasadena

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Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

Principal in Charge: G. OREGSON  
Project Designer: G. TESTER  
Project Architect: G. TESTER  
Drawn By: F. YONGKARN  
Checked By: F. YONGKARN

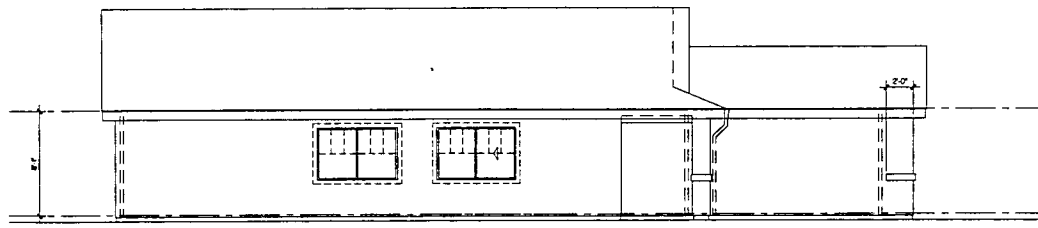
PLAN 1428  
EXTERIOR ELEVATION "B"  
PLAN CHANGE &  
ROOF PLAN

Sheet No.:

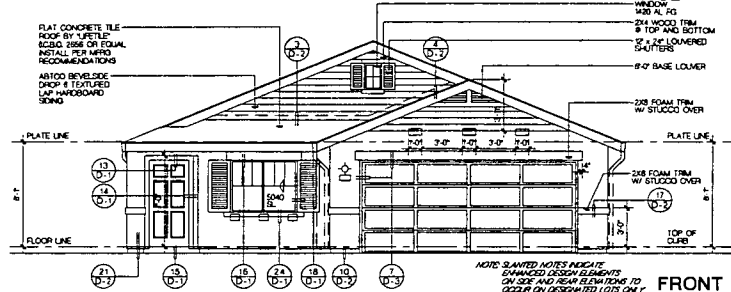
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Exhibit d



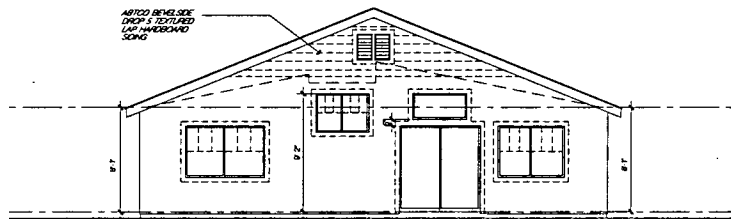


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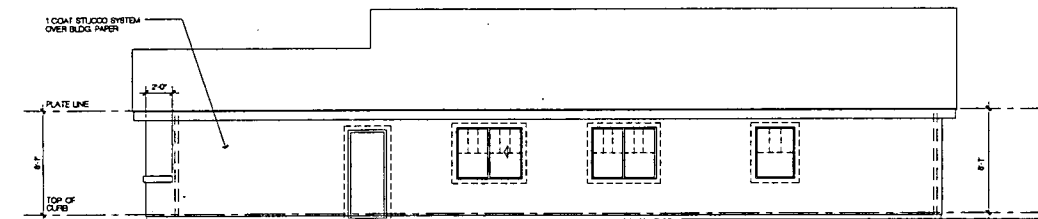


FRONT

REFER TO EXTERIOR ELEVATIONS SHEET A1-4 FOR ALL INFORMATION NOT SHOWN HERE



REAR



RIGHT

EXTERIOR ELEVATION SCALE: 1/8" = 1'-0" 1

P99-016

**ATTIC VENTILATION**

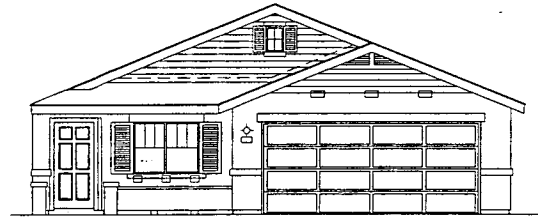
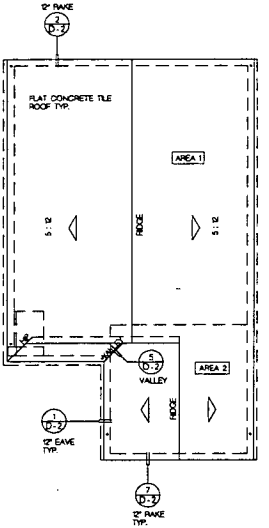
**ATTIC VENTILATION**  
 PER UFG SEC. 1000 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 1000 OF THE AREA OF THE SPACE VENTILATED PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS)

**AREA 1**  
 ATTIC SQUARE FOOTAGE = 1445 SQ. FT.  
 1445 SQ. FT. X 1000 = 1445000 SQ. IN.  
 18 GABLE END VENTS AT 18 SQ. IN. EA.  
 18 GABLE END VENTS AT 18 SQ. IN. EA.  
 18 EAVE VENTS AT 18 SQ. IN. EA.  
 TOTAL FREE AREA = 842 SQ. IN.

**AREA 2**  
 NO CEILING TO BE INSTALLED  
 ATTIC OPEN TO BELOW

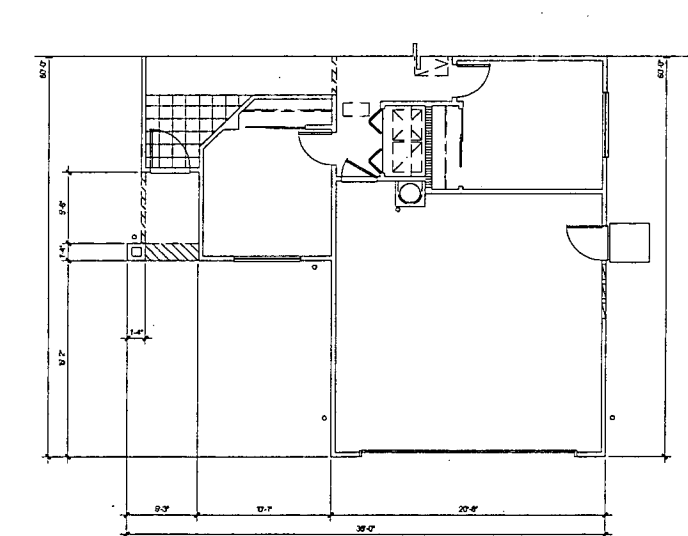
**ROOF LEGEND**

- INDICATED LINE OF STRUCTURE BELOW
  - INDICATED ROOF GUTTER BOMBERIZED FASCIA GUTTER
  - INDICATED ROOF SLOPE
  - INDICATED DOWNSPOUT (IF REQUIRED)
- 10 FLAT CONCRETE TILE, CS&O ASSEP ON EQUAL, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
  - 20 OVERHANGS
  - 25 AT RAISE CONDITIONS, LIND
  - 25 AT RAISE CONDITIONS, LIND
  - 30 SEE DETAIL 10-2 FOR EAVE BLOCK VENTILATION



SEE SHEET C-1 FOR ALT. COURTYARD FENCES

COURTYARD ELEVATION SCALE: 1/8" = 1'-0" 3



REFER TO FLOOR PLANS SHEET A1-1 FOR ALL INFORMATION NOT SHOWN HERE

PARTIAL FLOOR PLAN SCALE: 1/8" = 1'-0" 2

ROOF PLAN SCALE: 1/8" = 1'-0" 4

No.	Date	Issue/Description
1	1/19/99	1ST. SUBMITTAL

**VILLA COLLECTION**  
 Sacramento, CA

*Mansions Homes*

98339

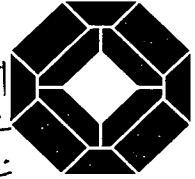


Exhibit 4f

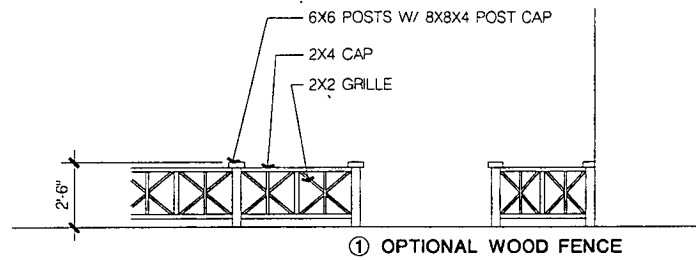
**KTGY GROUP, INC.**  
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 17989 Mitchell Blvd  
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 (714) 861-3188  
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 Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

Prepared in Charge: G. GREENSON  
 Project Designer: G. TEXTER  
 Project Architect: G. TEXTER  
 Project Designer: G. GREENSON  
 Drawn By:  
 Checked By: F. YONGMONG

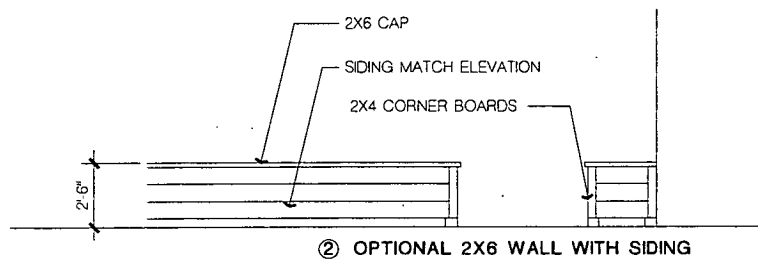
PLAN 1428  
 EXTERIOR ELEVATION 'D'  
 ROOF PLAN

Sheet No.:

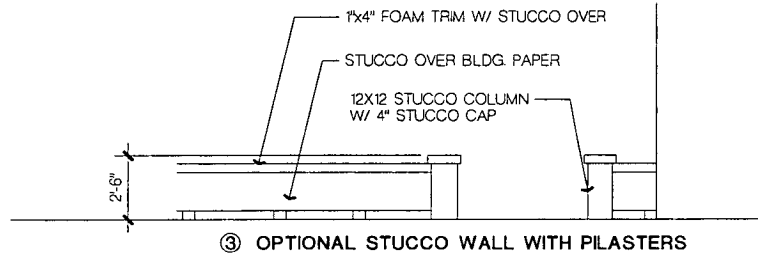
A1-7



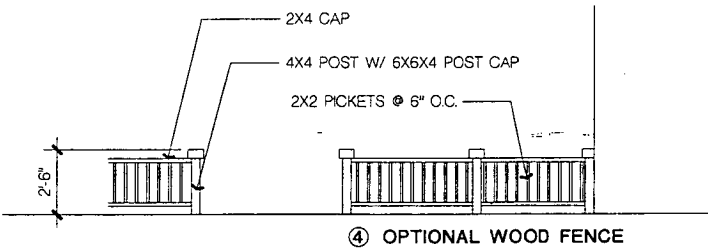
① OPTIONAL WOOD FENCE



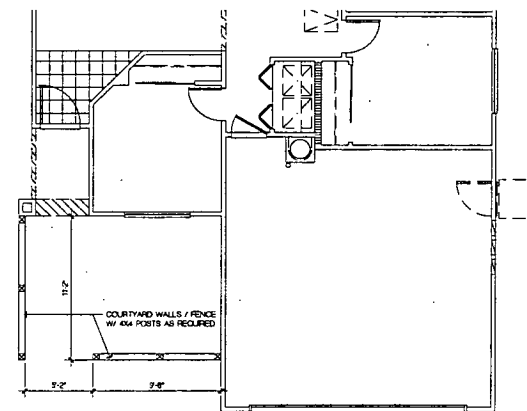
② OPTIONAL 2X6 WALL WITH SIDING



③ OPTIONAL STUCCO WALL WITH PILASTERS



④ OPTIONAL WOOD FENCE



PLAN 1428

No.	Date	Issue/Description
	1/29/99	1ST SUBMITTAL

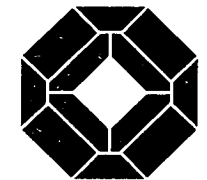
Consultant:

Project:

**VILLA  
COLLECTION**  
Sacramento, CA

*Mansion Homes*

**98339**



**KTGY GROUP, INC.**  
Architects Planning

17989 Mitchell Beach  
Irvine, CA 92718  
(714) 841-3100  
(714) 841-3105 FAX

Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

Project in Charge : G. GREIGSON  
Project Director : G. TEXTER  
Project Architect : G. TEXTER  
Project Designer : G. GREIGSON  
Drawn By :  
Checked By : F. YONGMOR

COURTYARD OPTIONS

Sheet No.:

**C-1**

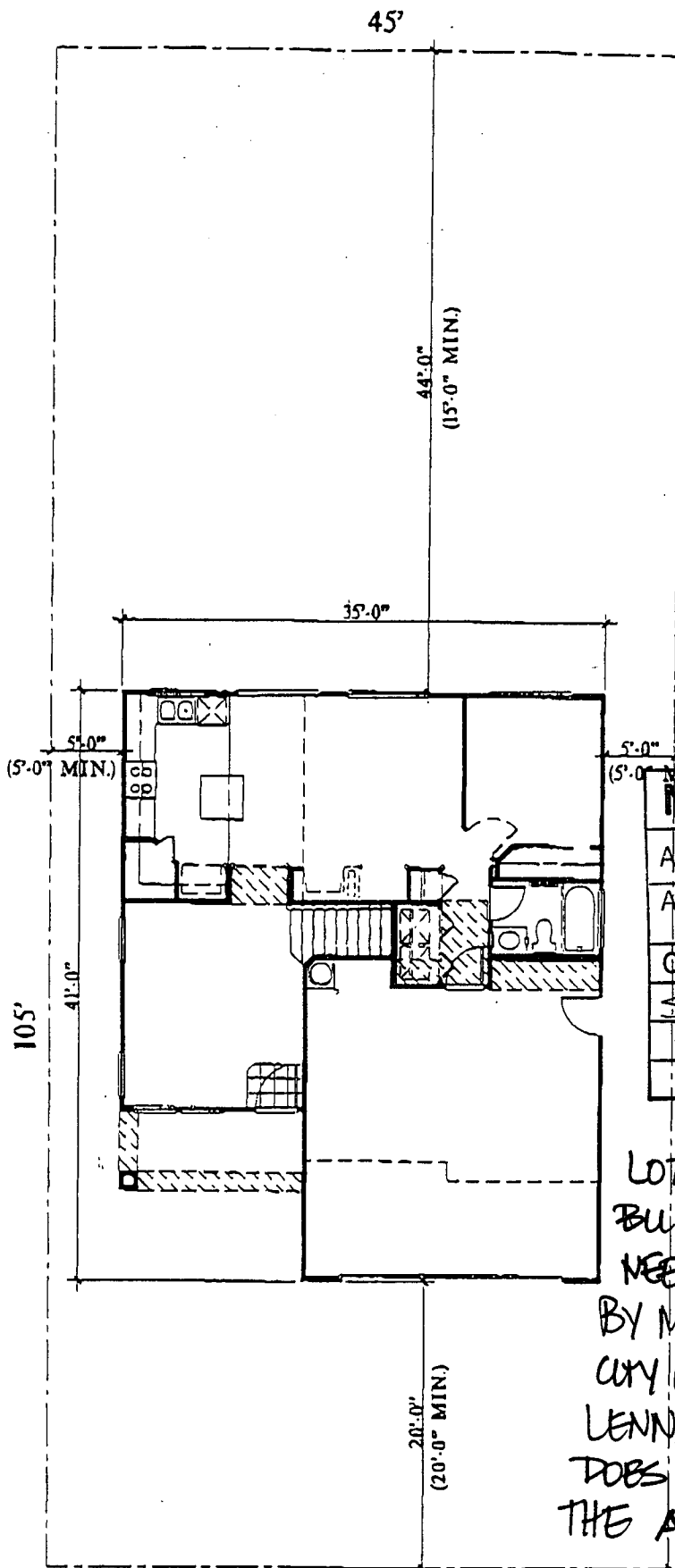
COURTYARD ELEVATION OPTIONS SCALE: 1/2" = 1'-0" 1

COURTYARD PLAN OPTIONS SCALE: 1/4" = 1'-0" 1

DATE: 1/29/99

Exhibit 4-g  
P99-016

Exhibits-a  
P99-016



<b>NPDRC APPROVED</b>
APPROVED BY: <i>Don Bannell</i>
APPROVED DATE: 2/4/99
COMMENTS:
<i>SEE COMMENTS ON THIS SHEET</i>

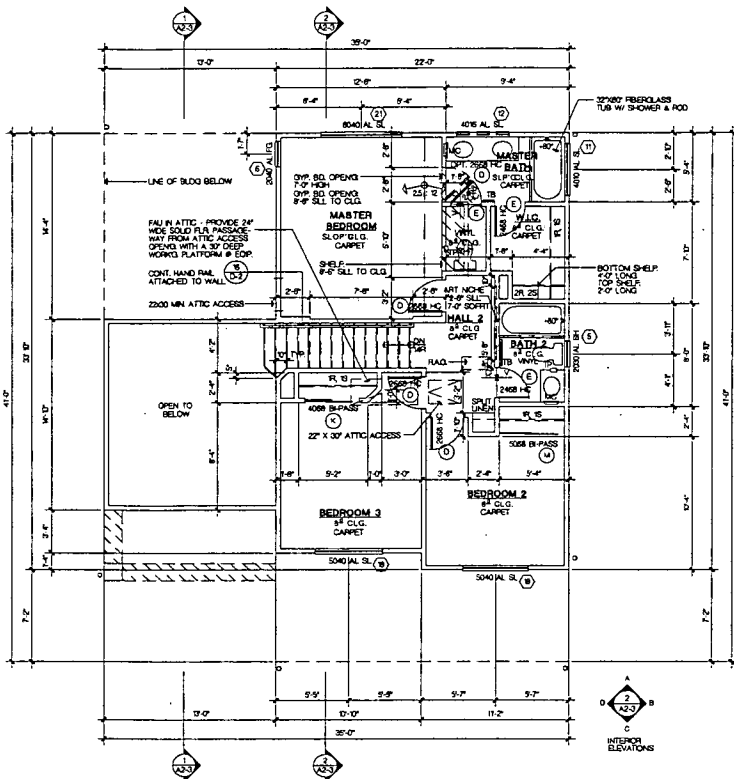
LOT COVERAGE & BUILDING SETBACKS NEED TO BE VERIFIED BY MORRISON HOMES & CITY OF SACRAMENTO. LENNAR COMMUNITIES DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION.

PLAN 1494

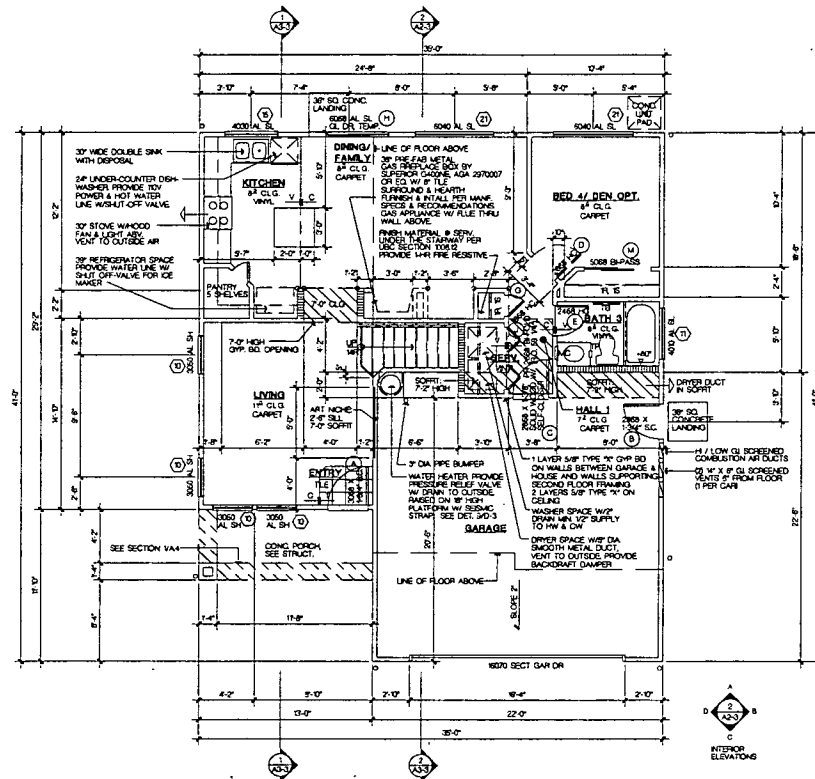
ALLOWED LOT COVERAGE: 1890 SQ FT (40%)  
ACTUAL LOT COVERAGE: 1281 SQ FT (27%)

### VILLA COLLECTION

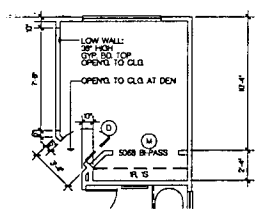




SECOND FLOOR PLAN



FIRST FLOOR PLAN



DEN OPTION

SN	DOOR SIZE	TYPE	REMARKS	SN	WINDOW SIZE	TYPE	REMARKS
(A)	3058 X1 3/4"	S.C. EXT.		(1)	913	FG	
B	2868 X1 3/4"	S.C. EXT.		2	1420	FG	TEMPERED
C	2868 X1 3/4"	SW.	SELF CLOSER	3	2020	FG	
D	2668 X1 3/4"	H.C.		4	2020	FG	
E	2468 X1 3/4"	H.C.		5	2050	SH	
F	2058 X1 3/4"	H.C.		6	2040	FG	
G	1868 X1 3/4"	H.C.		7	2090	FG	
H	6068	SL, CL, DR.	TEMPERED	8	2050	SH	
J	PH 2668	BI-FOLD		9	3040	FG	
K	4058	BI-PASS		10	3250	SH	TEMP @ ENTRY DR.
L	4458	BI-PASS		11	3060	SH	
M	5068	BI-PASS		12	4016	SL	
N	6068	BI-PASS		13	4020	FG	
				14	4030	FG	
				15	4230	SL	
				16	4040	SL	TEMP @ BATH
				17	4050	SL	
				18	5040	SL	TEMP @ FAMILY & COUNTRY KITCHEN
				19	5050	FG	
				20	5060	SL	
				21	6040	SL	

DOOR SCHEDULE

WINDOW SCHEDULE

FLOOR PLANS SCALE: 1/8" = 1'-0" 1

**LEGEND**

- SOFFIT
- PLANT LEDGE
- 1/2" WALL RADIUS
- THE WALL
- REFER TO FLOOR PLAN NOTES
- TUB SUPPLY
- SHOWER SUPPLY
- TUB/SHOWER SUPPLY
- ONE ADD ONE SHELF
- VINYL TILE
- CARPET
- TILE

**SQUARE FOOTAGE**

FLOOR AREA  
 FIRST FLOOR 806 S.F.  
 SECOND FLOOR 868 S.F.  
 TOTAL 1474 S.F.  
 GARAGE 478 S.F.

**GENERAL NOTES**

- SMOKE DETECTORS SHALL BE INTERCONNECTED TO SOUND AN ALARM IN ALL SLEEPING AREAS OF THE DWELLING ELEC SECTION 303.
- PROVIDE ATTIC ACCESS OPENING 22"X30" MIN. READY ACCESSIBLE WITH A 30" MIN. CLEAR HEAD ROOM ABOVE ACCESS IN ALL ATTIC SPACES WITH A MIN. VERTICAL HEIGHT OF 30" ELEC SECTION 303.
- ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 57 SF. THE MIN. NET CLEAR OPENABLE HEIGHT SHALL BE 24". THE MIN. NET CLEAR OPENABLE WIDTH SHALL BE 20" WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE. THEY SHALL HAVE A FINISHED SILL NOT MORE THAN 4" ABOVE THE FLOOR ELEC. SECT. 304.
- WINDOWS ADJACENT TO BATH TUBS MUST BE TEMPERED WITHIN 8" FROM THE TUB FLOOR, SHOWER ENCLOSURE AND DOOR AND ALSO WINDOW WHOSE NEAREST VERTICAL EDGE IS WITHIN A 2'0" RADIUS OF DOOR OR WINDOW ABOVE FINISHED FLOORING SECT. 304A.
- HEAVY EXTENSIONS OF AN APPROVED FACTORY BUILT PREFABRICATION SHALL CONFORM TO THE CONDITION OF LISTING AND THE MANUFACTURERS INSTALLATION INSTRUCTIONS ELEC. SECT. 702.53.
- HEATING AND COOLING EQUIPMENT INCLUDING WATER HEATERS LOCATED IN A GARAGE SHALL BE INSTALLED SO THAT THE FLOORS OR BURNERS ARE AT LEAST 18" ABOVE THE FLOOR LEVEL ELEC. SECT. 308.2, UPC 810, LIRC 3048.
- PROVIDE COMBUSTION AIR TO FORCED AIR UNIT PER ELEC. SECTION 709 AND TO WATER HEATER PER I.P.C. SECTION 507.
- DOMESTIC DRYER MOTOR FUELED DUCTS SHALL NOT EXCEED A TOTAL CORNERED HORZ. AND VERT. LENGTH OF 14 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO ELEC. SECT. 504.3.
- EXHAUST FAN IN BATH WHERE REQUIRED IN BATH AND/OR LAUNDRY ROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND MUST PROVIDE 5 MPH CHANGES PER HOUR ELEC. SECTION 303B.
- ALL DIAGONAL WALLS ARE AT 45 DEGREES.
- FIRE BLOKING IS REQUIRED HORZ. AND VERT. AT SPACING NOT TO EXCEED 16" THE USE OF INSULATION FOR FIREBLOKING IS NOT ALLOWED.
- ON MORE FRAMING SPACED BY O.C. DRYPWALL MUST RUN PERPENDICULAR TO THE FRAMING MEMBERS REGARDLESS WHETHER THE DRYPWALL IS 1/2" OR 5/8" THICK.
- IN SHOWERS AND TUBS/SHW. COMBOS. CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER UPC 4107.
- INDICATES OPENWALL CORNINGS TO RECEIVE BALLUNGE CORNER TRIM.

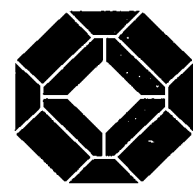
**Revisions**

No.	Date	Issue/Description
1	1/29/09	1ST SUBMITTAL

**VILLA COLLECTION**  
 Sacramento, CA

*Merrison Homes*

98339



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 Fort Lauderdale, Florida  
 Bangkok, Thailand

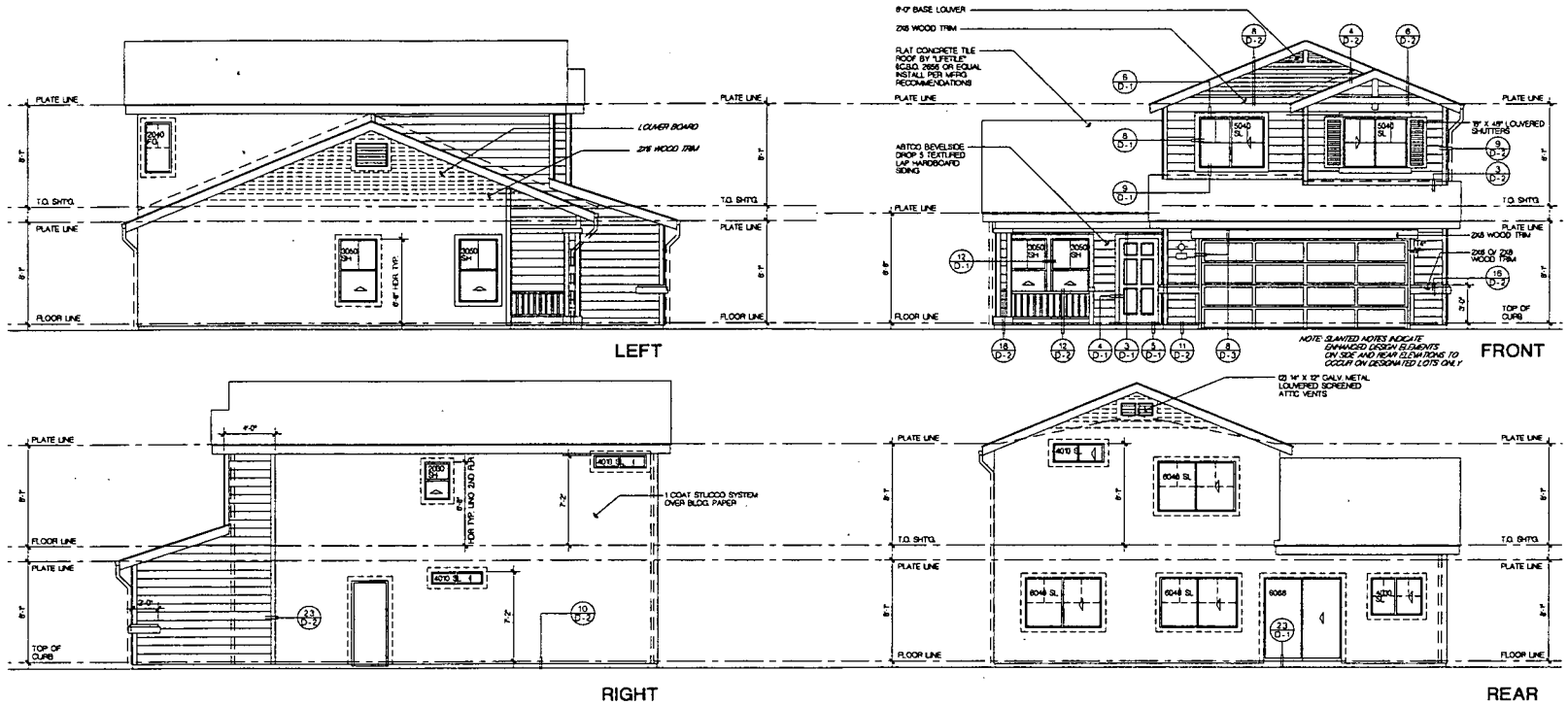
Project Designer: G. OREBORN  
 Project Architect: G. TETTER  
 Project Designer: G. OREBORN  
 Drawn By:  
 Checked By: F. YONGMORN

PLAN 1494  
 FLOOR PLANS

Sheet No.:

A2-1

Exhibits to P99-016



EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 1

#### ATTIC VENTILATION

**ATTIC VENTILATION**  
 PER UFGC SEC. 5003 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 1'-6" ABOVE EAVE OR DORMICE VENTS

**AREA 1**  
 ATTIC SQUARE FOOTAGE = 176 SQ. FT.  
 1/18 SQ. FT. X 1/300 = .339 SQ. FT. / 168 SQ. IN.  
 12 CORNER VENTS AT 72 SQ. IN. EA.  
 12 DORMICE VENTS AT 72 SQ. IN. EA.  
 12 EAVE VENTS AT 68 SQ. IN. EA.  
**TOTAL FREE AREA = 678 SQ. IN.**

**AREA 2**  
 ATTIC SQUARE FOOTAGE = 482 SQ. FT.  
 1/18 SQ. FT. X 1/300 = 1.54 SQ. FT. / 1222 SQ. IN.  
 12 CORNER VENTS AT 72 SQ. IN. EA.  
 12 DORMICE VENTS AT 72 SQ. IN. EA.  
 12 EAVE VENTS AT 68 SQ. IN. EA.  
**TOTAL FREE AREA = 287 SQ. IN.**

**AREA 3**  
 ATTIC SQUARE FOOTAGE = 172 SQ. FT.  
 1/18 SQ. FT. X 1/300 = 1.55 SQ. FT. / 168 SQ. IN.  
 12 CORNER VENTS AT 72 SQ. IN. EA.  
 12 EAVE VENTS AT 68 SQ. IN. EA.  
**TOTAL FREE AREA = 58 SQ. IN.**

---

#### ROOF LEGEND

10 FLAT CONCRETE TILE, CS90 285P OR EQUAL, INSTALL PER MANUFACTURER'S RECOMMENDATIONS  
 28 OVER-RAINES  
 12 AT EAVE CONDITIONS UNLESS NOTED OTHERWISE  
 12 AT RAVE CONDITIONS UNLESS NOTED OTHERWISE  
 30 SEE DETAIL VD-2 FOR EAVE BLOCK VENTILATION

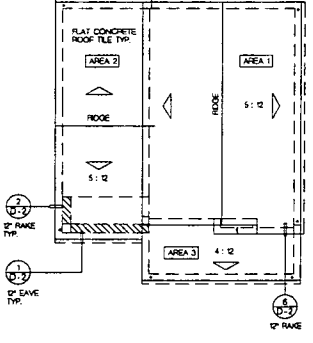


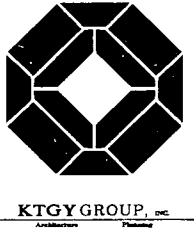
Exhibit 5c  
 109-016

ROOF PLAN SCALE: 1/8" = 1'-0" 2

No.	Date	Issue/Description
	1/29/99	1ST SUBMITTAL

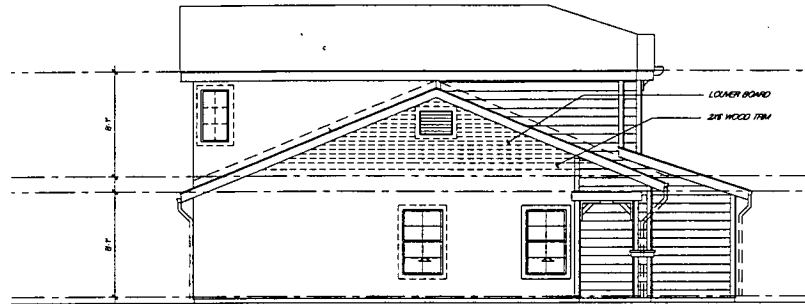
Consultant: \_\_\_\_\_

**VILLA COLLECTION**  
 Sacramento, CA  
*Mansions Homes*  
**98339**

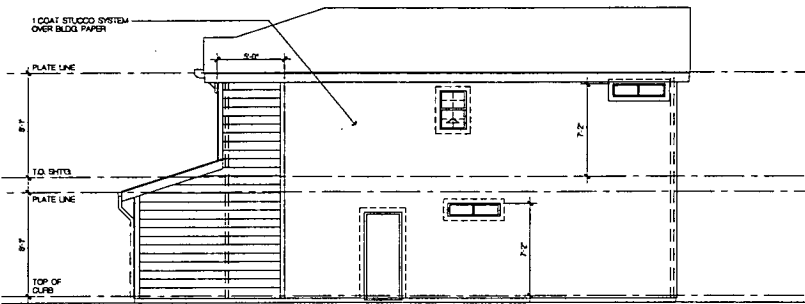


Principal in Charge: G. ONSORON  
 Project Designer: G. TETTER  
 Project Architect: G. TETTER  
 Project Designer: G. ONSORON  
 Drawn By:  
 Checked By: F. YONGKOR

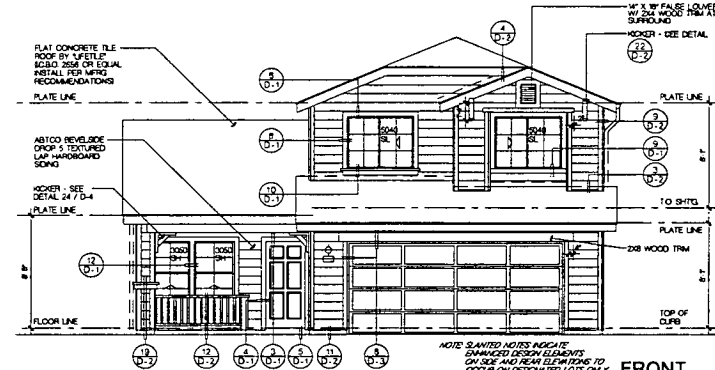
**PLAN 1494**  
**EXTERIOR ELEVATION 'A'**  
**ROOF PLAN**



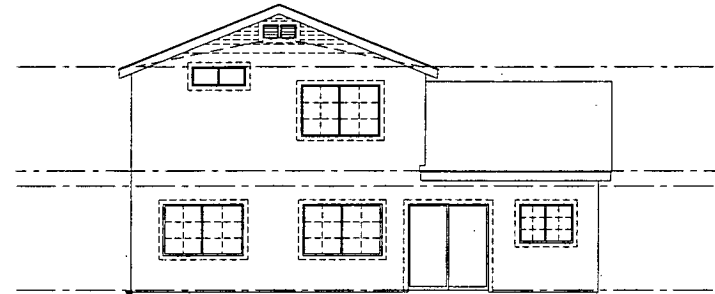
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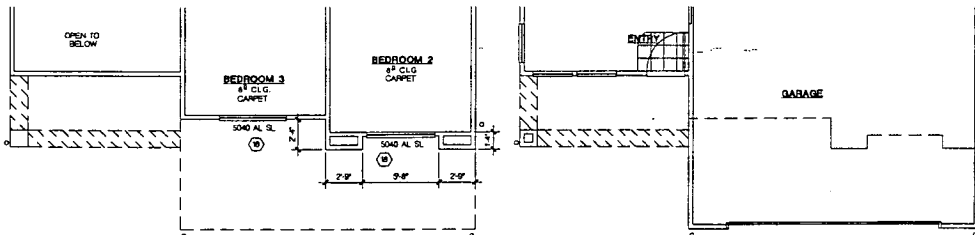
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REAR

REFER TO EXTERIOR ELEVATIONS SHEET A2-4 FOR ALL INFORMATION NOT SHOWN HERE

EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"



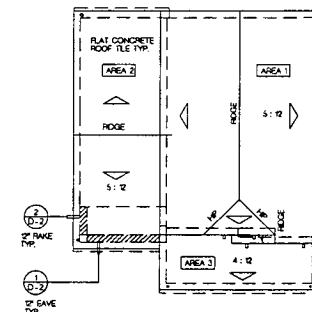
REFER TO EXTERIOR ELEVATIONS SHEET A2-4 FOR ALL INFORMATION NOT SHOWN HERE

ATTIC VENTILATION

ATTIC VENTILATION PER U.S. SEC. 1553 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE LOWER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS  
AREA 1: ATTIC SQUARE FOOTAGE = 916 SQ. FT. 1/8" DIA. END VENTS AT 108 SQ. IN EA. 2" CORNER VENTS AT 18 SQ. IN EA. 12" EAVE VENTS AT 66 SQ. IN EA. TOTAL FREE AREA = 129 SQ. IN  
AREA 2: ATTIC SQUARE FOOTAGE = 492 SQ. FT. 1/8" DIA. END VENTS AT 108 SQ. IN EA. 2" CORNER VENTS AT 18 SQ. IN EA. 12" EAVE VENTS AT 66 SQ. IN EA. TOTAL FREE AREA = 247 SQ. IN  
AREA 3: ATTIC SQUARE FOOTAGE = 172 SQ. FT. 1/8" DIA. END VENTS AT 108 SQ. IN EA. 2" CORNER VENTS AT 18 SQ. IN EA. 12" EAVE VENTS AT 66 SQ. IN EA. TOTAL FREE AREA = 209 SQ. IN

ROOF LEGEND

- INDICATES LINE OF STRUCTURE BELOW
- INDICATES ROOF OUTER
- INDICATES ROOF SLOPE
- INDICATES DOWNSPOUT IF REQUIRED
- 10 FLAT CONCRETE TILE, C80 28MP OR EQUAL, INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- 20 OVERHANGS
- 22 AT EAVE CONDITIONS (LONG)
- 30 SEE DETAIL YD-2 FOR EAVE BLOCK VENTILATION



ROOF PLAN SCALE: 1/4" = 1'-0"

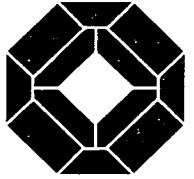
PLAN CHANGE SCALE: 1/4" = 1'-0" 4

No.	Date	Issue/Description
1	1/29/09	1ST SUBMITTAL

Consultant:

VILLA COLLECTION  
Sacramento, CA  
*Mansions Homes*

98339



KTGY GROUP INC.

17888 Mitchell South  
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(714) 861-5168  
1710 Mitchell Park

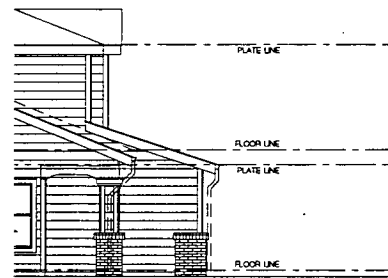
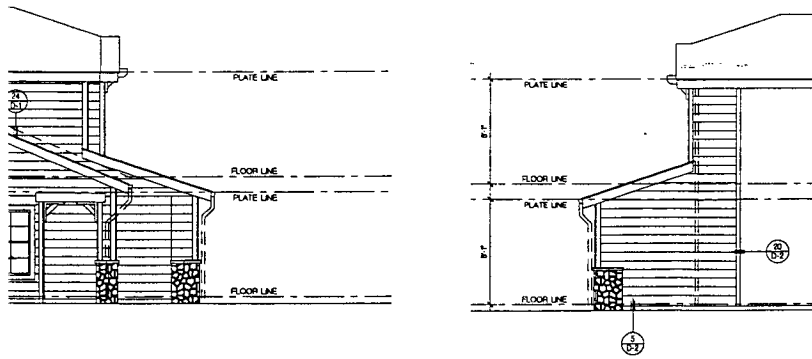
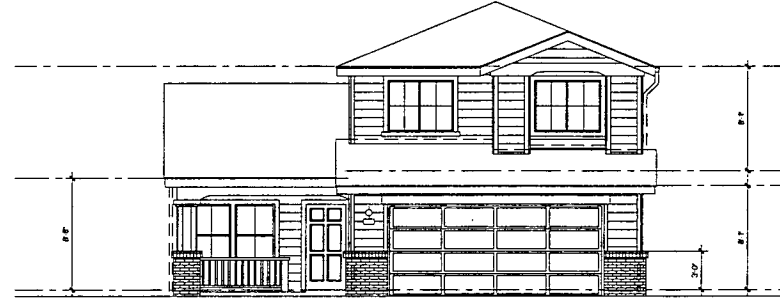
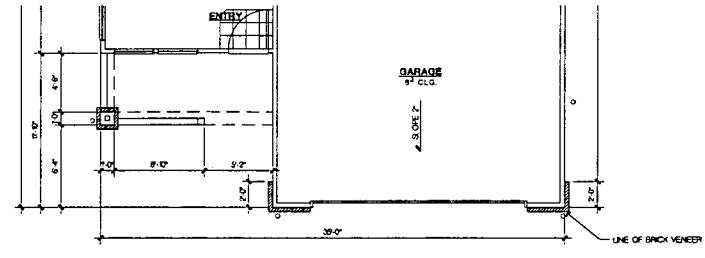
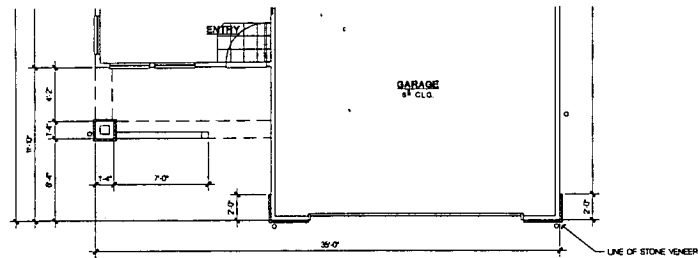
Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

Principal in Charge:	G. OREGON
Project Director:	G. TESTER
Project Architect:	G. TESTER
Project Designer:	G. OREGON
Drawn By:	F. YONGMOM
Checked By:	F. YONGMOM

Exhibit 5d  
P99-016

PLAN 1494  
EXTERIOR ELEVATION 'B'  
PLAN CHANGE &  
ROOF PLAN

Sheet No.: A2-5



No.	Date	Issue/Description
1	1/29/99	1ST SUBMITTAL

VILLA COLLECTION  
Sacramento, CA

*Mansions Homes*

98339



**KTGY GROUP, INC.**  
Architectural Firm

17986 Mitchell Branch  
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TEL: 949-261-2188  
TEL: 949-261-2189 FAX

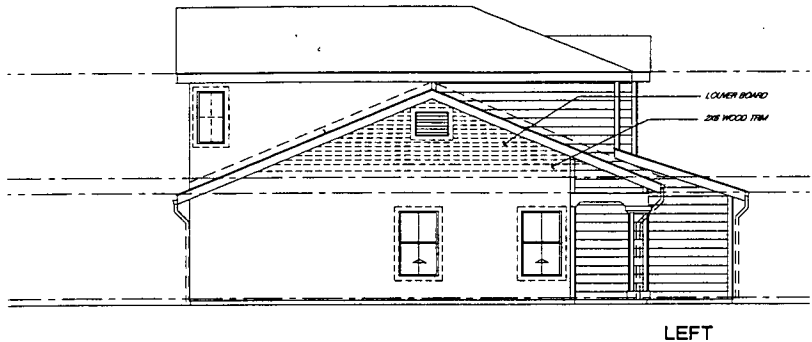
Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

Principal in Charge: G. GREERSON  
Project Director: G. TESTER  
Project Architect: G. TESTER  
Project Designer: G. GREERSON  
Drawn By: F. YONEMORI  
Checked By:

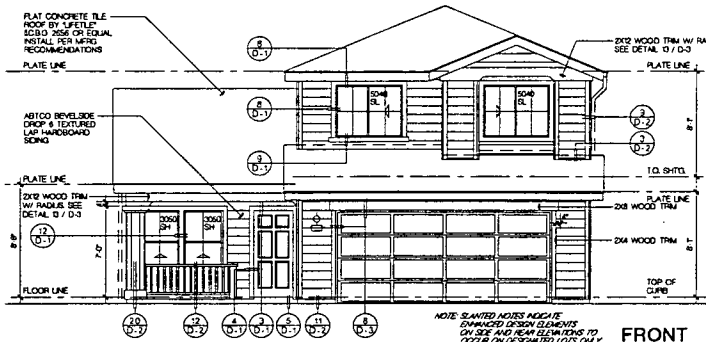
EXTERIOR MASONRY OPTIONS

Sheet No: **A2-8**

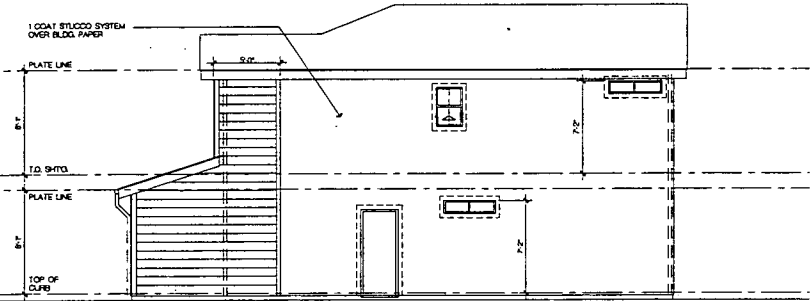
Exhibit 5e  
pgs 016



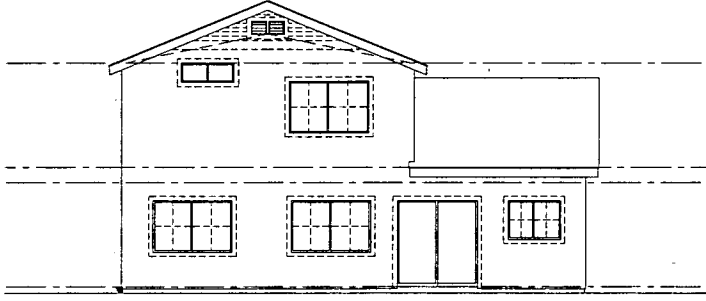
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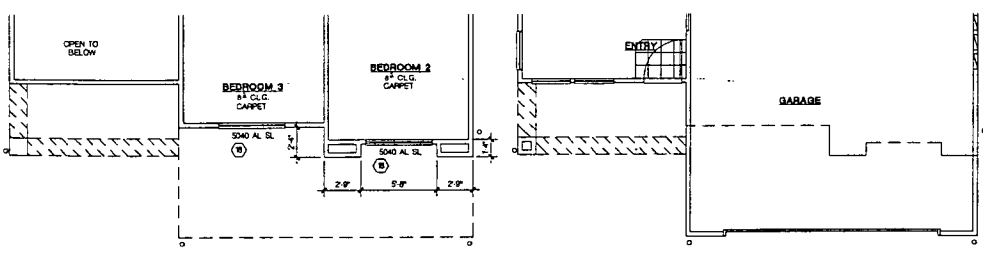
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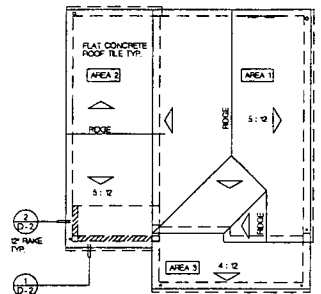
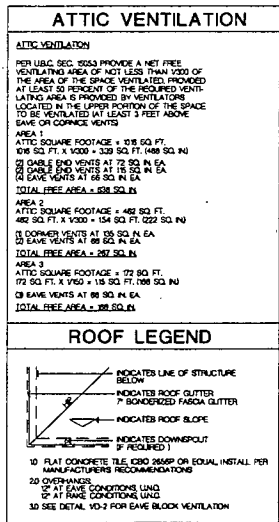
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REFER TO EXTERIOR ELEVATIONS SHEET A2-4 FOR ALL INFORMATION NOT SHOWN HERE

EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 1



REFER TO EXTERIOR ELEVATIONS SHEET A2-4 FOR ALL INFORMATION NOT SHOWN HERE



Exhibits f  
 P99-016

PLAN CHANGE SCALE: 1/8" = 1'-0" 4

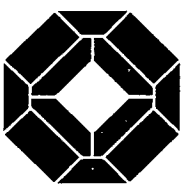
ROOF PLAN SCALE: 1/8" = 1'-0" 3

No.	Date	Issue/Description
1	1/29/99	IST. SUBMITTAL

Consultant:  
 Project:  
 17999 Mitchell Branch  
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 (714) 961-2188  
 (714) 961-2186 FAX  
 Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

VILLA COLLECTION  
 Sacramento, CA  
 Monson Homes

98339



KTGY GROUP, INC.  
 Architects/Planners  
 17999 Mitchell Branch  
 Irvine, CA 92714  
 (714) 961-2188  
 (714) 961-2186 FAX  
 Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

Principal in Charge: G. OREBROCK  
 Project Designer: G. TETTER  
 Project Architect: G. TETTER  
 Project Developer: G. OREBROCK  
 Drawn By:  
 Checked By: F. YONEMRON

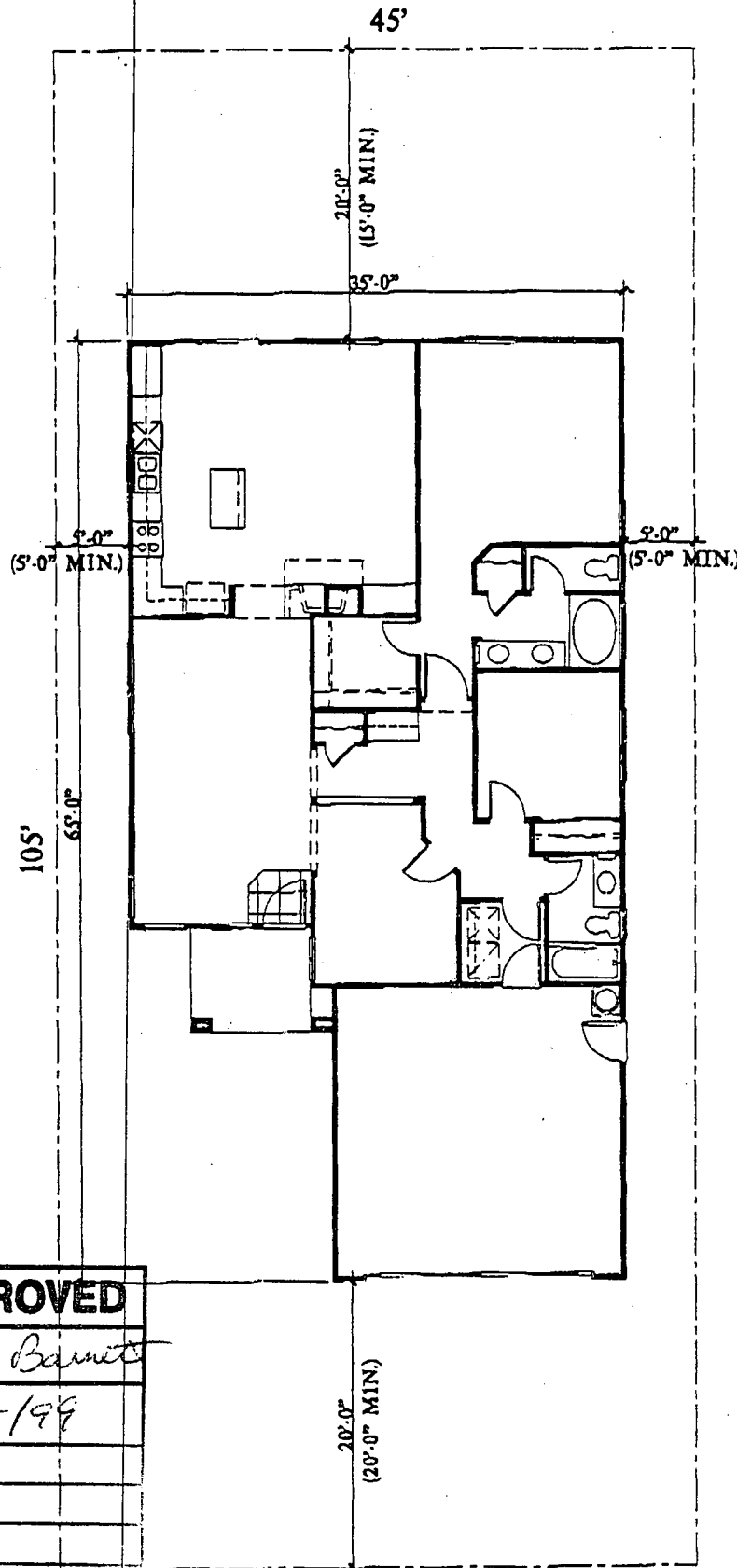
PLAN 1494  
 EXTERIOR ELEVATION 'C'  
 PLAN CHANGE &  
 ROOF PLAN

Sheet No.:

A2-6



Exhibit 6a  
P99-016



<b>NPDRC APPROVED</b>
APPROVED BY: <i>Don Barnett</i>
APPROVED DATE: <i>2/5/99</i>
COMMENTS:

ALLOWED LOT COVERAGE: 2126 SQ FT (45%)  
 ACTUAL LOT COVERAGE: 1930 SQ FT (41%)

PLAN 1510

### VILLA COLLECTION



*Building footprint and Lot Coverage needs to be verified by Morrison Homes and the City of Sacramento. Morrison Homes Lennar Communities does not guarantee the accuracy of this information.*

Project Name: KITCHEN UTILITY PLAN  
 Project No.: A5-1  
 Date: 11/10/00

# VILLA COLLECTION

Sacramento, CA

Maximum Home

98339



KITGY GROUP, INC.  
 1100 N. MARKET STREET  
 SACRAMENTO, CA 95811

Project Engineer: J. JOHNSON  
 Project Architect: G. TRIVETT  
 Project Designer: G. TRIVETT  
 Checked By: P. HARRISON

PLAN 1610  
 FLOOR PLAN  
 UTILITY PLAN

A5-1

- LEGEND**
- SLAB
  - PLAN LINE
  - 1/4" IN. WALL
  - 1/2" IN. WALL
  - ENTRY TO ROOM
  - PLATE NOTES
  - 1/2" DIA. SUPPLY
  - 1/2" DIA. SUPPLY
  - TEMPORARY SUPPLY
  - ONE LINE ONE SHELF
  - WIRE TIE
  - CABINET
  - TIE

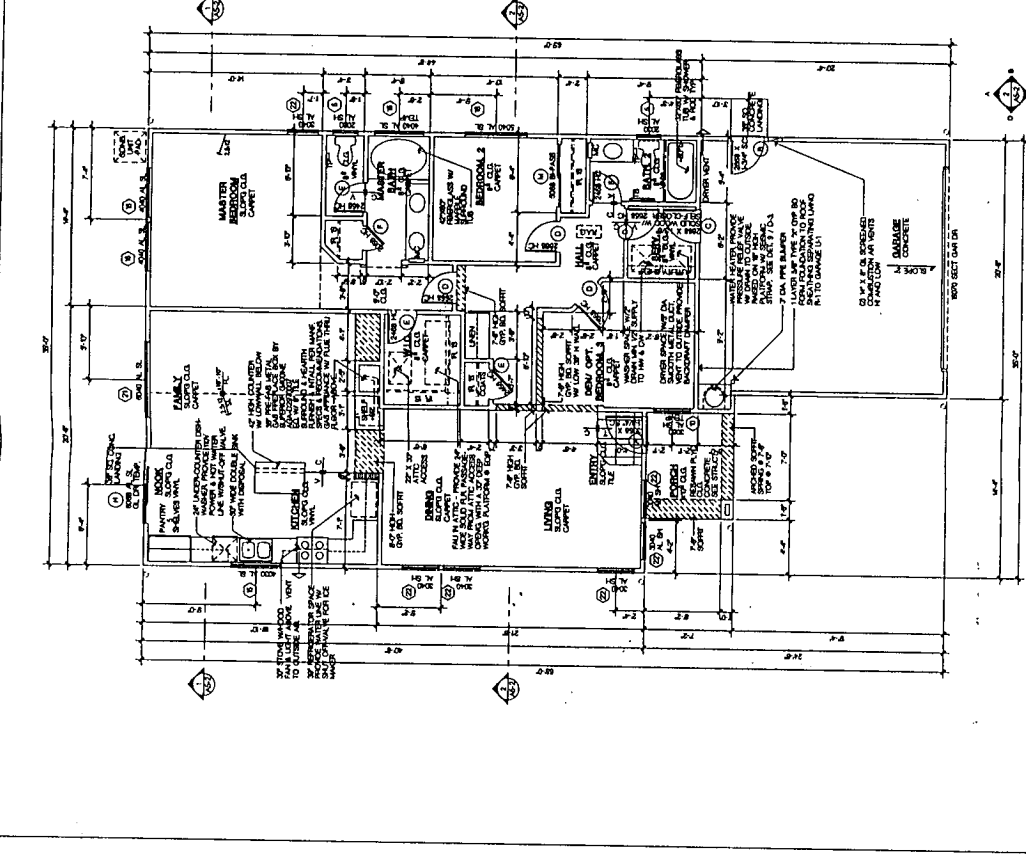
**SQUARE FOOTAGE**

FLOOR AREA	NET SF.
TOTAL	1,920 SF.
GARAGE	428 SF.

**GENERAL NOTES**

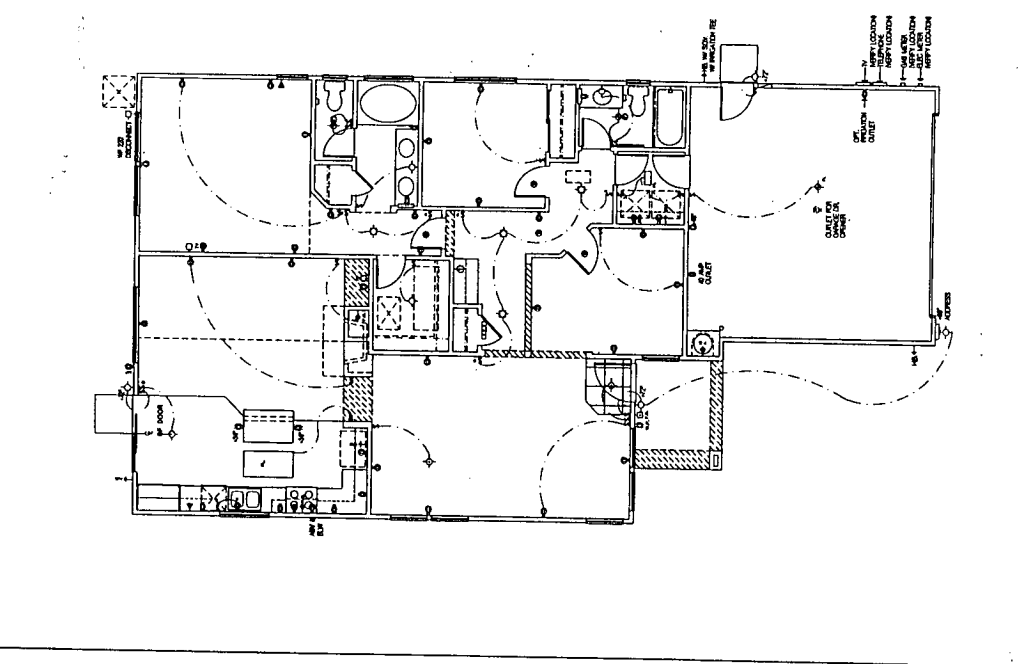
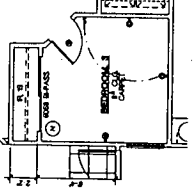
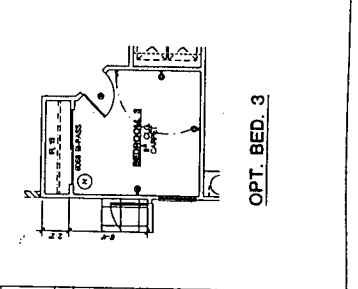
1. SLAB DETAILING SHALL BE INTERLOCKED TO THE DESIGNER'S DETAILING OF THE OVERALL FLOOR SLAB DETAILING.
2. PROVIDE LITERATURE ACCESS OPENING OVER THE LIVING ROOM AREA AS SHOWN IN THE ARCHITECTURAL FLOOR PLAN.
3. ALL WORK ON REAR PORCHES SHALL HAVE THE FINISH FLOOR ON THE REAR PORCHES WITH THE SAME FINISH AS THE FINISH FLOOR ON THE MAIN FLOOR.
4. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.
5. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.
6. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.
7. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.
8. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.
9. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.
10. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.

Exhibit 6 b  
 P99-016



**WINDOW PLANS** SCALE: 1/4" = 1'-0"

NO.	DOOR SIZE	TYPE	FINISH	SWING	FINISH
1	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
2	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
3	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
4	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
5	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
6	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
7	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
8	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
9	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
10	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
11	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
12	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
13	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
14	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
15	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
16	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
17	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
18	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
19	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
20	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
21	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.
22	3'0" X 7'0"	SL. GL. DR.	TEMP.	IN	TEMP.



**UTILITY PLAN KEYNOTES**

**PLUMBING NOTES**

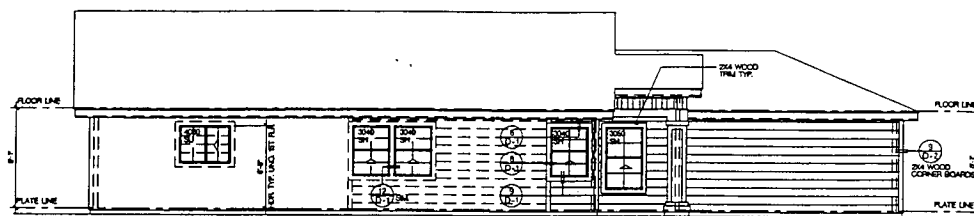
1. ALL WORK TO BE DONE BY SHOWN TRADES.
2. PROVIDE LITERATURE ACCESS OPENING OVER THE LIVING ROOM AREA AS SHOWN IN THE ARCHITECTURAL FLOOR PLAN.
3. ALL WORK ON REAR PORCHES SHALL HAVE THE FINISH FLOOR ON THE REAR PORCHES WITH THE SAME FINISH AS THE FINISH FLOOR ON THE MAIN FLOOR.
4. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.
5. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.

**Mechanical Notes**

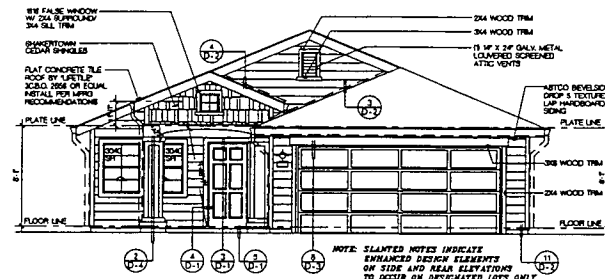
1. PROVIDE LITERATURE ACCESS OPENING OVER THE LIVING ROOM AREA AS SHOWN IN THE ARCHITECTURAL FLOOR PLAN.
2. ALL WORK ON REAR PORCHES SHALL HAVE THE FINISH FLOOR ON THE REAR PORCHES WITH THE SAME FINISH AS THE FINISH FLOOR ON THE MAIN FLOOR.
3. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.
4. FINISH FLOOR ON REAR PORCHES SHALL BE FINISH FLOOR ON THE MAIN FLOOR.

**SYMBOLS**

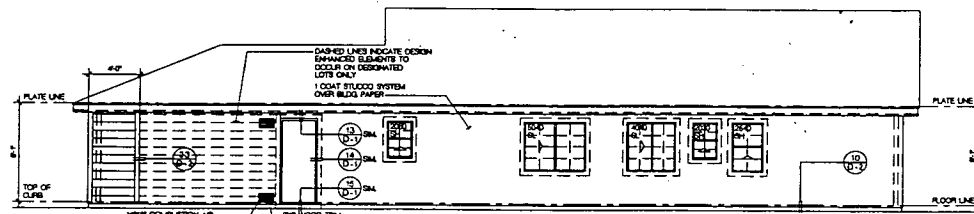
Symbol	Meaning
(Circle with cross)	1/2" DIA. SUPPLY
(Circle with dot)	TEMPORARY SUPPLY
(Circle with slash)	ONE LINE ONE SHELF
(Circle with vertical lines)	WIRE TIE
(Circle with horizontal lines)	CABINET
(Circle with diagonal lines)	TIE



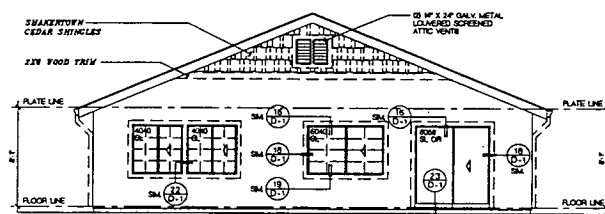
LEFT



FRONT



RIGHT



REAR

EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 1

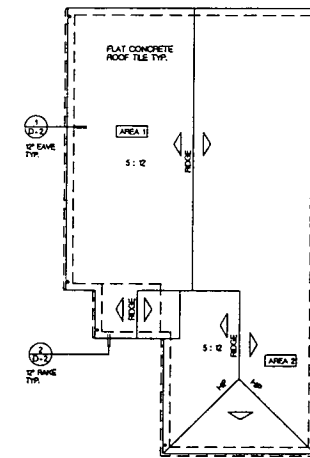
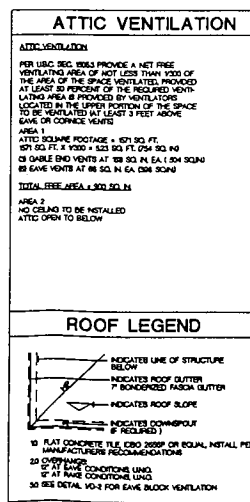


Exhibit bc  
p99-016

ROOF PLAN SCALE: 1/4" = 1'-0" 2

No.	Date	Issue/Description
	1/29/99	1ST SUBMITTAL
	2/19/99	B.D. CORRECTIONS

Consulted:

Project:  
**VILLA COLLECTION**  
 Sacramento, CA

*Morrison Homes*

98339



**KTGY GROUP, INC.**

17800 Mitchell Court  
 Irvine, CA 92714  
 (714) 851-2388  
 (714) 851-2342 FAX

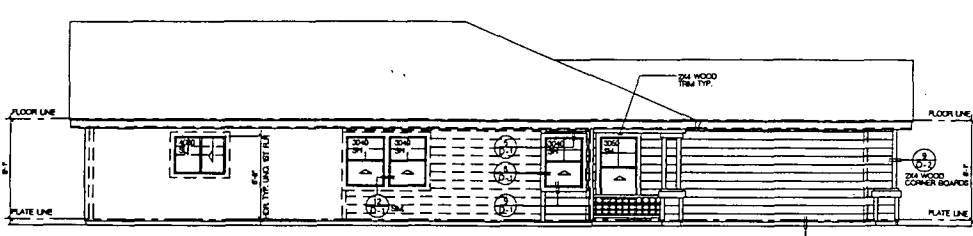
Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

Prepared in Charge:	A. BRIDGES
Project Designer:	C. TAYLOR
Project Architect:	A. BRIDGES
Project Designer:	A. BRIDGES
Drawn By:	K. YONASON

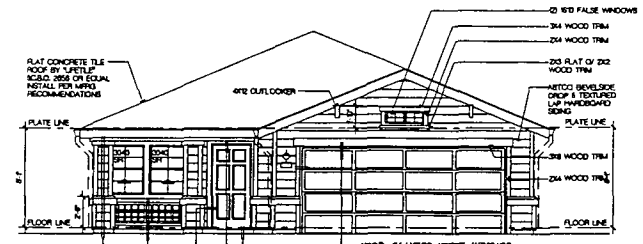
PLAN 1510  
 EXTERIOR ELEVATION "A"  
 ROOF PLAN

Sheet No.:  
**A5-3**

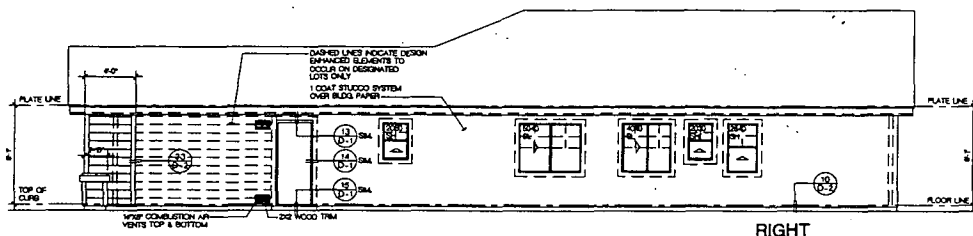
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2	3/19/99	R.D. CORRECTIONS



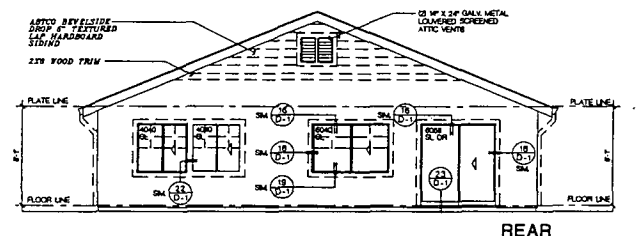
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FRONT



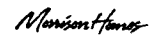
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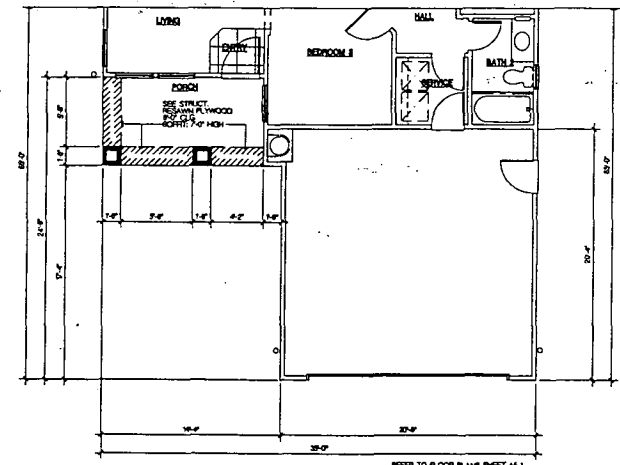
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EXTERIOR ELEVATIONS SCALE: 1/8\"/>

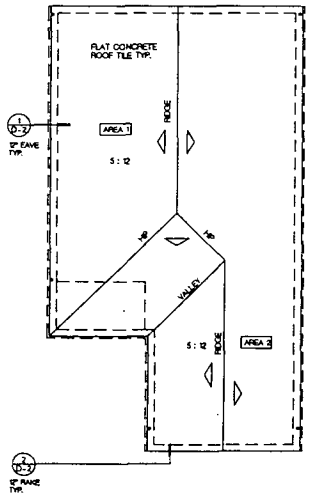
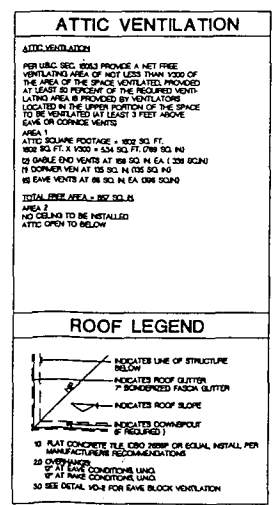
VILLA COLLECTION  
Sacramento, CA



98339



PARTIAL FLOOR PLAN SCALE: 1/8\"/>



ROOF PLAN SCALE: 1/8\"/>

Exhibit 6d  
Pg 9-016



KTGY GROUP, INC.  
17089 Mitchell South  
Irvine, CA 92714  
(714) 441-2331  
(714) 441-2348 FAX  
Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

Prepared In Charge: G. SPRECHER  
Project Designer: G. TROTTER  
Project Architect: G. TROTTER  
Project Designer: G. SPRECHER  
Drawn By: F. YONKOR

PLAN 1510  
EXTERIOR ELEVATION "B"  
ROOF PLAN  
PARTIAL FLOOR PLAN

A5-4

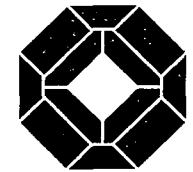


No.	Date	Issue/Description
	1/29/99	1ST SUBMITTAL
▲	3/18/99	B.D. CORRECTIONS

Contractor:

Project:  
**VILLA COLLECTION**  
 Sacramento, CA  
*Monsieur Louis*

98339

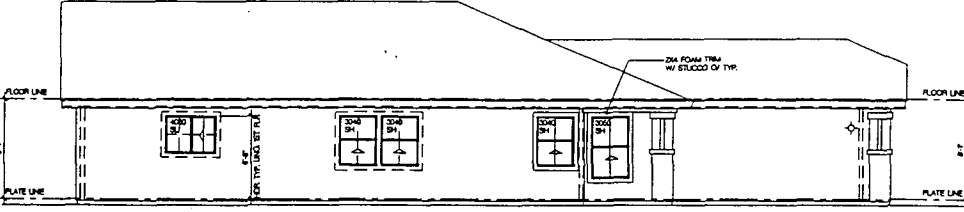


**KTGY GROUP, INC.**  
 Architects Planners  
 17699 Interball South  
 Irvine, CA 92714  
 (714) 861-6100  
 (714) 861-6145 FAX  
 Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

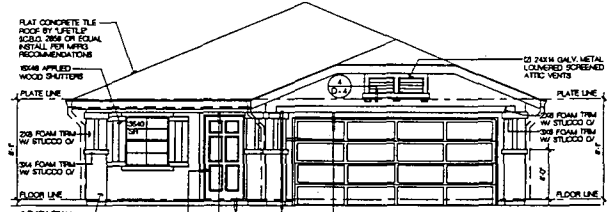
Prepared in Charge: A. GRENDSCH  
 Project Director: C. TEXTER  
 Project Architect: G. TEXTER  
 Project Designer: A. GRENDSCH  
 Drawn By:  
 Checked By: F. YONDMON

PLAN 1510  
 EXTERIOR ELEVATION 'D'  
 ROOF PLAN  
 PARTIAL FLOOR PLAN

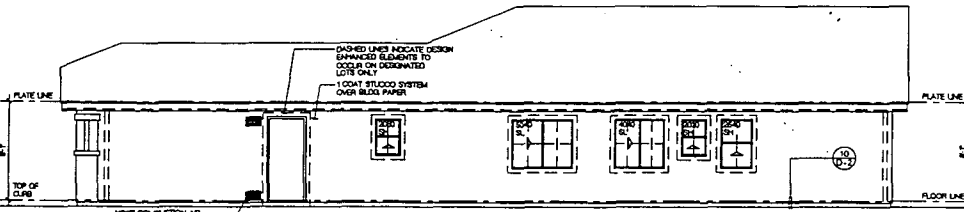
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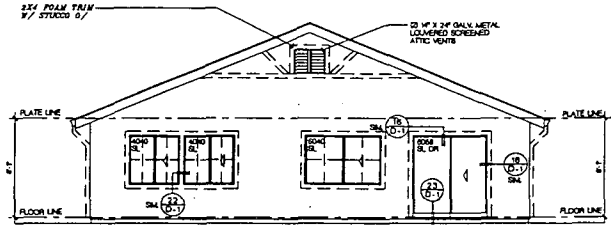
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FRONT

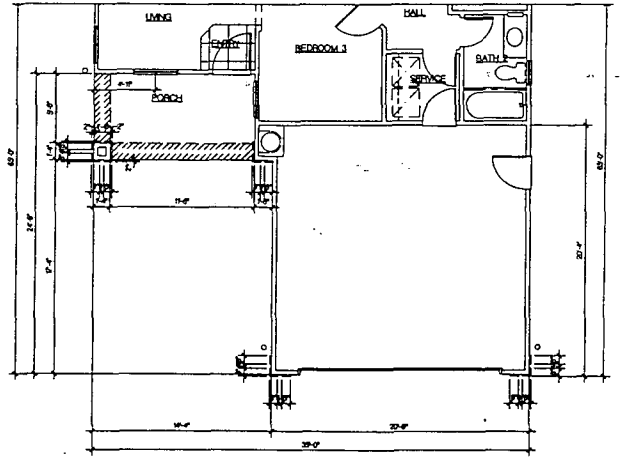


RIGHT



REAR

EXTERIOR ELEVATIONS SCALE: 3/8" = 1'-0" 1



PARTIAL FLOOR PLAN SCALE: 1/8" = 1'-0" 3

ATTIC VENTILATION

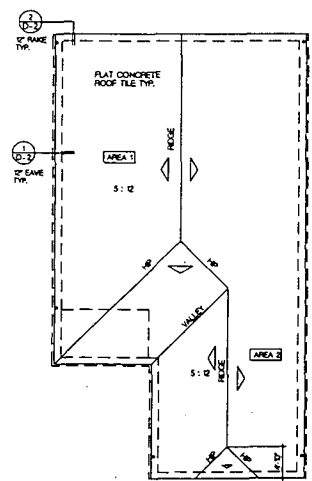
**ATTIC VENTILATION**  
 PER UFGC REG. 8043 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 1/1000 OF THE AREA OF THE SPACE VENTILATED PROVIDED AT LEAST 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY MONITORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE GABLE OR CORNICE VENTS

- 10 ATTIC DECAINE FOOTAGE = 1800 SQ. FT.
- 11 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 12 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 13 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 14 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 15 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 16 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 17 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 18 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 19 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 20 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 21 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 22 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 23 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 24 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 25 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 26 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 27 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 28 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 29 2x4 DASHED TRIM W/ STUCCO OF TYP.
- 30 2x4 DASHED TRIM W/ STUCCO OF TYP.

TOTAL NET AREA = 1800 SQ. FT.  
 AREA 2  
 NO CEILING TO BE INSTALLED  
 ATTIC OPEN TO BELOW

ROOF LEGEND

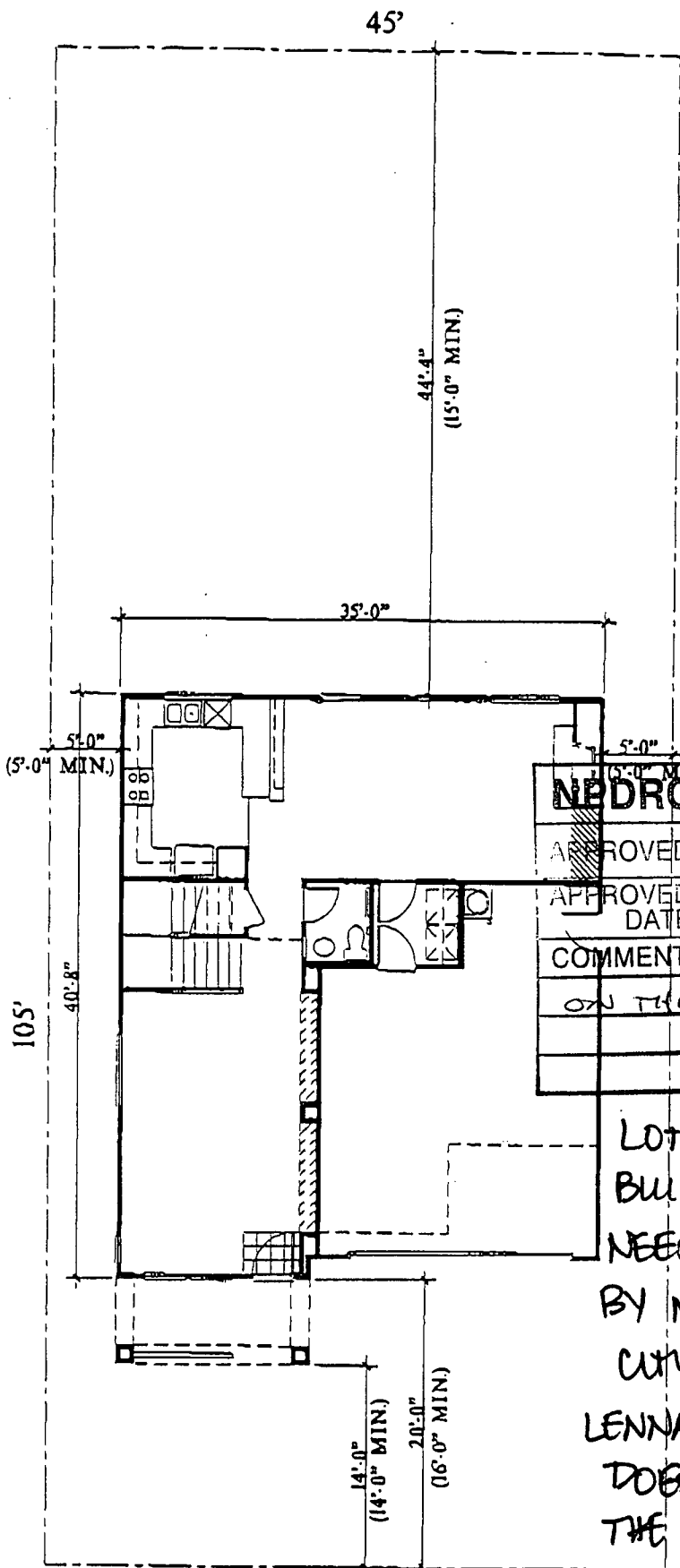
- 1 INDICATES LINE OF STRUCTURE BELOW
- 2 INDICATED ROOF GLUTTER
- 3 BONDING ROOF FASCIA GLUTTER
- 4 INDICATES ROOF SLOPE
- 5 INDICATES CHANGEOF (IF REQUIRED)
- 6 FLAT CONCRETE TILE, 2X4 FORMAL TRIM OR EQUAL, INSTALL PER MANUFACTURERS RECOMMENDATIONS
- 7 2x4 FORMAL TRIM W/ STUCCO OF TYP.
- 8 AT RARE CONDITIONS LONG
- 9 AT RARE CONDITIONS LONG
- 10 SEE DETAIL, 104 FOR GABLE BLOCK VENTILATION



ROOF PLAN SCALE: 1/8" = 1'-0" 2

Exhibit 6f P99-016

Exhibit 7a  
P99-016



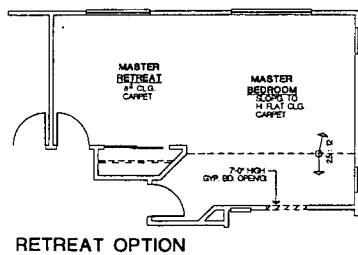
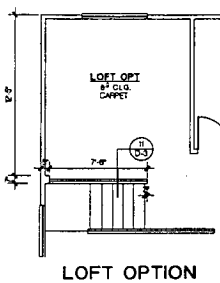
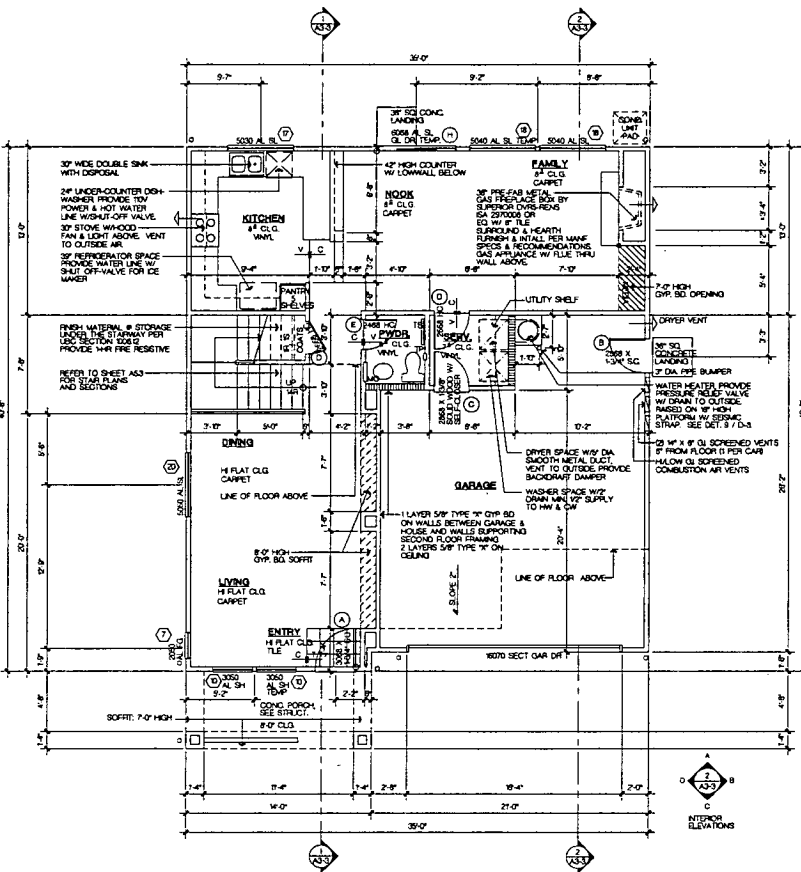
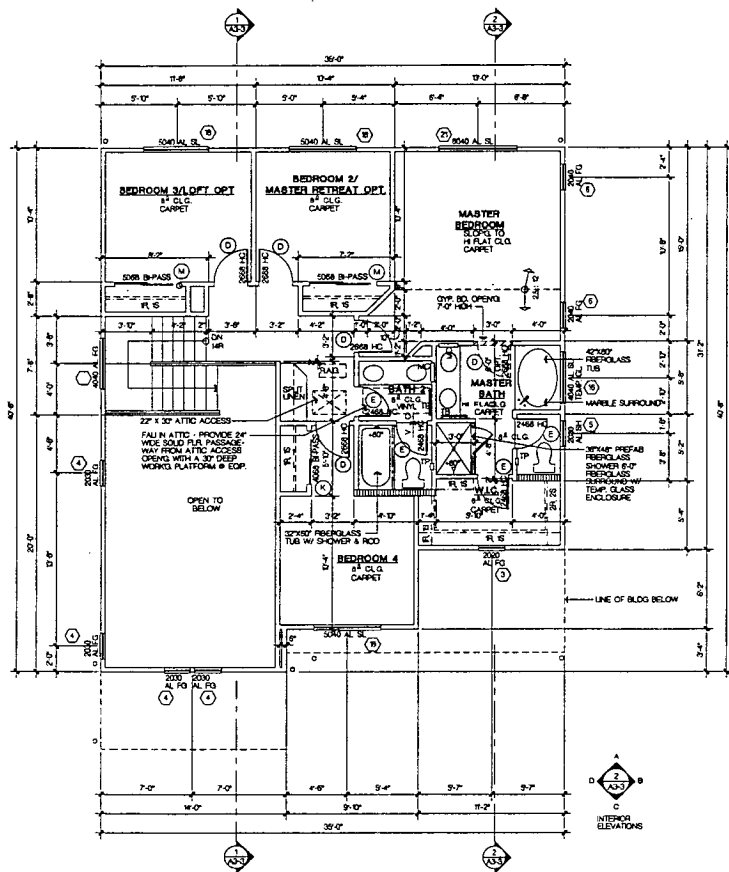
LOT COVERAGE &  
 BUILDING SETBACKS  
 NEED TO BE VERIFIED  
 BY MORRISON HOMES &  
 CITY OF SACRAMENTO.  
 LENNAR COMMUNITIES  
 DOES NOT GUARANTEE  
 THE ACCURACY OF THIS  
 INFORMATION.

PLAN 1854

ALLOWED LOT COVERAGE: 1890 SQ FT (40%)  
 ACTUAL LOT COVERAGE: 1392 SQ FT (29%)

### VILLA COLLECTION





SYM	DOOR SIZE	TYPE	REMARKS	SYM	WINDOW SIZE	TYPE	REMARKS
(A)	3'6" X 3'4"	S.C. EXT.		(1)	1'0"	FG	
B	2'6" X 3'4"	S.C. EXT.		2	1'4"	FG	TEMPERED
C	2'6" X 3'4"	SW	SELF CLOSER	3	2'0"	FG	
D	2'6" X 3'4"	H.C.		4	2'0"	FG	
E	2'6" X 3'4"	H.C.		5	2'0"	SH	
F	2'6" X 3'4"	H.C.		6	2'0"	FG	
G	3'6" X 3'4"	H.C.		7	2'0"	FG	
H	6'0"	SL. CL. DR.	TEMPERED	8	2'0"	SH	
J	PR. 2'6"	B-FOLD		9	3'0"	FG	
K	4'5"	B-PASS		10	3'5"	SH	TEMP. @ ENTRY DR.
L	4'6"	B-PASS		11	3'0"	SH	
M	5'0"	B-PASS		12	4'0"	SL	
N	6'0"	B-PASS		13	4'0"	FG	
				14	4'0"	FG	
				15	4'0"	FG	
				16	4'0"	SL	TEMP. @ BATH
				17	4'0"	SL	
				18	5'0"	SL	TEMP. @ FAMILY & COUNTRY KITCHEN
				19	5'0"	FG	
				20	5'0"	SL	
				21	6'0"	SL	

**DOOR SCHEDULE**

**WINDOW SCHEDULE**

**FLOOR PLANS**

SCALE: 1/8" = 1'-0"

1

**LEGEND**

- [Symbol] SOFFIT
- [Symbol] PLANT LEDGE
- [Symbol] 2x4 WALL BOND
- [Symbol] 2x6 WALL
- [Symbol] REFER TO FLOOR PLAN NOTES
- [Symbol] TUB SUPPLY
- [Symbol] SHOWER SUPPLY
- [Symbol] TUB/SHOWER SUPPLY
- [Symbol] ONE ADD ONE SHELF
- [Symbol] VINTI TILE
- [Symbol] CARPET
- [Symbol] TILE

**SQUARE FOOTAGE**

FLOOR AREA	
FIRST FLOOR	917 S.F.
SECOND FLOOR	937 S.F.
<b>TOTAL</b>	<b>1854 S.F.</b>
GARAGE	474 S.F.

**GENERAL NOTES**

- SMOKE DETECTORS SHALL BE INTERCONNECTED TO SOUND AN ALARM IN ALL SLEEPING AREAS OF THE DWELLING. SEE LBC SECTION 702.5.
- PROVIDE ATTIC ACCESS OPENING (22" X 30" MIN) READY ACCESSIBLE WITH A 30" MIN. CLEAR HEAD ROOM ABOVE ACCESS IN ALL ATTIC SPACES WITH A MIN. VERTICAL HEIGHT OF 30". SEE LBC SECTION 705.5.
- ALL ESCAPE AND RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 57 SF. THE MIN. NET CLEAR OPENABLE HEIGHT SHALL BE 24". THE MIN. NET CLEAR OPENABLE WIDTH SHALL BE 20" WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE. THEY SHALL HAVE A FINISHED SILL NOT MORE THAN 4" ABOVE THE FLOOR. SEE LBC SECTION 705.4.
- WINDOWS ADJACENT TO BATH TUBS MUST BE TEMPERED WITHIN 8" FROM THE TUB FLOOR. SHOWER ENCLOSURE AND DOOR AND ALSO WINDOW WHOSE NEAREST VERTICAL EDGE IS WITHIN A 2'0" RADIUS OF DOOR OR WINDOW ABOVE FINISHED FLOOR. SEE LBC SECTION 706.4.
- HEARTH EXTENSIONS OF AN APPROVED FACTORY BUILT FIREPLACE SHALL CONFORM TO THE CONDITION OF LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. SEE LBC SECTION 702.2.2.
- HEATING AND COOLING EQUIPMENT (INCLUDING WATER HEATERS) LOCATED IN A GARAGE SHALL BE INSTALLED SO THAT THE FLOORS OR BURNERS ARE AT LEAST 18" ABOVE THE FLOOR LEVEL. SEE LBC SECTION 706.3 AND 706.4.
- PROVIDE COMBUSTION AIR TO FORCED AIR UNIT PER LBC SECTION 709 AND TO WATER HEATER PER LBC SECTION 707.
- DOMESTIC DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL CORNERED HORSE AND VERT. LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE REQUIRED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO LBC SECTION 704.3.
- EXHAUST FAN IN BATH WHERE REQUIRED IN BATH AND/OR LAUNDRY ROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND MUST PROVIDE 6 AIR CHANGES PER HOUR. SEE LBC SECTION 703.3.
- ALL DIAGONAL WALLS ARE AT 45 DEGREES.
- FIRE BLOCCING IS REQUIRED HORIZ. AND VERT. AT SPACING NOT TO EXCEED 10'-0". THE USE OF INSULATION FOR FIREBLOCCING IS NOT ALLOWED.
- ON HORIZ. FRAMING SPACED 24" O.C. DRYWALL MUST RUN PERPENDICULAR TO THE FRAMING MEMBERS REGARDLESS WHETHER THE DRYWALL IS 1/2" OR 5/8" THICK.
- IN SHOWERS AND TUB/SHWR COMBO, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVE PER LBC 407.
- INDICATED DRYWALL CORNERS TO RECEIVE BALUNGE CORNER FIRM.

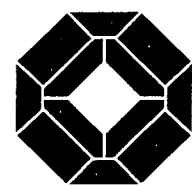
No.	Date	Issue/Description
1	1/29/99	1ST SUBMITTAL

Consultant:

**VILLA COLLECTION**  
Sacramento, CA

*Mansion Homes*

98339



**KTG GROUP, INC.**

17995 Mitchell Blvd.  
Irvine, CA 92714  
(714) 861-3100  
(714) 861-8196 FAX

Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

Project in Charge: G. GREENSON  
Project Designer: G. TROTTER  
Project Architect: G. GREENSON  
Drawn By:  
Checked By: F. YONEMON

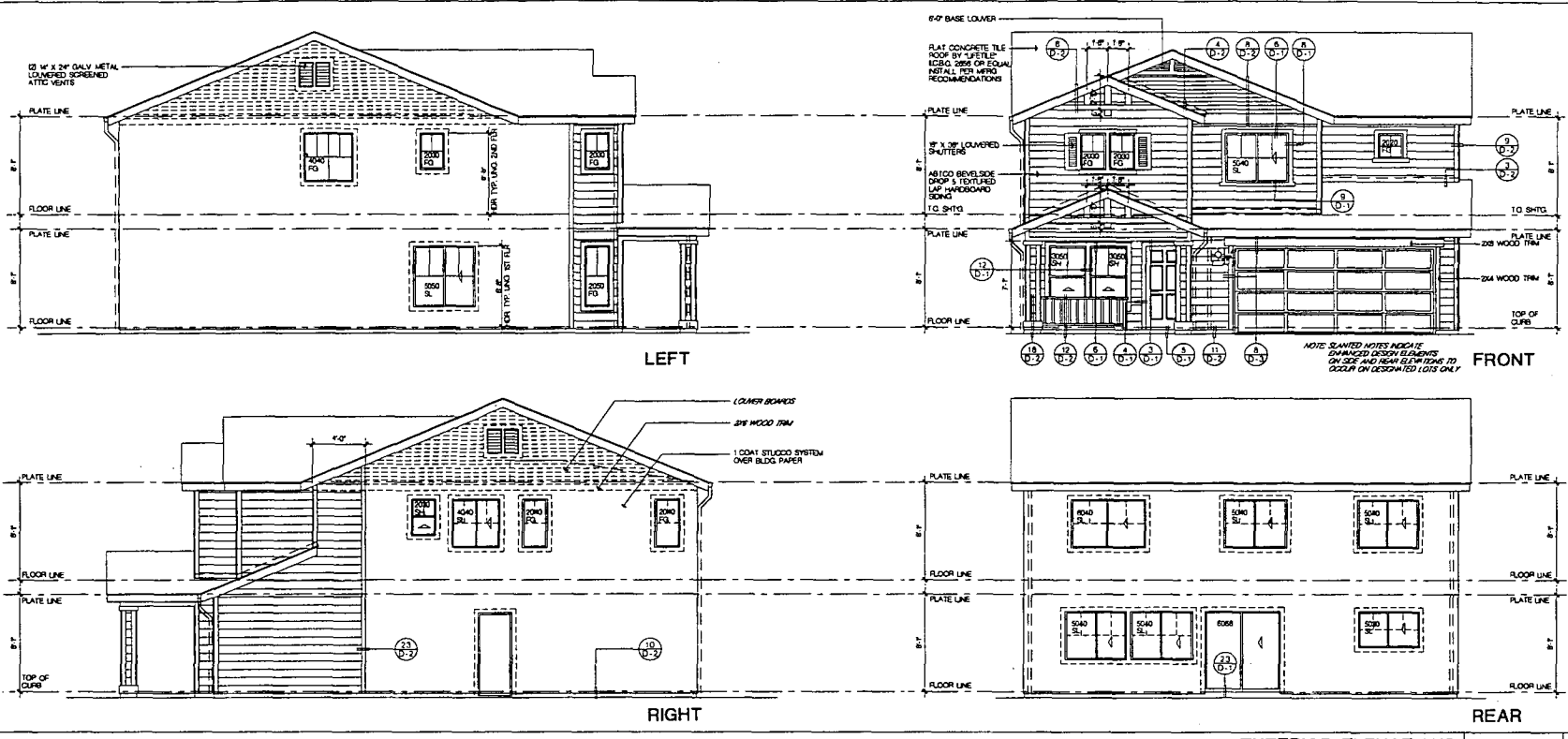
PLAN 1854  
FLOOR PLANS

Sheet No.:

**A3-1**

Exhibit 7b  
P99-016

SCALE: 1/8" = 1'-0"



No.	Date	Issue/Description
	1/29/99	IST. SUBMITTAL

VILLA  
COLLECTION  
Sacramento, CA

*Monson Homes*

98339

EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 1

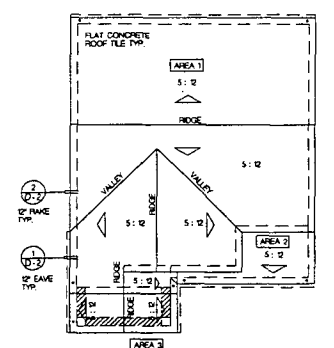
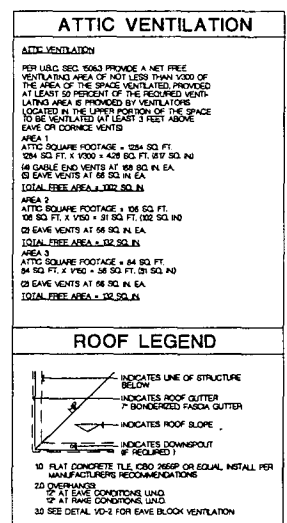


Exhibit 7c  
P99-016

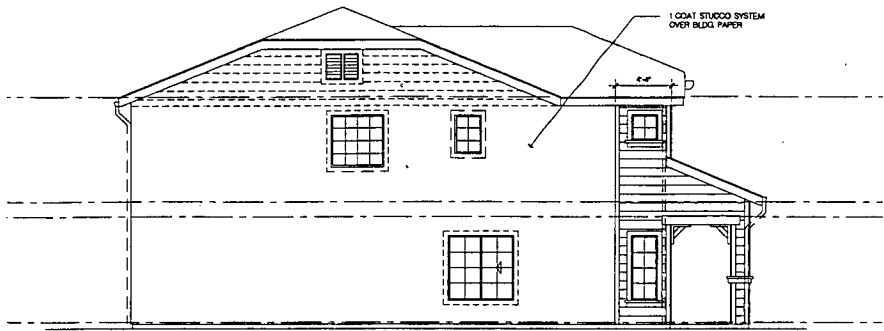
ROOF PLAN SCALE: 1/8" = 1'-0" 2



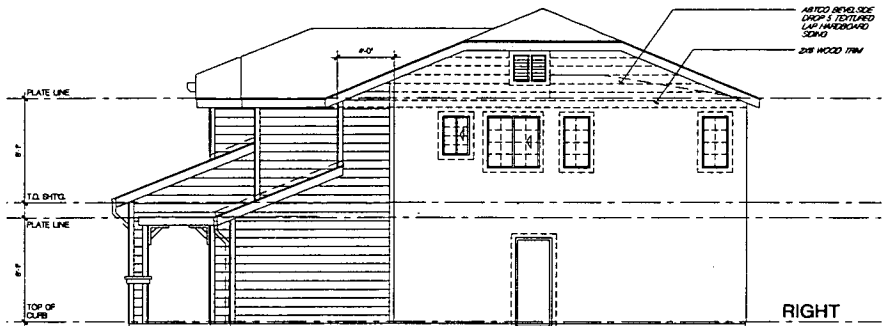
Principal in Charge: G. GREGSON  
Project Director: C. TEXTER  
Project Architect: C. TEXTER  
Project Designer: G. GREGSON  
Drawn By: F. YONGKORN

PLAN 1854  
EXTERIOR ELEVATION "A"  
ROOF PLAN

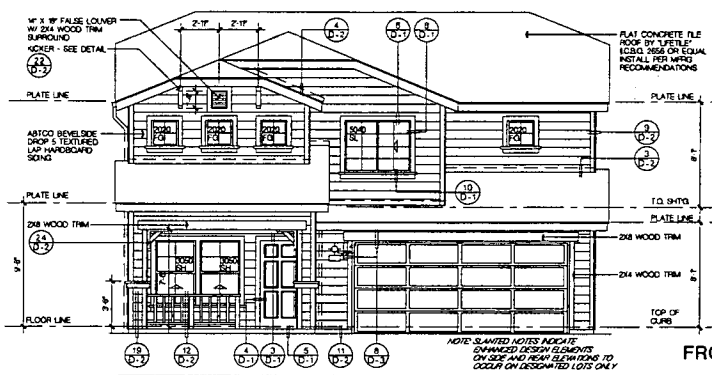
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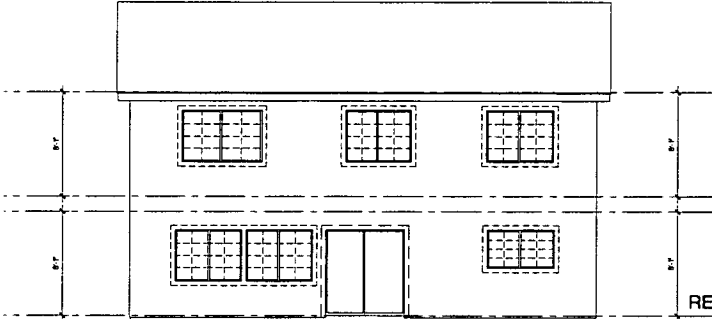
LEFT



RIGHT



FRONT



REAR

REFER TO EXTERIOR ELEVATIONS SHEET AS-4 FOR ALL INFORMATION NOT SHOWN HERE

EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 1

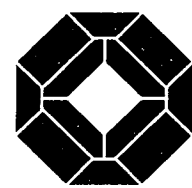
No.	Date	Issue/Description
1/19/99		1ST SUBMITTAL

Consultant:

VILLA COLLECTION  
Sacramento, CA

Mansuet Homes

98339



KTGY GROUP, INC.  
Architects Planner

17999 Mitchell Branch  
Irvine, CA 92714  
(714) 881-2188  
(714) 881-8164 FAX

Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

Principal in Charge: G. GREGSON  
Project Director: G. TEXTER  
Project Architect: G. TEXTER  
Project Designer: G. GREGSON  
Drawn By:  
Checked By: F. YONEMORN

PLAN 1854  
EXTERIOR ELEVATION "B"  
PLAN CHANGE &  
ROOF PLAN

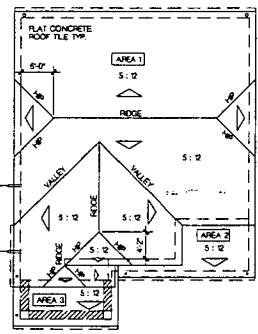
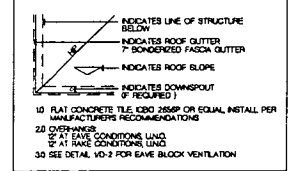
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A3-5

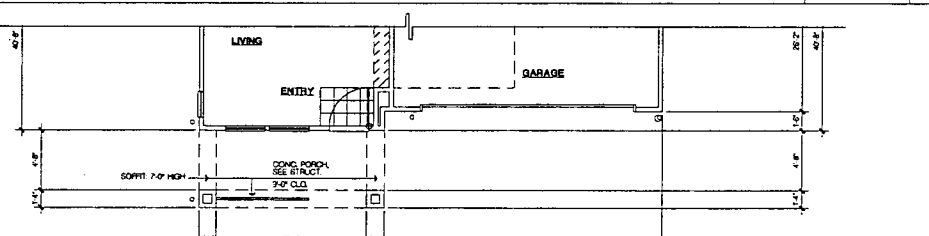
**ATTIC VENTILATION**

**ATTIC VENTILATION**  
PER USC SEC. 6003 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 1/600 OF THE AREA OF THE SPACE VENTILATED, PROVIDED AT LEAST 18 INCHES OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS)  
AREA 1  
ATTIC SQUARE FOOTAGE = 1284 SQ. FT.  
1284 SQ. FT. X 1/600 = 428 SQ. FT. 878 SQ. IN.  
16 GABLE END VENTS AT 68 SQ. IN. EA.  
16 GABLE END VENTS AT 75 SQ. IN. EA.  
26 EAVE VENTS AT 68 SQ. IN. EA.  
TOTAL FREE AREA = 177 SQ. IN.  
AREA 2  
ATTIC SQUARE FOOTAGE = 108 SQ. FT.  
108 SQ. FT. X 1/600 = 36 SQ. FT. 792 SQ. IN.  
20 EAVE VENTS AT 68 SQ. IN. EA.  
TOTAL FREE AREA = 136 SQ. IN.  
AREA 3  
ATTIC SQUARE FOOTAGE = 64 SQ. FT.  
64 SQ. FT. X 1/600 = 21 SQ. FT. 470 SQ. IN.  
20 EAVE VENTS AT 68 SQ. IN. EA.  
TOTAL FREE AREA = 102 SQ. IN.

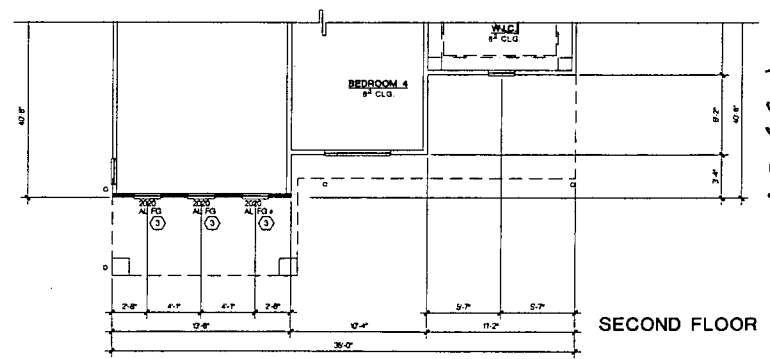
**ROOF LEGEND**



ROOF PLAN SCALE: 1/8" = 1'-0" 3



FIRST FLOOR



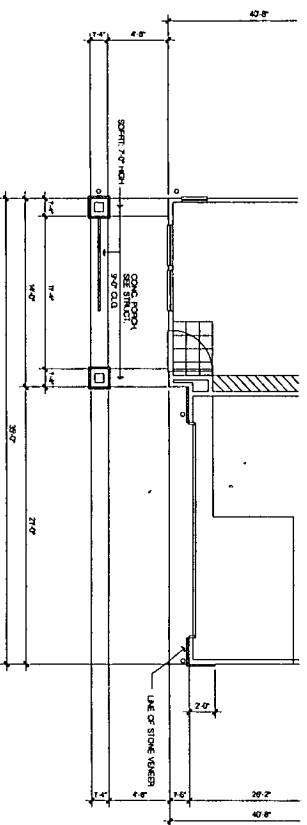
SECOND FLOOR

REFER TO FLOOR PLAN SHEET AS-1 FOR ALL INFORMATION NOT SHOWN HERE

PARTIAL FLOOR PLANS SCALE: 1/8" = 1'-0" 2

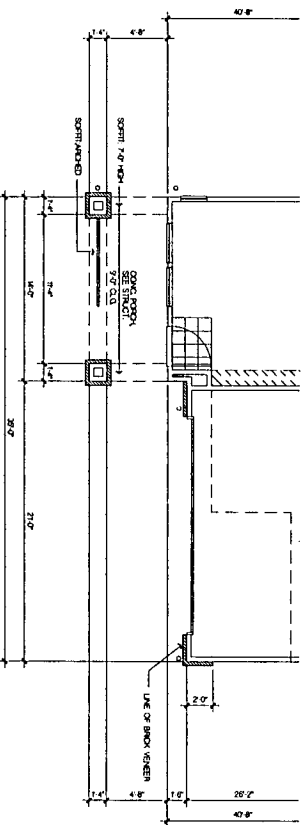
Exhibit 7d  
 Pg 9-01b

DATE: 4.01.99



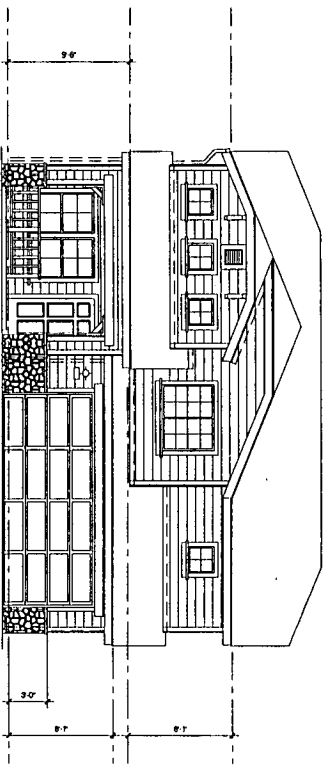
REFER TO FLOOR PLAN SHEET A4-1  
FOR ALL INFORMATION NOT SHOWN HERE

1854 B FLOOR PLAN SCALE: 1/4" = 1'-0" 1

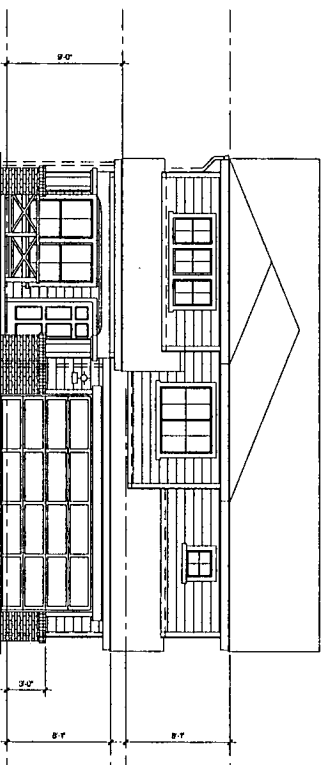


REFER TO FLOOR PLAN SHEET A4-1  
FOR ALL INFORMATION NOT SHOWN HERE

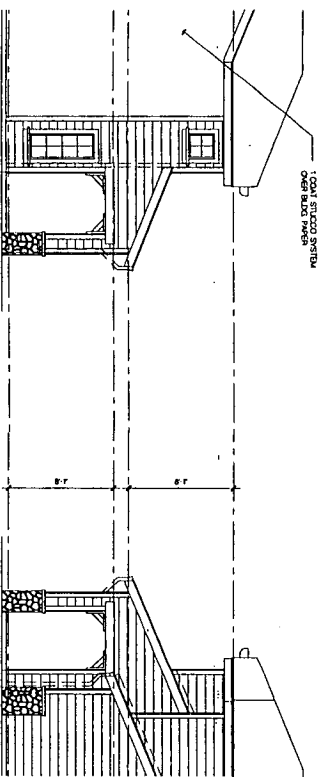
1854 C FLOOR PLAN SCALE: 1/4" = 1'-0" 1



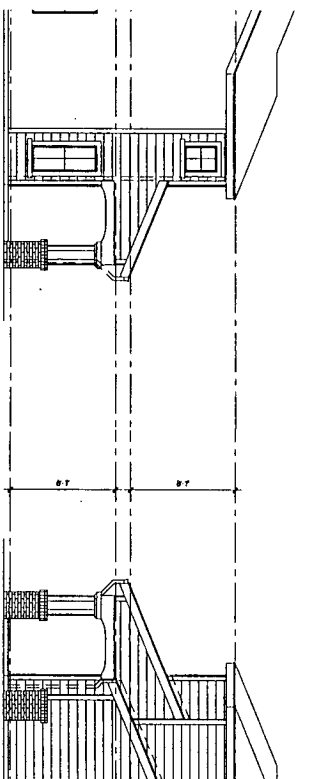
E1B - Plan 1854  
REFER TO EXTERIOR ELEVATIONS SHEET A4-4  
FOR ALL INFORMATION NOT SHOWN HERE  
FRONT ELEVATION SCALE: 1/4" = 1'-0" 2



E1C Plan 1854  
REFER TO EXTERIOR ELEVATIONS SHEET A4-4  
FOR ALL INFORMATION NOT SHOWN HERE  
FRONT ELEVATION SCALE: 1/4" = 1'-0" 2



EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 3



PARTIAL FLOOR PLANS SCALE: 1/4" = 1'-0" 2

No. Date Revision

1/29/98 1ST. SUBMITTAL

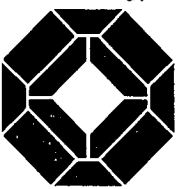
Comments:

Project:

VILLA  
COLLECTION  
Sacramento, CA

*Newton Homes*

98339



KTY GROUP

17000 Highway 99  
Folsom, CA 95630  
7080 BARNETT PARK  
SACRAMENTO, CA 95829

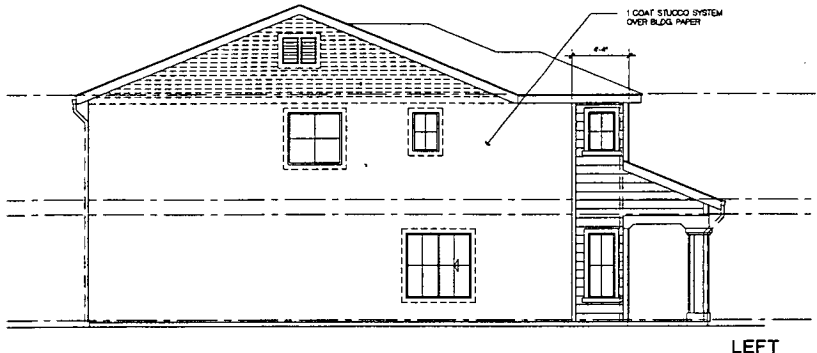
Tina, California  
For: Landerale, Florida  
Bakersfield, Thailand

Project in Charge: D. ORSHAN  
Project Designer: G. TAYLOR  
Project Designer: G. TAYLOR  
Project Designer: G. ORSHAN  
Checked By: A. THOMPSON

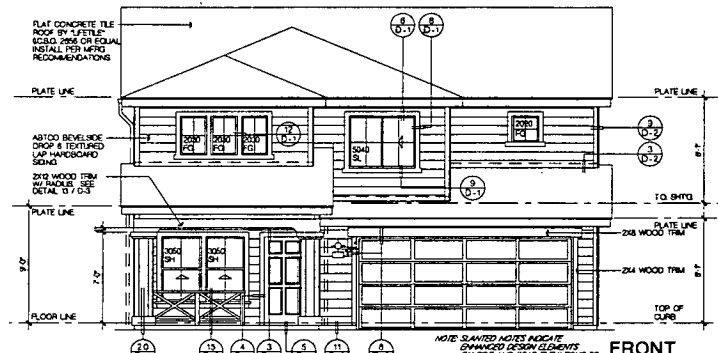
EXTERIOR MASONRY  
OPTIONS

Sheet No.:

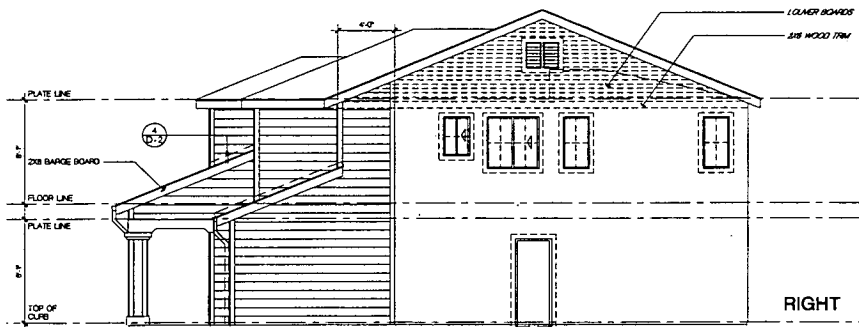
A3-8



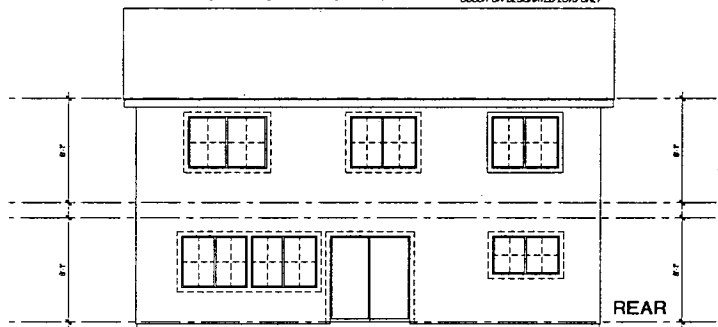
LEFT



FRONT



RIGHT



REAR

REFER TO EXTERIOR ELEVATIONS SHEET A3-4 FOR ALL INFORMATION NOT SHOWN HERE

EXTERIOR ELEVATIONS

SCALE: 1/4\"/>

98339

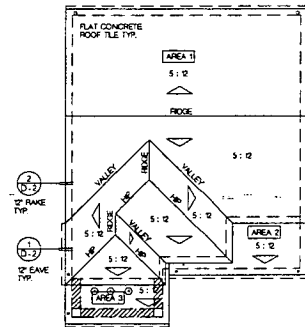
ATTIC VENTILATION

**ATTIC VENTILATION**  
 PER USC SEC. 5543 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 7000 OF THE AREA OF THE SPACE VENTILATED, PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS.

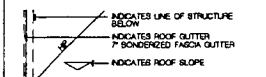
**AREA 1**  
 ATTIC SQUARE FOOTAGE = 1284 SQ. FT.  
 1284 SQ. FT. x 0.003 = 3.85 SQ. FT. (819 SQ. IN.)  
 10 GABLE END VENTS AT 68 SQ. IN. EA.  
 11 GABLE END VENTS AT 110 SQ. IN. EA.  
 12 EAVE VENTS AT 68 SQ. IN. EA.  
 TOTAL FREE AREA = 177 SQ. IN.

**AREA 2**  
 ATTIC SQUARE FOOTAGE = 108 SQ. FT.  
 108 SQ. FT. x 0.003 = 0.32 SQ. FT. (102 SQ. IN.)  
 10 EAVE VENTS AT 68 SQ. IN. EA.  
 TOTAL FREE AREA = 102 SQ. IN.

**AREA 3**  
 ATTIC SQUARE FOOTAGE = 64 SQ. FT.  
 64 SQ. FT. x 0.003 = 0.19 SQ. FT. (51 SQ. IN.)  
 10 EAVE VENTS AT 68 SQ. IN. EA.  
 TOTAL FREE AREA = 102 SQ. IN.



ROOF LEGEND

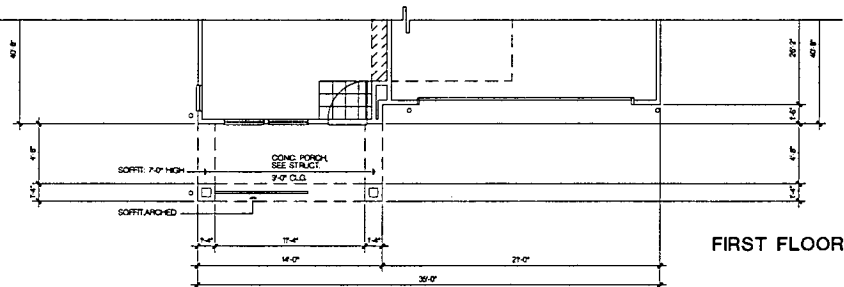


**10** FLAT CONCRETE TILE 1200 255P OR EQUAL INSTALL PER MANUFACTURER'S RECOMMENDATIONS  
**22** OVERHANGS  
 AT FINISH  
 TO MATCH MANUFACTURER'S RECOMMENDATIONS  
**23** AT SAME CONDITIONS UNLESS NOTED OTHERWISE

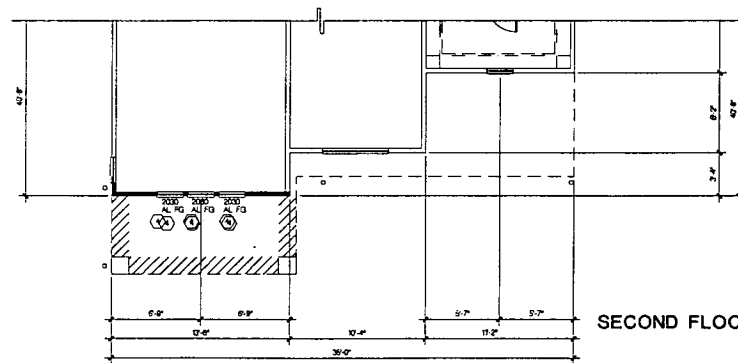
ROOF PLAN

SCALE: 1/8\"/>

3



FIRST FLOOR



SECOND FLOOR

REFER TO FLOOR PLAN SHEET A3-1 FOR ALL INFORMATION NOT SHOWN HERE

PARTIAL FLOOR PLANS

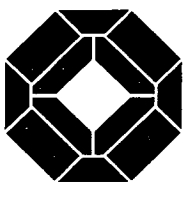
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2

No.	Date	Issue/Description
1	1/29/99	IST. SUBMITTAL

Project:  
**VILLA COLLECTION**  
 Sacramento, CA

*Monisman Homes*



**KTGY GROUP, INC.**  
 Architects

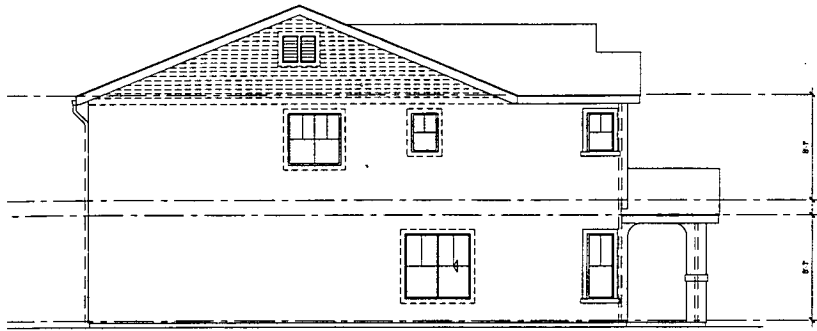
17992 Mitchell Ranch  
 Irvine, CA 92714  
 (714) 961-1168  
 (714) 961-6199 FAX  
 Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

Prepared in Charge: G. GONSHON  
 Project Designer: G. YETTER  
 Project Architect: C. TEXTER  
 Project Designer: G. GONSHON  
 Drawn By:  
 Checked By: F. YONGMANN

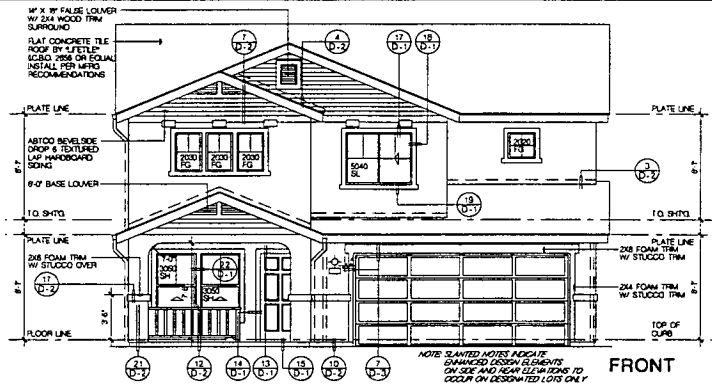
PLAN 1854  
 EXTERIOR ELEVATION 'C'  
 PLAN CHANGE &  
 ROOF PLAN

A3-6

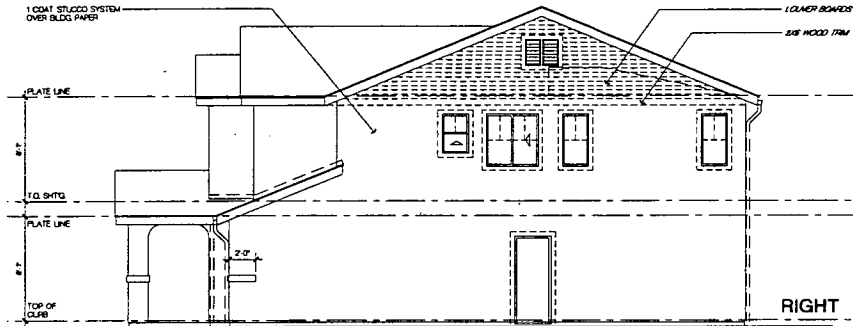
EXHIBIT 'C' P99-016



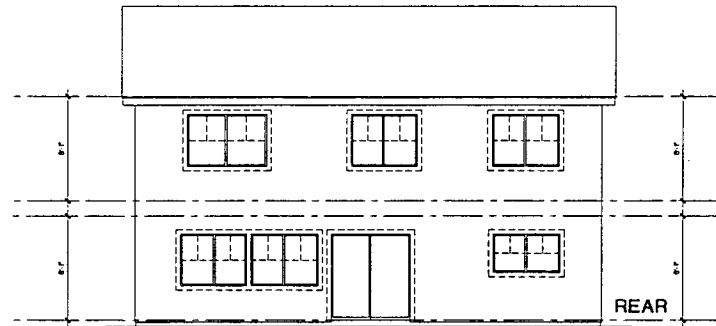
LEFT



FRONT



RIGHT



REAR

REFER TO EXTERIOR ELEVATIONS SHEET AS-4 FOR ALL INFORMATION NOT SHOWN HERE

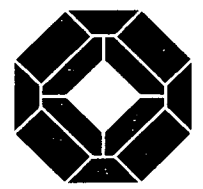
EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0" 1

No.	Date	Issue/Description
1	1/29/99	IST. SUBMITTAL

Project:  
**VILLA COLLECTION**  
Sacramento, CA  
*Mansions Homes*

98339



KTGY GROUP, INC.  
Architects Planning

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Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

Prepared in Charge: G. GREENSON  
Project Designer: G. TEXTER  
Project Architect: G. TEXTER  
Project Designer: G. GREENSON  
Drawn By: F. YONGKING  
Checked By: F. YONGKING

Exhibit 79  
#99016

### ATTIC VENTILATION

ATTIC VENTILATION

PER UBC SEC. 5203 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 70% OF THE AREA OF THE SPACE VENTILATED, PROVIDED AT LEAST 30 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

**AREA 1**  
ATTIC SQUARE FOOTAGE = 1284 SQ. FT.  
1284 SQ. FT. X .70% = 900 SQ. FT. 817 SQ. IN.  
10 GABLE END VENTS AT 56 SQ. IN. EA.  
11 GABLE END VENTS AT 75 SQ. IN. EA.  
20 EAVE VENTS AT 56 SQ. IN. EA.  
TOTAL FREE AREA = 1177 SQ. IN.

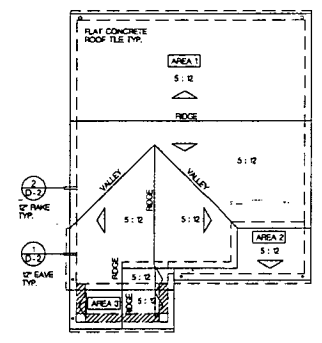
**AREA 2**  
ATTIC SQUARE FOOTAGE = 108 SQ. FT.  
108 SQ. FT. X .70% = 76 SQ. FT. 678 SQ. IN.  
20 EAVE VENTS AT 56 SQ. IN. EA.  
TOTAL FREE AREA = 92 SQ. IN.

**AREA 3**  
ATTIC SQUARE FOOTAGE = 64 SQ. FT.  
64 SQ. FT. X .70% = 45 SQ. FT. 391 SQ. IN.  
20 EAVE VENTS AT 56 SQ. IN. EA.  
TOTAL FREE AREA = 120 SQ. IN.

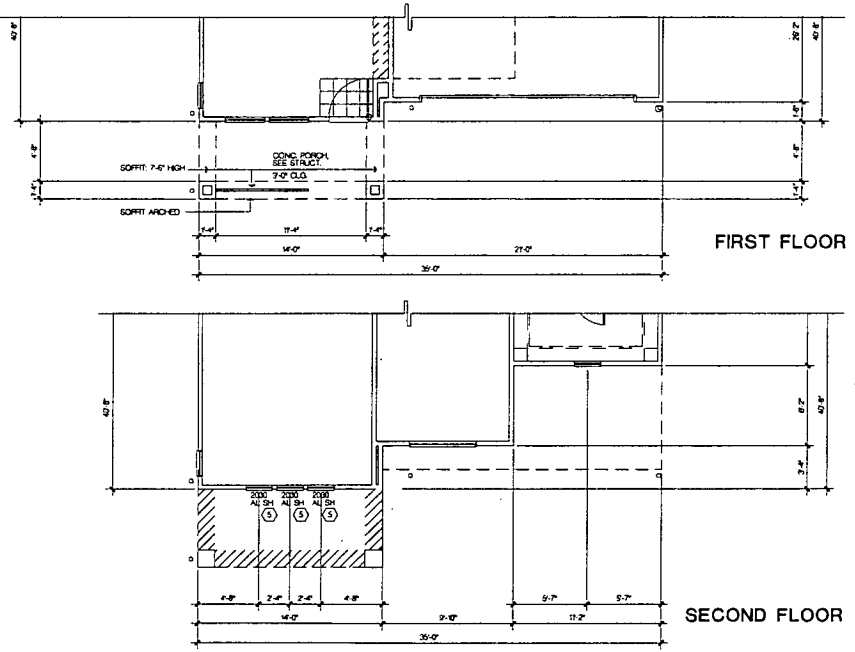
### ROOF LEGEND

- INDICATES LINE OF STRUCTURE BELOW
- INDICATES ROOF CUTTER
- 7" BOMBERZED FINISH CUTTER
- INDICATES ROOF SLOPE
- INDICATES DOWNSLOPE (IF REQUIRED)

- 1) FLAT CONCRETE TILE, 1200 265P OR EQUAL, INSTALL PER MANUFACTURERS RECOMMENDATIONS
- 2) OVERHANG 6" AT EAVE, 4" AT GUTTER, 4" AT RAKE, 4" AT RAKE CONDITIONS, 4" UNID.
- 3) SEE DETAIL VD-2 FOR EAVE BLOCK VENTILATION



ROOF PLAN SCALE: 1/4" = 1'-0" 3

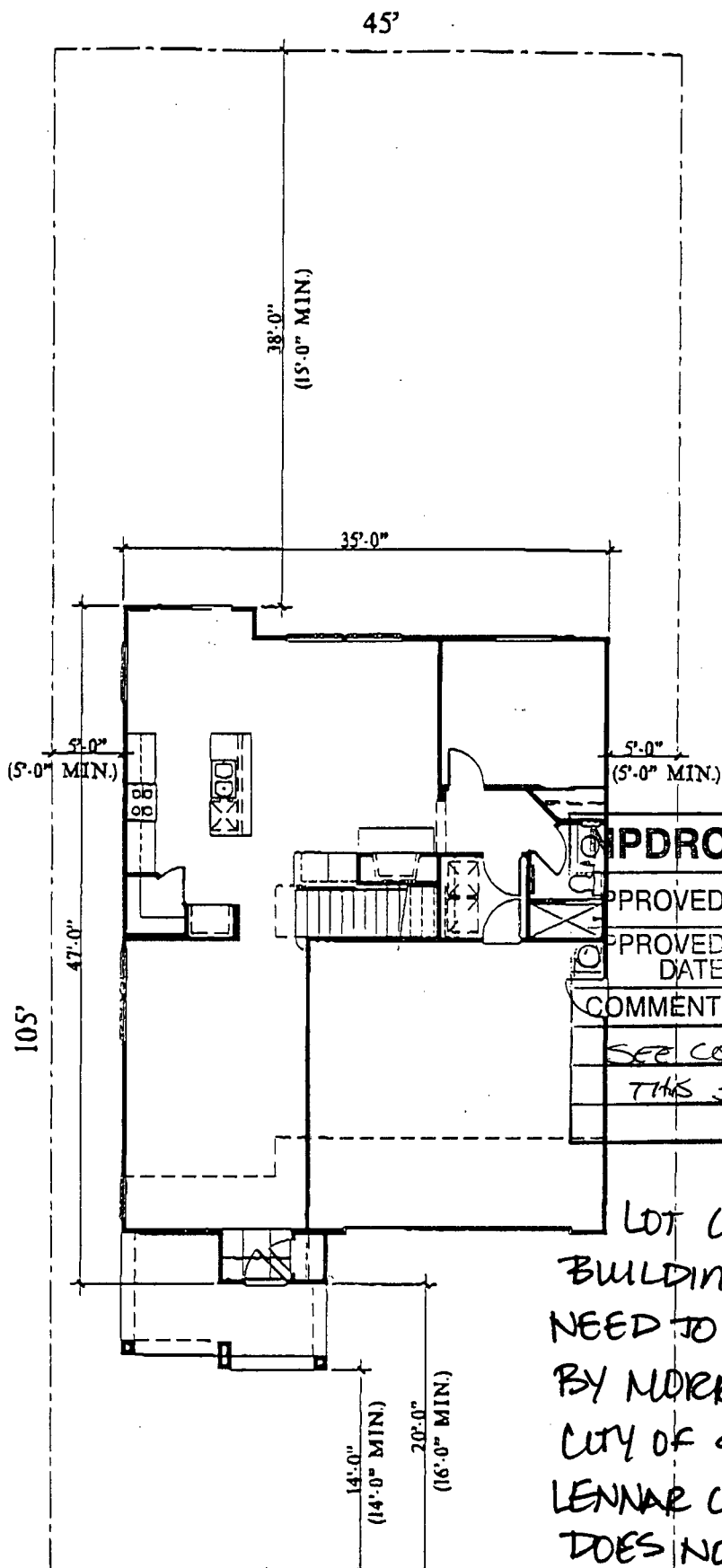


PARTIAL FLOOR PLANS SCALE: 1/4" = 1'-0" 2

REFER TO FLOOR PLAN, SHEET AS-1 FOR ALL INFORMATION NOT SHOWN HERE

A3-7

Exhibit 8a  
P99-016



<b>PDRC APPROVED</b>
APPROVED BY: <i>Don Barnett</i>
APPROVED DATE 2/4/99
COMMENTS:
<i>SEE COMMENTS ON THIS SHEET</i>

LOT COVERAGE &  
 BUILDING SETBACKS  
 NEED TO BE VERIFIED  
 BY MORRISON HOMES &  
 CITY OF SACRAMENTO.  
 LENNAR COMMUNITIES  
 DOES NOT GUARANTEE  
 THE ACCURACY  
 OF THIS INFORMATION.

PLAN 2265

ALLOWED LOT COVERAGE: 1890 SQ FT (40%)  
 ACTUAL LOT COVERAGE: 1500 SQ FT (32%)

### VILLA COLLECTION

*Morrison Homes*



**LEGEND**

- SOFFIT
- PLANT LEDGE
- 7/8" WALL RADIUS
- 3/8" WALL
- REFER TO FLOOR PLAN NOTES
- TUB SUPPLY
- SHOWER SUPPLY
- TUB/SHOWER SUPPLY
- ONE ROD ONE SHELF
- VIPIF TILE
- CARPET
- TILE

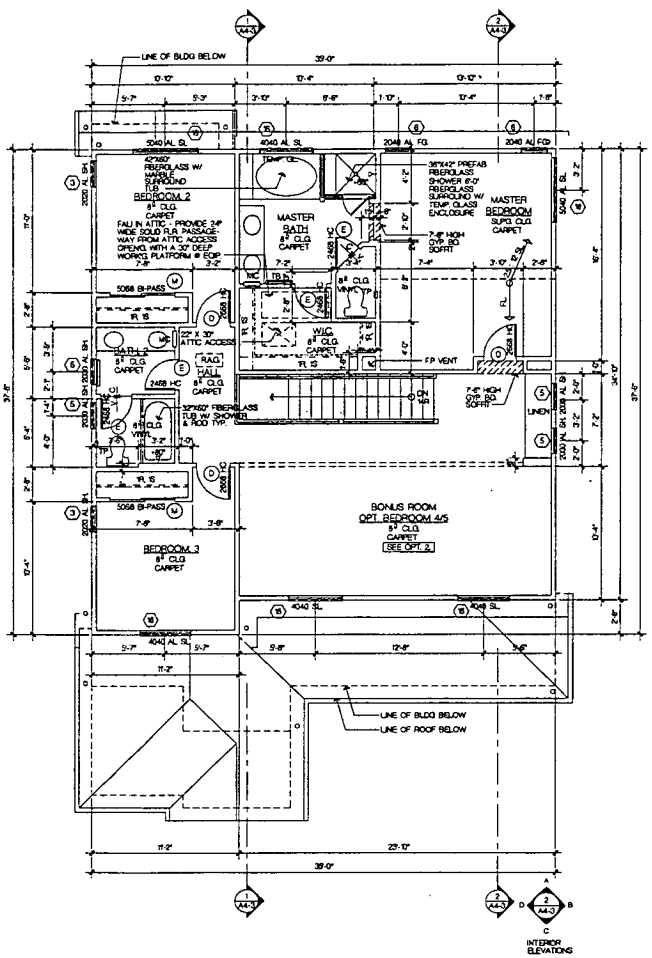
No.	Date	Issue/Description
1/29/09	1ST SUBMITTAL	

**SQUARE FOOTAGE**

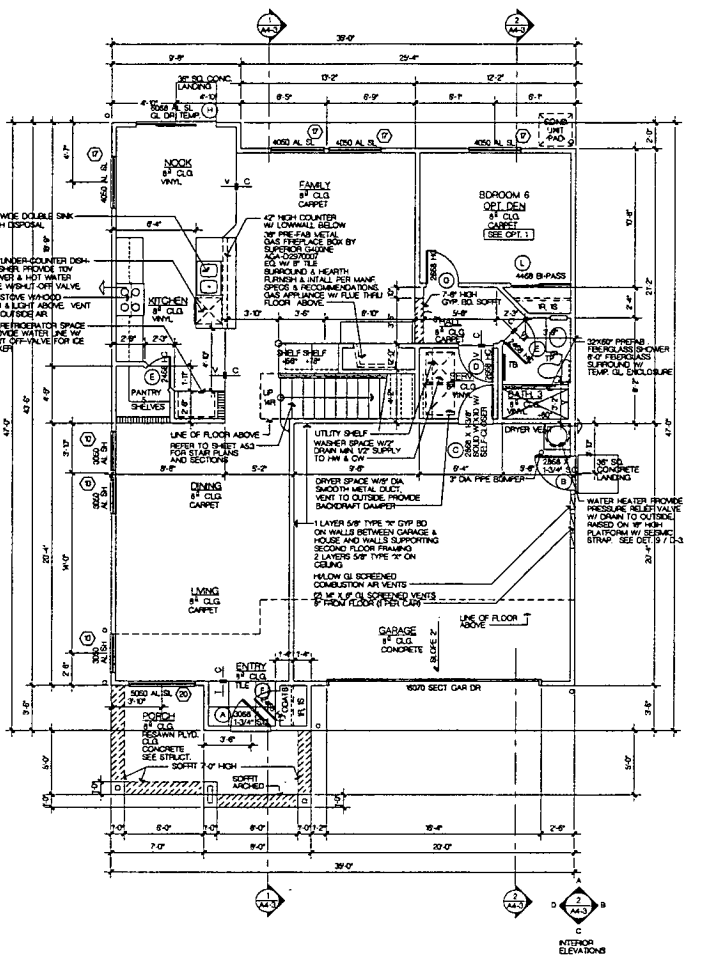
FLOOR AREA	SQ. FT.
FIRST FLOOR	1588 S.F.
SECOND FLOOR	1886 S.F.
TOTAL	2,288 S.F.
GARAGE	474 S.F.

**GENERAL NOTES**

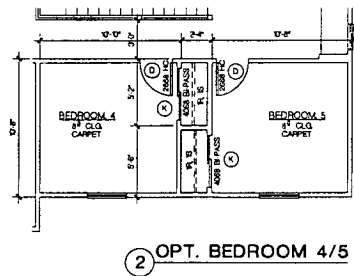
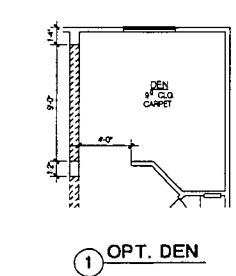
- SMOKE DETECTORS SHALL BE INTERCONNECTED TO SOUND AN ALARM IN ALL SLEEPING AREAS OF THE DWELLING UNLESS OTHERWISE SPECIFIED.
- PROVIDE ATTIC ACCESS OPENING (22"x30" MIN) READILY ACCESSIBLE WITH A 30" MIN CLEAR HEAD ROOM ABOVE ACCESS IN ALL ATTIC SPACES WITH A MIN VERTICAL HEIGHT OF 30". SEE SECTION 5051.
- ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN NET CLEAR OPENABLE AREA OF 57 SF. THE MIN NET CLEAR OPENABLE HEIGHT SHALL BE 24". THE MIN NET CLEAR OPENABLE WIDTH SHALL BE 20" WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE. THEY SHALL HAVE A FINISHED SILL NOT MORE THAN 4" ABOVE THE FLOOR. SEE SECT. 5024.
- WINDOWS ADJACENT TO BATH TUBS MUST BE TEMPERED WITHIN 8" OF FROM THE TUB. SHOWER ENCLOSURE AND DOOR AND ALSO WINDOW WHOSE NEAREST VERTICAL EDGE IS WITHIN A 4' RADIUS OF DOOR OR WITHIN 7" ABOVE FINISHED FLOORING. SEE 2064.
- HEARTH EXTENSIONS OF AN APPROVED FACTORY BUILT FIREPLACE SHALL CONFORM TO THE CONDITION OF LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. SEE SECT. 3025.3.
- HEATING AND COOLING EQUIPMENT INCLUDING WATER HEATERS LOCATED IN A GARAGE SHALL BE INSTALLED SO THAT THE FLUES OR BURNERS ARE AT LEAST 18" ABOVE THE FLOOR LEVEL. EAC SEC 3082, UPC 845, UPC 3040.
- PROVIDE COMBUSTION AIR TO FORCED AIR UNIT PER LMC SECTION 507 AND TO WATER HEATER PER LMC SECTION 507.
- DOMESTIC DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZ. AND VERT. LENGTH OF 10 FEET, INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO EAC SEC. 6043.
- EXHAUST FAN IN BATH WHERE REQUIRED IN BATH AND/OR LAUNDRY ROOMS MUST CONNECT DIRECTLY TO THE OUTSIDE AND MUST PROVIDE 1/8" CHANGES PER HOUR. EAC SECTION 5038.
- ALL DIAGONAL WALLS ARE AT 45 DEGREES.
- IF BLOCCING IS REQUIRED HORIZ. AND VERT. AT SPACING NOT TO EXCEED 18". THE USE OF INJECTION FOR FLOORING IS NOT ALLOWED.
- ON HORIZ. FRAMING SPACED 24" O.C. DRYPWALL MUST RUN PERPENDICULAR TO THE FRAMING MEMBERS REGARDLESS WHETHER THE DRYPWALL IS 1/2" OR 5/8" THICK.
- IN SHOWERS AND TUB/SHOWER COMBO, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER UPC 4121.
- Ø INDICATES DRYWALL CORNERS TO RECEIVE BULLDOZE CORNER FRM.



**SECOND FLOOR**



**FIRST FLOOR**



SYM	DOOR SIZE	TYPE	REMARKS	SYM	WINDOW SIZE	TYPE	REMARKS
(A)	3066 X1 3/4"	SG EXT		(1)	213	FG	
B	2888 X1 3/4"	SG EXT.		2	1420	FG	TEMPERED
C	2888 X1 3/8"	SW	SELF CLOSER	3	2020	FG	
D	2658 X1 3/8"	HC		4	2030	FG	
E	2458 X1 3/8"	HC		5	2030	SH	
F	2058 X1 3/8"	HC		6	2040	FG	
G	858 X1 3/8"	HC		7	2050	FG	
H	8056	SL GL DR	TEMPERED	8	2050	SH	
J	21 2658	BI-FLO		9	3040	FG	
K	4056	BI-PASS		10	3250	SH	
L	4458	BI-PASS		11	3350	SH	TEMP @ ENTRY DR.
M	5058	BI-PASS		12	4016	SL	
N	5058	BI-PASS		13	4920	FG	
				14	4030	FG	
				15	4030	SL	
				16	4540	SL	TEMP @ BATH
				17	4050	SL	
				18	5040	SL	TEMP @ FAMILY & COUNTRY KITCHEN
				19	5050	FG	
				20	5050	SL	
				21	6040	SL	

**DOOR SCHEDULE WINDOW SCHEDULE FLOOR PLANS**

**VILLA COLLECTION**  
Sacramento, CA

*Merrison Homes*

**98339**



**KTGY GROUP, INC.**  
Architectural Planning

17822 Mitchell South  
Irvine, CA 92714  
(714) 881-3188  
(714) 881-3190 FAX

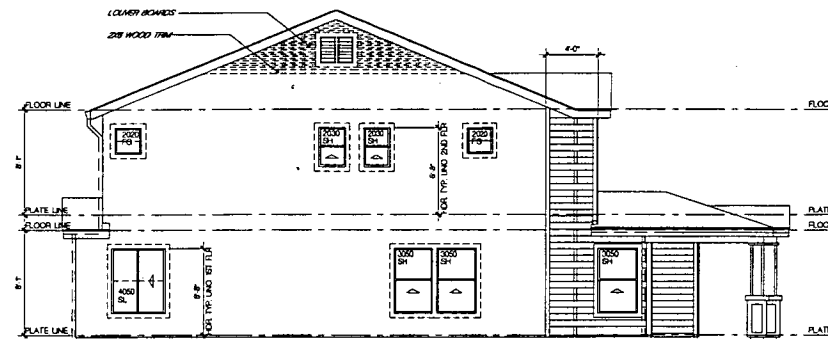
Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

Project In Charge: G. GREBSON  
Project Director: G. TETTER  
Project Architect: G. GREBSON  
Project Designer: G. GREBSON  
Drawn By: F. YONEMONE

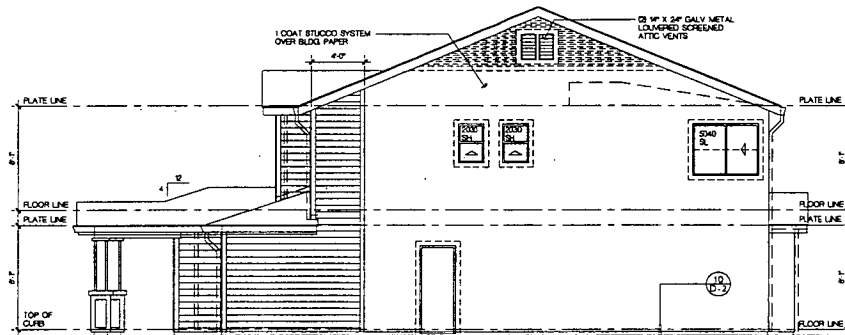
**PLAN 2265**  
**FLOOR PLANS**

Sheet No.:

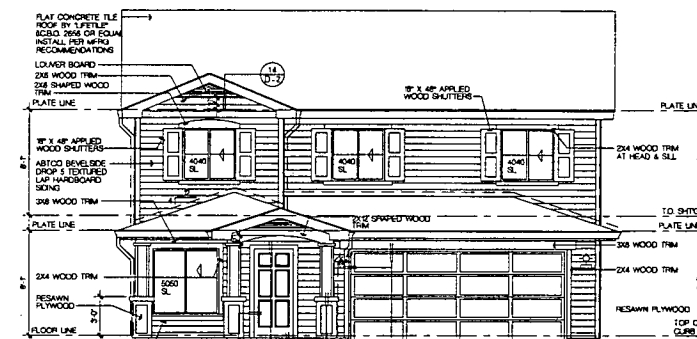
Exhibit 8b  
 Pgs 216



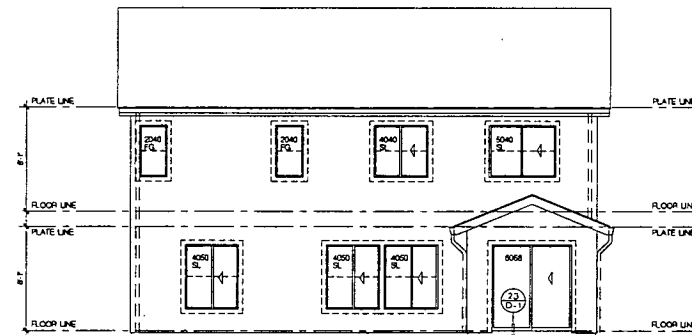
LEFT



RIGHT



FRONT



REAR

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

No.	Date	Issue/Description
	1/29/20	1ST SUBMITTAL

Consultant:

Project:  
**VILLA COLLECTION**  
 Sacramento, CA

*Monson Homes*

98339



**KTG GROUP, INC.**  
 Architects Planning  
 1799 Mitchell Branch  
 Irvine, CA 92614  
 (714) 841-1100  
 (714) 841-1100 FAX  
 Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

Principal in Charge: G. GRESSION  
 Project Designer: G. TESTER  
 Project Architect: C. TESTER  
 Project Designer: G. GRESSION  
 Drawn By:  
 Checked By: F. YONEMORI

PLAN 2285  
 EXTERIOR ELEVATION 'A'  
 ROOF PLAN

Sheet No.:

A4-4

**ATTIC VENTILATION**

**ATTIC VENTILATION**  
 PER UBC SEC. 506.3 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED NET FREE VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNER VENTS.

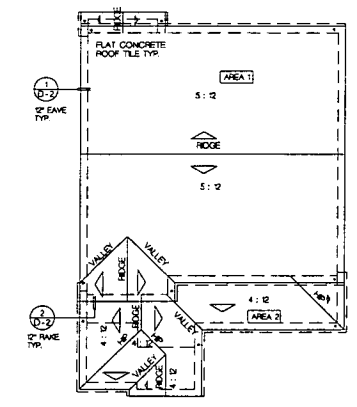
AREA 1  
 ATTIC SQUARE FOOTAGE = 1294 SQ. FT.  
 256 SQ. FT. X 1000 = 4.9 SQ. FT. (204 SQ. IN.)  
 16 GABLE END VENTS AT 168 SQ. IN. EA.  
**TOTAL FREE AREA = 672 SQ. IN.**

AREA 2  
 ATTIC SQUARE FOOTAGE = 106 SQ. FT.  
 321 SQ. FT. X 1000 = 2.23 SQ. FT. (277 SQ. IN.)  
 12 EAVE VENTS AT 66 SQ. IN. EA.  
**TOTAL FREE AREA = 333 SQ. IN.**

**ROOF LEGEND**

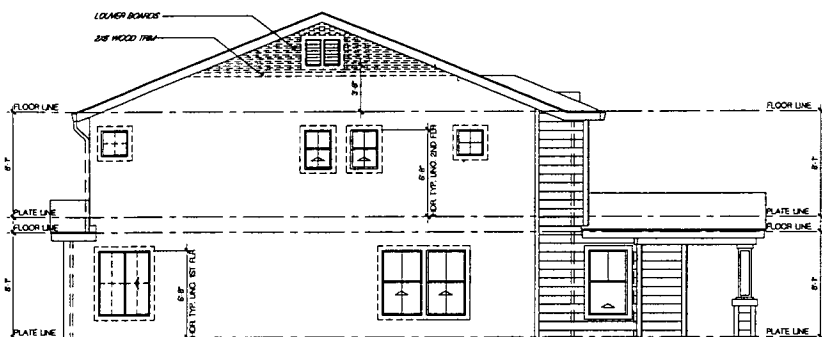
INDICATES LINE OF STRUCTURE BELOW  
 INDICATES ROOF GUTTER  
 7" BONDERIZED FASCIA GUTTER  
 INDICATES ROOF SLOPE  
 INDICATES DOWNSPOUT (IF REQUIRED)

10 FLAT CONCRETE TILE, CSO 26x6 OR EQUAL, INSTALL PER MANUFACTURER'S RECOMMENDATIONS  
 20 OVERHANGS  
 12" AT EAVE CONDITIONS, 18" AT RAKE CONDITIONS, 18" W/ 12" AT RAKE CONDITIONS, 18" W/ 12"  
 30 SEE DETAIL 100-2 FOR EAVE BLOCK VENTILATION

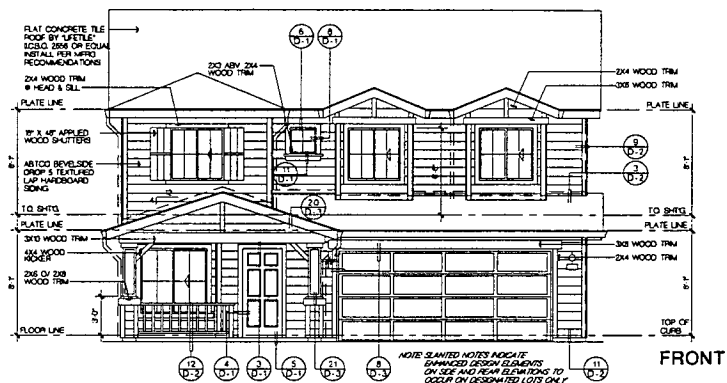


*Exhibit Bc*  
*P99-016*

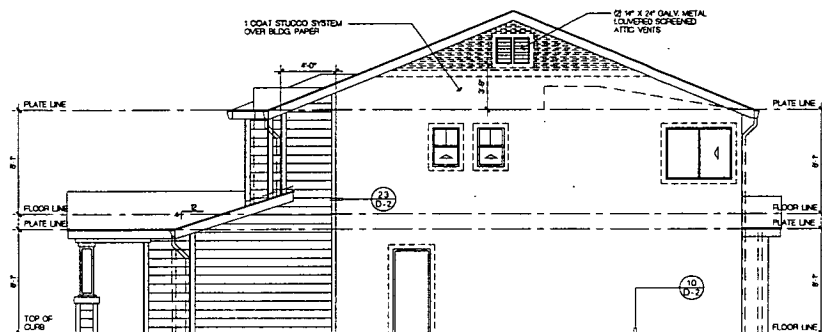
**ROOF PLAN** SCALE: 1/8" = 1'-0" 2



LEFT



FRONT



RIGHT



REAR

REFER TO FLOOR PLANS SHEET A4-1 FOR ALL INFORMATION NOT SHOWN HERE

EXTERIOR ELEVATIONS SCALE: 1/8\"/>

### ATTIC VENTILATION

#### ATTIC VENTILATION

PER UBC SEC. 6003 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 1/600 OF THE AREA OF THE SPACE VENTILATED PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS

AREA 1  
ATTIC SQUARE FOOTAGE = 194 SQ. FT.  
331 SQ. FT. X .050 = 16.55 SQ. FT. (16.55 SQ. FT.)  
16 GABLE END VENTS AT 96 SQ. IN EA.

AREA 2  
ATTIC SQUARE FOOTAGE = 108 SQ. FT.  
331 SQ. FT. X .050 = 16.55 SQ. FT. (16.55 SQ. FT.)  
16 GABLE END VENTS AT 96 SQ. IN EA.

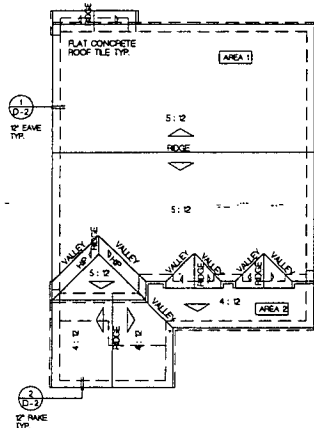
TOTAL FREE AREA = 332 SQ. IN

### ROOF LEGEND

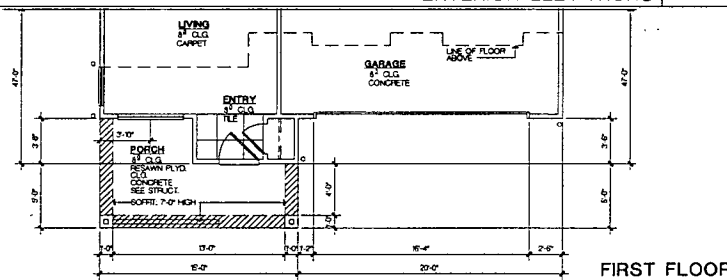
INDICATES LINE OF STRUCTURE BELOW  
INDICATES ROOF GUTTER  
7\"/>

10 FLAT CONCRETE TILE, F30 2066P OR EQUAL, INSTALL PER MANUFACTURER'S RECOMMENDATIONS  
20 OVERSINKS  
2\"/>

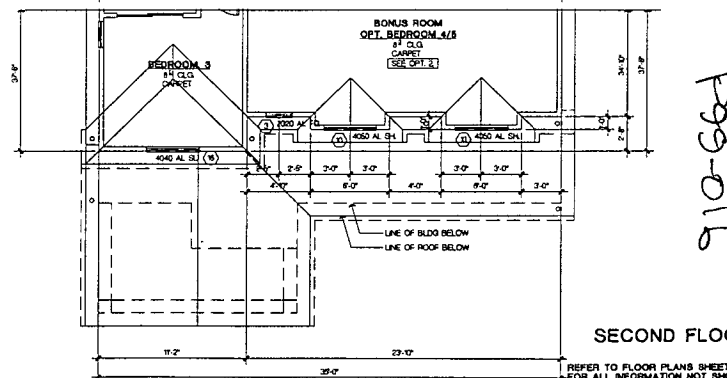
30 SEE DETAIL 10-3 FOR EAVE BLOCK VENTILATION



ROOF PLAN SCALE: 1/8\"/>



FIRST FLOOR



SECOND FLOOR

PARTIAL FLOOR PLANS SCALE: 1/8\"/>

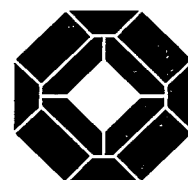
No. Date Issue/Description

1/25/25 1ST SUBMITTAL

VILLA COLLECTION  
Sacramento, CA

Morrison Homes

98339



KTG GROUP, INC.

17885 Mitchell Branch  
Irvine, CA 92714  
(714) 881-5156  
(714) 881-5158 FAX  
Irvine, California  
Fort Lauderdale, Florida  
Bangkok, Thailand

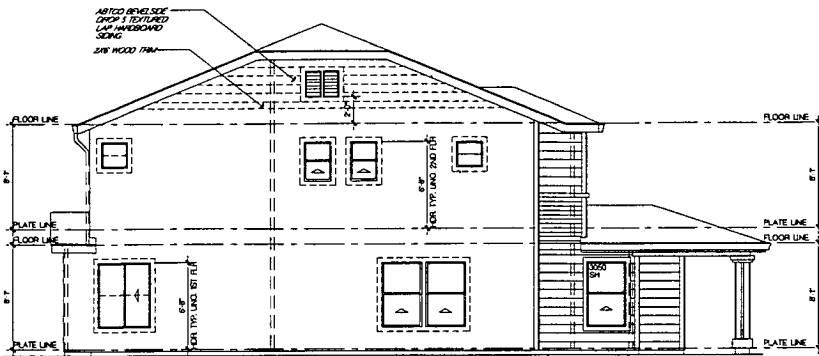
Project In Charge: G. GREGGON  
Project Designer: C. TETTER  
Project Designer: G. GREGGON  
Drawn By:  
Checked By: F. YONGMORN

PLAN 2285  
EXTERIOR ELEVATION 'B'  
ROOF PLAN

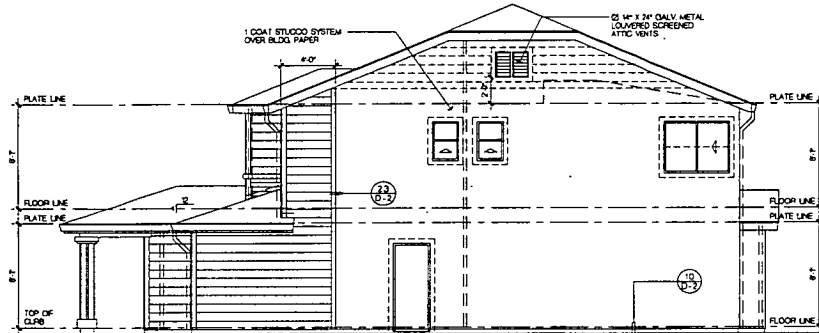
Sheet No.:

A4-5

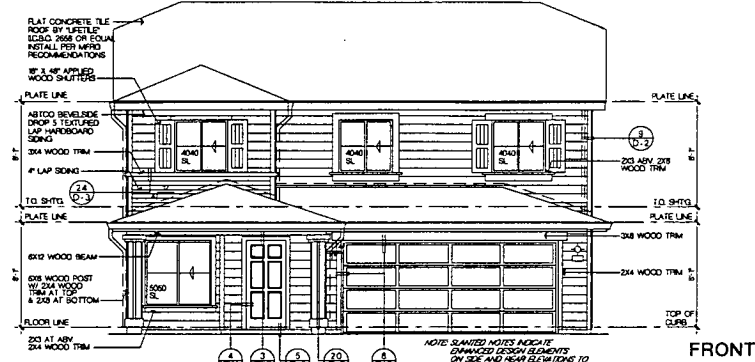
Exhibit B  
P99-016



LEFT



RIGHT



FRONT



REAR

EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 1

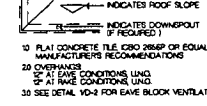
ATTIC VENTILATION

**ATTIC VENTILATION**  
 PER UFG SEC. 9033 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED. PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS).

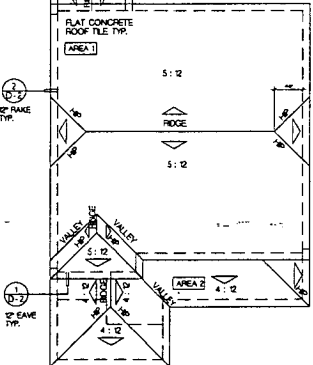
AREA 1  
 ATTIC SQUARE FOOTAGE = 1284 SQ. FT.  
 1284 SQ. FT. x 1/300 = 4.28 SQ. FT. (27 3/4" x 18")  
 (6 DOUBLE END VENTS AT 180 SQ. IN. EA.)  
 TOTAL FREE AREA = 472 SQ. IN.

AREA 2  
 ATTIC SQUARE FOOTAGE = 106 SQ. FT.  
 106 SQ. FT. x 1/300 = 0.35 SQ. FT. (27 3/4" x 18")  
 (2 DOUBLE END VENTS AT 180 SQ. IN. EA.)  
 TOTAL FREE AREA = 360 SQ. IN.

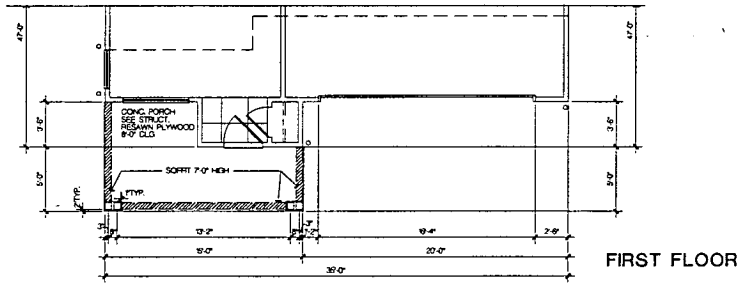
ROOF LEGEND



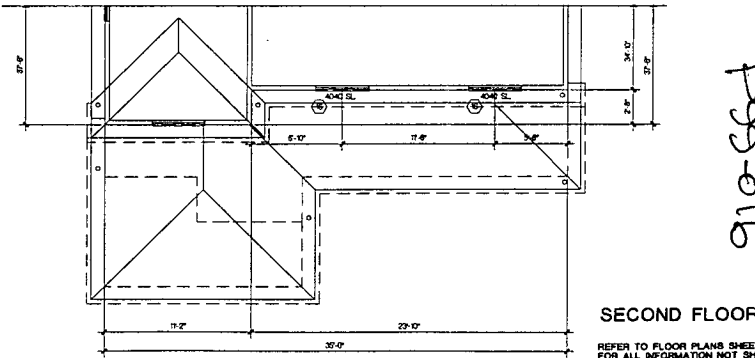
- 13 FLAT CONCRETE TILE, C80 286P OR EQUAL, INSTALL PER MANUFACTURERS RECOMMENDATIONS
- 24 OVERHANDS
- 25 AT EAVE CONDITIONS UNID.
- 26 AT EAVE CONDITIONS UNID.
- 30 SEE DETAIL 10-4 FOR EAVE BLOCK VENTILATION



ROOF PLAN SCALE: 1/4" = 1'-0" 3



FIRST FLOOR



SECOND FLOOR

REFER TO FLOOR PLANS SHEET A4-4 FOR ALL INFORMATION NOT SHOWN HERE

PARTIAL FLOOR PLANS SCALE: 1/4" = 1'-0" 2

Exhibit 8e  
 P95-016

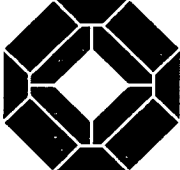
No.	Date	Issue/Description
	1/19/29	1ST SUBMITTAL

Consultant:

Project:  
**VILLA COLLECTION**  
 Sacramento, CA

Monsieur Homes

98339



**KTG GROUP, INC.**  
 Architects Planning

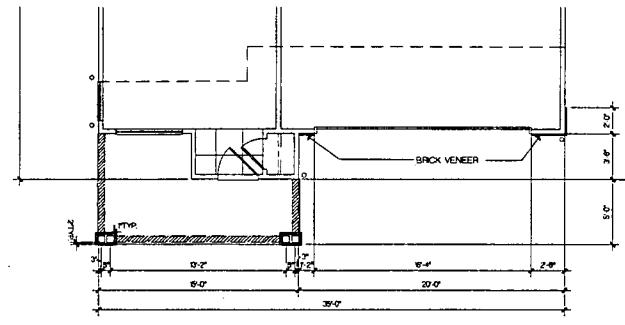
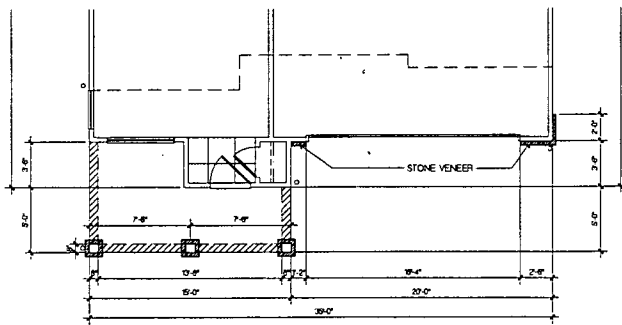
17996 Mitchell Branch  
 Irvine, CA 92714  
 (714) 861-2166  
 (714) 861-2168 FAX  
 Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

Principal in Charge: G. GRESSION  
 Project Designer: C. TEXTER  
 Project Architect: C. TEXTER  
 Project Designer: G. GRESSION  
 Drawn By:  
 Checked By: F. YONEMAR

PLAN 2265  
 EXTERIOR ELEVATION 'C'  
 ROOF PLAN

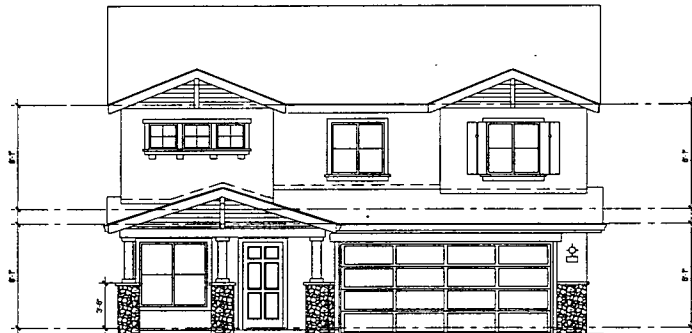
Sheet No.:

A4-6



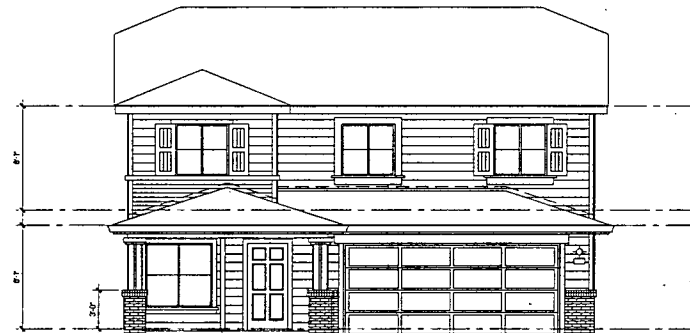
2265 D FLOOR PLAN SCALE: 1/4" = 1'-0" 1

2265 C FLOOR PLAN SCALE: 1/4" = 1'-0" 1



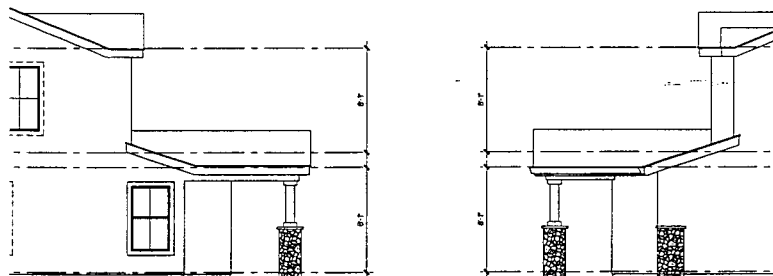
EI D - Plan 2265

FRONT ELEVATION SCALE: 1/4" = 1'-0" 2

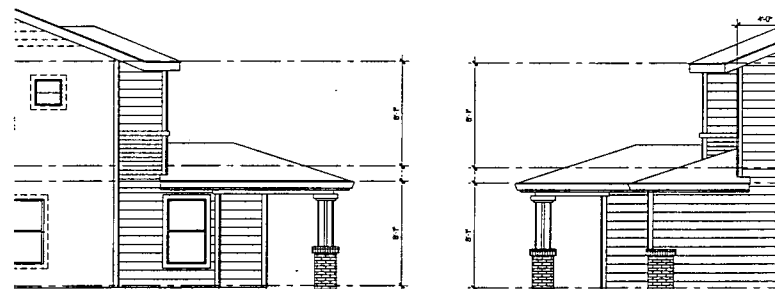


EIC - Plan 2265

FRONT ELEVATION SCALE: 1/4" = 1'-0" 2



EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 3



EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 2

910-668 289-016 exhibit B

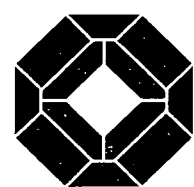
No.	Date	Issue/Description
	1/19/99	1ST SUBMITTAL

Consent:

Project: VILLA COLLECTION Sacramento, CA

Marriott Homes

98339

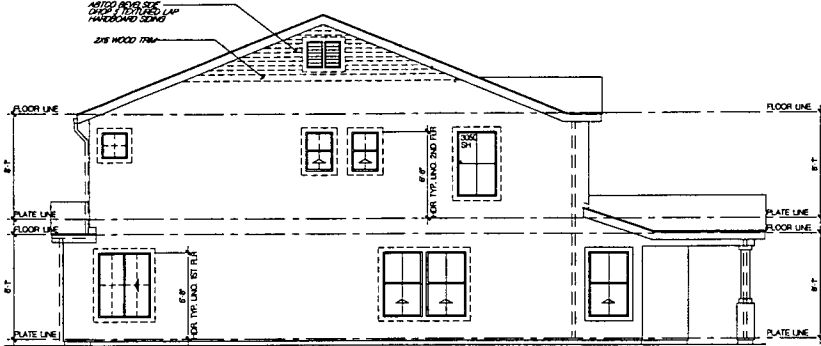


KTGY GROUP, INC. 17996 Mitchell Smith Irvine, CA 92714 (714) 861-2188 (714) 861-2188 FAX Irvine, California Fort Lauderdale, Florida Bangkok, Thailand

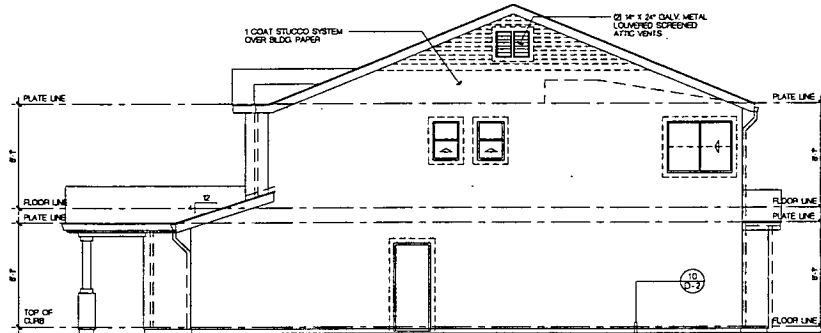
Principal in Charge: G. OREGON Project Director: C. TEXTER Project Architect: G. OREGON Drawn By: F. YONEMORI Checked By: F. YONEMORI

EXTERIOR MASONRY OPTIONS

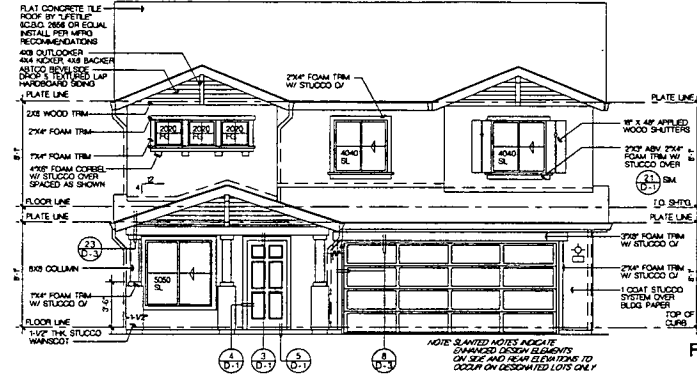
Sheet No: A4-8



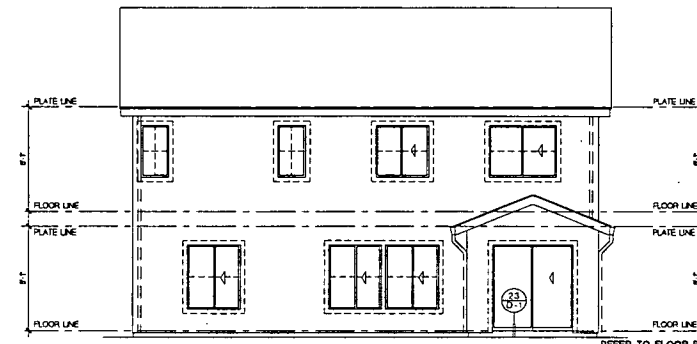
LEFT



RIGHT



FRONT



REAR

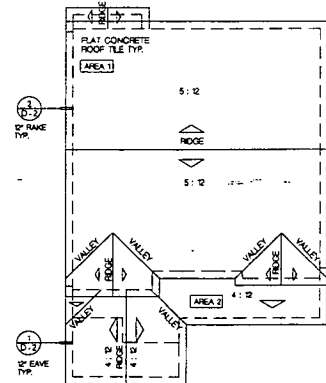
REFER TO FLOOR PLANS SHEET A4-4 FOR ALL INFORMATION NOT SHOWN HERE

EXTERIOR ELEVATIONS

SCALE: 1/4\"/>

1

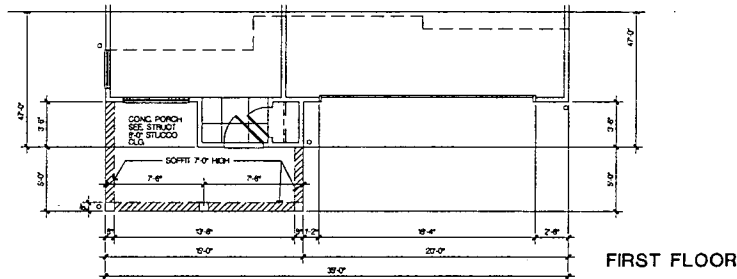
ATTIC VENTILATION	
<p>ATTIC VENTILATION PER UFGC SEC. 5053 PROVIDE A NET FREE VENTILATING AREA OF NOT LESS THAN 2000 OF THE AREA OF THE SPACE VENTILATED PROVIDED AT LEAST 30 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICHE VENTS</p>	
<p>AREA 1 ATTIC SQUARE FOOTAGE = 1204 SQ. FT. 1204 SQ. FT. X 100% = 1204 SQ. FT. (107 SQ. IN.) 161 DOUBLE END VENTS AT 148 SQ. IN. EA.</p>	<p>TOTAL FREE AREA = 472 SQ. IN.</p>
<p>AREA 2 ATTIC SQUARE FOOTAGE = 174 SQ. FT. 174 SQ. FT. X 100% = 174 SQ. FT. (157 SQ. IN.) 63 EAVE VENTS AT 86 SQ. IN. EA.</p>	<p>TOTAL FREE AREA = 330 SQ. IN.</p>



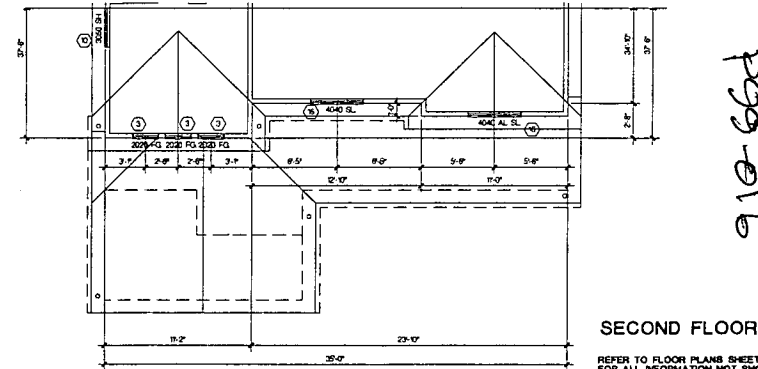
ROOF PLAN

SCALE: 1/8\"/>

3



FIRST FLOOR



SECOND FLOOR

REFER TO FLOOR PLANS SHEET A4-1 FOR ALL INFORMATION NOT SHOWN HERE

PARTIAL FLOOR PLANS

SCALE: 1/4\"/>

2

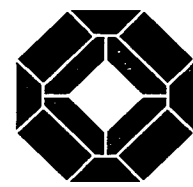
Exhibits 89  
 P09-016

No.	Date	Issue/Description
1	1/29/29	1ST SUBMITTAL

Consultant:

Project:  
**VILLA COLLECTION**  
 Sacramento, CA  
*Monson Homes*

98339



KTGY GROUP, INC.  
 Architects Planners  
 17989 Mitchell Branch  
 Irvine, CA 92714  
 (714) 841-2188  
 (714) 841-2188 FAX  
 Irvine, California  
 Fort Lauderdale, Florida  
 Bangkok, Thailand

Principal in Charge: G. GREEDSON  
 Project Designer: G. TETTER  
 Project Architect: G. TETTER  
 Project Designer: G. GREEDSON  
 Drawn By:  
 Checked By: F. YONEDAMON

PLAN 2265  
 EXTERIOR ELEVATION "D"  
 ROOF PLAN

Sheet No.:

A4-7

# SCREENING AND FENCES

## A. General

All new sound walls, masonry walls or fences shall be designed to minimize visual monotony through changes in plane, height, material or material texture and/or significant landscape massing where appropriate.

### A1. Design

All fencing should be designed as an integrated part of the site, rather than as a separate fence. The design of fencing, sound walls, trash enclosures, and similar site elements shall be compatible with the architecture of the main buildings and should use similar materials. Use of Chain link fence will not be allowed.

Figure V-1 shows the visible wing and side lot fencing detail which must be stained with a color to be determined later. In addition, any other visible fencing must be stained and capped (for example, fencing along a park or on a corner lot).

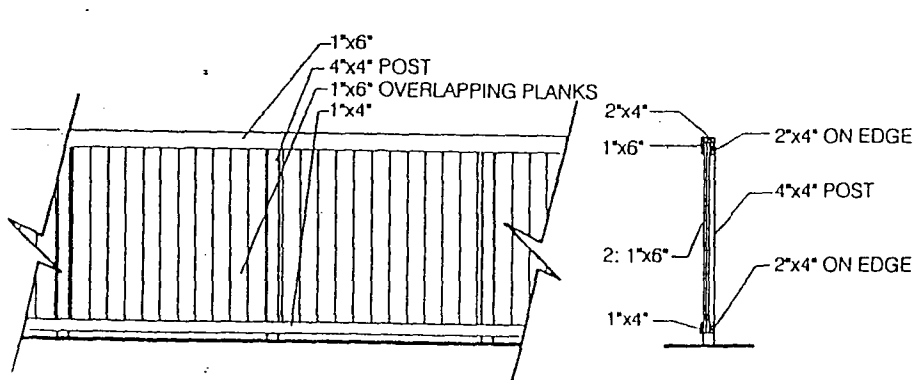


FIGURE V-1 FENCE WITH WOOD POST

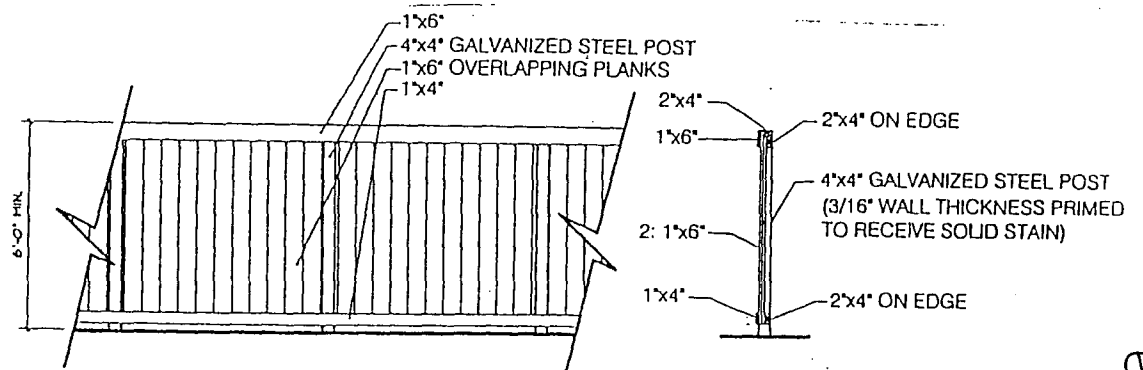


FIGURE V-2 FENCE WITH STEEL POST

Exhibit 9a  
 P99-016

Furthermore, when a fence is adjacent to a park site, open space or school, galvanized steel posts shall be used in lieu of wood. This Variation is shown in Figure V-2. Refer to exhibits VI-4 and VI-5 for the location of fences with steel posts.

Where fencing ties into a Village Entry pilaster, refer to Section IX, Community Monumentation. Specific requirements for fence attachment to the pilaster is required. Figure V-3 shows how the fence must exit at a 90 degree angle to the pilaster away from the street, then take a forty-five degree angle that intersects with fencing which extends from the unit side yard building wall.

Walls shall be a minimum 6' in height comprised of a split-face concrete block unit and precast concrete cap. Color shall be a light, natural earthen color equal to Baseline #345. Color samples for the wall will be retained by the Natomas Park Design Committee for future development consistency. Block shall be a split-face finish and accented with vines placed at a regular spacing of a minimum to ten (10') feet on center. The wall cap shall be a decorative cornice type. Refer to Figure V-4 for a typical elevation. Refer to exhibits VI-4 and VI-5 for wall location.

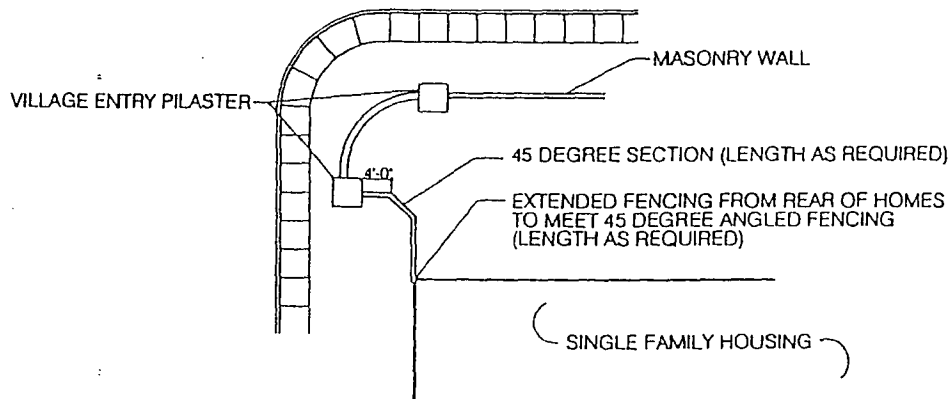


FIGURE V-3 FENCE CONNECTION TO PILASTER

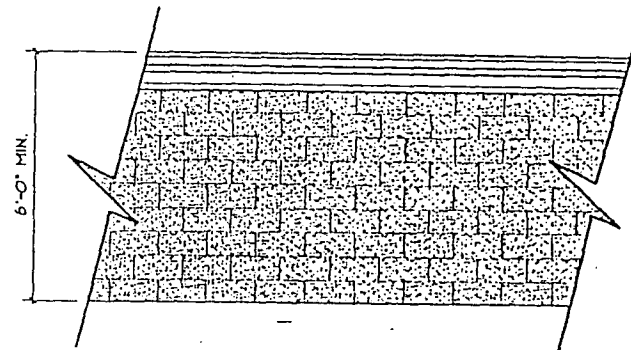


FIGURE V-4 WALL EXAMPLE

Exhibit 9b  
 P99-016



February 5, 1999

Mr. Phil Bodem  
Land Resources Manager  
Morrison Homes  
11344 Coloma Road, Suite 390  
Gold River, CA 95670

**RE: Design Review of Home Plans – Natomas Park  
Northborough - Village 4**

Dear Phil:

The plans you submitted for Northborough Village 4 have been reviewed by the Natomas Park Design Review Committee. We would like to compliment you on the design of these homes. The submitted items, listed below, are approved with the following conditions:

Floor plans & Elevations

Floor plans are approved as submitted.

Exterior elevations approved with following conditions:

1. Homes with back or sides to streets, parks, open space and schools need to continue trim along visible side of house, as noted on plans.
2. Materials shall wrap on the sides of the homes, as noted on the plans.
3. The accent materials shown on plans are to be standard materials, not options.
4. Driveways shall have a pattern of score lines that will create a pleasing texture compatible with the architecture.
5. It is our understanding that Plan 1428 will be modeled with a courtyard. In addition, Plans 1854 and 2265 will also be modeled. If the model plans are changed, we need to be informed, for reevaluation.
6. A conceptual elevation was provided for Plan 1510. Please provide three copies of a detailed front elevation.

In addition to these conditions, we recommend that any roof projections (i.e.: vents, pipes) be located in the back of the home, not visible from the street.

Site/Lot Plans

The lot plans are approved with the following conditions:

1. Plans 1854 and 2265 need to be pushed back 2 feet, so that the living area is set back at 22 feet. It is our preference that the larger 2-story homes sit further back on the lot than the smaller plans.
2. Lot plans for Plan 1510 need to be submitted for review.

Exhibit 106  
P99-016

Phil Bodem, 2/5/99  
Morrison Homes  
Page two

Exterior Colors & Materials

The exterior colors and materials are approved as submitted.

Landscape Plans

Please submit when available.

Please be aware that the adopted guidelines require diversity in streetscape, i.e.: variation of colors and elevations. Please provide evidence during the project development of achieving the required diversity.

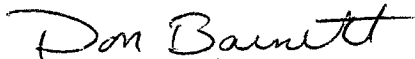
Your model home complex site plan, neighborhood identification signage and/or monumentation is also subject to approval by the NPDRC. Please submit for review when available.

Your plans were reviewed for compliance with the Design Review Handbook. You are responsible to ensure that the plans are in compliance with the City of Sacramento Zoning Code and all applicable building codes. Compliance with the City of Sacramento Zoning Code includes compliance with building setback and lot coverage standards.

For your reference, please find enclosed the garage mitigation compliance form and a checklist that we used during our review. Please give me a call should you have any questions.

Respectfully,

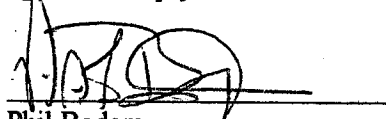
LENNAR COMMUNITIES



Don Barnett  
Community Planning Manager

Cc: DRC file

By signing below, you acknowledge your acceptance of these comments and conditions, and you agree to comply with them.



Phil Bodem

2-5-99

Date

GARAGE MITIGATION COMPLIANCE

BUILDER/NEIGHBORHOOD Morrison Homes - Northborough 4 % compliance  
 ELEVATION Villa Collection of total  
 PLAN A B C D # of homes

1428 25%	courtyard option 40%	courtyard option 40%	courtyard option 40%	courtyard option 40%	10%
1494 10%	good porch	good porch	good porch	good porch	10%
1854 25%	porch in front full credit	porch in front full credit	porch in front full credit	porch in front full credit	25%
2265 25%	porch in front full credit	porch in front full credit	porch in front full credit	porch in front full credit	25%
1510 15%	porch (behind garage)	porch (behind garage)	porch (behind garage)	porch (behind garage)	0%

Courtyard?

TOTAL COMPLIANCE %: 70%