

P00-052 - Jared Jewelry Store

REQUEST:

- A. Environmental Determination: Exempt, Section 15332;
- B. PUD/ Schematic Plan Amendment to redesignate 1.1± developed acres from office to retail use to construct a 5,780 square foot retail building in the Point West Planned Unit Development;
- C. Special Permit to construct a 5,780 square foot retail building in the Point West Planned Unit Development (PUD);
- D. Variance to exceed the maximum allowed signage from 1 to 3 attached signs in the SC-R-PUD zone within the Point West PUD;
- E. Variance to exceed the maximum allowed sign area in the SC-R-PUD zone within the Point West PUD from 182 square feet to 338 square feet.

LOCATION:

SE Arden Way & Heritage Lane
APN: 277-0272-004
Sacramento Unified School District
Council District 3

APPLICANT:

Sandy Swett, Swett Equity Inc., (916) 983-1033
131 Wellfleet Circle
Folsom, CA 95630

OWNER:

Speiker Properties
1610 Arden Way, Suite 298
Sacramento, CA 95815

PLANS BY:

Rauschenbach, Marvelli & Becker
2277 Watt Avenue, 2nd Floor
Sacramento, CA 95825

APPLICATION FILED: April 12, 2000

STAFF CONTACT: Ted Kozak, (916) 264-1944

SUMMARY/ RECOMMENDATION:

The proposed plan includes the development of a 5,780± square foot Jared Jewelry Store and a 54 space parking facility. The project will consist of one single story building.

The applicant is seeking the requested entitlements in order to replace a portion of an underused existing parking area with a retail building in order to more efficiently use the parcel. The project's primary issues are related to the amount of signage provided and the potential that the construction of an additional commercial building will block visibility of adjacent businesses to the south of the proposed parcel from Arden Way.

Staff recommends approval of the project, subject to conditions. This recommendation is based upon the project's consistency with the General Plan land use designation for the site. Staff concludes that the special permits and variances are properly conditioned and will not have any negative effects to adjacent businesses.

PROJECT INFORMATION:

General Plan Designation:	Regional Commercial & Office
Existing Land Use of Site:	surface parking
Existing Zoning of Site:	SC-R-PUD zone

Surrounding Land Use and Zoning:

North: Commercial; C-2 zone
 South: Office; OB-R zone
 East: Office; SC-R-PUD zone
 West: Commercial; SC-R-PUD zone

Setbacks:	Required	Provided
Front:	25'	53'-2"
Side(E):	0'	45'-10"
Side(W):	0'	86'-2"
Rear:	15'	72'

Property Dimensions:	192' x 222'
Property Area:	0.98± net acres
Square Footage of Building:	5,780 square feet
Height of Building:	28'-9", 1 story
Exterior Building Materials:	Brick/ Stucco
Roof Material:	Metal
Hours of Operation:	9AM to 9PM (M-F) 10AM to 6PM (Sat)
Parking Provided:	54 spaces
Parking Required:	29 spaces
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Building Permit	Building Division

BACKGROUND INFORMATION:

On January 12, 1971, the City Planning Commission approved the Schematic Plan and rezone to create Point West as a Planned Unit Development (Resolution of Designation No. 84) of industrial, commercial, office, and medical office uses intended to provide an interrelated total environment, utilizing a common theme, and encouraging architectural unity. The entire 8.35± acres of Parcel "B", including the 0.98± acre portion of which the subject site now comprises, was approved in the Schematic Plan to contain one 147,350 square feet office building.

In the '80s, the 1610 Arden Way building was constructed as Point West Corporate Center, and a shopping center was constructed which included a Weinstock's Clearance Center (now SportsMart).

In 1991, the City Council adopted a Zoning Ordinance Amendment which reduced parking standards for office buildings. As a result of this new standard, the 1610 Arden Way office building was able to declare a portion of its parking lot as "surplus".

On December 10, 1992, the City Planning Commission approved a Tentative Map (P92-248) to subdivide the original 8.35± acre site into one 7.37± acre parcel and one 0.98± acre parcel, a Schematic Plan Amendment to an additional 24,000 square foot of building development for a proposed two story office development, and a Special Permit Modification to decrease the amount of on-site parking for an existing 147,350

square foot office building.

On April 12, 1993, City Council heard the project (P92-248) and referred it back to the City Planning Commission in order to resolve controversial issues related to the height and parking reduction of the proposed office building. At the direction of Council a meeting between adjacent property owners, the applicant, planning staff, and two council members, helped draft three alternatives to the project were drafted for the project, as follows.

1. Alternative 1: Relocate the proposed 24,000 square foot office building to the west side of the existing driveway off Arden Way. This alternative would displace vehicles that are currently being parking in the alternative location. In addition, this location would result in the existing retail center being blocked from view until a vehicle has passed the entrance driveway.
2. Alternative 2: Reduce the proposed two story office building to a one story office building that would be constructed in the original location on Parcel B. The intent of this option was to try and reduce the visual impacts that would be created by placing a two story structure in front of the existing retail center. The issue of visibility is not affected by a one story or a two story building, but by the height of any structure that would be built in this location. The Zoning Ordinance allows a thirty-five foot height limit for structures built in the Shopping Center (SC) zone.
3. Alternative 3: Allow the proposed office building as it had been originally approved by the Planning Commission with an additional condition. As visibility for the existing retail center seems to be the primary issue, the issue of providing signage for the retail businesses was discussed. The existing parking lot in front of the retail center has large trees that block the view of the center from Arden Way. The applicant has agreed to apply for a variance to allow an off-site detached monument sign that would identify the businesses within the retail center. This sign would be constructed near the entrance driveways off of Arden Way to provide identification for the businesses. As proposed the applicant would be required to obtain a variance and construct the monument sign prior to issuance of any building permits for the proposed office building.

On June 10, 1993, the City Planning Commission approved P92-248, this time with some modifications. The applicant withdrew the request for a Special Permit Modification to decrease the amount of on-site parking for an existing 147,350 square foot office building and condition "L" was added to the project as follows:

The applicant shall obtain a variance for a detached monument sign to be located on Parcel B to provide identification for the businesses located within the retail shopping

center located behind the proposed 24,000 square foot building prior to issuance of any building permits for Parcel B.

On August 24, 1993, City Council approved the final draft of P92-248, which included condition "L" that required the construction of the monument sign.

On July 14, 1994, the City Planning Commission approved an amendment to the Point West PUD Sign Guidelines (M94-027) for retail, commercial, restaurant, and office uses in the Shopping Center (SC) and Office Building (OB) zones to allow signage as follows:

1. Two signs maximum (one attached sign per tenant, one detached sign per parcel) or two attached and one detached, or two detached if the building has two streets frontages and vehicle access on two streets;
2. A Zoning Administrator Special Permit approval to exceed 16 square feet, (not to exceed 32 square feet) of maximum sign area for detached monument signs;
3. Proposed signage to be reviewed by the Point West Business Association.

On January 19, 2000, the current applicant met with staff to discuss the planning process and the possible entitlements for the proposed project (OB00-005). The applicant was notified of the required entitlements as identified in the project description above.

STAFF EVALUATION:

A. Policy Considerations

The proposed project is consistent with the General Plan and zoning land use designations. The General Plan designation of Regional Commercial & Office is consistent with the applicant's proposal and this proposal would not result in a change to the present or anticipated land use of the site. The proposal is compatible with the goals of the General Plan which encourage land use compatibility and the promotion of sensitivity to design. The project is also consistent with the intent of the 1991 Zoning Ordinance Amendment to the parking standards, which encourages a more intense utilization of land with less parking.

B. Point West PUD Schematic Plan Amendment

The applicant is requesting a Point West Schematic Plan Amendment of 3 acres

of Parcel "B" from a 24,000 square foot office use building to a 5,780 square foot retail building, as proposed. The amendment is necessary since the project approval for P92-248 changed the configuration of the allowable building size for the site and changed the land use from retail to office use. Staff is of the position that the proposed plan amendment is minor in nature, the building size has been substantially reduced, and the Shopping Center (SC) zoning is consistent with the proposed retail use; therefore, City Council approval is not required. Staff has no objections to the proposed Schematic Plan Amendment in that adequate on-site parking will be provided, as outlined in the parking discussion below, for the existing office buildings and the proposed retail use.

C. Site Plan Design/Zoning Requirements

1. Setbacks

The plans indicate varying setbacks from 45'-10" to 86'-2" feet, all in excess of the minimum setback requirements for the Shopping Center Review Planned Unit Development (SC-R-PUD) zone. The front yard requires a minimum 50' setback in the Shopping Center zone. Similarly, the Point West PUD Schematic Plan requires a minimum 50' setback along Arden Way and a minimum landscaped 25' setback along public streets; therefore, the provided 53'-2' front setback, 25' of which is landscaped, is suitable for this project. The rear yard requires a 15' setback in the SC-R-PUD zone, since it abuts the Office Business (OB) zone. Landscaping in this area consists of trees, ground cover, and shrubbery, based on the standards of the Point West PUD. As per the landscape plan, (Exhibit 1G) these guidelines are met. The Zoning Ordinance states that no minimum interior side yard setback is required unless the side of a SC zoned lot abuts the side of a R or OB zoned lot. Since the interior side yards abut the SC-R-PUD zone, no setback is required.

2. Parking/Circulation

A. Ingress/ Egress

The site plan indicates one driveway for ingress and egress to the west of the building with access from Arden Way.

B. Auto Parking

The Point West PUD requires 1 space per each 200 gross square feet of building area for retail uses. Additionally, the Zoning Ordinance indicates that not more than 40 percent of parking spaces shall be compact. Based upon the proposed 5,780 square foot retail building, a total of 29 parking spaces are required by the

Point West PUD. The submitted site plan indicates that 54 spaces will be provided for the proposed retail building, providing a parking ratio of 1 space per 107 square feet of building area. There are no compact spaces indicated.

The construction of the jewelry store will require the removal of 105 spaces from the existing parking lot. The existing 147,350 square feet of office building area, which was split from the proposed site in a previous planning action (P92-248), requires 1 space per 350 square feet of building area, with a 1 space per 275 square feet maximum. At this ratio, the office requires 421 spaces, with a maximum of 536 spaces allowed. Currently there are 634 spaces provided (based on the 1:225 standard at the time the building was constructed); with the removal of 103 spaces and the addition of 27 new spaces, there will be 558 spaces remaining for the office use. Therefore, the removal of the spaces will not negatively affect the provided parking, since there are still an excess of parking spaces available for the office use.

C. Bicycle Parking

The Zoning Ordinance requirement for bicycle parking is 1 bicycle parking space for every 20 off-street vehicle parking spaces required. The Zoning Ordinance requirement for this proposal is required to provide for three bicycle spaces on the project site.

D. Parking Lot Shading/ Perimeter Landscaping

According the Point West PUD Guidelines, one tree for every five parking stalls (or equivalent landscaping) shall be provided in the parking area. At one tree per 5 parking spaces, 11 trees are required. The plans indicate the addition of 12 new trees, in addition to the 22 existing trees on the site. The retail store will also be required to meet the City's Parking Lot Shading Ordinance requiring 50 percent shading within 15 years, which has been added since the adoption of the PUD in the early 1970s (Zoning Ordinance Section 3-2-C-8). Species selected for parking lot shading and other landscaping areas must meet the City's Ordinance related to drought tolerant plants.

3. Landscaping

The Point West PUD Guidelines require perimeter landscaping along the street and interior property lines. The submitted landscape plan indicates

that the proposed landscaping will consist of a combination of trees, shrubs, ground cover, and lawn. The species, size, and spacing of trees and other planting material shall conform to the specifics set forth in the Point West PUD Guidelines. All unpaved areas not utilized for parking and storage will be required to be landscaped utilizing ground cover and/or shrubbery and tree material. All paved areas, as stated above, must meet the 50 percent shading requirement.

4. Signage

In the Point West PUD, one attached sign per tenant, and total sign area equaling 3 square feet for each front linear foot of building occupancy (60'-8" of frontage, totaling 182 square feet) is permitted. This was amended by the City Planning Commission on July 14, 1994 (M94-027) to also allow one detached sign per parcel. The applicant proposes to provide 3 signs, totaling 338 square feet, requiring a Variance for both the number and area of proposed signs. Within the Point West PUD, sign variances to exceed the allowable amount of signage are common. Table 1 below lists businesses within 1 block from the proposed project, south of Arden Way. Staff believes that the applicant's request to construct a total of 3 attached signs is consistent with the amount of signage provided in the surrounding area. Therefore, staff supports the request.

Table 1: Businesses with signs in excess of Point West Guidelines.

Business	Address	# attached signs	# detached signs
Mervyn's	1896 Arden Way	4	-
Univision, Channel 19	1710 Arden Way	3	1
Shell	1610 Arden Way	4	1
El Torito	1598 Arden Way	2	1

5. Monument sign

One of the conditions of approval for the Tentative Map (P92-248) was that the applicant was required to apply for a Variance for a detached monument sign to provide identification for the businesses located within

the retail shopping center located behind the proposed 24,000 square foot building. However, staff supports the applicant's decision not to provide this sign for the following reasons:

- (a) The proposed building mass is much less than what was proposed in the previous approval. The height has been reduced from two stories to one, and the building area has been reduced from 24,000 to 5,780 square feet.
- (b) The condition to provide the monument sign was made on a Tentative Map Entitlement, not on a Special Permit. Therefore, a Special Permit Modification is not necessary in order not to provide the monument sign on the site.

D. Building Design

The building's height is proposed to be 28'-9" to the top of plate line. The proposed 1 story structure's exterior materials consist of brick material, stucco, metal screens, and metal roof deck. The color of the building is as follows. The brick is "Jared Rose", with "Jared Tan" as watertable brick at building base (see Exhibits 1D and 1E) with the aluminum frame around faux windows and doorframes to be painted "boysenberry". While the entryway projecting Parapet is a "Dark Cherry" color, the Parapet is colored "Taupe Mist" (grey) and "Dove White". The Torchiera is colored "Dark Cherry" with gold painted capitals to complement these colors.

The proposed project is not within a specific Design Review District; however, the Point West PUD Building Standards guidelines give Staff architectural purview to ensure that the materials used on buildings are compatible with other buildings in the area and to ensure that they have some unique and interesting aesthetic qualities. The proposed building colors are earth tone in style which somewhat compatible with buildings within the area; however, since there is a such a wide range of building types in the general vicinity of the proposed building, it is difficult to pinpoint a common architectural theme. Regardless, the building has some architectural and facade variation to create some visual interest.

PROJECT REVIEW PROCESS:

A. Environmental Determination

The proposed project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15332). No review is required since this is an infill project and approval of this project would not result in any significant effects

relating to traffic, noise, air or water quality. In addition, on January 12, 1971, City Council ratified an Environmental Impact Report for the Point West Planned Unit Development, in which no environmental impacts were identified.

B. Public/Neighborhood/Business Association Comments

Project information was routed to the following groups:

- Point West Transportation Management Association
- Point West Area Business Association

1. Point West Area Business Association

Jon Snyder, from the Point West Area Business Association, has analyzed the plans for the project and has written in correspondence to staff that it is a "nice looking building". He has no further comments.

2. Adjacent businesses

The applicant has met with the owners of the adjacent vacant retail spaces and managers of two adjacent businesses, Chuck-E-Cheese's and InCahoots in order to determine their opinion of the proposed project. The owners and managers expressed no concern regarding the height and massing of the current project.

C. Summary of Agency Comments

The project has been reviewed by several City Departments and other agencies. The following summarizes the comments received:

1. City Public Works

City Public Works' only comment is that the maneuvering area shall be 26' in accordance with the Zoning Ordinance.

2. City Fire Department

The City Fire Department has no comments.

3. City Design Review

Luis Sanchez, from the Design Review area, has analyzed the plans for the project. He has determined that the proposed building is architecturally unique and has no problem with its design.

4. City Public Works, Electrical Section

Catherine Alexander, from the City's Electrical Section, states that there is an existing street lighting system in the area of this project. There is also an existing traffic signal in the project area. Improvements in the right-of-way may require modifications to the existing system.

PROJECT APPROVAL PROCESS: Planning Commission has the authority to approve or deny each of the entitlements below. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

Staff recommends the Planning Commission take the following actions

- A. Adopt the attached Notice of Decision and Findings of Fact which finds that the project is Exempt pursuant to CEQA Section 15332;
- B. Adopt the attached Notice of Decision and Findings of Fact approving the PUD/ Schematic Plan Amendment to redesignate 1.1± developed acres from office to retail use to construct a 5,780 square foot retail building in the Point West Planned Unit Development;
- C. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to construct a 5,780 square foot retail store in the Point West Planned Unit Development (PUD);
- D. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to exceed the maximum allowed signage from 1 to 3 attached signs in the SC-R-PUD zone within the Point West PUD;
- E. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to exceed the maximum allowed sign area in the SC-R-PUD zone within the Point West PUD from 182 square feet to 338 square feet.

Report Prepared By,


Ted Kozak, Assistant Planner

Report Reviewed By,


Will Weitman, Principal Planner

Attachments

Attachment 1	Notice of Decision & Findings of Fact
Exhibit 1A	Demolition Site Plan
Exhibit 1B	Overall Site Plan
Exhibit 1C	Site Plan
Exhibit 1D	Details
Exhibit 1E	Exterior Elevations
Exhibit 1F	Exterior Elevations
Exhibit 1G	Landscape Plan
Exhibit 1H	Irrigation Plan
Exhibit 1I	Landscape and Irrigation Details
Exhibit 1J	Floor Plan
Exhibit 1K	Photometric Site Plan
Attachment 2	Vicinity Map
Attachment 3	Land Use & Zoning Map

**NOTICE OF DECISION AND FINDINGS OF FACT FOR
Jared Jewelry Store, LOCATED AT Heritage Lane & Arden Way-SACRAMENTO,
CALIFORNIA IN THE ZONE. (P00-052)**

At the regular meeting of August 10, 2000, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. Environmental Determination, Exempt, Section 15332;**
- B. Approved the PUD/ Schematic Plan Amendment to redesignate 1.1± developed acres from office to retail use to construct a 5,780 square foot retail building in the Point West Planned Unit Development;**
- C. Approved the Special Permit to construct a 5,780 square foot retail store in the Point West Planned Unit Development (PUD);**
- D. Approved the Variance to exceed the maximum allowed signage in the SC-R-PUD zone within the Point West PUD from 1 to 3 attached signs;**
- E. Approved the Variance to exceed the maximum allowed sign area in the SC-R-PUD zone within the Point West PUD from 182 square feet to 338 square feet.**

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. Categorical Exemption: The City Planning Commission finds and determines that the proposed project is exempt from environmental review pursuant to Section #15332 of the CEQA Guidelines.
- B. PUD/ Schematic Plan Amendment to redesignate 1.1± developed acres from office to retail use to construct a 5,780 square foot retail building in the Point West Planned Unit Development: The PUD/ Schematic Plan Amendment to redesignate 1.1± developed acres from office to retail use to construct retail building is approved subject to the following findings of fact and conditions of approval:
 - 1. The project is based upon sound principles of land use in that:

- a. The project will utilize the Shopping Center - Review - Planned Unit Development (SC-R-PUD) zoned location;
 - b. The project is allowed in the Shopping Center - Review - Planned Unit Development (SC-R-PUD) zone with a Special Permit; and
 - c. The project will not adversely affect the surrounding land uses.
2. The Special Permit, as conditioned, will not be detrimental to public health, safety, or welfare, or result in the creation of a nuisance in that:
 - a. Landscaping will be provided around the perimeter of the property and around the parking area;
 - b. The entry area for the parking lot will be relocated to be 100' from the Arden Way right-of-way.
 3. The project is consistent with the General Plan.

C. Special Permit to construct a 5,780 square foot retail store in the Point West Planned Unit Development (PUD): The Special Permit to construct a 5,780 square foot retail store in the Point West Planned Unit Development (PUD) is approved subject to the following findings of fact and conditions of approval:

1. The project is based upon sound principles of land use in that:
 - a. The project will utilize the Shopping Center - Review - Planned Unit Development (SC-R-PUD) zoned location;
 - b. The project is allowed in the Shopping Center - Review - Planned Unit Development (SC-R-PUD) zone with a Special Permit; and
 - c. The project will not adversely affect the surrounding land uses.
2. The Special Permit, as conditioned, will not be detrimental to public health, safety, or welfare, or result in the creation of a nuisance in that:
 - a. Landscaping will be provided around the perimeter of the property and around the parking area;
 - b. The entry area for the parking lot will be relocated to be 100' from the Arden Way right-of-way.
3. The project is consistent with the General Plan.

- D. Variance to exceed the maximum allowed signage from 1 to 3 attached signs:
The Variance to exceed the maximum allowed signage from 1 to 3 attached signs is approved subject to the following findings of fact and conditions of approval:
1. The Variance, as conditioned, shall not extend a special privilege to the property owner in that adjacent retail establishments in the vicinity are typically granted a variance to construct a total of 3 signs per building in the Point West PUD.
 2. The Variance, as conditioned, will not be injurious to the public welfare, nor to property in the vicinity of the applicant in that the amount of signs provided will be compatible with buildings in the area.
 3. The Variance, as conditioned, is in harmony with the general purpose and intent of the Zoning Ordinance and will not affect the General Plan.
- E. Variance to exceed the maximum allowed sign area from 182 to 338 square feet:
The Variance to exceed the maximum allowed sign from 182 to 338 square feet is approved subject to the following findings of fact and conditions of approval:
1. The Variance, as conditioned, shall not extend a special privilege to the property owner in that adjacent retail establishments in the vicinity are typically granted a variance to construct greater than the allowable sign area for the Point West PUD.
 2. The Variance, as conditioned, will not be injurious to the public welfare, nor to property in the vicinity of the applicant in that the amount of sign area provided will be compatible with buildings in the area.
 3. The Variance, as conditioned, is in harmony with the general purpose and intent of the Zoning Ordinance and will not affect the General Plan.

CONDITIONS OF APPROVAL

- C. The Special Permit to construct a 5,780 square foot retail store in the Point West Planned Unit Development is hereby approved subject to the following conditions:
- C1. All required Building Permits shall be obtained prior to commencing site and building improvements.

Utilities

- C2. The proposed development is located within Sacramento Sanitation District No.1. Contact the Regional Sanitation District for sanitary sewer conditions.
- C3. An on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual).
- C4. The applicant must comply with the City of Sacramento's Grading, Erosion, and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plan, and prepare plans to control urban run-off pollution from the project site during construction.
- C5. Any new domestic water services shall be metered. Only one domestic water service will be allowed per parcel.
- C6. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Only source control measures are required. This will not affect site design. Refer to the draft "Manual of Standards for Design of New Development On-Site Stormwater Quality Control Measures", dated January 23, 1995, for appropriate source control measures.

Advisory Notes:

- C7. The proposed project is located in the 100-year floodplain, designated as an AR zone (elevation 41.0 feet) on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) dated July 6, 1998. Within the AR zone the following regulations will apply:

- All new residential and commercial development will be required to be constructed with the lowest floor, including basement, at or above the base flood elevation, or 3 feet above the highest adjacent grade, whichever is lower.
- Commercial projects will have the option of flood proofing in lieu of the

elevation requirement.

Special Note: The Army Corps of Engineers has adopted reduced 100-year flows on the American River and the City is in the process of applying to FEMA for revisions to the Flood Insurance Rate Maps. If approved by FEMA, the AR flood zone may be replaced with a less restrictive flood zone thus precluding the requirement to elevate or flood proof this project. Please contact the Department of Utilities at (916) 264-1400 prior to building design for an up-to-date status of the flood zone.

- C8. Drainage across parcel lines is not allowed. Either the lots must be graded so that drainage does not cross property lines or a private reciprocal drainage easement must be recorded prior to the initial sale of either parcel. The following note shall be placed on the **certificate of compliance or final map**: "Note: A private reciprocal drainage easement must be recorded prior to the initial sale of either parcel."

Fire

- C9. Plans for fire department access roads shall be submitted to the Fire Department for review and shall be approved prior to the start of construction.
- C10. Plans and specifications for fire hydrant systems shall be submitted to the Fire Department for review and shall be approved prior to the start of construction.
- C11. When fire protection, including fire apparatus access road and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during time of construction.
- C12. Fire-protection equipment and fire hydrants shall be clearly identified in an approved manner to prevent obstruction by parking and other obstructions. When required by the chief, hydrant locations shall be identified by the installation of reflective markers.
- C13. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
- C14. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with

- a roadbed consisting of material unaffected by the introduction of water based upon fire flow or rain based on 25 year storm and a surface consisting of a minimum of a single layer of asphalt.
- C15. The turning radius of the fire apparatus access road shall be as approved (45' or hammerhead).
- C16. When access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life saving or firefighting purposes, or where the building is served by a fire alarm system which is monitored by a central station, the chief is authorized to require approved key switches, key boxes, or padlocks to be installed in approved accessible locations or areas in order to permit immediate fire department access.
- C17. The fire sprinkler system in each building shall be supplied by its own main.
- C18. An approved water supply capable of supplying the required fire flow for the protection shall be provided to all premises upon which facilities, buildings, or portion of buildings are hereafter constructed or moved into or within the jurisdiction. When any portion of the facility or building protected is in excess of 150 feet from a water supply on a public street, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains capable of supplying the required fire flow shall be provided when required by the chief.
- C19. Water supply is allowed to consist of reservoirs, pressure tanks, elevated tanks, water mains, or other fixed systems capable of providing the required fire flow.
- C20. The location, number, and type of fire hydrants connected to a water supply capable of delivering the required fire flow shall be provided on the public street or the site of the premises or both to be protected as required and approved by the chief.

Planning

- C21. Exterior lighting provided in the public parking lot shall be at least 1 foot candle in intensity.
- C22. At least three bicycle parking spaces shall be provided for the new building.

- C23. The new parking lot entrance shall be a minimum 100 feet in distance from the closest measurement in the Arden Way right-of-way.
- C24. The applicant shall ensure that the project design conforms to ADA requirements in all respects.
- C25. Design and construction of parking areas shall conform to City Zoning regulations.

- D. The Variance to exceed the maximum allowed signage from 1 to 3 attached signs in the SC-R-PUD zone within the Point West Planned Unit Development is hereby approved subject to the following conditions:
 - D1. The proposed awnings are not to contain any signage or writing of any kind.
 - D2. Only 3 attached signs will be permitted. Additional signage will be required further Planning Commission Entitlements.

- E. The Variance to exceed the maximum allowed sign area in the SC-R-PUD zone within the Point West PUD from 182 square feet to 338 square feet is hereby approved subject to the following conditions:
 - E1. The proposed awnings are not to contain any signage or lettering of any kind.
 - E2. Only 3 attached signs will be permitted. Additional signage will be required further Planning Commission Entitlements.

CHAIRPERSON

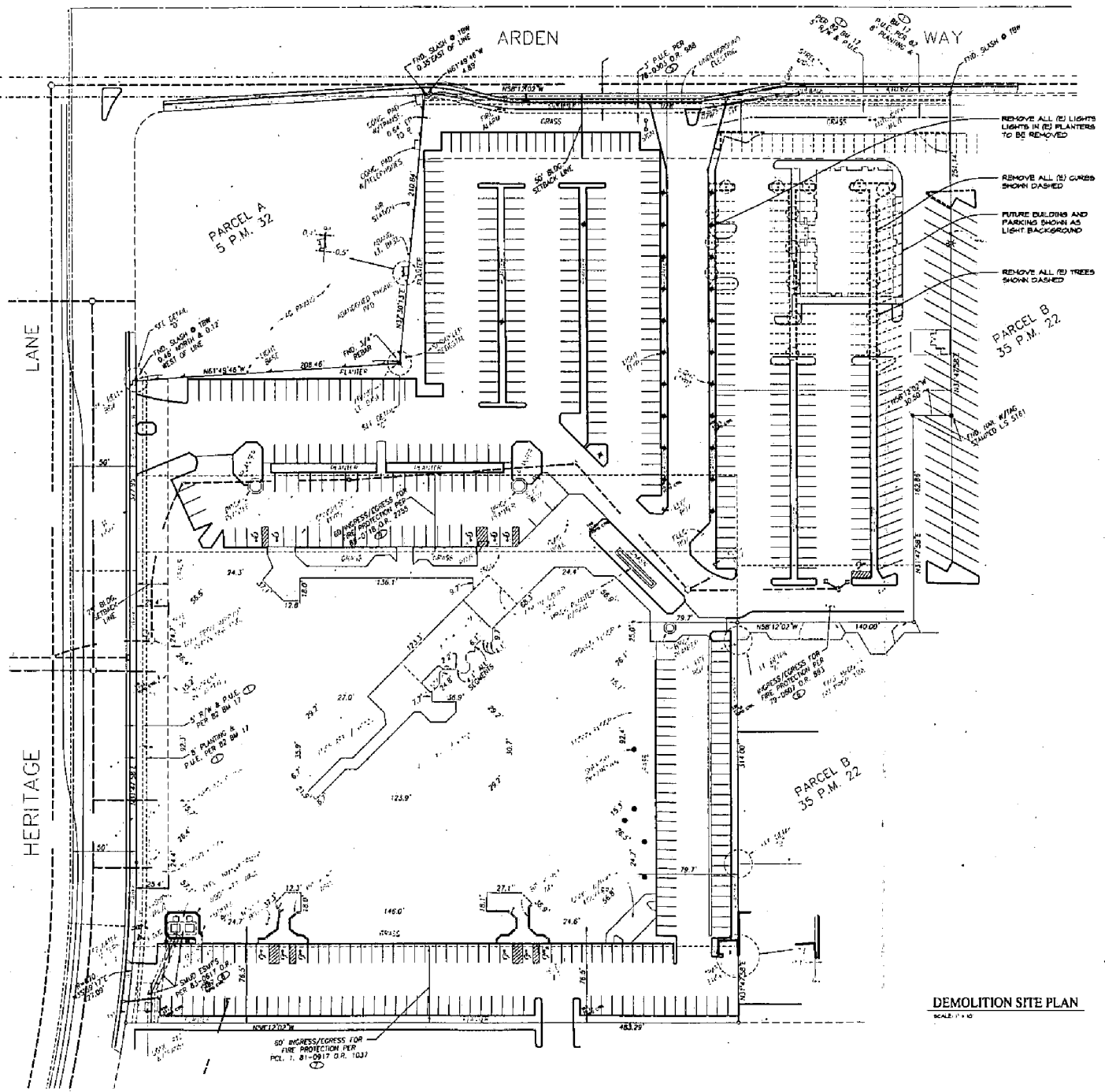
ATTEST:

SECRETARY TO CITY PLANNING COMMISSION

DATE (P00-052)

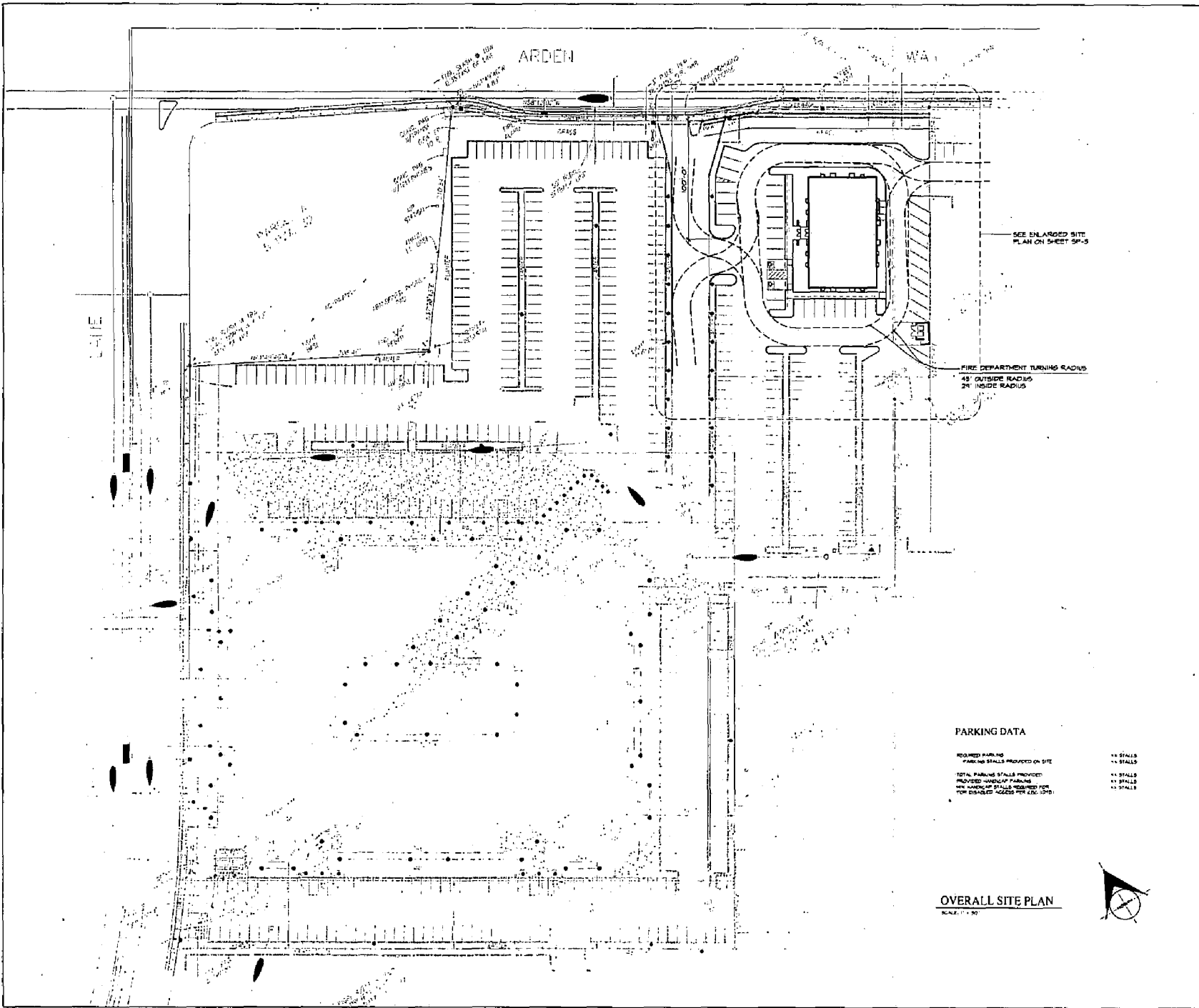
- Exhibit 1A Site Plan
- Exhibit 1B Floorplans
- Exhibit 1C Elevations

Exhibit 1A
Demolition Site Plan



DEMOLITION SITE PLAN
SCALE 1" = 10'

Exhibit 1B
Overall Site Plan



PARKING DATA

REQUIRED PARKING
PARKING STALLS PROVIDED ON SITE
TOTAL PARKING STALLS PROVIDED
PROVIDED HANDICAP PARKING
MIN. HANDICAP STALLS REQUIRED FOR
FOR ENCLOSED AREAS PER I.D.C. 10B)

- 11 STALLS
- 11 STALLS
- 11 STALLS
- 11 STALLS

OVERALL SITE PLAN
SCALE: 1" = 30'



Exhibit 1C
Site Plan



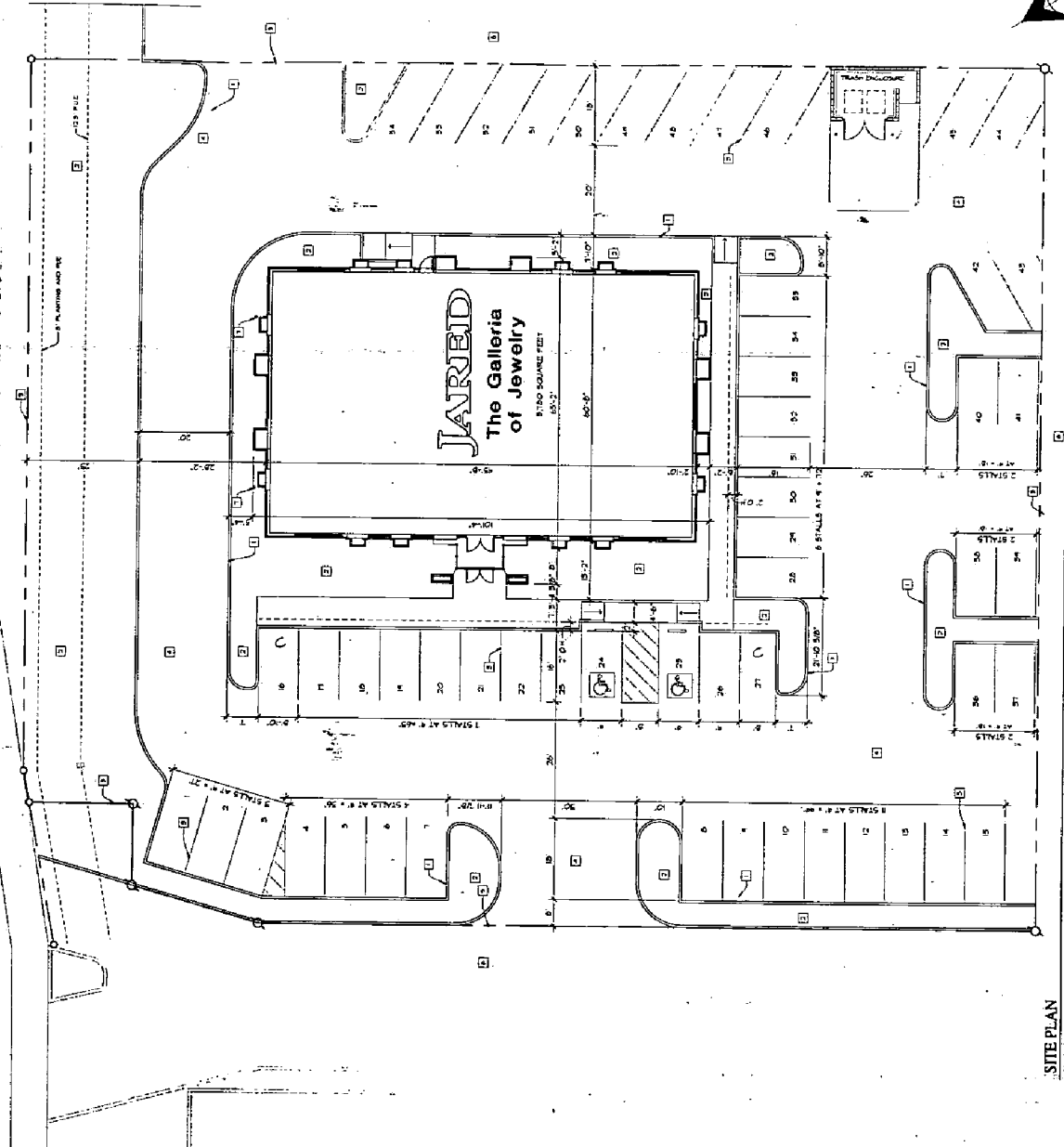
STATISTICS

LOT SIZE:	12,000 S.F.
EXIST. AREA:	7,100 S.F.
NEW AREA:	4,900 S.F.
TOTAL BUILDING AREA:	12,000 S.F.
TOTAL PAVEMENT AREA:	12,000 S.F.
TOTAL STALLS ON SITE:	34
EXISTING DRIVEWAY:	12,000 S.F.
PAVED DRIVEWAY:	12,000 S.F.
PAVED DRIVEWAY:	12,000 S.F.
TOTAL:	12,000 S.F.

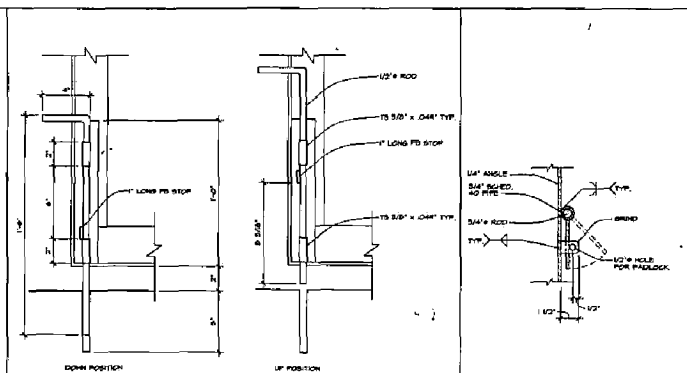
KEY NOTES

- 1. CONCRETE DRIVE - SEE CIVIL
- 2. PLANTING - SEE LANDSCAPE
- 3. PAVED DRIVEWAY
- 4. A.C. PAVING - SEE CIVIL
- 5. LEASE HOLD AREAS
- 6. EXISTING DRIVEWAY
- 7. SEE SHEET BOUNDARY WITH CONCRETE PAVEMENT YELLOW

ARDEN WAY

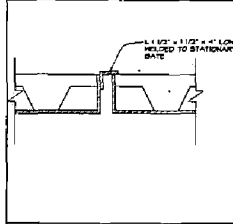


SITE PLAN
PAGE 17-0

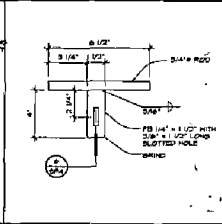


11 CANE BOLT DETAIL
SCALE: 3\"/>

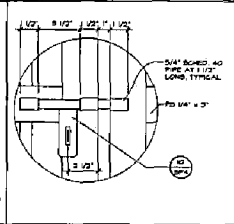
6 LATCH DETAIL
SCALE: 3\"/>



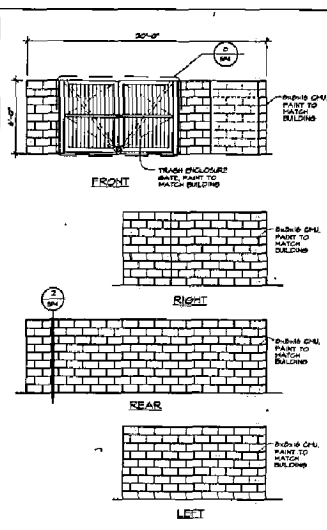
12 ANGLE STOP DETAIL
SCALE: 3\"/>



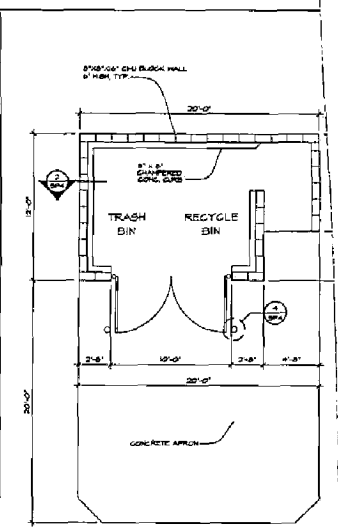
10 BOLT DETAIL
SCALE: 3\"/>



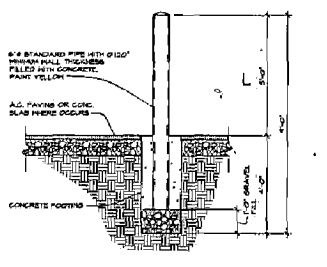
7 SLIDE BOLT LATCH DETAIL
SCALE: 3\"/>



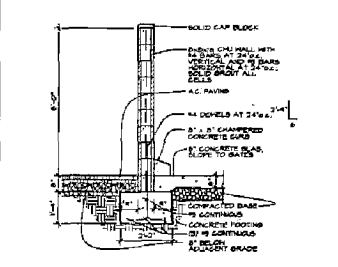
3 TRASH ENCLOSURE ELEVATIONS
SCALE: 1/4\"/>



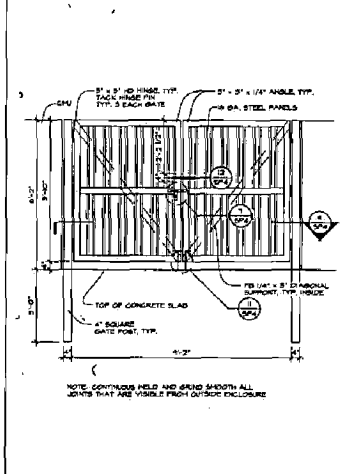
1 TRASH AND RECYCLE ENCLOSURE (PLAN VIEW)
SCALE: 1/4\"/>



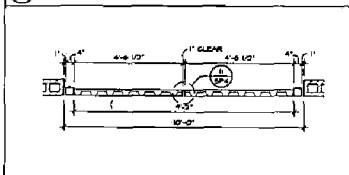
4 BOLLARD DETAIL
SCALE: 1/2\"/>



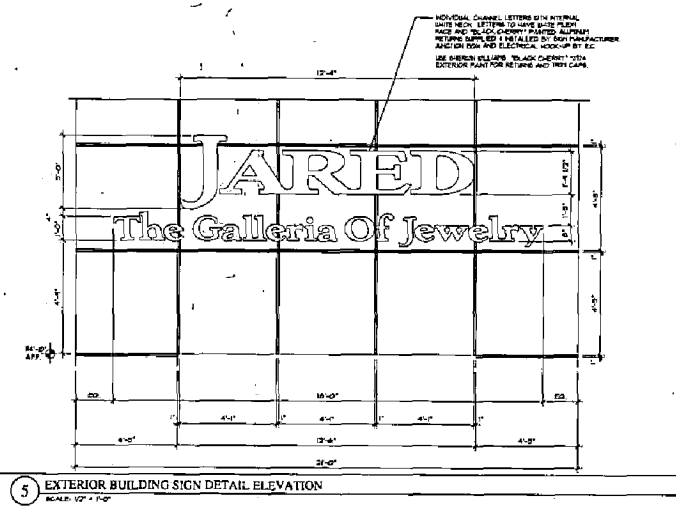
2 WALL SECTION AT TRASH ENCLOSURE
SCALE: 1/2\"/>



8 TRASH ENCLOSURE GATE
SCALE: 1/2\"/>

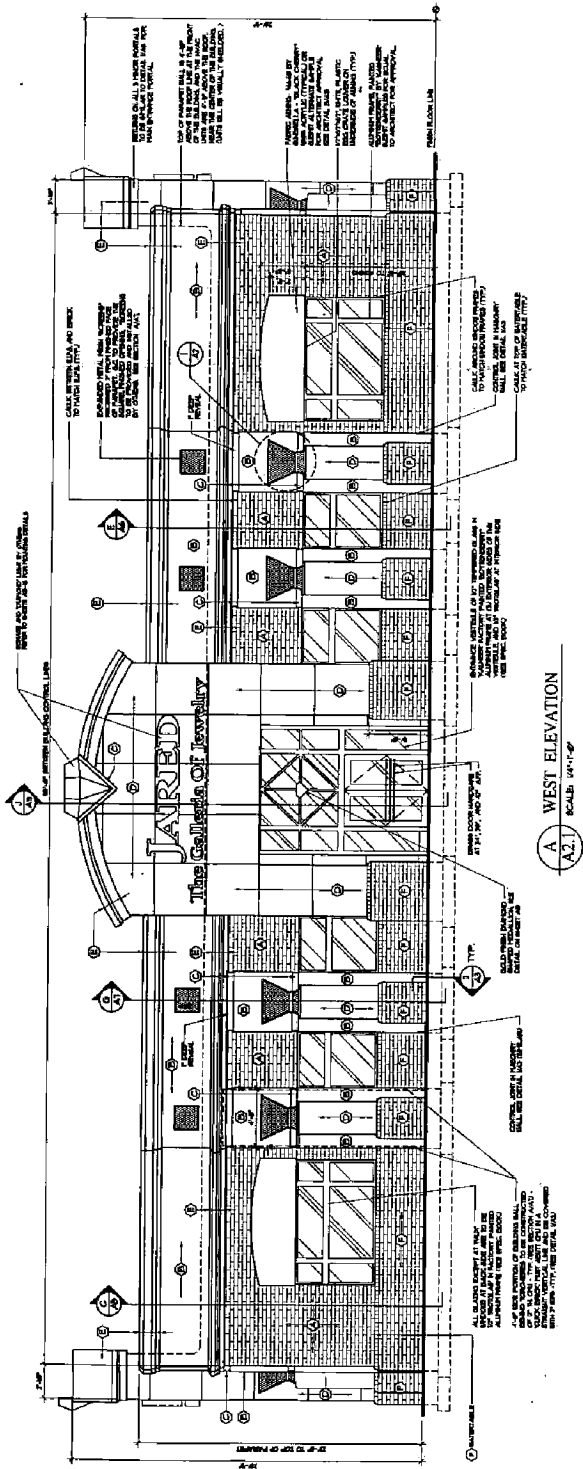


9 TRASH ENCLOSURE GATE SECTION
SCALE: 1/2\"/>



5 EXTERIOR BUILDING SIGN DETAIL ELEVATION
SCALE: 1/2\"/>

Exhibit 1E
Exterior Elevations



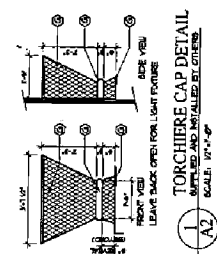
A WEST ELEVATION
SCALE: 1/4"=1'-0"

NOTE: REFER TO SHEET A1E FOR DOOR AND WINDOW JAMB DETAILS.

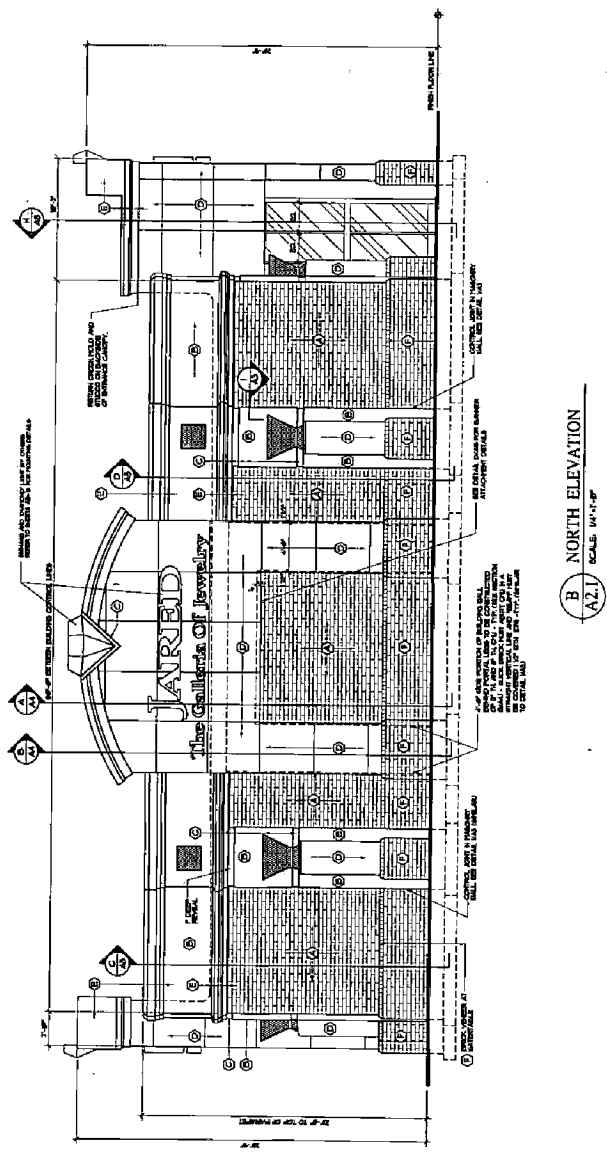
EXTERIOR FINISHES:

- A ARCON BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (UNGLAZED) OR GLAZED BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (GLAZED) TO MATCH BRICK COLOR.
- B BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (UNGLAZED) OR GLAZED BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (GLAZED) TO MATCH BRICK COLOR.
- C TORCHIERE CAP DETAIL (SEE DETAIL A2).
- D BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (UNGLAZED) OR GLAZED BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (GLAZED) TO MATCH BRICK COLOR.
- E BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (UNGLAZED) OR GLAZED BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (GLAZED) TO MATCH BRICK COLOR.
- F BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (UNGLAZED) OR GLAZED BRICK MANUFACTURED BY ARCON BRICK AND BLOCK (GLAZED) TO MATCH BRICK COLOR.
- G GOLD PAINT FOR TORCHIERE CAPITALS AND DECORATIVE SCREENS. APPLY SPEC. BY OTHERS.

NOTE: ALL BRICK MANUFACTURED BY ARCON BRICK AND BLOCK. CONTACT DAVID CALICE AT 1-800-569-2866.

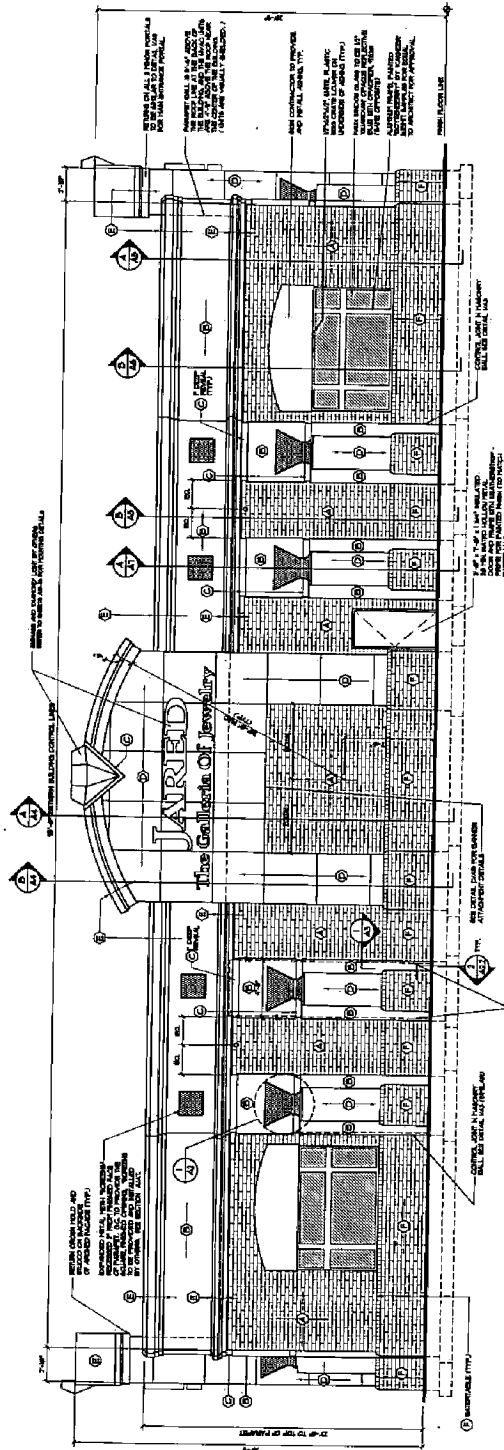


TORCHIERE CAP DETAIL
SCALE: 1/4"=1'-0"

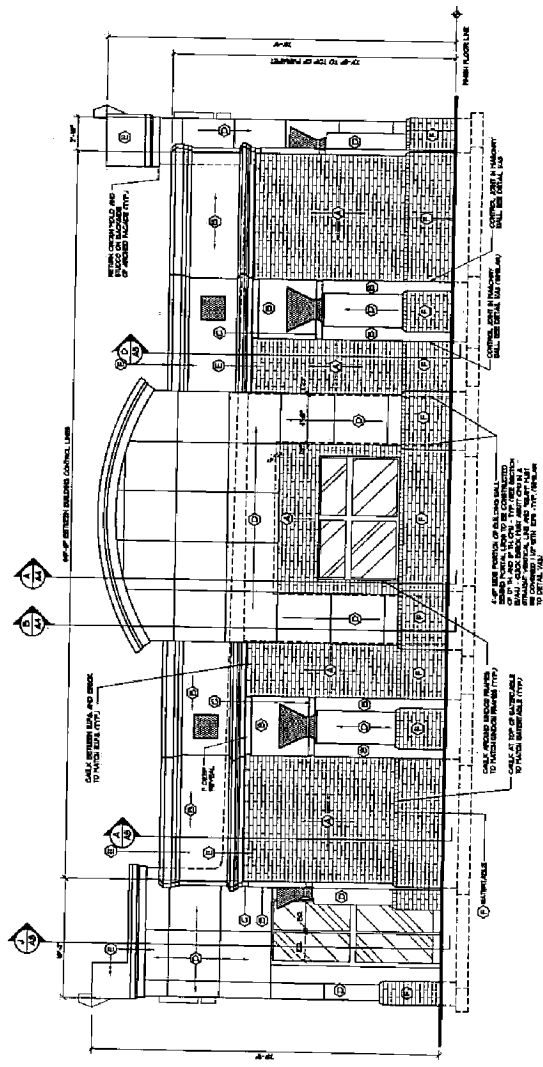
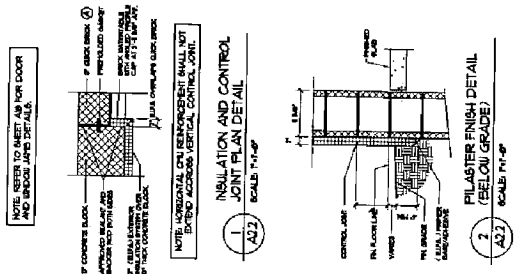


B NORTH ELEVATION
SCALE: 1/4"=1'-0"

Exhibit 1F
Exterior Elevations



C EAST ELEVATION
SCALE: 1/4"=1'-0"



D SOUTH ELEVATION
SCALE: 1/4"=1'-0"



ARDEN WAY

IRRIGATION SCHEDULE

1/2" x 1/2"	4" POP-UP SPRAY HEAD	RANDED 2000 5/8"-118" BY 0 SERIES NOZZLE	P.M. 0.1 VAN 1.01 NAHR
1/2" x 1/2"	4" POP-UP SPRAY HEAD	RANDED 2000 5/8"-118" BY 0 SERIES NOZZLE	P.M. 0.1 VAN 1.15 NAHR
1/2" x 1/2"	4" POP-UP SPRAY HEAD	RANDED 2000 5/8"-118" BY 0 SERIES NOZZLE	P.M. 0.1 VAN 1.21 NAHR
1/2" x 1/2"	4" POP-UP SPRAY HEAD	RANDED 2000 5/8"-118" BY 0 SERIES NOZZLE	P.M. 0.1 VAN 1.28 NAHR
1/2" x 1/2"	4" POP-UP SPRAY HEAD	RANDED 2000 5/8"-118" BY 0 SERIES NOZZLE	P.M. 0.1 VAN 1.34 NAHR
1/2" x 1/2"	4" POP-UP SPRAY HEAD	RANDED 2000 5/8"-118" BY 0 SERIES NOZZLE	P.M. 0.1 VAN 1.41 NAHR

- BACKFLOW PREVENTER - PERISCO 8000 REDUCED PRESSURE DEVICE (RATED) SCREEN WITH SHIMMS
- REMOTE CONTROL VALVE - RANDED 2000 5/8"-118" BY 0 SIZE PER PLAN
- AUTOMATIC CONTROLLER - RANDED 2000 5/8"-118" BY 0 INTERIOR GALL MOUNT
- AUTOMATIC RAIN SHUTOFF - RANDED 2000 5/8"-118" BY 0
- QUICK COUPLER VALVE - RANDED 2000 5/8"-118" BY 0 INSTALL IN DOOR RELOC GRADE
- SHUTOFF VALVE - HEDCO T-10L OR EQUAL. INSTALL IN DOOR PER DETAIL. SIZE PER LINE.
- PRESSURE MAINLINE PIPING - SCHEDULE 40 PVC (PVC) - SIZE PER PLAN
- NON-PRESSURE LATERAL LINE PIPING - PVC CLASS 2000 - SIZE PER PLAN
- PIPE SLEEVE FOR IRRIGATION PIPING INSTALLED UNDER PAVING - PVC SCHEDULE 40
- CONTROL WIRE CONDUIT INSTALLED UNDER PAVING - PVC SCHEDULE 40
- INDICATES AUTOMATIC SPRINKLER CONTROLLER STATION NUMBER
- INDICATED FLOW IN GPM

PIPE SIZE LEGEND:

- 1/2" LATERAL LINE SIZE
- 3/4" LATERAL LINE SIZE
- 1" LATERAL LINE SIZE
- 1 1/4" LATERAL LINE SIZE
- 1 1/2" LATERAL LINE SIZE
- 2" LATERAL LINE SIZE

SPECIAL NOTES:

- WHERE VERTICAL CONSTRUCTIONS IN THE LANDSCAPE AREA INTERFERE WITH THE IRRIGATION PATTERN OF A SPRINKLER, THE CONTRACTOR SHALL ADJUST HEAD LOCATIONS OR ADD SPRINKLERS AS REQUIRED TO PROVIDE FULL COVERAGE. THIS MAY INCLUDE THE ADDITION OF A VARIABLE ARC PATTERN SPRINKLER TO EACH SIDE OF THE CONSTRUCTION. ALL SUCH ADJUSTMENTS SHALL BE MADE AT NO COST TO THE OWNER.
- FLAMMABLE PIPING AND VALVES ARE BANNED WITHIN PAVED AREAS FOR DRINKING QUALITY ONLY. ALL PIPING AND VALVES BANNED WITHIN PAVED AREAS SHALL BE INSTALLED WITHIN UNPAVED AREAS. VALVE BOXES SHALL BE LOCATED ADJACENT TO PAVED AREAS OR HEADERS FOR EASE OF MAINTENANCE ACCESS.

NOTE:
REMOVE ALL (E) SPRINKLER HEADS IN AREAS OF NEW SIDE CURBS.
RETURN PIPING EQUIPMENT TO OWNER.
RELOCATE (E) MAINLINE SPRINKLERS TO MAINTAIN OPERATION OF (E) IRRIGATION SYSTEM.

WATER CALCULATIONS:

SEE DETAIL SHEET L-3 FOR IRRIGATION CONTROLLER SCHEDULE AND WATER USE CALCULATIONS

IRRIGATION NOTES:

- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AT HIS EXPENSE.
- VERIFY EXISTING WATER PRESSURE AND FLOW DIMENSIONS. DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK. IF NOTIFICATION IS NOT MADE, THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY REVISIONS.
- INSTALL BACKFLOW PREVENTER PER LOCAL CODES AND INSTALLATION DETAIL. LOCATION BASED ON CHANGING IN APPROPRIATE WITH FINAL LOCATION TO BE APPROVED BY OWNER'S REPRESENTATIVE. INTENT IS TO SCREEN DEVICE FROM PUBLIC VIEW (E) ALLOW ACCESS FOR MAINTENANCE.
- LINE COUPLER WEDGES, WHERE POSSIBLE, PIPES SHALL HAVE A MINIMUM HORIZONTAL CLEARANCE OF (6) INCHES. INSTALL PRESSURE LINE PIPE WITH A MINIMUM OF COVER. INSTALL LATERAL LINE PIPE WITH A MINIMUM OF COVER.
- DO NOT POWER FOR CONTROLLER SHALL BE STUDIED OUT BY OTHERS AT CONTROLLER LOCATION. LANDSCAPE CONTRACTOR SHALL MAKE CONNECTION TO CONTROLLER.
- CONTROL WIRING SHALL OCCUPY THE SAME TRENCH AND SHALL BE INSTALLED ALONG SIDE OF PRESSURE LINES, WHEREVER POSSIBLE. COPPER WIRE SHALL BE USED. ALL OTHER WIRE SHALL NOT BE BURIED. TAPED LINES TOGETHER AT TWENTY (20) FOOT INTERVALS. SPLICES SHALL BE MADE WITH BOOT-LON CONNECTION PIPES OR EQUAL. INSTALL SPLICES IN IRRIGATION VALVE BOX WHEN LED.
- ALL MAINLINE SHALL BE PRESSURE TESTED, AT A MINIMUM 80 PSI FOR 4 HOURS, IN THE PRESENCE OF THE INSPECTOR PRIOR TO BACKFILLING OF TRENCHES.
- ALL PIPE AND WIRE UNDER PAVING SHALL BE INSTALLED IN 3/4" PVC SLEEVES BURIED A MINIMUM 14" DEEP WITH SAND BACKFILL. 4" BELOW AND ABOVE PIPE, SLEEVES SHALL BE 2" GAPS LARGER THAN PIPE WITHIN 2' OF THE TRENCH NOTED.
- TRENCH BACKFILL IN LANDSCAPE AREAS SHALL CONSIST OF A FINE, GRAIN-LIKE MATERIAL THREE INCHES ABOVE AND UNDER PIPE. ALL TRENCH BACKFILL SHALL BE TECHNICALLY COMPACTED TO EQUAL ADVANTAGE UNDISTURBED SOIL IN PLANTER AREA. SETTLEMENT OF TRENCHES SHALL NOT BE ALLOWED.
- FLUSH ENTIRE SYSTEM BEFORE INSTALLING SPRINKLER HEADS.
- SPACING OF HEADS SHALL NOT EXCEED THAT SHOWN ON DRAWINGS. ADJUST ALL HEADS TO PREVENT OVERTHROW ONTO BUILDINGS AND PAVING YET ALLOW FULL COVERAGE. HEADS SHALL BE SET PERPENDICULAR TO MAIN LINES.
- PERFORM COVERAGE TEST PRIOR TO PAVING. REPORT MAGNITUDES TO LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH AS-BUILT DRAWINGS AND CONTROLLER CHART BEFORE WORK WILL BE ACCEPTED. THE DRAWINGS SHALL SHOW ALL CHANGES TO THE ORIGINAL PLAN.
- LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH TWO AUTOMATIC CONTROLLER KEYS AND TWO QUICK COUPLER VALVE KEYS WITH INSTRUCTIONS FOR USE.
- THE IRRIGATION SYSTEM SHALL BE GUARANTEED FOR ALL MATERIALS AND WORKMANSHIP, INCLUDING SETTLEMENT OF TRENCHES, FOR A PERIOD OF ONE (1) YEAR FOLLOWING ACCEPTANCE OF INSTALLATION WORK.

IRRIGATION PLAN
SCALE: 1" = 10'

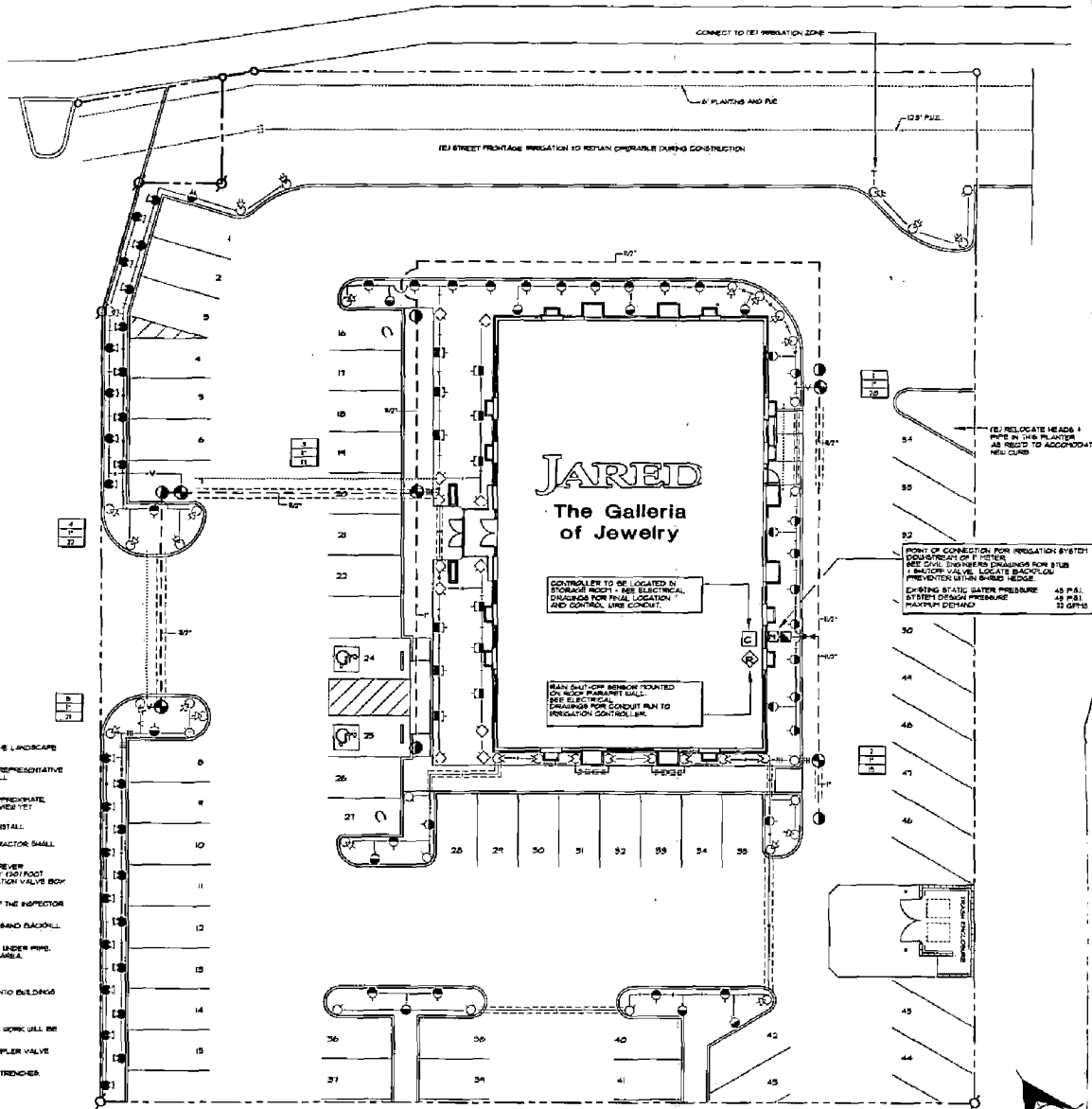
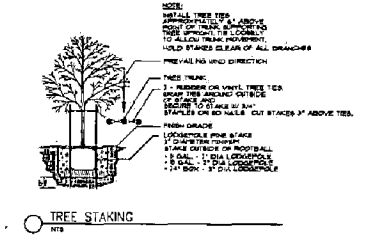
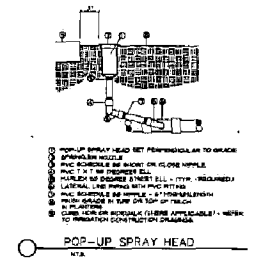
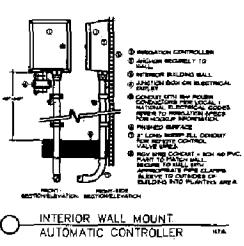
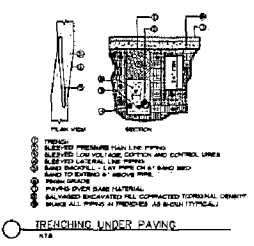
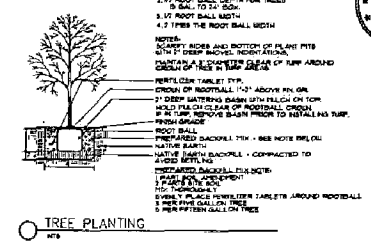
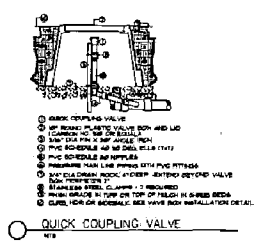
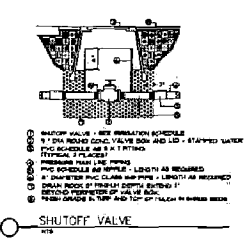
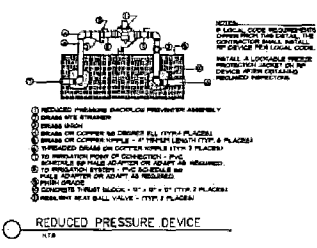
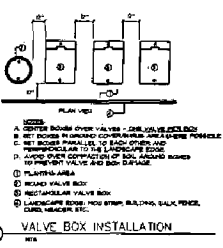


Exhibit 1H
Irrigation Plan



CONTROLLER SCHEDULE

SCHEDULE IS TO BE USED AS A GUIDELINE. MONITOR RATE CONDITIONS CAREFULLY AND ADJUST AS NECESSARY. DURING 101 YEAR ESTABLISHMENT PERIOD THIS SCHEDULE MAY BE INCREASED A MAXIMUM 20% TO PROVIDE ADDITIONAL WATER IF REQUIRED. OPERATE CONTROLLER BETWEEN HOURS OF 10 AM AND 8 PM.

PROGRAM A	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
CYCLE/DAY	1	1	1	1	1	1	1	1	1	1	1	1
DAYS TO SKIP	0	0	4	2	1	1	1	1	2	4	0	0
STATIONS 4 & 5			20	20	14	18	14	22	22	0	0	
MIN/CYCLE												
MIN/ACTUAL												
MIN/ACTUAL												

PROGRAM B	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
CYCLE/DAY	1	1	1	1	1	1	1	1	1	1	1	1
DAYS TO SKIP	0	0	5	5	4	3	3	4	1	0	0	0
STATIONS 1, 2, 3												
MIN/CYCLE												
MIN/ACTUAL												
MIN/ACTUAL												

WATER USAGE

	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
STATION 1	0	0	1054	890	784	7400	7635	7319	6180	180	0	0
STATION 2	0	0	1201	1475	1680	2760	2503	2205	856	104	0	0
STATION 3	0	0	856	375	1680	2040	2340	1736	1476	588	0	0
STATION 4	0	0	273	3300	4734	5280	6130	4714	3630	2501	0	0
STATION 5	0	0	3170	3180	4561	5040	4899	4391	2463	2301	0	0
TOTAL GALS	0	0	7355	6240	14866	17040	19779	15841	11759	3143	0	0
ANNUAL ESTIMATED WATER USAGE:	10628 GALLONS											
MAXIMUM ALLOWABLE:	4295 SF X 8 1/2" X 8" X 125.631 GALLONS/YEAR											

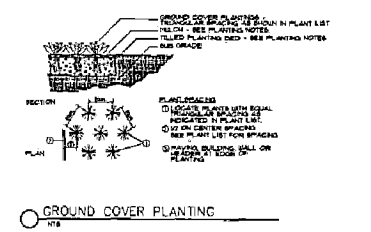
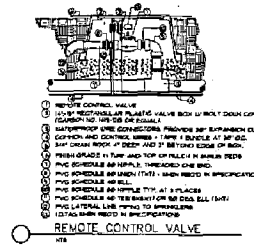
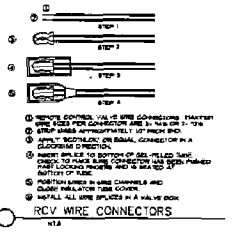
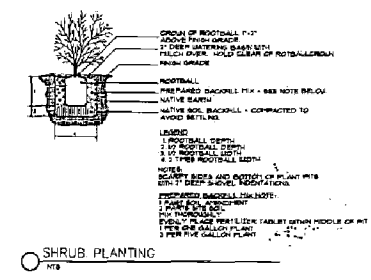
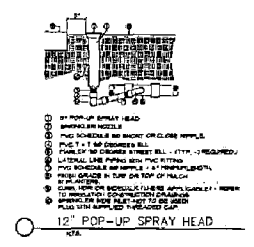
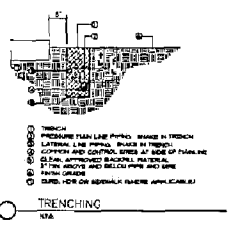


Exhibit 1J
Floor Plan

WALL TYPE LEGEND

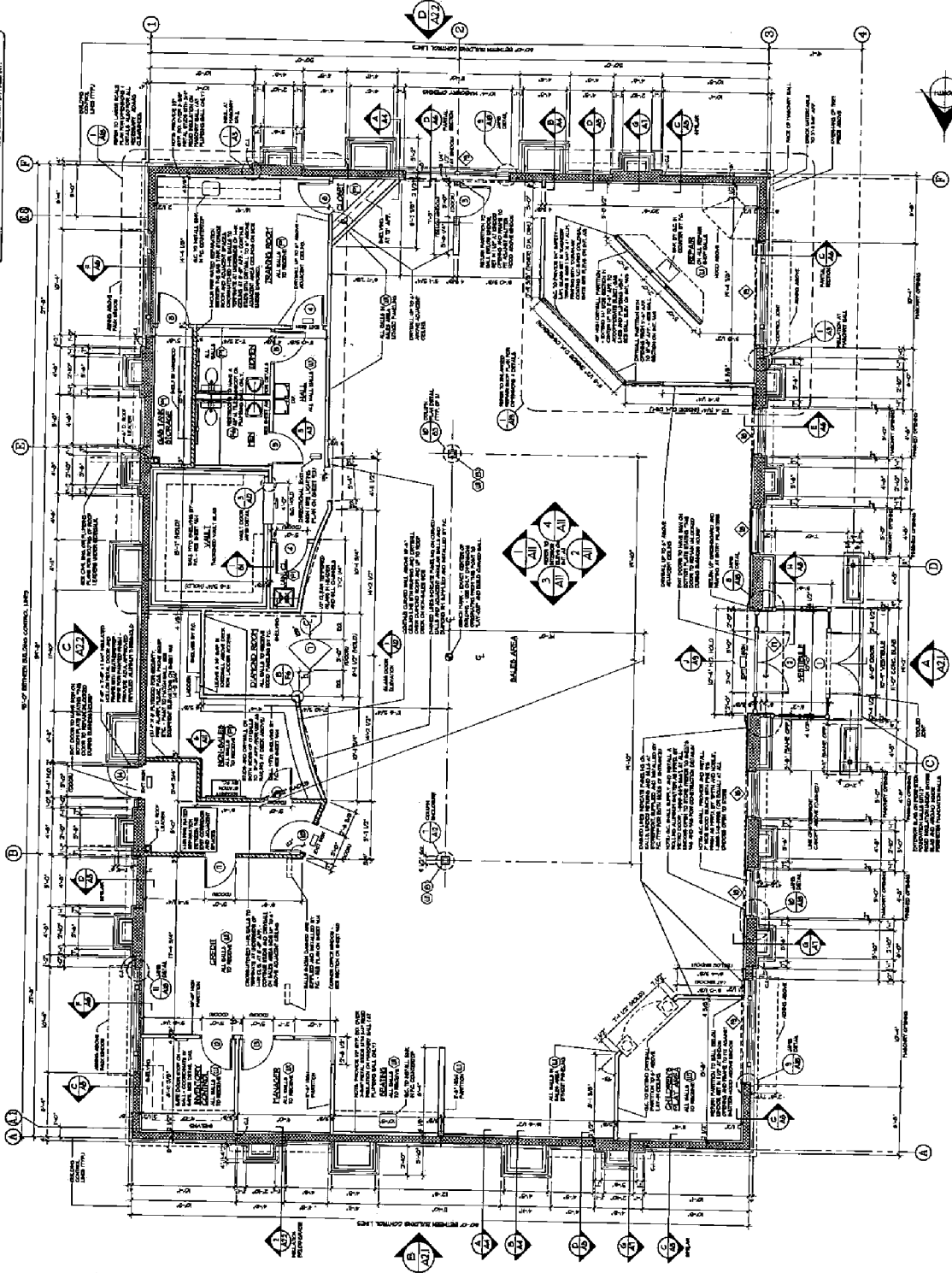
1.0" CMU	1.0" CONCRETE MASONRY UNIT
2.0" CMU	2.0" CONCRETE MASONRY UNIT
4.0" CMU	4.0" CONCRETE MASONRY UNIT
6.0" CMU	6.0" CONCRETE MASONRY UNIT
8.0" CMU	8.0" CONCRETE MASONRY UNIT
12.0" CMU	12.0" CONCRETE MASONRY UNIT
16.0" CMU	16.0" CONCRETE MASONRY UNIT
20.0" CMU	20.0" CONCRETE MASONRY UNIT
24.0" CMU	24.0" CONCRETE MASONRY UNIT
30.0" CMU	30.0" CONCRETE MASONRY UNIT
36.0" CMU	36.0" CONCRETE MASONRY UNIT
42.0" CMU	42.0" CONCRETE MASONRY UNIT
48.0" CMU	48.0" CONCRETE MASONRY UNIT
54.0" CMU	54.0" CONCRETE MASONRY UNIT
60.0" CMU	60.0" CONCRETE MASONRY UNIT
66.0" CMU	66.0" CONCRETE MASONRY UNIT
72.0" CMU	72.0" CONCRETE MASONRY UNIT
78.0" CMU	78.0" CONCRETE MASONRY UNIT
84.0" CMU	84.0" CONCRETE MASONRY UNIT
90.0" CMU	90.0" CONCRETE MASONRY UNIT
96.0" CMU	96.0" CONCRETE MASONRY UNIT
102.0" CMU	102.0" CONCRETE MASONRY UNIT
108.0" CMU	108.0" CONCRETE MASONRY UNIT
114.0" CMU	114.0" CONCRETE MASONRY UNIT
120.0" CMU	120.0" CONCRETE MASONRY UNIT
126.0" CMU	126.0" CONCRETE MASONRY UNIT
132.0" CMU	132.0" CONCRETE MASONRY UNIT
138.0" CMU	138.0" CONCRETE MASONRY UNIT
144.0" CMU	144.0" CONCRETE MASONRY UNIT
150.0" CMU	150.0" CONCRETE MASONRY UNIT
156.0" CMU	156.0" CONCRETE MASONRY UNIT
162.0" CMU	162.0" CONCRETE MASONRY UNIT
168.0" CMU	168.0" CONCRETE MASONRY UNIT
174.0" CMU	174.0" CONCRETE MASONRY UNIT
180.0" CMU	180.0" CONCRETE MASONRY UNIT
186.0" CMU	186.0" CONCRETE MASONRY UNIT
192.0" CMU	192.0" CONCRETE MASONRY UNIT
198.0" CMU	198.0" CONCRETE MASONRY UNIT
204.0" CMU	204.0" CONCRETE MASONRY UNIT
210.0" CMU	210.0" CONCRETE MASONRY UNIT
216.0" CMU	216.0" CONCRETE MASONRY UNIT
222.0" CMU	222.0" CONCRETE MASONRY UNIT
228.0" CMU	228.0" CONCRETE MASONRY UNIT
234.0" CMU	234.0" CONCRETE MASONRY UNIT
240.0" CMU	240.0" CONCRETE MASONRY UNIT
246.0" CMU	246.0" CONCRETE MASONRY UNIT
252.0" CMU	252.0" CONCRETE MASONRY UNIT
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1086.0" CMU	1086.0" CONCRETE MASONRY UNIT
1092.0" CMU	1092.0" CONCRETE MASONRY UNIT
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1104.0" CMU	1104.0" CONCRETE MASONRY UNIT
1110.0" CMU	1110.0" CONCRETE MASONRY UNIT
1116.0" CMU	1116.0" CONCRETE MASONRY UNIT
1122.0" CMU	1122.0" CONCRETE MASONRY UNIT
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1188.0" CMU	1188.0" CONCRETE MASONRY UNIT
1194.0" CMU	1194.0" CONCRETE MASONRY UNIT
1200.0" CMU	1200.0" CONCRETE MASONRY UNIT

NOTE: SEE SITE PLAN DRAWINGS FOR LOCATION OF ALL UTILITIES AND REFER TO SHEET J-1 FOR CURB AND CONSTRUCTION DETAILS.

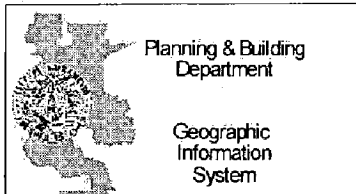
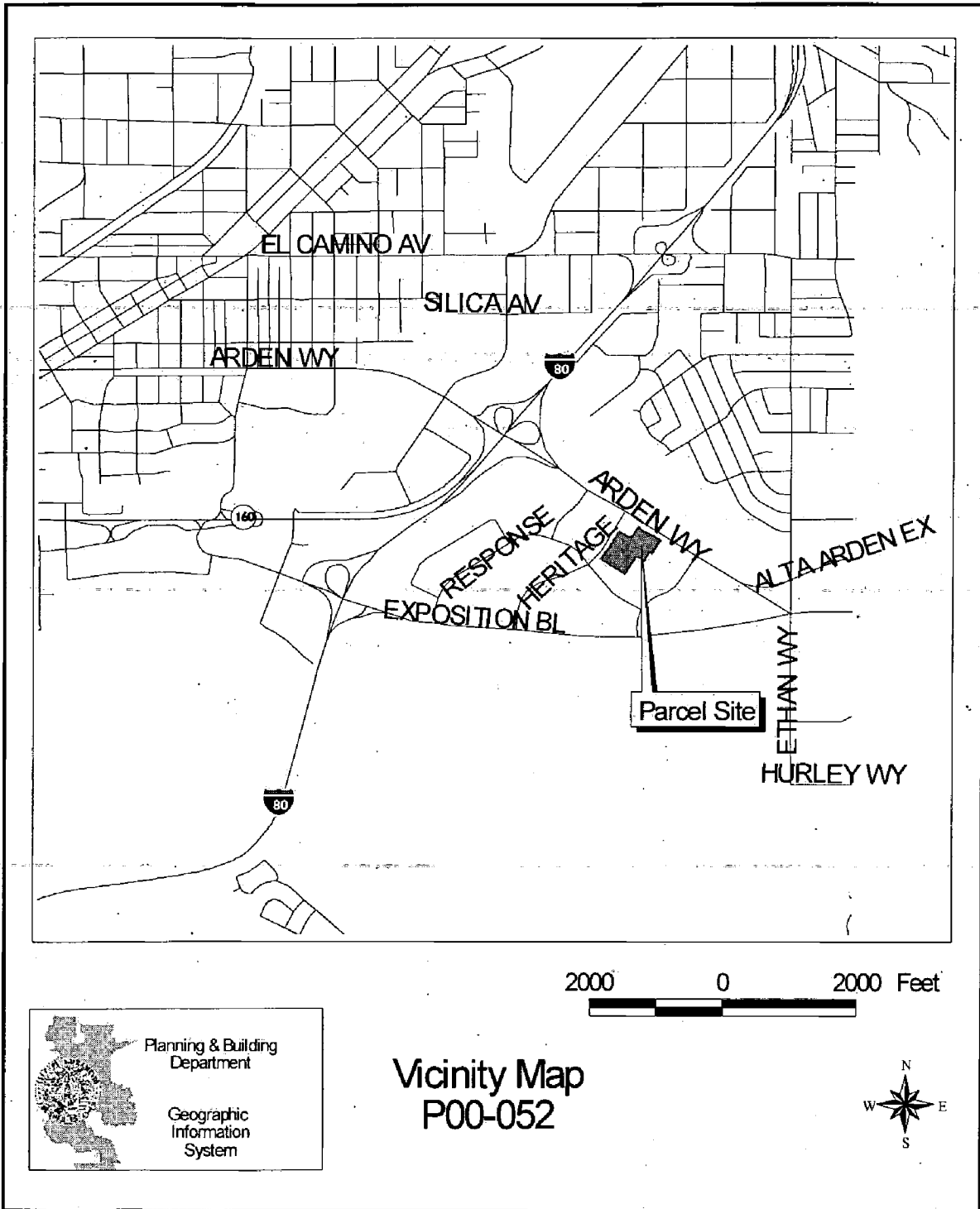
NOTE: REFER TO SHEET J-1 FOR DOOR AND WINDOW FRAME DETAILS AND SPECIFICATION BOOK FOR GLAZING FINISHES AND GLASS TYPES.

NOTE: ORIGINAL CONTRACTOR SHALL VERIFY ALL EXISTING WALLS THAT SUPPORT EXISTING PANEL UNITS OR WALL CABINETS. ALL EXISTING WALLS SHALL BE REINFORCED WITH STEEL BARS AND CONCRETE TO MATCH THE PROPOSED CONSTRUCTION THROUGHOUT ENTIRE INSTALLATION.

NOTE: DIMENSIONS SHOWN ON THIS PLAN ARE FROM THE FACE OF CURTAIN WALL TO THE FACE OF CURTAIN WALL UNLESS NOTED OTHERWISE. MEASUREMENTS SHOULD BE TAKEN FROM THE FACE OF CURTAIN WALL UNLESS NOTED OTHERWISE.



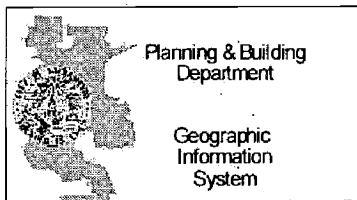
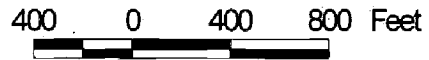
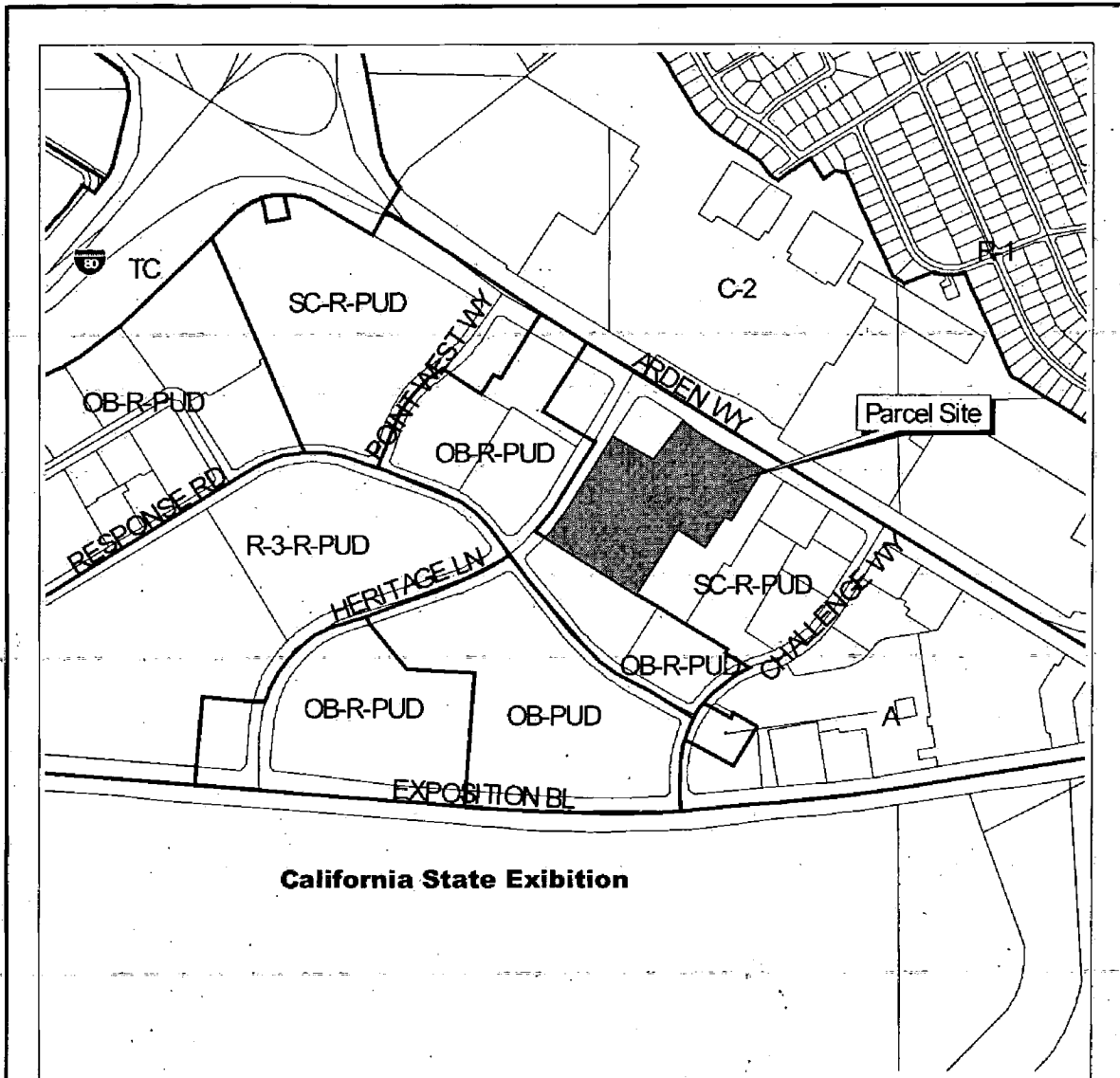
Attachment 2
Vicinity Map



Vicinity Map
P00-052



Attachment 3
Landuse & Zoning Map



Land Use & Zoning
P00-052





SACRAMENTO CITY PLANNING DIVISION

1231 I Street, Room 200; Sacramento, CA 95814
(916) 264-5381

Application taken by: Kimberly Kaufman-Brisby, April 12, 2000

Project Location: SE Arden Way & Heritage Lane

Assessor's Parcel No.: 277-0272-004

Owner: Speiker Properties

Address: 1610 Arden Way, Ste 298, Sacramento, CA. 95815

Applicant: Sandy Swett, Swett Equity Inc., 131 Wellfleet Circle

Address: Folsom, CA. 95630

REQUESTED ENTITLEMENT(S): Entitlements to construct a 5,780 square foot retail store on 1.1 ± developed acres in the Shopping Center - Review - Planned Unit Development (SC-R-PUD) zone. (APN 277-0272-004) (D3):

- A. **Environmental Determination:** Exempt, Section 15332;
- B. **PUD/ Schematic Plan Amendment** to allow the construction of a 5,780 square foot retail store on 1.1 ± developed acres in the Point West Planned Unit Development;
- C. **Special Permit** to construct a 5,780 square foot retail store in the Point West Planned Unit Development (PUD);
- D. **Variance** to exceed the maximum allowed signage from 1 to 3 attached signs in the SC-R-PUD zone within the Point West PUD;
- E. **Variance** to exceed the maximum allowed sign area in the SC-R-PUD zone within the Point West PUD from 182 square feet to 338 square feet.

ACTIONS TAKEN:

On August 10, 2000, the Planning Commission took the following action on:

A-E Adopted Notice of Decision and Findings of Fact for approval.

Sent to Applicant: August 25, 2000
Date

By: Nel Penney
Nel Penney, Secretary

EXPIRATION

TENTATIVE MAP: Failure to record a final map within two years of the date of approval or conditional approval of a tentative map shall terminate all proceedings.

SPECIAL PERMIT: A use for which a Special Permit is granted must be established within two years after such permit is issued. If such use is not so established, the Special Permit shall be deemed to have expired.

VARIANCE: Any variance involving an action which requires a building permit shall expire at the end of two years unless a building permit is obtained within the variance term.

NOTE: Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions taken on rezonings, special permits and variances.