

PLANNING DIRECTOR'S VARIANCE
1231 "I" STREET, SUITE 200, SACRAMENTO, CA. 95814

APPLICANT	<u>Stanford Settlement, Inc., 450 W. El Camino Ave., Sac., CA 95833</u>		
OWNER	<u>Stanford Settlement, Inc., 450 W. El Camino Ave., Sac., CA 95833</u>		
PLANS BY	<u>Monighan & Terry Architects, 1901 Capitol Ave., Sac., CA 95814</u>		
FILING DATE	<u>10-04-89</u>	ENVIR.DET	<u>Ex. 15304b</u>
		REPORT BY	<u>CL:ei</u>
ASSESSOR'S PCL. NO.	<u>274-0131-031</u>		

APPLICATION: Planning Director's Variance to waive the required solid masonry wall along the east and west property lines of the parking lot on 0.26 \pm acres in the Multi-Family Residential (R-2A) zone.

LOCATION: 450 West El Camino Avenue

PROPOSAL: The applicant is requesting the necessary entitlements to waive the solid wall along the east and west property lines of the parking lot.

PROJECT INFORMATION:

General Plan Designation:	Low Density Residential (4-15 du/na)
1988 South Natomas	
Community Plan Designation:	Low Density Residential (4-8 du/ac)
Existing Zoning of Site:	R-2A
Existing Land Use of Site:	Stanford Settlement

Surrounding Land Use and Zoning:

North:	Single Family Residential; R-1
South:	Single Family Residential; R-1
East:	Multi-Family Residential; R-1
West:	Vacant and Single Family Residential; R-1

Parking Required:	32 spaces
Parking Provided:	32 spaces
Parking Lot Dimensions:	142' x 81'
Parking Lot Area:	0.26 \pm acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

BACKGROUND INFORMATION: On May 27, 1975, the Planning Commission approved a special permit to establish the Stanford Settlement in the old Gardenland School (P6456). The neighborhood social center provides an adult community center, counseling and nutrition programs, child care services, senior citizens' activities, mental health services and a delinquency prevention program. Subsequently, requests have been approved to expand the facility by adding a mobile unit and a covered patio (P8521, March 8, 1979 and P9148, September 11, 1980).

A Planning Director's Variance was approved to waive the six-foot high masonry wall required around the center (P9199, November 19, 1980). A special permit was approved to allow a medical care clinic addition to this neighborhood center (P84-259, August 9, 1984). A modification of the special permit to extend the out patient primary care health clinic's hours of operation was approved on September 14, 1984 (P84-008). Variances were approved to allow a monument sign for the Medical Clinic and Stanford Settlement by the Planning Commission on August 14, 1986 (P86-270). On December 4, 1986, the Planning Commission approved a special permit to allow a parking lot and a lot line adjustment to merge three lots (P86-387).

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of one parcel totaling 1.34± acres in the Multi-Family Residential (R-2A) zone. A parking lot is located on 0.26± acres of this site. The General Plan designates the site Low Density Residential (4-15 du/na) and the 1988 South Natomas Community Plan designates the site Low Density Residential (4-8 du/ac). The surrounding land use and zoning includes single family residential, zoned R-1, to the north and south; multi-family residential, zoned R-1, to the east; and vacant and single family residential, zoned R-1, to the west.

B. Applicant's Proposal

The applicant is requesting a Planning Director's Variance to waive the required masonry wall along the east and west property lines of the parking lot. The applicant is proposing to use chain link which is consistent with what surrounds the Stanford Settlement.

C. Staff Analysis

Staff has no objection to the applicant's request. The required wall around the Stanford Settlement has been waived. A chain link fence reduces graffiti and will allow trees along the property line to remain. The adjacent property to the west is vacant and the property to the east has two single family dwellings. These property owners were informed of the wall waiver and no objections were received. Staff suggests the planter along the chain link fence be planted with vines which will climb and cover the fence.

ENVIRONMENTAL DETERMINATION: This project is exempt from environmental review pursuant to State EIR Guidelines (CEQA Section 15304b).

RECOMMENDATION: Staff recommends the Planning Director approve the variance request subject to conditions and based upon the findings of fact which follow.

Conditions

1. The planters adjacent to the fence shall be planted with vines which climb and cover the fence.
2. The fence shall meet the height requirements of the Zoning Ordinance, including reducing the height to 3 feet in the front yard setback.

Findings of Fact

1. The project, as conditioned, does not constitute a special privilege granted to an individual property owner in that a variance would be granted to other property owners facing similar circumstances.

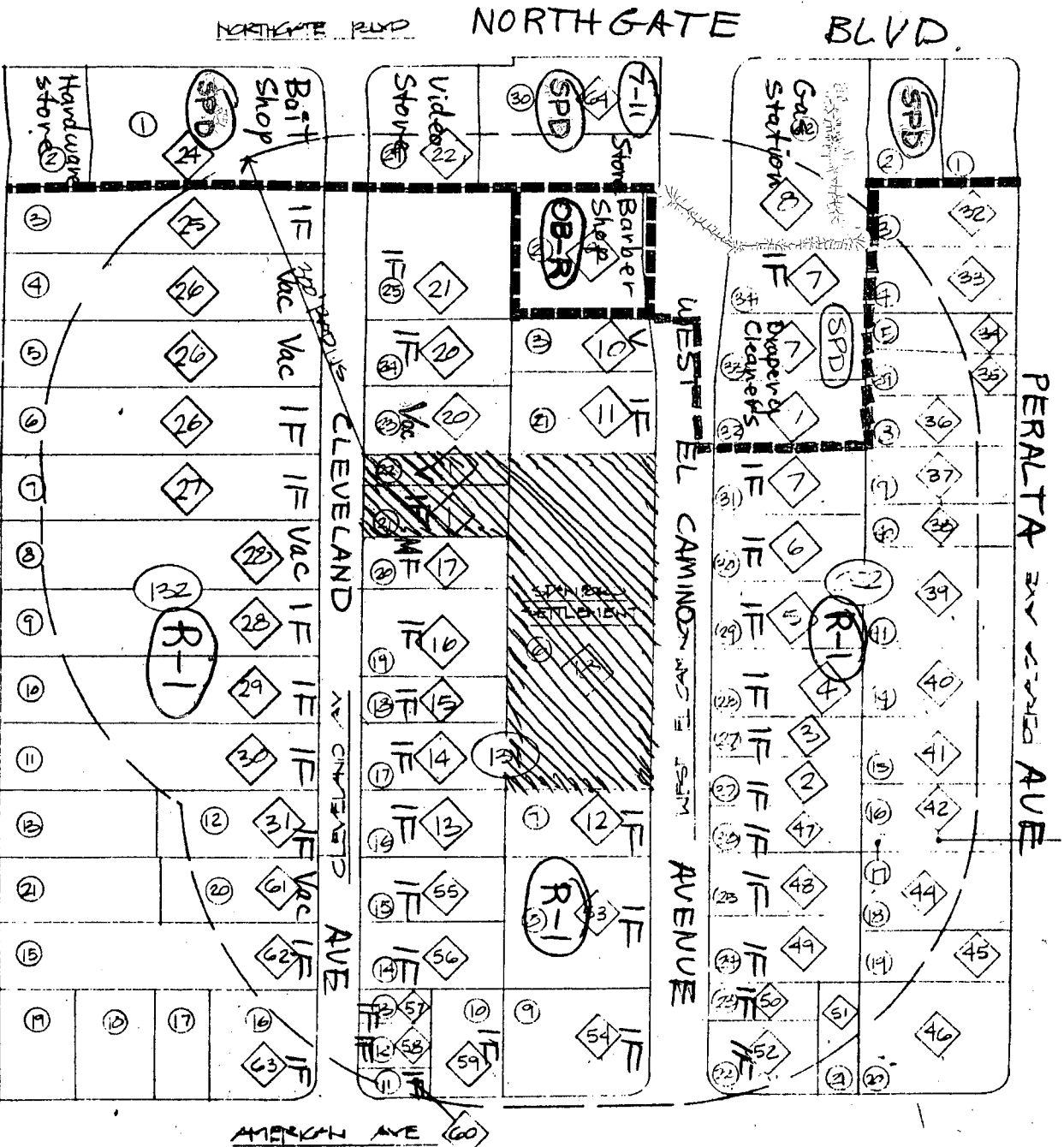
2. The project, as conditioned, does not constitute a use variance in that the Stanford Settlement is allowed in residential zones with a special permit.
3. The project, as conditioned, will not be detrimental to the public welfare, nor result in the creation of a public nuisance, in that a chain link fence will be provided and landscaping exists between the parking stalls and property line and climbing vines will cover the fences to protect adjacent properties.
4. The project is consistent with the General Plan and 1988 South Natomas Community Plan which designate the site Low Density Residential.

Report Prepared By:

Cindy Lauchland 11-7-89
Cindy Lauchland, Planner Date

Recommendation Approved By:

Marty Van Duyn 11-7-89
Marty Van Duyn, Planning Director Date



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