

CITY PLANNING COMMISSION

1231 'I' STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Bob Erickson - 1608 I Street, Suite 100, Sacramento, CA 95814
OWNER Norman Montgomery - 3611 51st Avenue, Sacramento, CA 95823
PLANS BY Newby & Associates - 1610 Fulton Avenue, Sacramento, CA 95825
FILING DATE 11-9-88 ENVIR. DET. Negative Declaration REPORT BY CL:sq
ASSESSOR'S PCL. NO. 003-0171-003,004,005

- APPLICATION:
- A. Negative Declaration
 - B. Variance to reduce the rear yard setback from 15 feet to 11 feet
 - C. Variance to reduce the front setback from 14 feet to 6 feet. 7 inches
 - D. Variance to reduce the courtyard setback from 20 feet to 10 feet
 - E. Variance to allow 2 foot bay window projections in side and front setback areas

LOCATION: Southeast corner of 18th Street and F Street

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 12 unit apartment complex with 13 required parking spaces on a 0.2+ vacant acre corner lot in the Multi-Family-Review (R-4A-R) zone.

PROJECT INFORMATION:

General Plan Designation: High Density Residential (30+ du/na)
1980 Central City Community
Plan Designation: Multiple Family Residential
Existing Zoning of Site: R-4A-R
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Two-family & multi-family; R-3A	Front:	14'	6'7"
South: Single & two-family; R-3A	Side(Int):	5'	5'
East: Multi-family; R-3A	Side(St):	5'	5'
West: Office & multi-family; R-3A	Rear:	15'	11'

Parking Required: 13 spaces
Parking Provided: 13 spaces
Property Dimensions: Irregular
Property Area: 0.2+ acres
Density of Development: 58 d.u. per acre
Square Footage of Units: 423+ to 480+ sq. ft.
Height of Building: 2-story
Topography: Flat
Street Improvements: Existing
Utilities: Available
Exterior Building Materials: Wood
Roof Material: Asphalt

APPLC. NO. P88-466 MEETING DATE 11/26/89 ~~December 15, 1988~~ ITEM NO. 30
112-89 15

BACKGROUND INFORMATION: On June 11, 1987 the Commission took the following actions on the entitlements needed for a proposed 11 unit apartment project:

1. Recommended to City Council approval of the rezoning from R-3A to Medium Density Multiple Family-Review (R-4A-R) zone.
2. Approved a variance to reduce the front setback to seven feet subject to conditions and based upon findings of fact.
3. Approved a variance to reduce the maneuvering area for compact stalls to 24 feet subject to conditions and based upon findings of fact.
4. Approved a variance to allow two foot bay window projections in the front and side yard setbacks subject to conditions and based upon findings of fact.
5. Approved a variance to reduce the court requirement to 17 feet.

Subsequently, the project was submitted for review by the Design Review/Preservation Board. Design Review Preservation staff, noting the significance of the project site within Washington School District preservation area and its proximity to a number of priority structures on F Street, sought to improve the overall aesthetics of the project. Staff reassessed the architectural design and massing of the structures and the visual relationship of the parking lot with F Street. The changes proposed by staff and accepted by the applicant improved the overall appearance of the project and facilitated an increase in the number of units from 11 to 12. Necessary, however, was a variance to reduce the rear yard setback from 15 feet to 11 feet and a further reduction of the court requirement from 17 feet (previous variance) to 10 feet.

On November 12, 1987 the Commission took the following actions on the entitlements needed for a proposed 12 unit apartment project:

1. Approved the plan review for the revised project design subject to conditions and based on findings of fact.
2. Approved a variance to reduce the rear yard setback from 15 feet to 11 feet based on findings of fact.
3. Approved a variance to further reduce the court requirement from 17 feet to 10 feet based on findings of fact.

Recently the applicant submitted for the building permit, and was notified of the expiration of the previous variances, and was advised to reapply.

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of three vacant lots totaling 0.22+ acres locate in the Multi-Family-Review (R-4A-R) zone. This zone allows 58 units per acre for

a maximum of thirteen units on the subject site. Surrounding land uses are zoned R-3A and include single and multiple family residential to the north, south and east, and an elementary school, office use and multiple family to the west. The site is designated High Density Residential (30+ du/na) by the General plan and Multiple Family Residential by the 1980 Central City Plan.

The applicant is proposing 12 one bedroom/one bath units ranging in size from 423+ to 480+ square feet. The applicant is requesting variances to reduce the rear yard setback to 11 feet, to reduce the front setback to 6 feet, 7 inches, to reduce the courtyard requirements between buildings to 10 feet, and a variance to allow bay window projections into the setback areas.

The only difference between these variance requests and the previous ones is an additional 5 inches (from 7 feet to 6 feet 7 inches) in the front yard setback. This was a result of the shifting of the buildings to accommodate the placement of the parking lot to reduce its visual impact.

B. Site Plan Design

The site plan locates the units to the western portion of the lot and the parking to the east in order to have less visual impact on adjacent residential uses. In doing so, variances are required to reduce the setbacks due to the width of the parcel and irregular configuration of the lot. Staff has no objections to these variance requests.

Staff recommends planting trees and shrubs that will result in a 4 foot high hedge in the 5 foot planter area next to the parking lot in order to screen the lot from the street.

C. Building Design

The subject site is located in the Washington District Preservation Area. The Design Review/Preservation Board previously approved this project so further review is not required. The applicant has proposed bay windows for the project in order to use a design element compatible with surrounding residences. These bay windows will project into the setbacks 2 feet. Staff has no objection to the variance request as the bay windows are in harmony with the design characteristics of the neighborhood.

D. Rear and Front Yard Setback Variances

The applicant has located the units to the western portion of the lot and two units are in the extreme rear. This allowed the parking lot to be located in such a way as to reduce the visual impact on adjacent residential units. In doing so, variances to reduce the rear yard setback to 11 feet and the front yard setback to 6 feet, 7 inches are required. Approval of these variances alleviates the need for the previously approved maneuvering width reduction, and is justified on the basis of the irregularity in the parcel shape.

E. Courtyard Variance

Due to the width of the parcel and irregular configuration of the lot, there is not sufficient space to construct two structures side-by-side which will provide adequate living area and meet standard court requirements. The 10 foot court will provide adequate light and air for the apartment dwellers. Staff, therefore, has no objection to this variance request.

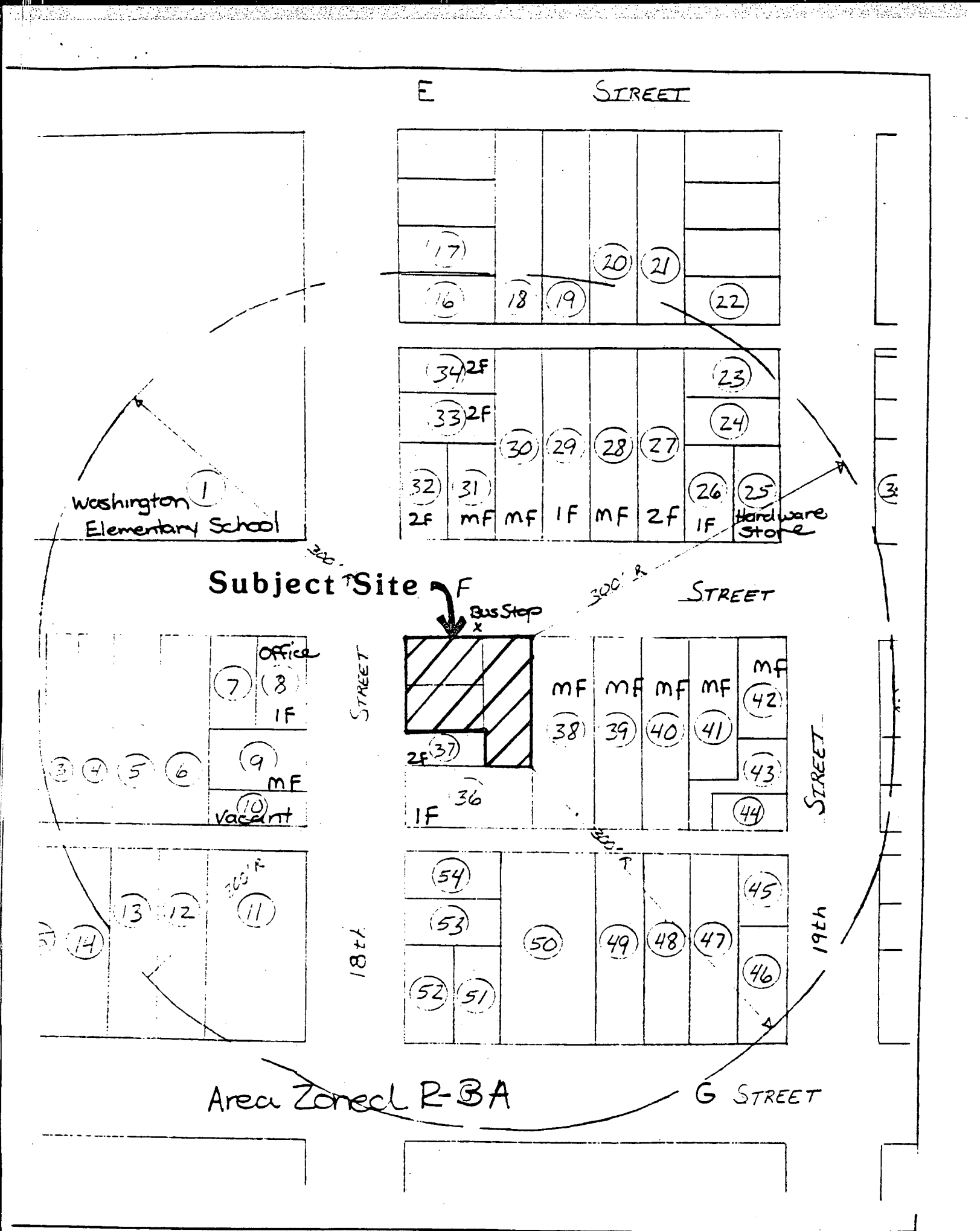
ENVIRONMENTAL DETERMINATION: The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a negative declaration.

RECOMMENDATION: Staff recommends that the Commission take the following actions:

- A. Ratify the negative declaration;
- B. Approve the variance to reduce the rear yard setback to 11 feet, subject to conditions and based upon findings of fact which follow;
- C. Approve the variance to reduce the front setback to 6 feet, 7 inches, subject to conditions and based upon the findings of fact which follow;
- D. Approve the variance to reduce the courtyard setback to 10 feet, subject to conditions and based upon findings of fact which follow; and
- E. Approve the variance to allow 2 foot bay window projections in the front and side setback areas, subject to conditions and based on the findings of fact which follow.

Conditions

1. A revised landscape, shading and irrigation plan shall be submitted for planning staff review and approval prior to issuance of building permits. The landscape plan shall indicate courtyard landscaping, setback landscaping and landscaping to the rear of the structure. Ground cover and a variety of shrubs shall be utilized. Tree(s) and shrubs which shall result in a 4 foot high hedge shall be planted in the 5 foot planter area next to the parking lot.
2. The access driveway shall be built to the satisfaction of City Traffic Engineering, as well as the replacement of any substandard improvements such as sidewalks.
3. Subject to conditions of the Design Review/Preservation Board.



88-466

LAND USE & ZONING MAP

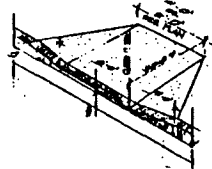
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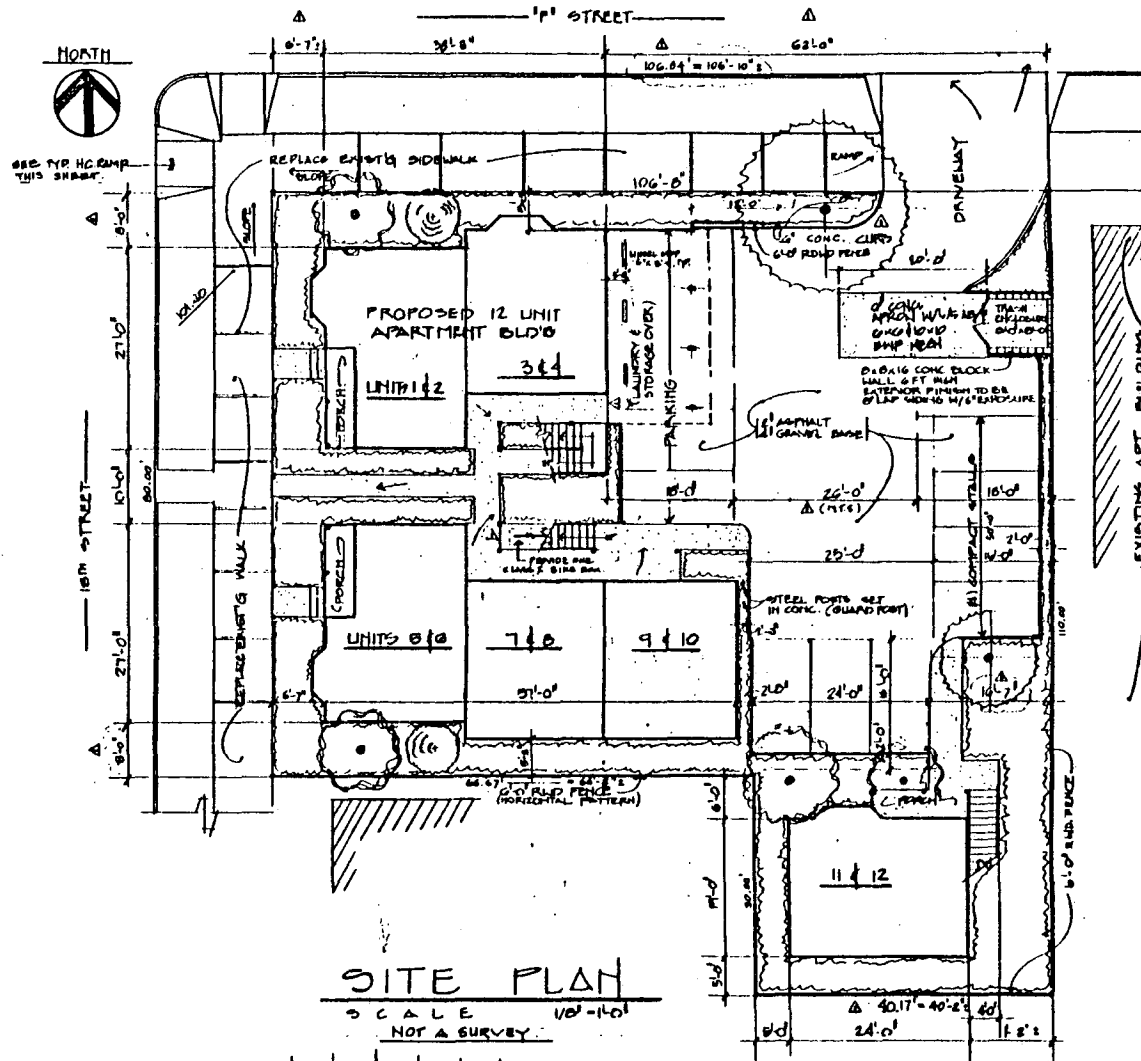
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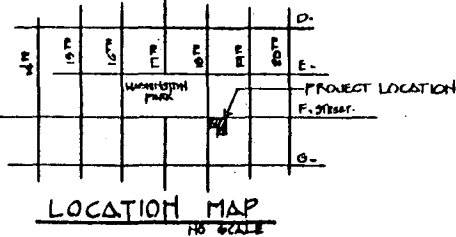
NOTES:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MONTGOMERY, ALABAMA, ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MONTGOMERY, ALABAMA.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF MONTGOMERY, ALABAMA.



UNRENDERED RAMP
NOT TO SCALE



SITE PLAN
SCALE 1/8" = 1'-0"
NOT A SURVEY



LOCATION MAP
NO SCALE

REVISION	BY
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C.A. HENRY & ASSOCIATES
REGISTERED PROFESSIONAL ENGINEERS
MONTGOMERY, ALABAMA

12 UNIT APARTMENT BLDG
FOR
MORNING MONTGOMERY,
S.E. CORNER 18TH & 1ST STREETS

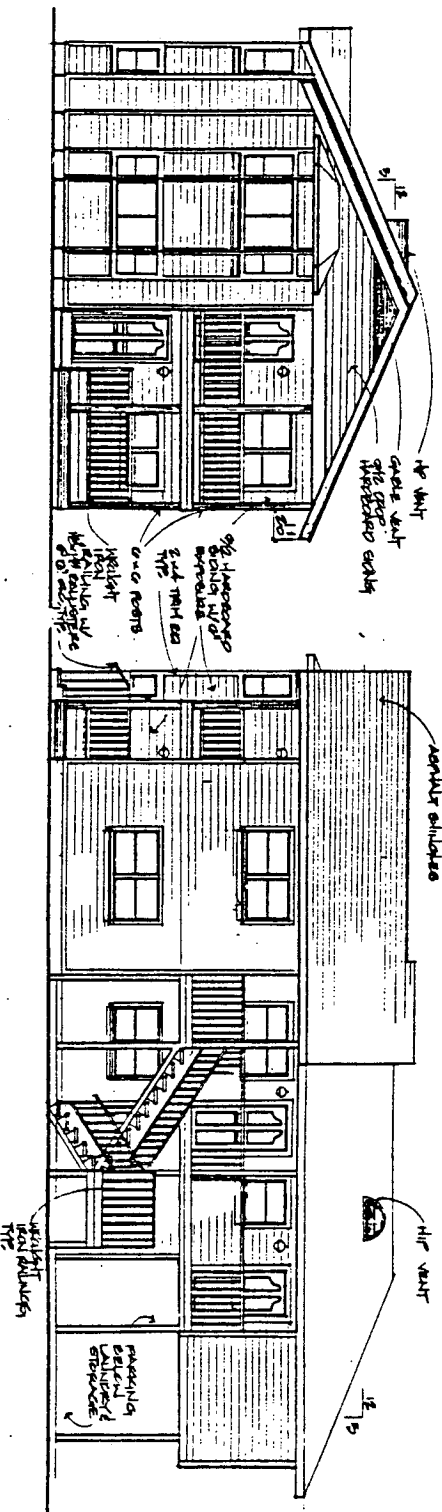
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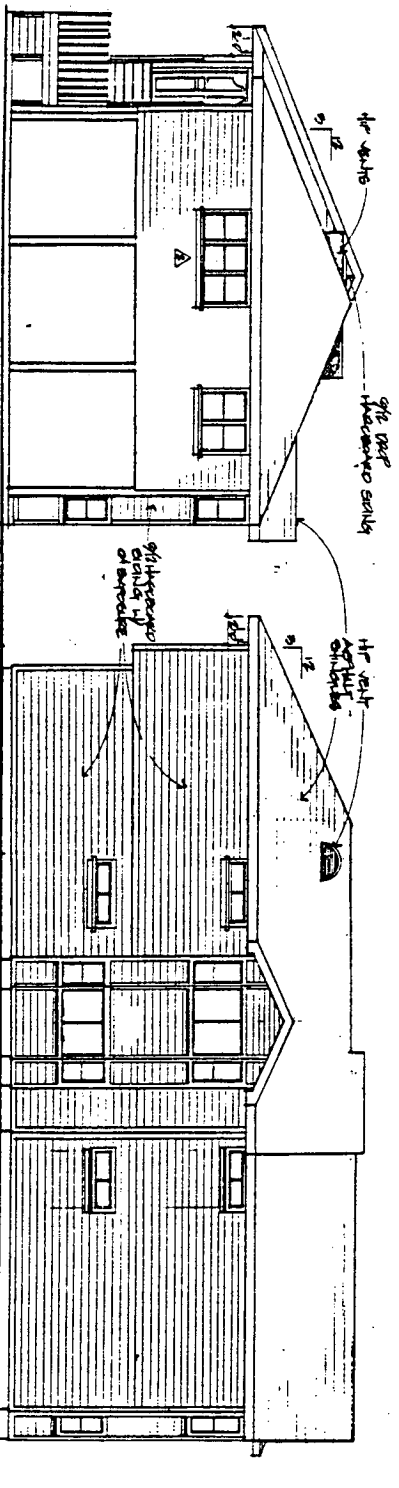
12-15-88

Item #



WEST ELEVATION
UNITS 1 & 2

SOUTH ELEVATION
UNITS 1, 2, 3, 4 STORAGE & LAUNDRY



EAST ELEVATION
STORAGE & LAUNDRY w/ PARKING BELOW

NORTH ELEVATION
UNITS 1, 2, 3, 4 STORAGE & LAUNDRY

General Requirements

- 11 All work to be installed in all exterior walls.
- 12 All masonry work to be in accordance with Section 05000.
- 13 All exterior finish to be in accordance with Section 05000.
- 14 All exterior finish to be in accordance with Section 05000.
- 15 All exterior finish to be in accordance with Section 05000.
- 16 All exterior finish to be in accordance with Section 05000.
- 17 All exterior finish to be in accordance with Section 05000.
- 18 All exterior finish to be in accordance with Section 05000.
- 19 All exterior finish to be in accordance with Section 05000.
- 20 All exterior finish to be in accordance with Section 05000.

1. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities. The contractor shall also be responsible for obtaining all necessary insurance and bonding. The contractor shall also be responsible for obtaining all necessary materials and labor. The contractor shall also be responsible for obtaining all necessary equipment and tools. The contractor shall also be responsible for obtaining all necessary transportation and storage. The contractor shall also be responsible for obtaining all necessary communication and coordination. The contractor shall also be responsible for obtaining all necessary safety and health measures. The contractor shall also be responsible for obtaining all necessary environmental and sustainability measures. The contractor shall also be responsible for obtaining all necessary quality control and assurance measures. The contractor shall also be responsible for obtaining all necessary project management and reporting measures. The contractor shall also be responsible for obtaining all necessary risk management and mitigation measures. The contractor shall also be responsible for obtaining all necessary stakeholder engagement and communication measures. The contractor shall also be responsible for obtaining all necessary legal and regulatory compliance measures. The contractor shall also be responsible for obtaining all necessary ethical and social responsibility measures. The contractor shall also be responsible for obtaining all necessary transparency and accountability measures. The contractor shall also be responsible for obtaining all necessary integrity and honesty measures. The contractor shall also be responsible for obtaining all necessary respect and dignity measures. The contractor shall also be responsible for obtaining all necessary fairness and equity measures. The contractor shall also be responsible for obtaining all necessary justice and equity measures. The contractor shall also be responsible for obtaining all necessary peace and harmony measures. The contractor shall also be responsible for obtaining all necessary love and compassion measures. The contractor shall also be responsible for obtaining all necessary kindness and generosity measures. The contractor shall also be responsible for obtaining all necessary patience and tolerance measures. The contractor shall also be responsible for obtaining all necessary forgiveness and mercy measures. The contractor shall also be responsible for obtaining all necessary grace and favor measures. The contractor shall also be responsible for obtaining all necessary peace and harmony measures. The contractor shall also be responsible for obtaining all necessary love and compassion measures. The contractor shall also be responsible for obtaining all necessary kindness and generosity measures. The contractor shall also be responsible for obtaining all necessary patience and tolerance measures. The contractor shall also be responsible for obtaining all necessary forgiveness and mercy measures. The contractor shall also be responsible for obtaining all necessary grace and favor measures.

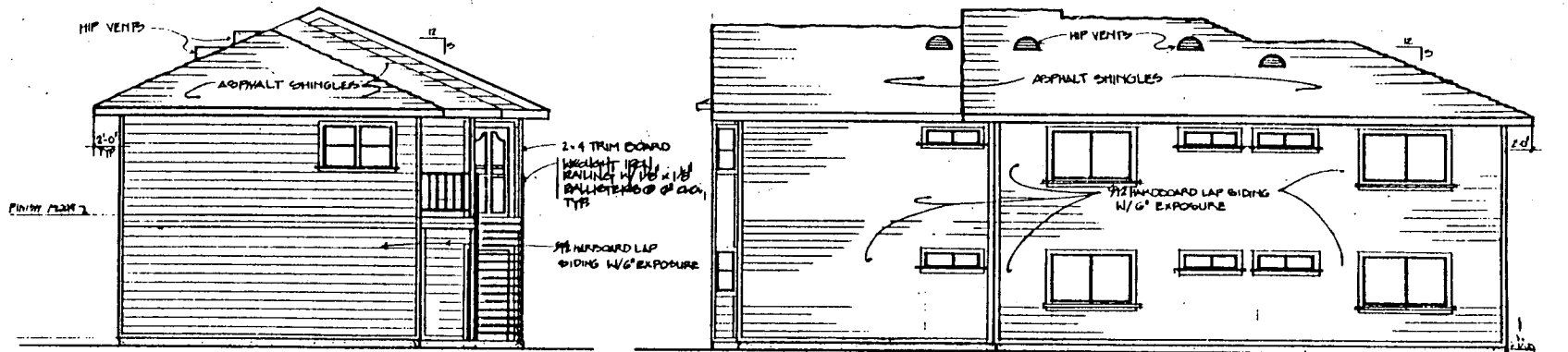
P88466

12 UNIT APARTMENT BLD'G FOR TORM MONTGOMERY S.E. CORNER 10 TH & 'F' STREETS		C. A. NEWBY & ASSOCIATES ARCHITECTS 1000 10 TH STREET, N.W. WASHINGTON, D.C. 20004	DATE: 12-15-88
NO. 6	PROJECT NO. P88466	DATE: 12-15-88	SCALE: AS SHOWN

P88-466

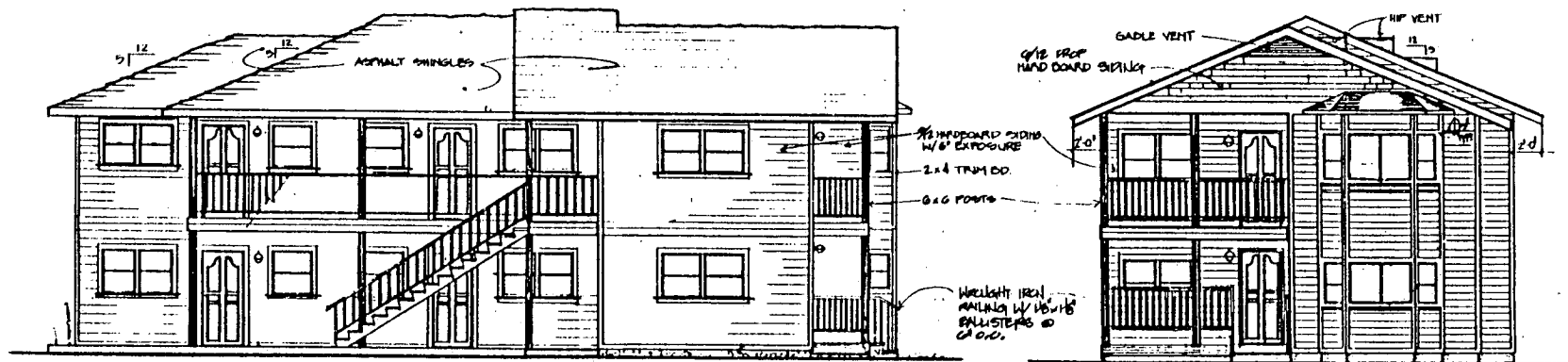
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HEM #



EAST ELEVATION
UNITS 7 & 10 14'-1-0"

SOUTH ELEVATION
UNITS 5, 6, 7, 8, 9 & 10 14'-1-0"



NORTH ELEVATION
UNITS 5, 6, 7, 8, 9 & 10

WEST ELEVATION
UNITS 5 & 6 (18TH STREET VIEW)

REVISION	01

C. A. HENRY & ASSOCIATES

72 UNIT APARTMENT BLDG
105 N. MONTGOMERY
S.E. CORNER 18TH & 1/2" STREETS

DATE
12-15-88

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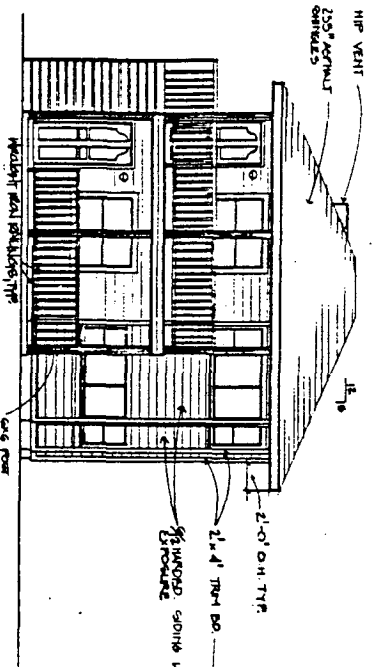
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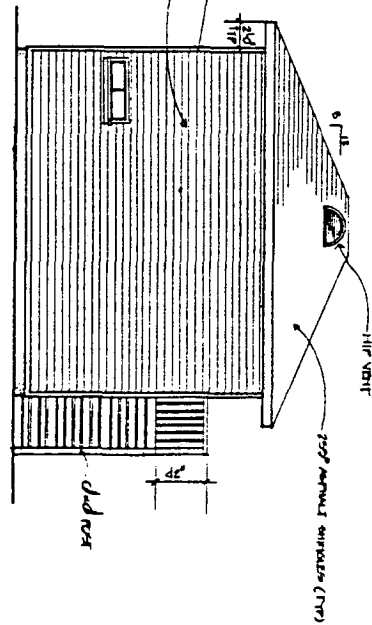
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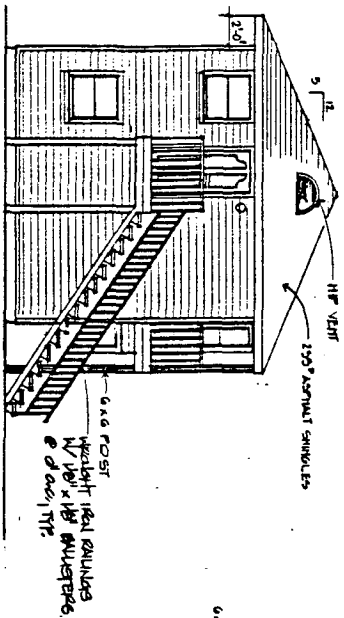
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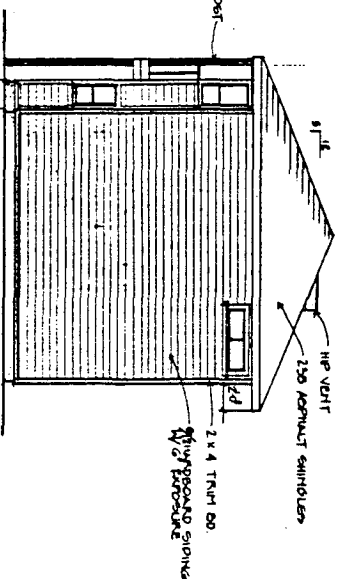
NORTH ELEVATION
(UNITS 11 & 12) 1/4\"/>



SOUTH ELEVATION
(UNITS 11 & 12) 1/4\"/>



EAST ELEVATION
(UNITS 11 & 12) 1/4\"/>



WEST ELEVATION
(UNITS 11 & 12) 1/4\"/>

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12 UNIT APARTMENT BLD'G
FOR
TORM MONTGOMERY
S.E. CORNER 10TH & FTH STREETS

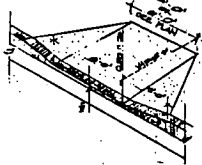
C. A. NEWBY & ASSOCIATES

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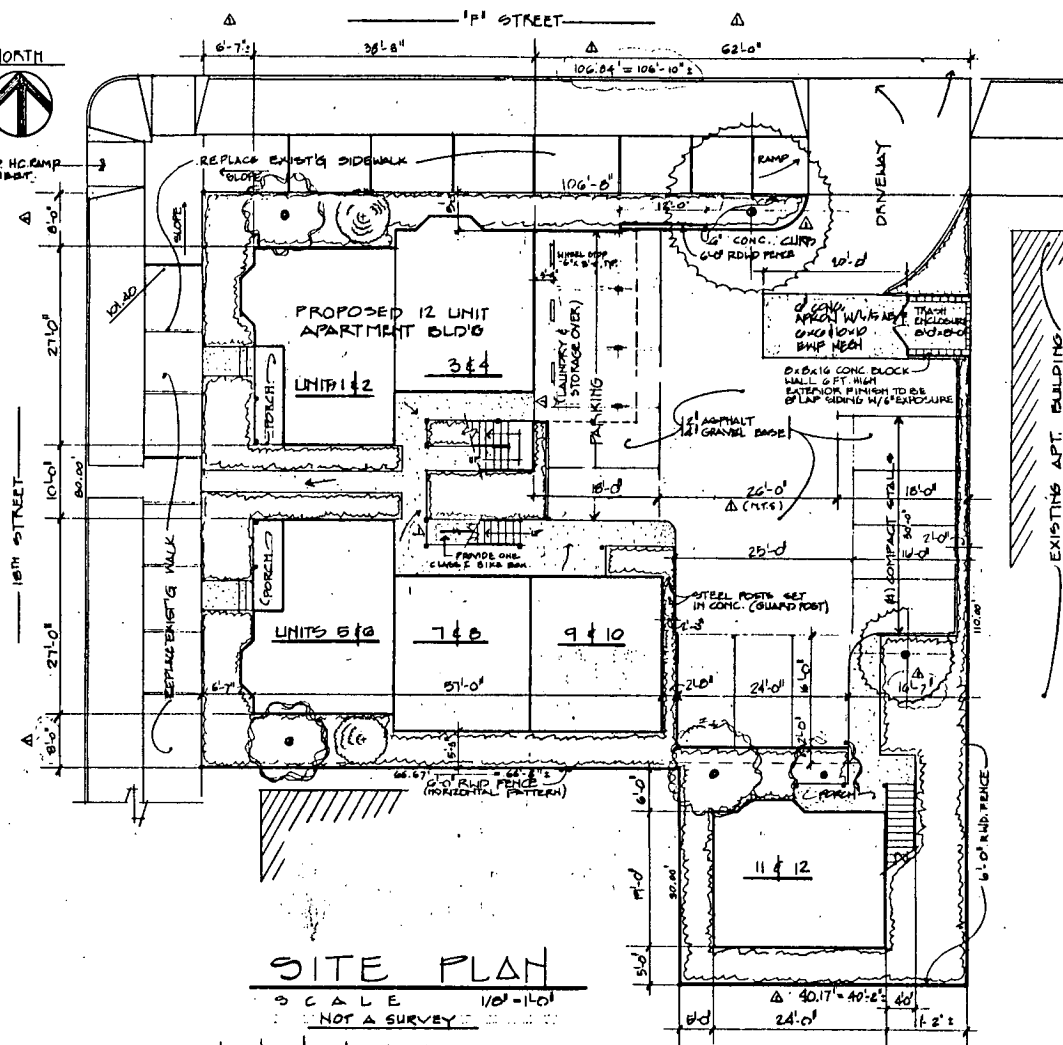
NOTE:
 PROVIDE SLOPE TO MATCH ADJACENT WALKS.
 PROVIDE SMOOTH TRANSITION BETWEEN WALKWAYS TO MATCH ADJACENT WALKS.
 REFERENCE TO CITY SPECIFICATIONS.



UNSCAPED RAMP
 NOT TO SCALE

SEE TYP. HC RAMP
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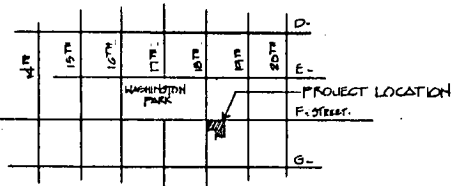
NORTH



SITE PLAN

SCALE 1/8" = 1'-0"
 NOT A SURVEY

NORTH



LOCATION MAP

NO SCALE

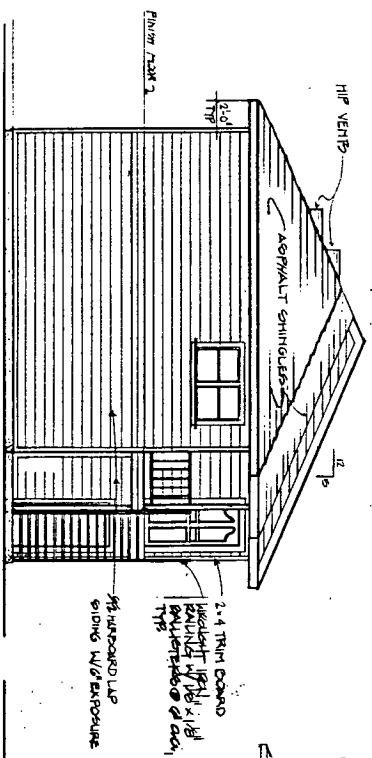
REVISIONS	BY
1	DT

C. A. WEBER & ASSOCIATES
 ARCHITECTS
 1000 N. 10th St.
 Phoenix, Arizona, U.S.A.

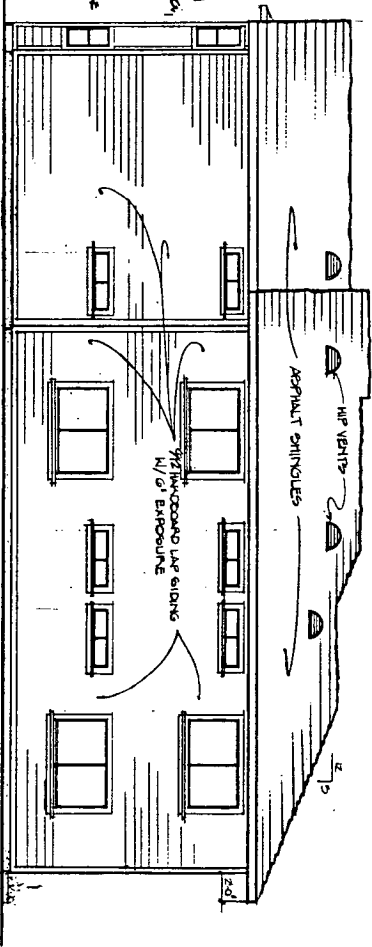
12 UNIT APARTMENT BLDG
 FOR
 HOUM MONTGOMERY
 S.E. CORNER 18TH & F STREETS

DATE	REVISION

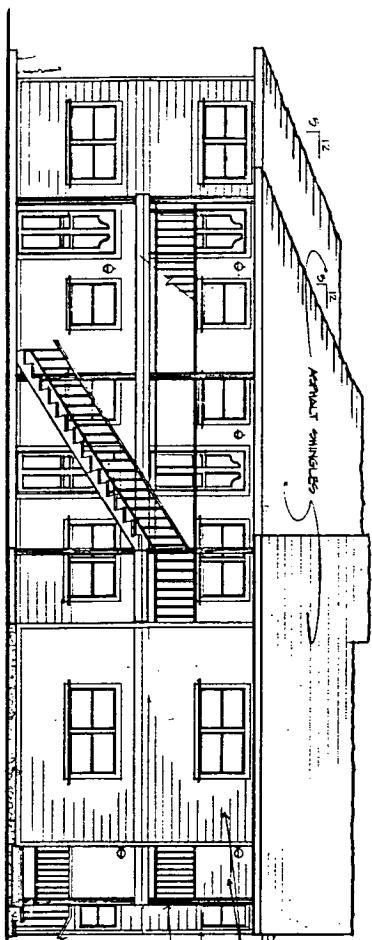
P88496



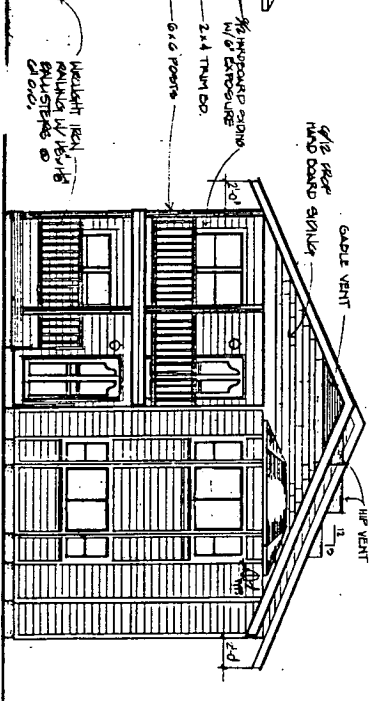
EAST ELEVATION
UNITS 7 & 10



SOUTH ELEVATION
UNITS 5, 6, 7, 8, 9 & 10



NORTH ELEVATION
UNITS 5, 6, 7, 8, 9 & 10



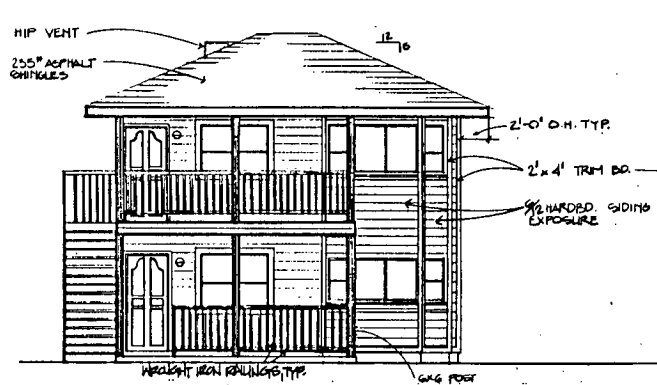
WEST ELEVATION
UNITS 5 & 6 (18TH STREET VIEW)

P88496

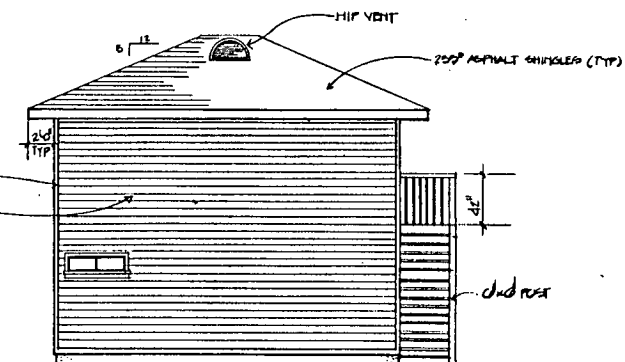
12 UNIT APARTMENT BLDG
FOR
TOM MONTGOMERY
S.E. CORNER 18TH & F STREETS

C. A. NEWBY & ASSOCIATES
Architects and Planners
1000 15th St. N.W.
Washington, D. C. 20004

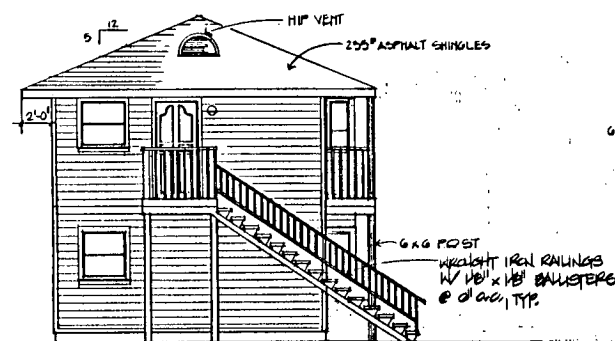
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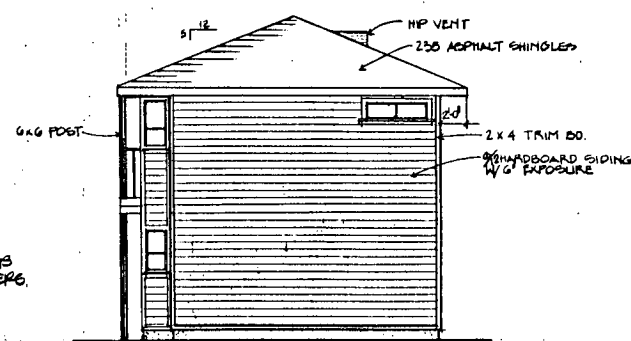
NORTH ELEVATION
(UNITS 11 & 12) 1/4" = 1'-0"



SOUTH ELEVATION
(UNITS 11 & 12) 1/4" = 1'-0"



EAST ELEVATION
(UNITS 11 & 12) 1/4" = 1'-0"



WEST ELEVATION
(UNITS 11 & 12) 1/4" = 1'-0"

REVISIONS	BY
1	2/20/88

C. A. NEWBY & ASSOCIATES
Architects
1000 N. 10th St.
Tulsa, Oklahoma 74103

12 UNIT APARTMENT BLD'G
FOR
NORM MONTGOMERY
S.E. CORNER 10th & 1st STREETS

DATE	1/15/88
SCALE	1/4" = 1'-0"
PROJECT	12 UNIT APARTMENT BLD'G
ARCHITECT	C. A. NEWBY & ASSOCIATES
CLIENT	NORM MONTGOMERY
LOCATION	S.E. CORNER 10th & 1st STREETS

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