

CITY PLANNING COMMISSION
1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT	<u>Sizzler, College Green, 4112 Pennsylvania Avenue, Sacramento, CA 95828</u>				
OWNER	<u>College Greens Plaza, 4112 Pennsylvania Avenue, Sacramento, CA 95828</u>				
PLANS BY	<u>The Schneider Group, 1040 North Sycamore Avenue, Hollywood, CA 90038</u>				
FILING DATE	<u>10-30-89</u>	ENVIR. DET.	<u>Negative Declaration</u>	REPORT BY	<u>DH:ei</u>
ASSESSOR'S PCL. NO.	<u>079-0182-019</u>				

- APPLICATION:
- A. Negative Declaration
 - B. Variance to locate 17 required parking spaces off-site in order to develop a 239-seat restaurant on 0.88± vacant acres in the General Commercial (C-2) zone.
 - C. Variance to allow off-site maneuvering for 67 parking spaces.

LOCATION: North side of Folsom Boulevard. 735'± east of Notre Dame Drive.

PROPOSAL: The applicant is requesting the necessary entitlements to construct a 6843 square foot restaurant with 239 seats.

PROJECT INFORMATION:

1986 General Plan Designation:	Community/Neighborhood Commercial and Office
Existing zoning of Site:	General Commercial, C-2
Existing Land Use of Site:	Vacant

Surrounding Land Use and Zoning:	Setbacks	Required	Provided
North: Commercial, C-2	Front:	50'	60'
South: Regional Transit, M-2S	Side (Int):	0'	31'
East: Commercial, C-2	Side (Int):	0'	33'
West: Commercial, C-2	Rear:	15'	42'

Seating:	239
Parking Required:	80
Parking Provided:	80 (63 on-site, 17 offsite)
Property Dimensions:	175'x 223'
Property Area:	0.88 acres
Square footage of Building	6,843 square feet
Height of Building:	one story
Topography:	flat
Street Improvements:	Existing
Utilities:	Existing
Exterior of Building:	Stucco
Roof Material:	Tile

BACKGROUND: A Tentative Map (P87-078) was approved by the City Council in 1987 which established the subject parcel. The City Planning Commission approved a lot line adjustment on the Tentative Map on November 16, 1989 to enlarge the subject parcel (P89-338). However, a Certificate of Compliance has yet to be recorded.

APPLC. NO. P89-385

MEETING DATE February 22, 1990

ITEM NO. 20

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of 0.88 undeveloped acres in the General Commercial (C-2) zone. The site is vacant but is located within an existing shopping center. The 1986 General Plan designates this site as Community/Neighborhood Commercial and Office. The surrounding land uses are retail commercial located in a C-2 zone to the north, east and west and Regional Transit Light Rail tracks zoned Heavy Industrial (M-2S) to the south.

B. Applicant's Proposal

The applicant is proposing to construct a 6,843 square foot Sizzler restaurant with 239 seats. The proposed project would require 80 parking spaces. The applicant is requesting a variance to allow 17 parking spaces be provided off-site. Since a Certificate of Compliance has not been recorded for the lot line adjustment at this time, a variance for parking maneuvering is required.

C. Staff Analysis

1. Parking

According to the Zoning Ordinance, one parking space per three seats are required. With 239 seats, 80 parking spaces are required. 80 parking spaces are proposed. 63 on-site and 17 off-site. 67 parking spaces require off-site back-out maneuvering area. Staff is not opposed to the variance for off-site parking or off-site back-out maneuvering area. Once a Certificate of Compliance is issued for the lot line adjustment (P89-338) the proposed 67 parking spaces requiring off-site back-out maneuvering would have on-site maneuvering.

The proposed 17 off-site parking spaces would be located in the College Greens Center shopping center. A Site Parking Tabulation report submitted by the proposed project developer shows that there are 372 parking spaces within the shopping center and a total of 329 parking spaces are required for the uses which include Dairy Queen (32 spaces), Retail stores (187 spaces), Arby's (30 spaces), Sizzler (80 spaces), (Exhibit E). The applicant also has a cross parking agreement with Raley's to the immediate east.

2. Signs

The applicant is proposing to have three attached signs- on the south, east and west elevations. The City's Sign Ordinance allows 2 signs attached to a building in a C-2 Zone. Therefore, the applicant will need to remove one of the signs. A monument sign approximately 6 feet in height is proposed on a parking area island at the front of the restaurant adjacent to Folsom Boulevard (see Exhibit C). Staff finds the monument sign to be acceptable. No pole sign would be allowed.

3. Building Design

The building exterior is stucco and the roof is clay tile (Exhibit D). Buttress walls would have ceramic tile. The exterior building color is beige. There would be a stained trellis on the east side and an awning over the entry way at the southeast corner of the restaurant. The restaurant has a Mediterranean design with its tile roofs, arches and awnings. Staff finds the building design acceptable.

4. Landscaping

The parking islands around the existing building pad are landscaped with grass. Landscaping shall be designed to conform to the 50% in 15 years parking lot shading requirement. Each of the landscaped areas shall have living ground cover, not bark mulch which the City's Public Works Department finds unacceptable because of potential clogging of the storm water sewers.

5. Trash Enclosure

Trash enclosures do not appear on the plans. Staff notes that any trash enclosure would need to be in conformance with the City's Zoning Ordinance.

D. Agency Comments

The proposed project was reviewed by Traffic Engineering, Engineering, Building Inspections and Waste Removal. There were no objections to the Variance request.

ENVIRONMENTAL DETERMINATION

1. The proposed project, P89-385, is located in an area of the City determined to have less than 100-year flood protection. Implementation of the project would therefore expose people and property to the risk of injury and damage in the event of a 100-year or lesser flood. These risks are considered significant adverse impacts under CEQA.
2. The City Council has evaluated these impacts in the Environmental Impact Report (EIR) prepared in connection with the Land Use Planning Policy within the 100-Year Floodplain (M89-054) adopted by the Council on February 6, 1990. The EIR is available through the Department of Planning and Development, 1231 I Street, Room 300, Sacramento, California. This document serves as a program EIR addressing the flood-related risks to people and property created by new development in the 100-year floodplain in the City.
3. The flood-related risks created by the proposed project fall within the scope of the program EIR. Accordingly, the findings adopted by the Council in connection with its certification of the program EIR and its adoption of the Policy are applicable to and are hereby adopted in connection with the proposed project, P89-385. These findings are set forth in the Findings of Fact/Statement of Overriding Considerations for the Land Use Planning Policy Within the 100-Year Floodplain in the City of Sacramento. This document is appended to the program EIR available through the Department of Planning and Development.
4. As set forth in the Findings, no flood-related mitigation measures applicable to the project have been required.

RECOMMENDATION: Staff recommends the Planning Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Approve the Variance to allow 17 off-site parking spaces subject to conditions and based upon Finding of Fact which follow; and
- C. Approve the Variance to allow back-out maneuvering off-site for 67 parking spaces subject to conditions and based upon Findings of Fact which follow.

Conditions

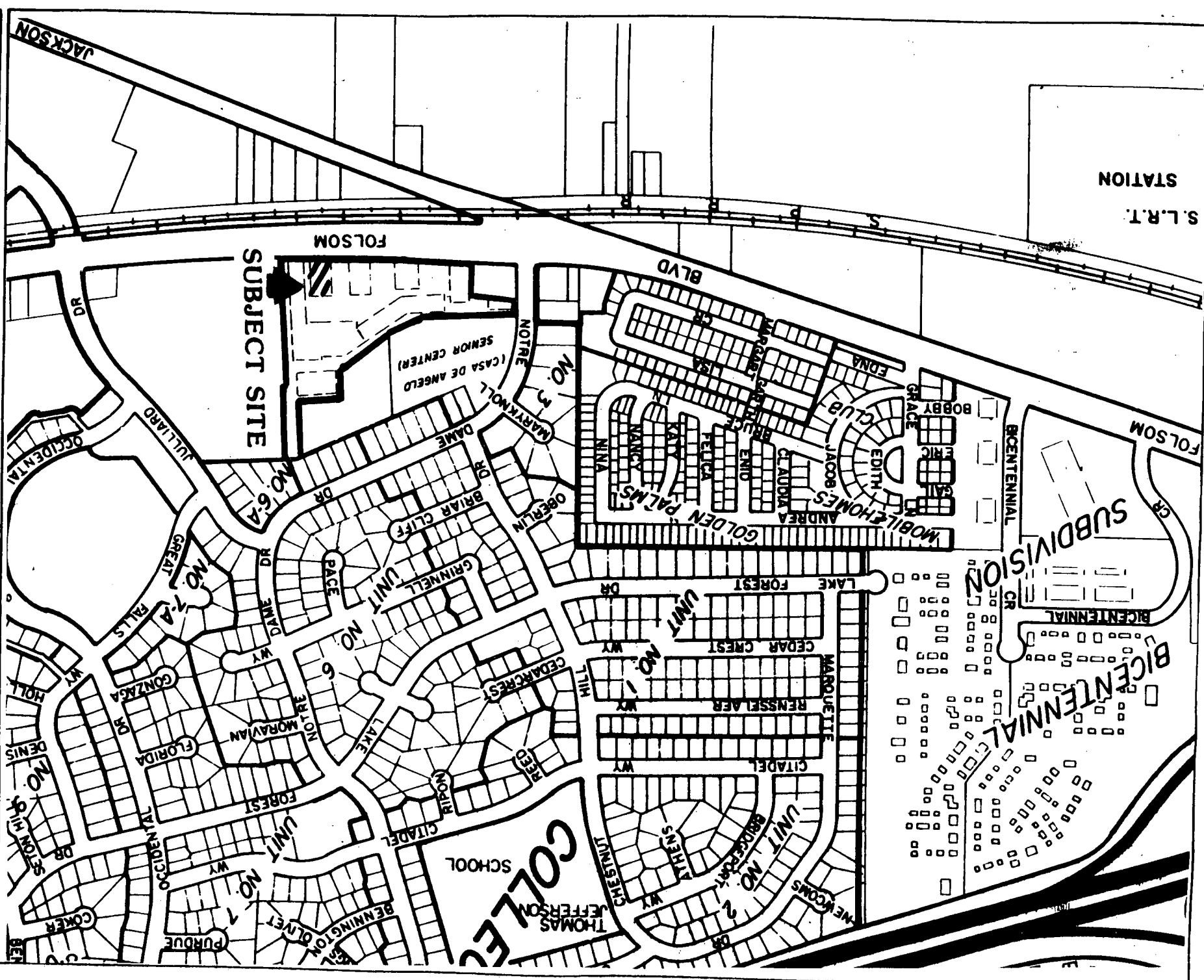
1. A landscape, shading and irrigation plan indicating groundcover, trees and shrubs (no bark mulch) shall be submitted for Planning Director review and approval prior to issuance of building permits. Trees and shrubs shown on this plan will be consistent with landscaping shown on the College Greens Landscape Plan, previously approved by the City
2. The trash enclosure shall meet the requirements of the Zoning Ordinance.

3. The signs shall meet the requirements of the Sign Ordinance, and:
 - a. No pole sign shall be allowed.
 - b. No monument sign shall be taller than 6'0", as measured from Folsom Boulevard.

Findings of Fact:

1. The proposed project, as conditioned, is based on sound principles of land use in that the project is a commercial use in a General Commercial (C-2) zone and is surrounded by commercial and residential uses.
2. The proposed project will not be detrimental to the public health or safety, nor result in a nuisance in that adequate parking and landscaping is provided.
3. The project is consistent with the General Plan which designates the site as Community/Neighborhood Commercial and Office.

VICINITY MAP



P 89-385

EXHIBIT A
2-22-90

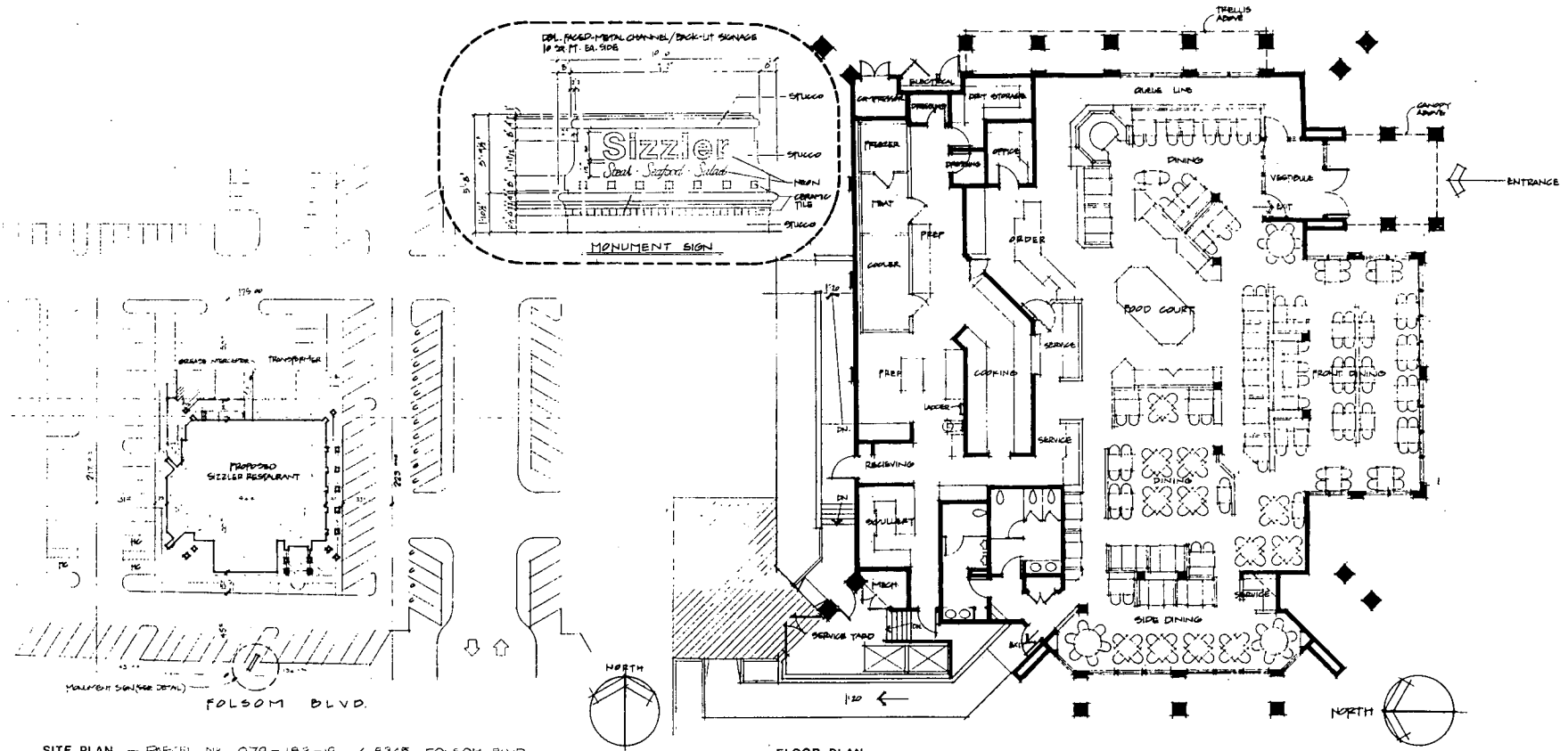
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P 89-385

2-22-90

EXHIBIT C

COLLEGE
SIZZLER/GREEN



SITE PLAN - PARCEL N° 079-162-19 / 6345 FOLSOM BLVD.

PARKING ANALYSIS

CODE REQUIRED	
SPACE PER 3 SEATS	
TOTAL SEATS - 231 = 3 = 79.66	80 REQUIRED
PROVIDED	
HANDICAP STANDARD	ON PARCEL 03 SPACES
CONTRACT	RECREATIONAL 17 SPACES

FLOOR PLAN

BUILDING ANALYSIS		
SQUARE FOOTAGE		
PUBLIC AREAS (A-3)		
VESTIBULE & QUEUE LINE & FOOD COURT	1143 SQ FT	
DINING AREAS	2673 SQ FT	
SUPPORT AREAS (B-2)		
KITCHEN & TOILETS & STORAGE	2025 SQ FT	
TOTAL AREA	6841 SQ FT	

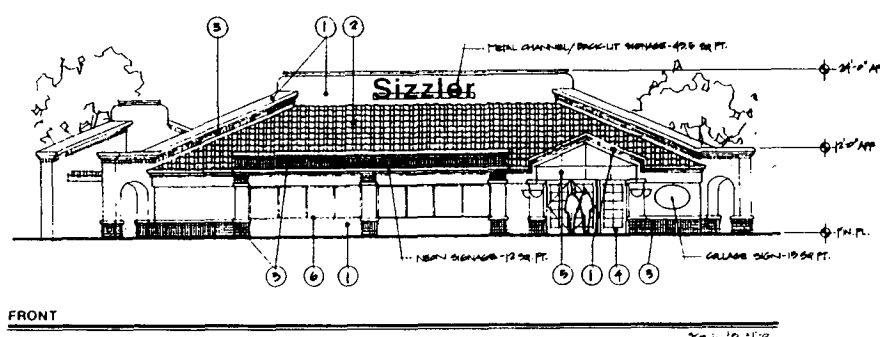
SEATING ANALYSIS		
SEATING TYPE	# OF TABLES	# OF SEATS
TWO	18	36
THREE	1	3
FOUR	44	176
SIX	4	24
TOTALS	67	239



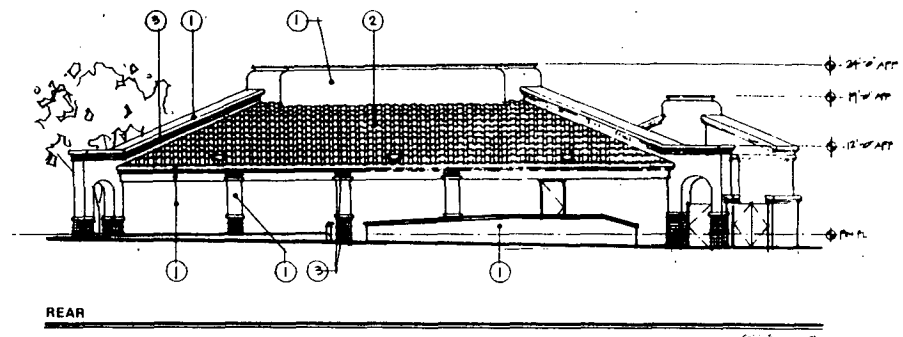
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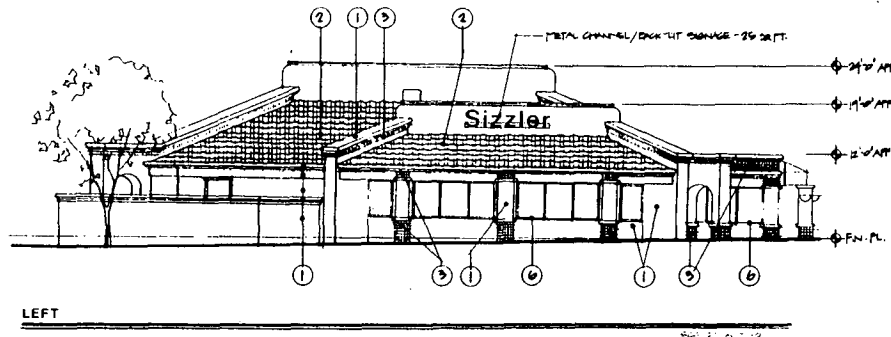
EXHIBIT D
2-22-90



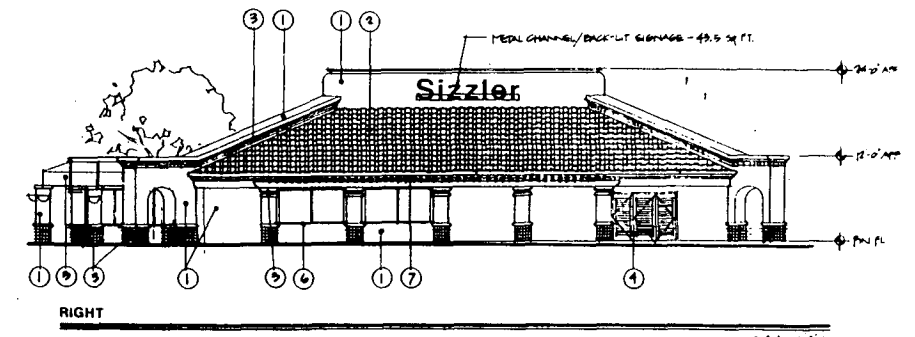
FRONT



REAR



LEFT



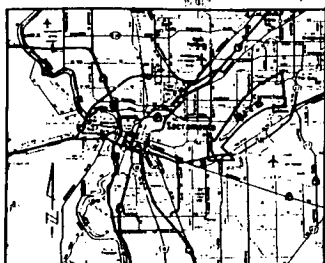
RIGHT

- ① EXTERIOR PLASTER
- ② ROOF TILE
- ③ CERAMIC TILE
- ④ DOOR FINISHED
- ⑤ FABRIC AWNING
- ⑥ SIGN FRONT PAINTED
- ⑦ TRELLIS STAINED

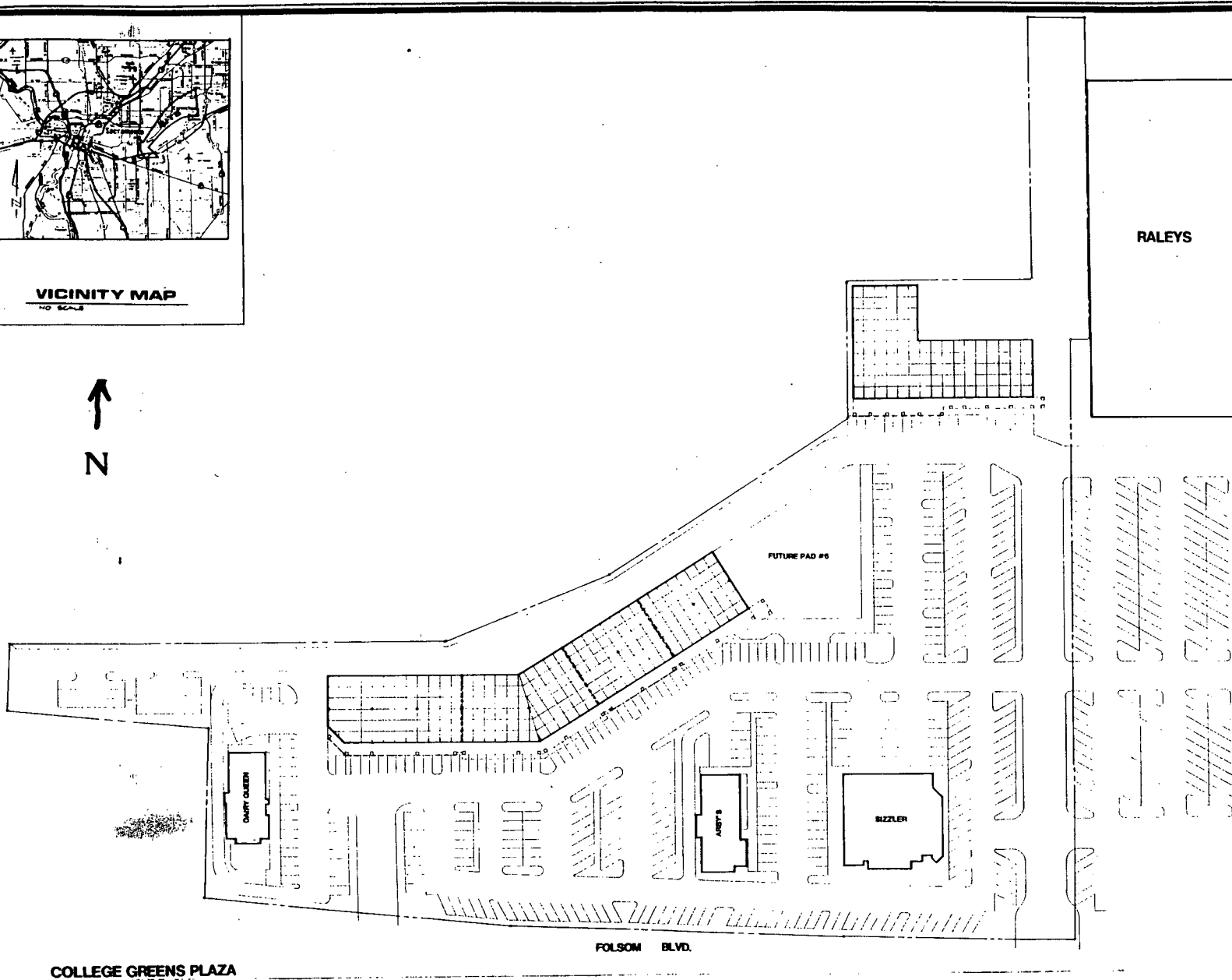
SIZZLER/COLLEGE GREEN



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VICINITY MAP
NO SCALE



COLLEGE GREENS PLAZA

FOLSOM BLVD.

RALEYS

FUTURE PAD #6

AUSBY'S

BIZZLER

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COLLEGE GREENS

EXHIBIT E

2-22-90

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REVISIONS

DATE SCALE

SHEET TITLE

SHEET NO

P 84-385