

CITY OF SACRAMENTO

1231 I Street, Sacramento, CA 95814

Permit No: 9902936

Insp Area: 4

Site Address: 2404 THELMA AV SAC

Parcel No: 274-0083-002

Sub-Type: RES

Housing (Y/N): N

CONTRACTOR

TUFF SHED INC
3202 ORANGE GROVE
NORTH HIGH ANDS CA 95660

OWNER

DODGE MICHAEL D/JUSTINE M
2404 THELMA AV
SACRAMENTO CA 95833

ARCHITECT

Nature of Work: 10X10 STORAGE SHED

CONSTRUCTION LENDING AGENCY : I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C).

Lender's Name _____ Lender's Address _____

LICENSED CONTRACTORS DECLARATION: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with section 7000) of Division 3 of the Business and Professions Code and my license is in full force and effect.

License Class B License Number 661664 Date 3/3/99 Contractor Signature [Signature]

OWNER-BUILDER DECLARATION: I hereby affirm under penalty of perjury that I am exempt from the contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code; any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9 (commencing with Section 7000) of Division 8 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.00);

____ I, as a owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professional Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his/her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he/she did not build or improve for the purpose of sale.)

____ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law).

____ I am exempt under Sec. _____ B & PC for this reason: _____

Date _____ Owner Signature _____

IN ISSUING THIS BUILDING PERMIT, the applicant represents, and the city relies on the representation of the applicant, that the applicant verified all measurements and locations shown on the application or accompanying drawings and that the improvement to be constructed does not violate any law or private agreement relating to permissible or prohibited locations for such improvements. This building permit does not authorize any illegal location of any improvement or the violation of any private agreement relating to location of improvements.

I certify that I have read this application and state that all information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representative(s) of this city to enter upon the abovementioned property for inspection purposes.

Date March 31 1999 Applicant/Agent Signature [Signature]

WORKER'S COMPENSATION DECLARATION: I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation as provided for by Section 3700 of the Labor Code, for the performance of work for which the permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

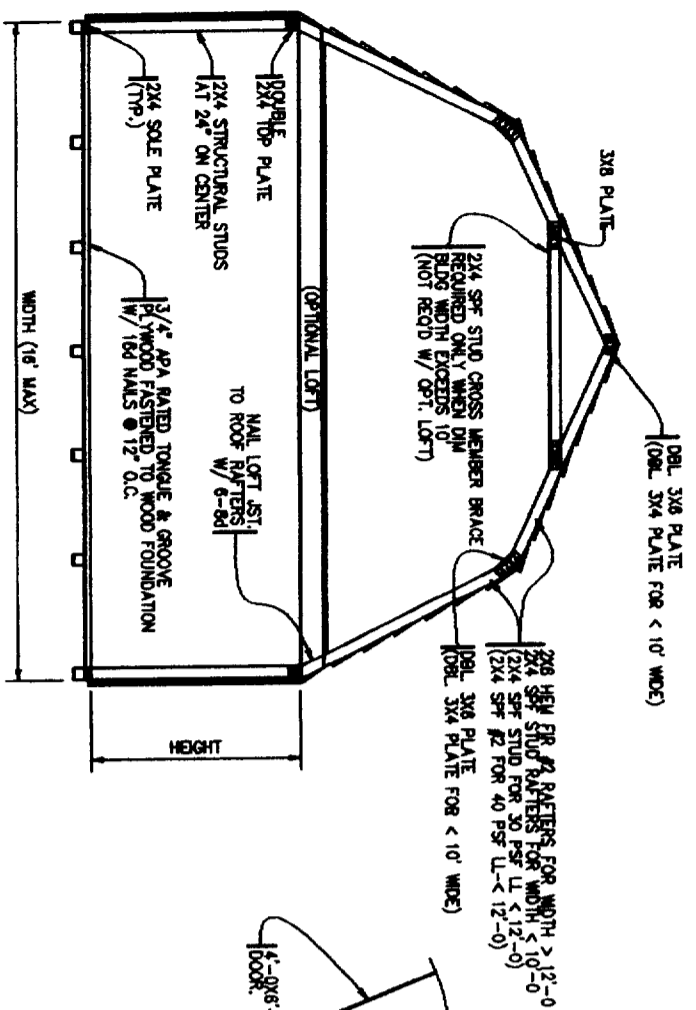
Carrier TRAVELERS INSURANCE Policy Number UB-754G940-6-98 Exp Date 07/01/1999

____ (This section need not be completed if the permit is for \$100 or less) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

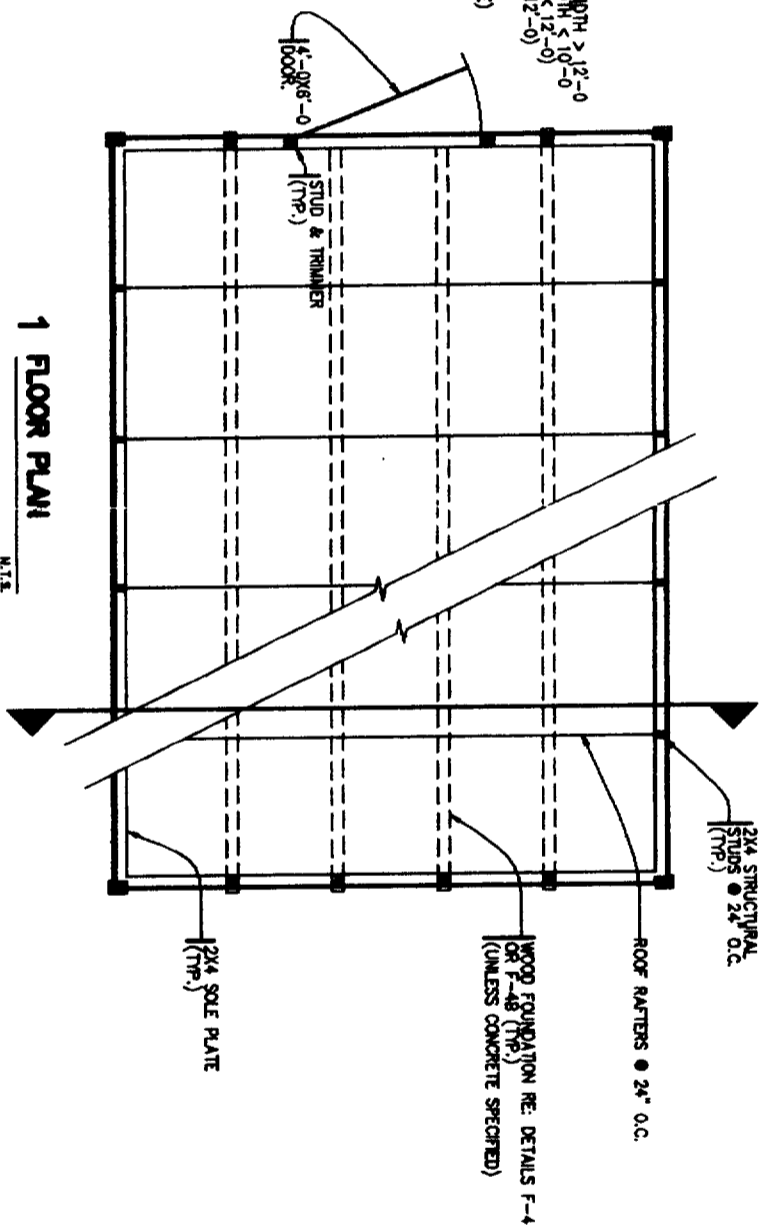
Date March 31 1999 Applicant Signature [Signature]

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION. DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEE.

THIS PERMIT SHALL EXPIRE BY LIMITATION IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

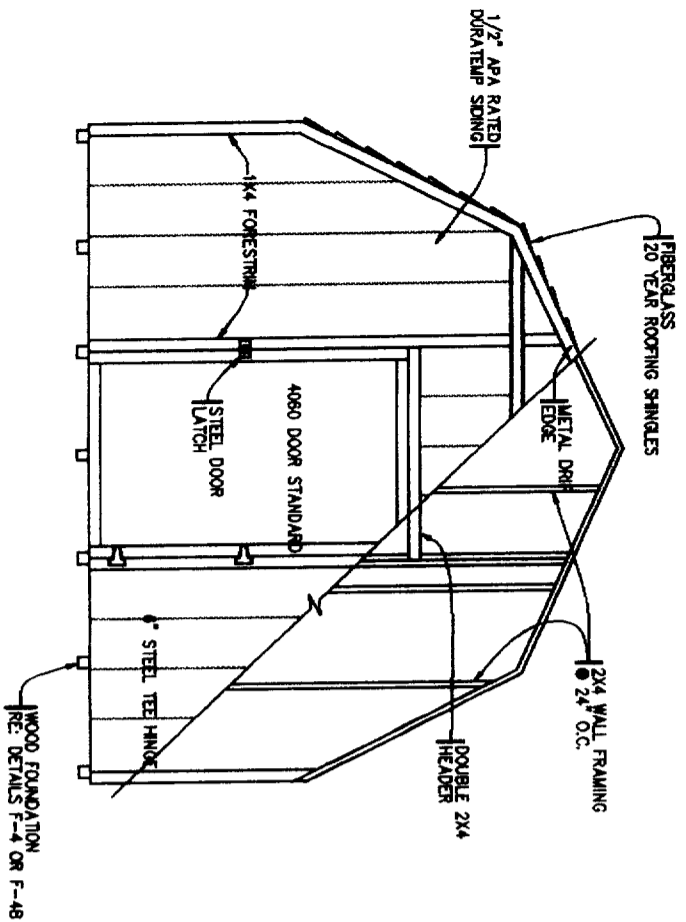


LOFT FRAMING	
BLDG. WIDTH	2X8 @ 24"
8'	2X8 @ 24"
10'	2X10 @ 24"
12'	2X10 @ 24"
14'	2X12 @ 24"
16'	2X12 @ 24"
18'	2X12 @ 24"
LOFT MAX. LIVE LOAD = 40 PSF	
30 PSF FOR 16' WIDE	

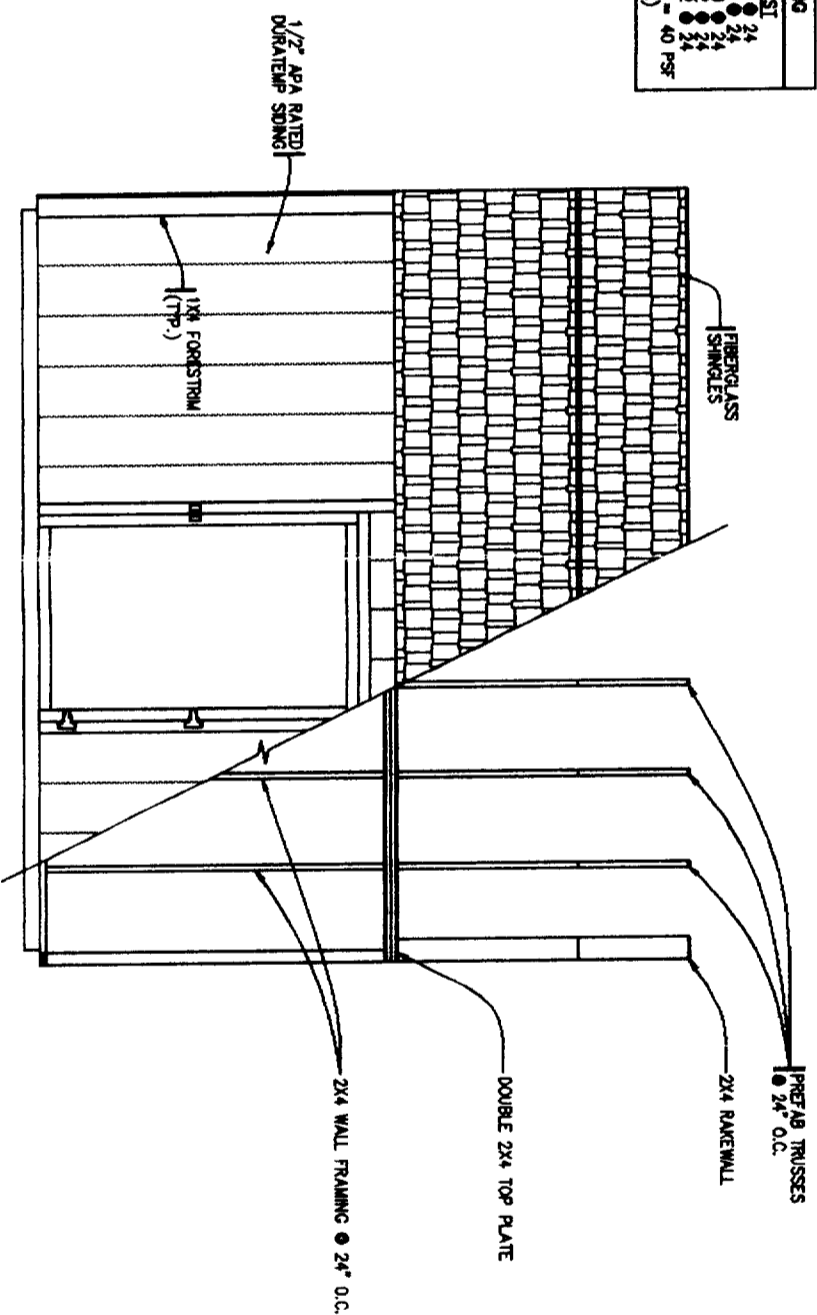


ROOF SHEATHING SCHEDULE	
APA STRUCTURAL I OR II	
PANEL THICKNESS = 15/32"	
SPAN RATING 24/16	
LONG DIM. PERPENDICULAR TO TRUSSES	
FASTEN W/ 6d @ 6" O.C.	
12" O.C. @ INT. SUPPORTS	

DESIGN SCHEDULE	
BUILDING ADDRESS:	_____
BUILDING SIZE:	_____
WIDTH:	_____
LENGTH:	_____
ROOF LIVE LOAD:	40 PSF
DESIGN WINDLOAD:	85 MAX. EXP. 8
ROOF PITCH:	_____
DETAIL SHEETS REQUIRED:	_____



4 END WALL DETAIL
N.T.S.



2 SIDE WALL DETAIL
N.T.S.

- LIVE LOADS, RE: SCHEDULE
- ALL CONSTRUCTION TO BE PER 1994 U.B.C. UNLESS OTHERWISE NOTED
- WOOD FRAMING
 - ALL FRAMING BUILDERS SHALL BE SPRUCE-PINE-FIR STUD GRADE OR BETTER WITH THE FOLLOWING DESIGN VALUES (U.O.A.):
 F_c = 675 PSI PARALLEL
 F_v = 70 PSI
 F_t = 126 PSI
 E = 1,200,000 PSI
- ROOF SHEATHING SHALL BE PER SCHEDULE, STAGGER LAYOUT (APA COND. 1), RING-SHANK AT 6" AT EXGES, AT 12" AT INTERMEDIATE SUPPORTS.
- ROOF SHEATHING SHALL BE DURATEMP NAILED TO FRAMING WITH 8d GALV. NAILING SCHEDULE
 STUD TO TOP PLATE 2-18d
 STUD TO SILL PLATE 2-16d TO E
 DBL. PLATE SPLICE 16d AT 16"
 DBL. HEADER 16d AT 16"
 HEADER TO STUD 6-8d
- ROOFING
 - 20 YEAR FIBERGLASS SHINGLES
 - 15 lb. ROOFING FELT
 - TYPE D METAL FLASHING AND DRP EDGES REQUIRED ALL SIDES (ROOF GUTTERS AND DOWNSPOUTS REQUIRED FOR UNITS LARGER THAN 400 S.F.)
- GENERAL
 - ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS, BUILDER SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES, STREETS, UTILITIES, ETC.
 - BUILDER IS RESPONSIBLE FOR SAFETY OF BUILDING DURING CONSTRUCTION. PROVIDE ALL SHIELDING OR BRACING AS REQUIRED AND PER GOVERNING REGULATIONS.
 - IF UNIT IS PLACED WITHIN 3 FT. OF PROPERTY LINE, A 1 HR. FIRE WALL WILL BE REQUIRED.
 - RAIN GUTTERS ARE REQ'D FOR ALL UNITS LARGER THAN 400 SQ. FT.
 - NAIL SCHEDULE TO BE PER 1994 IRC

[Handwritten signature]
1482

TITLE: TALL BARN' STYLE UNIT		PROJECT NO: 2905	
TUFF SHED, INC.		DATE: 3/18/98	
1777 S. HARRISON STREET SUITE 600		DRAWN BY: HP	
DENVER, CO 80210		CHECKED BY: JD	
(303) 753-8833		REV. DWG. SHED-4	
RICHARD WEINGART CONSULTANTS		STANDARD	

FLOOD ZONE DETERMINATION

FLOOD ZONE: X

Date: _____

1. Name of Owner(s): _____

2. Address: _____

3. City: _____ State: _____ -Zip Code: _____

4. FIRM: Community, Panel Number: 0602661 0025F / July 6, 1998

5. APN Number: 274 - 0083 - 002

6. Location of Property: _____

Chalmer Cap
31 ~~Mar~~ Mar 97

DATE OF REQUEST _____
BY _____

City of Sacramento Development Services Division Planning and Zoning Information Request

Project Address: 2404 THELMA AVE

Assessor's Parcel Number: 274 0083 002

PREVIOUS USE _____

Current Land Use: _____

Description of Request/Proposed Use: STORAGE SHED

10x10

IS THIS A CHANGE OF USE? _____

Zoning Designation: R1

Prior Applications for Project Site(P#,Z#,DRPB#): _____

Comments: Rear lot coverage + setbacks
OK

E.g. No Area - but not visible from st

Are There Any Planning Issues?: (Circle One) YES NO

* STAFF Site Plan Check Required? (Circle One) YES NO

* FIELD INSPECTION REQUIRED (CIRCLE ONE) YES NO

* Design Review/ Preservation Required?: (Circle One) YES NO

Planning Review by/Date: [Signature] 3/31/99

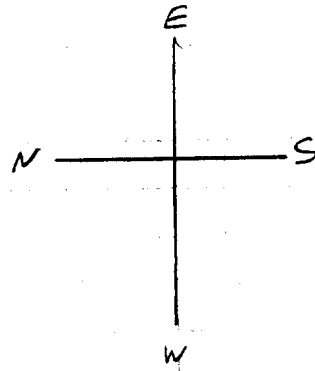
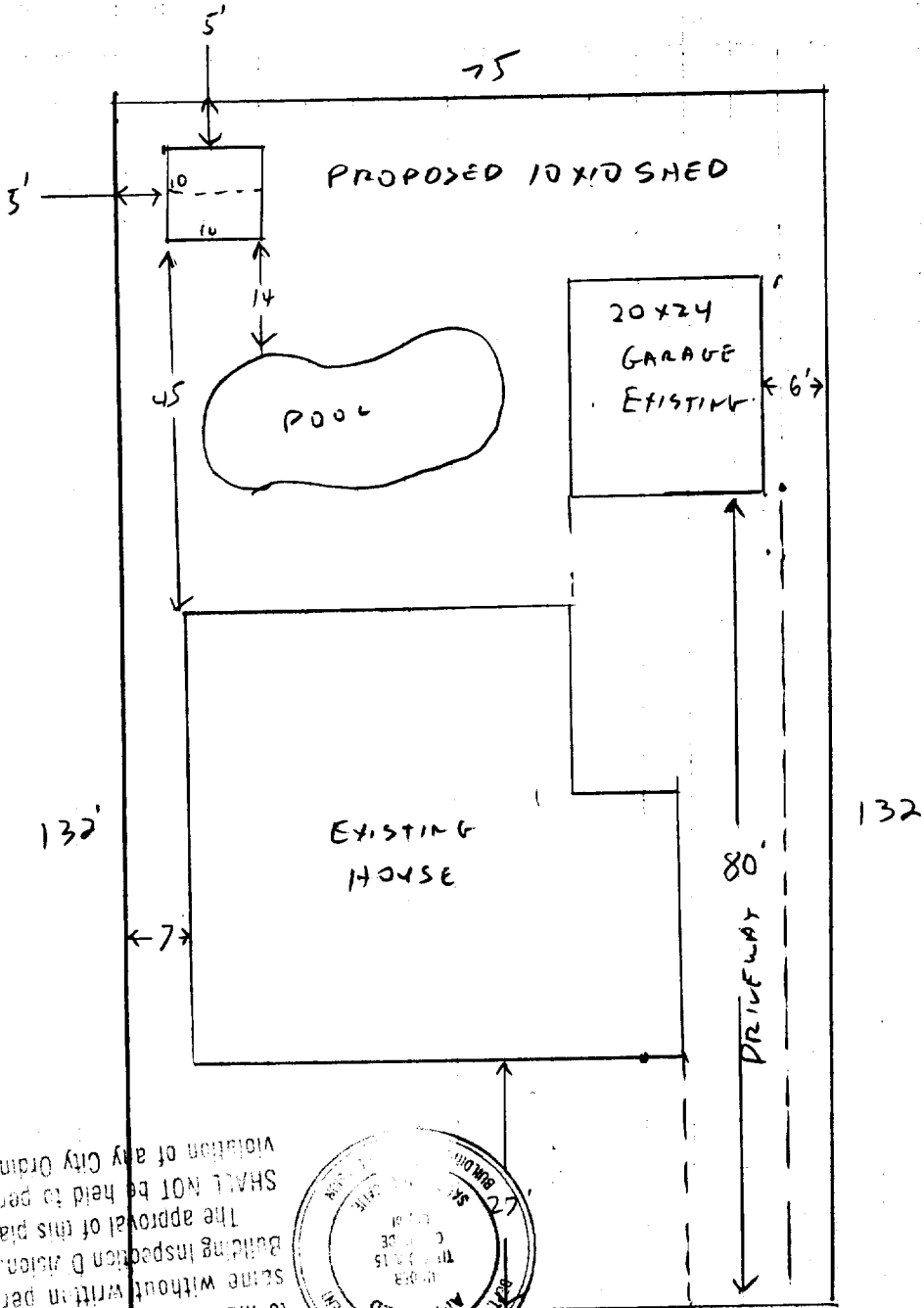
A list of items that must be reviewed by Planning is provided on the reverse side of this form.

MICRO FILM AFTER FINAL

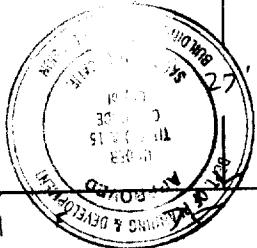
DODGE
2404 THELMA /
SACRAMENTO

ISSUED

MAR 31 1999



This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations from the same without written permission from the Building Inspection Division.
The approval of this plan and specification SHALL NOT be held to permit or approve a violation of any City Ordinance or State Law.



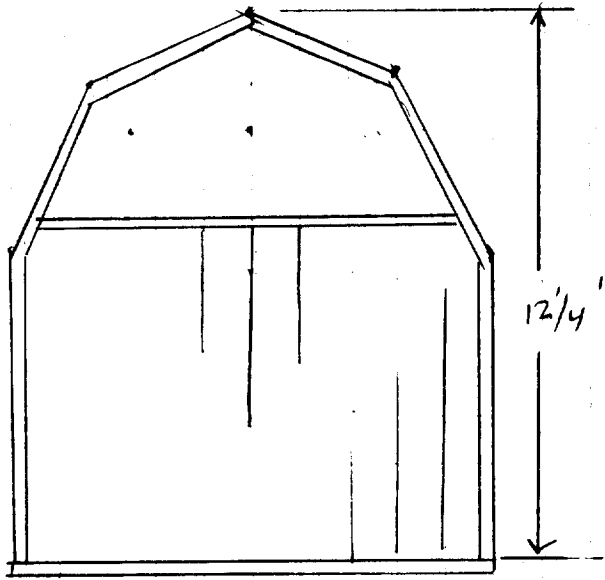
THELMA AVE.

Reviewed by Matt P.
3/31/99

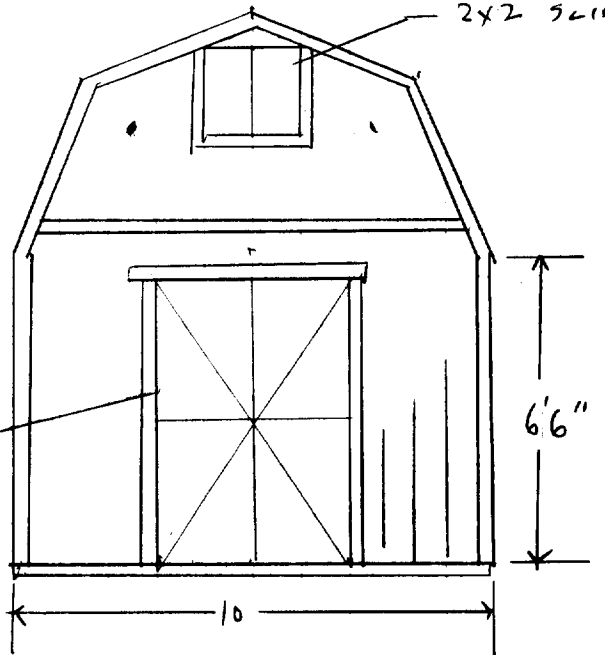
SCALE 1/4" = 5'
PLOT PLAN

1/6

DODGE
2404 THELMA AVE
SACRAMENTO



NORTH ELEVATION



SOUTH ELEVATION
SCALE 1/4" = 1'

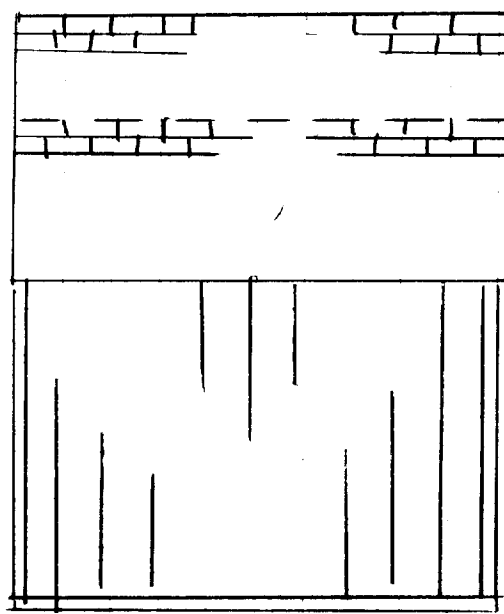
2/6

RIGHT

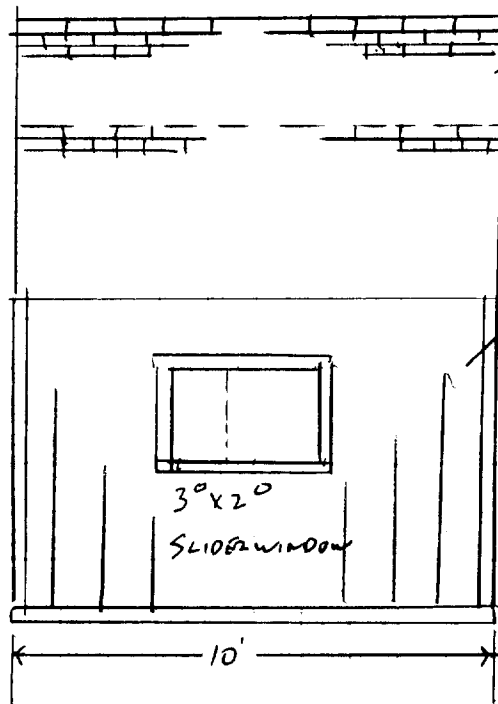
4x6 WOOD
DOOR

2x2 SLIDER WINDOW

DODGE
2404 THELMA AVE
SACRAMENTO



EAST ELEVATION



FIBERGLASS SHINGLE ROOF

1/2" APA TILE TYPE
DURATEMP SIDING

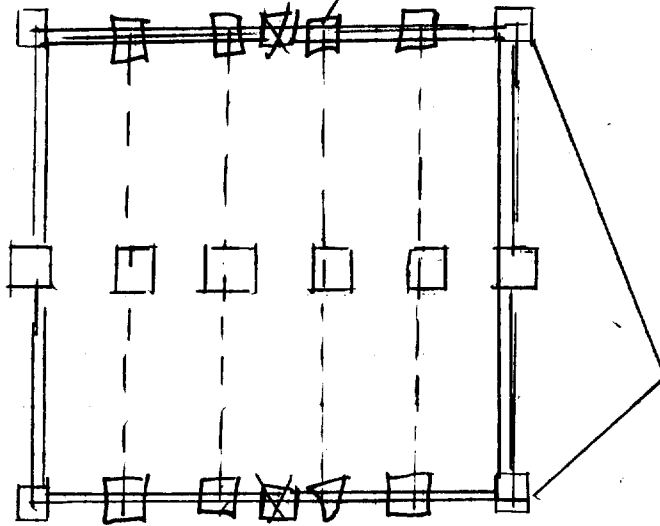
3'0" x 2'0"
SLIDING WINDOW

10'

WEST ELEVATION
SCALE 1/4" = 1'

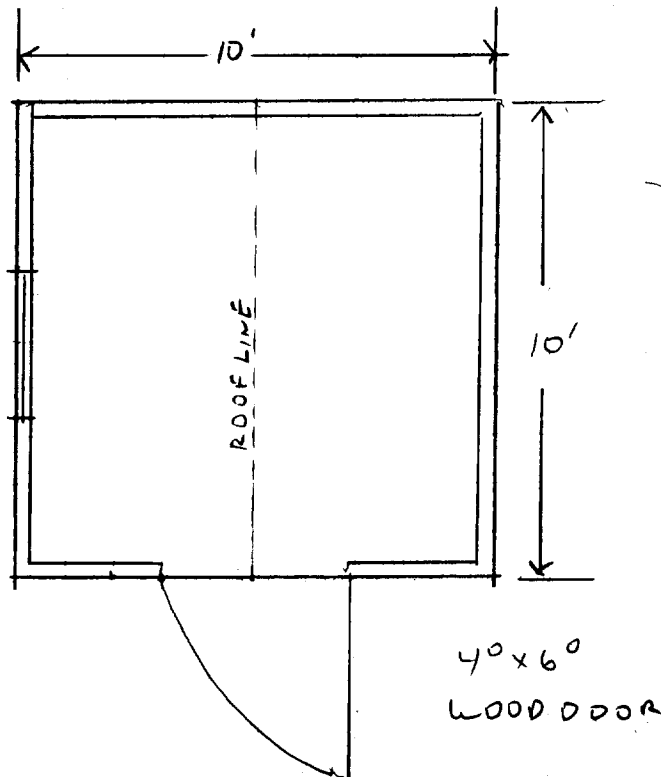
2x6 PRESSURE
TREATED FLOOR
JOISTS

DODGE
2404 HELMA AVE
SACRAMENTO



10x10 CONCRETE PIERS

3020
WINDOW



FLOOR PLAN
SCALE 1/4" = 1'

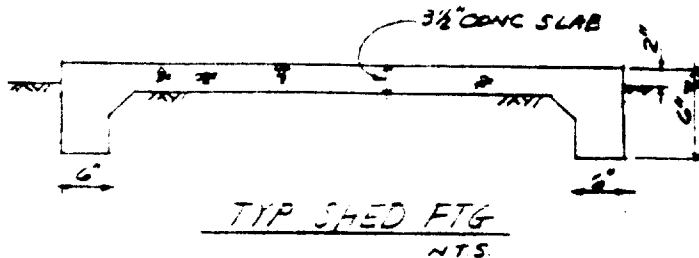
4/6

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING AND DEVELOPMENT
BUILDING INSPECTIONS DIVISION**

REQUIREMENTS FOR SHED FOUNDATIONS

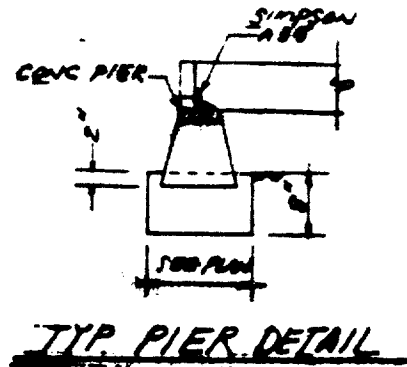
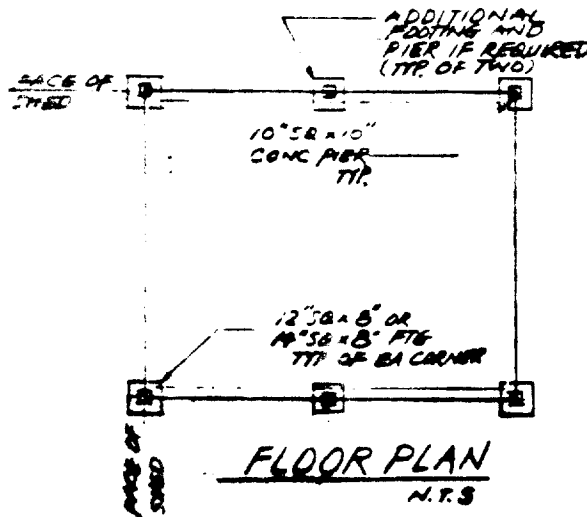
A. For sheds 64 sq. ft. to 119 sq. ft.:

1. 3 1/2" concrete slab with 6" x 6" perimeter footing.



or

2. 10" x 10" x 10" Concrete piers with corner piers set on 12" x 12" x 8" footings.



B. For sheds 120 sq. ft. and larger:

1. 4" concrete slab with standard perimeter footing.

