



CITY OF SACRAMENTO
CALIFORNIA

PLANNING AND BUILDING
DEPARTMENT
(916) 264-5381

1231 I STREET
ROOM 200
SACRAMENTO, CA
95814-2998

August 8, 2002

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD**

FILE: P02-068

PREVIOUS FILE NUMBER(S): P95-085, P97-043, P99-066, P00-019 & 20, P00-005

PROJECT NAME: Northborough Village 3 & 13

PROJECT LOCATION: North of Mabry Drive, Southeast of Northborough Drive, and East of Dunlay Street.

ASSESSOR'S PARCEL NUMBER(S): 201-0310-003 to 006

APPLICANT'S NAME/ADDRESS: US Home Corp. (Mitch Young)
2366 Gold Meadow #200 Gold River, CA 95670
(916) 858-3900

DATE APPLICATION FILED: May 24, 2002

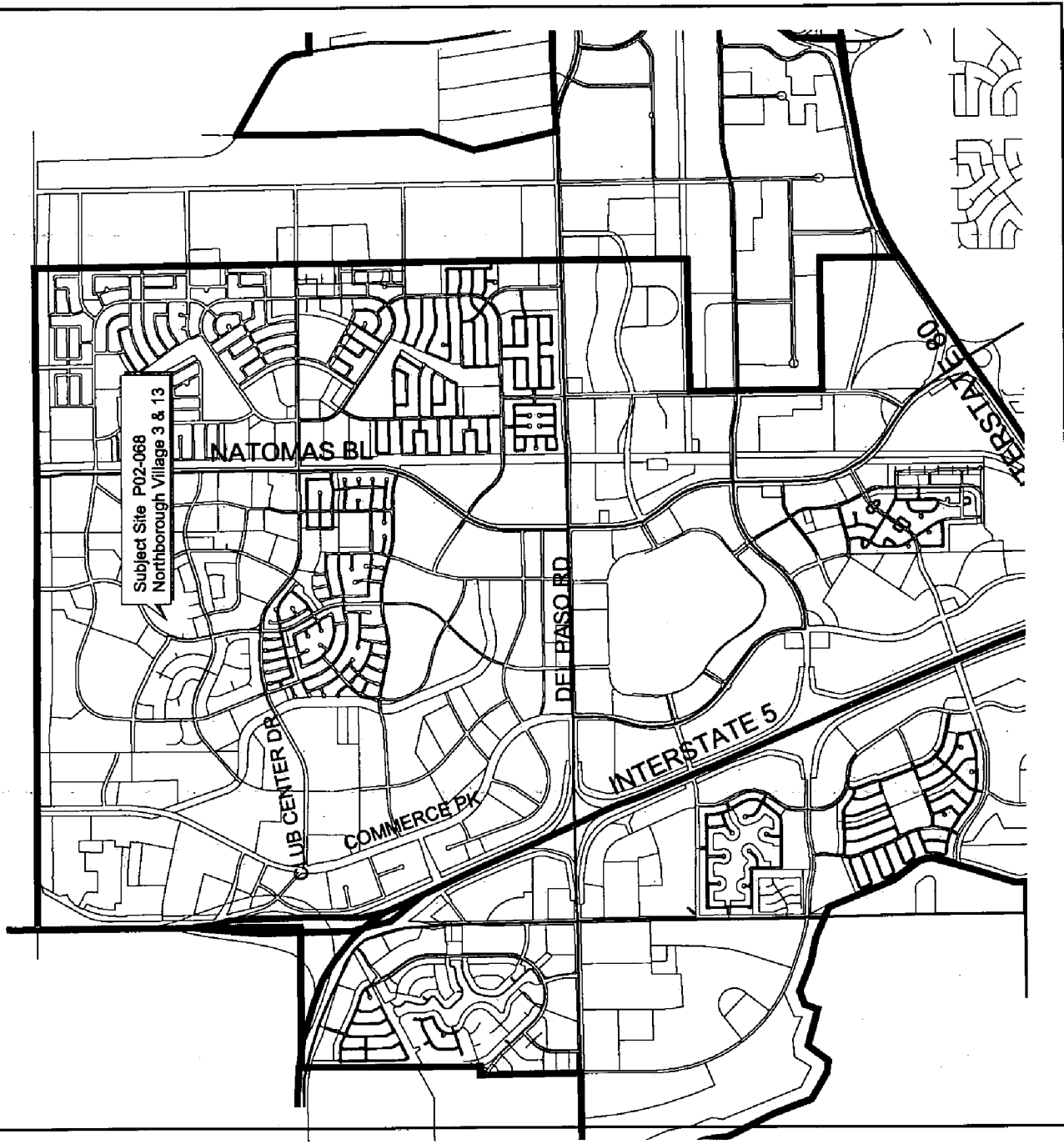
STAFF CONTACT: Kenny Wan, Junior Planner

APPROVAL: This Planning Director's Special Permit (PDSP) approval is for **97 lots** in Northborough Village 3 & 13 (Village 10-2 for Lennar's Communities), within Northborough Planned Unit Development (PUD). After approval of the PDSP, the following entitlements are required prior to construction of the residential development: 1) Zoning Administrator's Special Permit for a Model Home Complex; and 2) Building Permits.

PROJECT INFORMATION:

Zoning -	R-1 PUD	Range in House Size -	1,650 to 2,956 sf
Typical Lot -	55 feet x 105 feet	Range in Price -	TBD
Typical Lot Size -	5,775 square feet	Number of Models -	7
Number of Lots -	97 lots	Number of Elevations -	3
Gross Acres -	19.38 acres	No. of Color Schemes -	22
Net Acres -	14.89 acres		
Net Density -	6.5 du/na		

North Natomas



0.6 0 0.6 1.2 Miles



Vicinity Map P02-068 Northborough Village 3 & 13

Planning & Building
Department

Geographic
Information
System

BACKGROUND: Northborough II Planned Unit Development (PUD) was established on December 3, 1996 by the City Council, which also approved General Plan Amendments, North Natomas Community Plan Amendments, and a Rezone, along with Planned Unit Development (PUD) Designation of Northborough-Neighborhoods 7,9 and 10 (P95-085). On August 7, 1997, the City Council approved PUD Guidelines for the Northborough Neighborhood PUDs (P97-043). Since then the Tentative Master Parcel Map and Tentative Subdivision Map was redesigned on October 14, 1999 (P99-066). On September 7, 2001, the City Council had approved the latest Rezone, the PUD Guidelines Amendment, PUD Schematic Plan Amendment, Tentative Master Parcel Map, Tentative Subdivision Map for the Heritage at Northborough, together with various Subdivision Modifications and Special Permits(P00-005).

The applicant is requesting approval of a Planning Director's Special Permit for four single family house plans to be constructed on 97 lots within Northborough Village 3 and 13 (**Village 10-2 for Lennar's Communities**).

PROJECT DETAILS:

House Plans: Please see Table 1 below for information regarding each house plan. The square footage given is the total living space provided by the applicant. Also note that a negative value under Garage Recess indicates that the garage projects out in front of the house instead of being recessed; and a negative value under Porch Projection indicates that the porch (or covered entry, as the case may be) is recessed behind the most forward living space rather than projecting out in front.

**Table 1
HOUSE PLANS**

House Plan Name or Number	Square Footage	No. of Stories	No. of Bedrms	Garage Stalls	Max House Dims		Garage Recess	Porch Projection
					(width)	(depth)		
Plan 1650	1650	1	3	2	42'	62'	-19'4"	n/a
Plan 1725	1721	1	3	2	38'8"	64'	-6'8"	9'0"
Plan 1857	1857	1	4	2	38'8"	69'10"	-6'8"	9'0"
Plan 2072	2066	1	4	2	39'	72'4"	-5'8"	8'0"
Plan 2475	2475	2	4	2	44'	53'4"	-13'0"	10'0"
Plan 2546	2566	2	4/5	2	42'	57'8"	-25'2"	6'4"
Plan 2956	2956	2	4/5	2	47'	60'	-25'2"	6'0"

Other features and options of the house plans include:

- Plan 1650 Two car garage, side-entry configuration. Recessed entry, but windows on garage's side. No porch. No option.
- Plan 1725 Two car garage, front-entry configuration. Recessed entry, but has a usable porch of 147 sq. ft. projected to the front. No option.
- Plan 1857 Two car garage, front-entry configuration. Recessed entry, but has a usable porch of 147 sq. ft. projected to the front. Optional Master bedroom retreat.
- Plan 2072 Two car garage, front-entry configuration. Recessed entry, but has a usable porch of 137 sq. ft. projected to the front. Optional Master bedroom retreat.

- Plan 2475 Two car garage, front-entry configuration. Living areas above; recessed entry, but has a usable porch of 136 sq. ft. projected 3 ft behind the garage. No option.
- Plan 2546 Two car garage, side-entry configuration. Recessed living room, entry and porch, but has living areas above garage and windows on garage's side. No option.
- Plan 2956 Two car garage, side-entry configuration. Recessed living room, entry and porch, but has living areas above garage and windows on garage's side. No option.

Elevations, Materials, and Colors: In general, three elevations are proposed for each house plan. The basic features of these elevations are applied consistently to each of the house plans as detailed below, with additional variations in entry structures, siding, window, shutter treatments, stucco trim, brick/stone options, and roofing plans among the three elevations applied to the four different house plans:

<u>Elevation</u>	<u>Materials and Features</u>
A.	Stucco, stucco trim, 6:12 roof pitch, concrete "S", "Shake" or "Slate" tile.
B.	Stucco, stucco trim with brick or stone veneer; 6:12 roof pitch, concrete "S", "Shake" or "Slate" tile.
C.	Stucco, Horizontal Siding in front elevation, 6:12 roof pitch, concrete "S", "Shake" or "Slate" tile

A total of twenty-two color schemes have been provided, with all schemes available for each elevations. All stucco "pop-out" need to use different color from the main body of the house; and there are fourteen types of stone veneer and twelve brick options provided for elevation B. No stone veneer for elevation A, and horizontal siding is standard for elevation C. There will be design enhancements including stucco "pop-out" at location with street exposure. Likewise, three particular roofing tile selection (S-tile, Shake-tile and Slate-tile) are provided for all twenty-two color schemes. All roofing will be concrete tile.

One primary roof pitches are shown: 6:12 on all elevations. The amended Northborough PUD Guidelines specify a minimum roof pitch of 5:12, with provision to allow a shallower roof pitch if appropriate for the architectural style. The roof pitches on all plans and elevations comply with the PUD Guidelines requirement.

Enhanced side and/or rear elevations will be required as conditioned, whenever these elevations face a public street, school, park, canal, or other public space.

Height, Setbacks, and Lot Coverage: One and two story homes are proposed for all lots in the subdivision, and this is in compliance with the maximum of two stories allowed by the PUD Guidelines.

Setbacks: Dimensions of the typical lot in Northborough Village 3 & 13 are 55 feet wide by 105 feet deep. The setbacks required by the "Heritage" Northborough Area PUD Guidelines are shown in Table 2 below.

**Table 2
SETBACKS**

Minimum Setbacks	Front	Rear	Side	Street Side
Living Area	16	15	5	12.5
Porch	14	15	5	12.5
Garage ¹	20/16	15	5	N/A

NOTES: 1) Minimum driveway length for front-entry garages is 20 feet, but side-entry garages may be at 16' from property line.

Due to the setbacks requirement in Table 2, the minimum width and depth of interior lots for each housing plan are as follows:

- 50'0" wide x 93'0" deep for Plan 1650,
- 46'8" wide x 96'0" deep for Plan 1725,
- 46'8" wide x 101'10" deep for Plan 1857,
- 48'0" wide x 104'4" deep for Plan 2072,
- 52'0" wide x 87'4" deep for Plan 2475,
- 50'0" wide x 88'8" deep for Plan 2546,
- 55'0" wide x 91'0" deep for Plan 2956,

*All street side lots shall be 7'5" feet wider

Lot Coverage: The amended Northborough PUD Guidelines for Northborough allow a maximum lot coverage of 45% for one-story homes and 40% for two-story homes. Front porch area is not counted toward lot coverage, and only half of the area of garages that are recessed four feet or more behind the most forward living area of the house is counted.

**Table 3
LOT COVERAGE**

		GROUND FLOOR AREAS (SF)								
	House Plan Name or Number	Living Space	Front Porch	Garage Area	Other Area ¹	Total Footprint	Allowance Area	% Lot Coverage	% with Allowance	
1	Plan 1650	1650	28	437	0	2115	28	36.6%	36.1%	
2	Plan 1725	1721	147	403	0	2271	147	39.3%	36.8%	
3	Plan 1857	1857	147	403	0	2407	147	41.7%	39.1%	
4	Plan 2072	2088	137	403	0	2628	137	45.5%	43.1%	
5	Plan 2475	1459	136	487	0	1969	136	34.1%	33.7%	
6	Plan 2546	1329	33	445	0	1807	33	31.3%	30.7%	
7	Plan 2956	1535	68	502	0	2105	68	36.5%	35.3%	

Table 3 above provides lot coverage analysis for each of the seven house plans in this application. The lot coverages shown in Table 3 are calculated based on the typical lot size of 5,775 square feet: first using the total footprint area, which includes all first floor living space, garage, and front porch areas; and secondly, taking into consideration allowances for all front porch areas and recessed garages. Note that the "Other Area" listed is in each case a third-car garage space that may be converted to optional living space. No house plans in this application qualify for the lot coverage allowance for a recessed garage; however, all Plans are within the lot coverage restriction of 45% for single-story home and 40% for two-story home.

Corner Lots: There are eighteen(18) corner lots in Northborough Village 3 & 13 (see Exhibit 1). Corner lots are either equal or bigger than the typical lot sizes, therefore staff does not have a concern that any of the house plans will be unduly limited by the lot coverage restrictions. Nevertheless, the lot coverage and setback requirements stated above shall be strictly followed in all circumstance.

Street Trees, Landscaping, Fencing and Walls: The street trees, landscaping, and fencing within Village 3 & 13 will be in accordance with the Northborough PUD Guidelines and as conditioned in this approval. A masonry wall is not required, but there are 6' double rail fence with pilasters proposed along the lots adjacent to the public park in the north of this development , these fences meet the required material allowed in the Northborough PUD Guidelines; however, all fencing visible from public areas shall be 6' in height and shall have continuous top and bottom rails with vertical plank panels.

ENVIRONMENTAL REVIEW:

Negative Declaration and Mitigation Monitoring Plan: On July 19, 2001, the City Council ratified a Negative Declaration for the project (P00-005). Potentially significant environmental issues regarding traffic, air quality, noise, cultural and biological resources, were discussed and mitigated in this document. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. Section 15162 of the California Environmental Quality Act Guidelines provides that an additional Negative Declaration (or Environmental Impact Report) need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan was prepared for the mitigation measures identified in the previous Negative Declaration. The applicant shall comply with the Mitigation Monitoring Plan, when applicable to the proposed project.

Air Quality Mitigation Strategy: The master developer of Natomas Park, which includes Northborough II PUD and this Village, has submitted an Air Quality Mitigation Plan. The Plan was adopted by Planning and Public Works, and the homebuilder of this project will be responsible for mitigation measures as conditioned in this PDSP approval.

COMMENTS:

Public notice was mailed to adjacent property owners by the applicant on May 15, 2002. No comments have been received from the public notice. The project plans were presented by the applicant to the Natomas Community Association (NCA) on June 11, 2002. The association was very pleased to see the builders' attempts to reach full compliance with the Northborough design standards, and they provided the following comments:

- 1) Applauded that the builders' attempts to reach 100% compliance with the Northborough design standards.
- 2) Suggest giving buyers more options to interchange trim, accent and base house colors to provide much needed variety in color schemes.
- 3) Suggest more options in design and color of garage doors and front doors.
- 4) Consider conditions to ensure variety in elevations, 1 & 2 story and color schemes on same street. Of the seven models, 4 have the same front elevation for 1-story homes.
- 5) Consider side facing garage options for corner lots to provide more variety.

Review of the project plans was completed by the Natomas Park Design Review Committee on April 2, 2002, with comments and conditions provided in the letter from Don Barnett of Lennar's Communities attached as Exhibit 12.

The Public Works Department requires that a minimum 20 foot long driveway (front entry garage) be provided for each house. Also, Public Works staff has reviewed and approved the Transportation Systems Management and Air Quality (TSMAC) Plan for Natomas Park, including Northborough PUD. TSM measures are being provided with these plans, and are included as conditions of approval.

Planning staff finds all of the house plans and elevations to be of good quality in architectural design and materials proposed, and generally in accordance with the Single Family Residential Design Principles adopted by City Council on September 7, 2000.

Plan	Level of Complaint	Remark
1650	<i>Mitigated Complaint</i>	<i>Side-Entry garage</i>
1725, 1857, 2072*	<i>Mitigated Complaint</i>	<i>Front porches flush with garage</i>
2475	<i>Mitigated Complaint</i>	<i>Front porch < 10' behind garage</i>
2546	<i>Complaint</i>	<i>Second Story Living Area over garage</i>
2956	<i>Complaint</i>	<i>Second Story Living Area over garage</i>

* Plan 1725, 1857 and 2072 have same elevations and floor plan layouts, they are varied in sizes only.

Since Plan 1725, 1857 and 2072 have an identical sets of elevations, different elevations should be used when any two of these house plans are next to each other (see condition f). As conditioned, the project represents a high level of adherence to the City's Single Family Residential Design Principles and is acceptable to staff.

In conclusion, staff finds that the proposed house plans comply with all applicable General Plan, Community Plan, and Zoning Ordinance requirements, and they are consistent with the amended Northborough II PUD Guidelines and Schematic Plan.

ACTION:

The Planning Director approves the requested Planning Director's Special Permit based on the following findings and subject to the following conditions:

Findings:

1. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
 - o the project is consistent with the General Plan land use designations;
 - o the project is consistent with the 1994 North Natomas Community Plan land use designations;
 - o the project is consistent with policies related to land use, including residential densities and open space proximity;
 - o the project begins to develop planned North Natomas neighborhoods each focused on an elementary school, with a variety of housing densities and types, and commercial, civic, transit, and park uses close by; and
 - o the project advances City transportation management and air quality goals.

2. The proposed residential development is consistent with the adopted PUD Guidelines and Schematic Plan for the Northborough PUD in that the housing designs provided comply with requirements related to setbacks, height, and lot coverage and meet the purposes and criteria stated in the City Zoning Code, Sections 17.180.010 and 17.180.020, in that the PUD facilitates mixed residential uses designed to assure that new development is healthy and of long lasting benefit to the North Natomas community and the City; and

3. The proposed residential development will not be detrimental to the public health, safety or welfare in that the single family residential development will be in harmony with the general purposes and intent of the City Zoning Code in that the approved elevations are well-designed; and that the proposed uses will not create a negative impact on any nearby sensitive uses.

Conditions:

1. The design of the proposed house plans shall conform substantially to the plans as shown on Exhibits 3 thru 10, and specifically:
 - a. Three (3) different elevations shall be offered for each house plan, as shown on the attached Exhibits 3 thru 9; and the features of these elevations (including but not limited to all trim, door and window styles, shutters, siding, veneer, and roofing materials shown on the elevations, specified in the color and materials palettes, and/or conditioned herein) shall be required, not optional;
 - b. All of the house plans submitted and approved with this PDSP application shall be actively marketed and offered for sale within the subdivision/village(s) covered by this approval (P02-068); at least **three** house plans shall be featured in the model home complex.
 - c. On corner lots, the driveway shall be located away from the intersection of streets;
 - d. Due to the setbacks requirement in Table 2, the minimum width and depth of interior lots for each housing plan are as follows, and shall be 7'5" feet wider for all street side lots:
 - 50'0" wide x 93'0" deep for **Plan 1650**,
 - 46'8" wide x 96'0" deep for **Plan 1725**,
 - 46'8" wide x 101'10" deep for **Plan 1857**,
 - 48'0" wide x 104'4" deep for **Plan 2072**,
 - 52'0" wide x 87'4" deep for **Plan 2475**,
 - 50'0" wide x 88'8" deep for **Plan 2546**,
 - 55'0" wide x 91'0" deep for **Plan 2956**,
 - e. When corner lots are wider than necessary to provide minimum setbacks on both the interior and street side of the house, and street side fencing is required to start at or near the rear corner of the house (see Fence and Wall condition), the house shall be located toward the minimum street side setback in order to maximize the usable area available for fenced private yard;
 - f. None of the house plans may be placed on more than two adjacent/consecutive lots, and shall be different elevations when adjacent. When house **Plan 1725, 1857 or 2072** are placed next to each other, different elevation shall be used;
 - g. Brick or Stone options should be a standard feature for **Elevation B** as shown on exhibits;
 - h. Horizontal Siding should be a standard feature for **Elevation C** as shown on exhibits;
 - i. Double door option should be provided for **Plan 2956**;
 - j. Roof pitch shall be at minimum 5:12, unless approved for a shallower pitch by the DRC;
 - k. Roofing shall be concrete tile; the roof shall be finished with end and ridge caps;
 - l. A total of twenty-two color palette options shall be offered, all schemes available to each elevations, as indicated on the color and materials board and schedule submitted with this application;

- m. All exterior stucco wainscoting and trim should be painted with different color than the main body of the house;

Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.

- 2. Prior to development of any model homes, the applicant shall obtain a Zoning Administrator's Model Home Complex Special Permit.
- 3. The applicant shall obtain all necessary building permits prior to commencement of construction; and building permits shall not be issued unless the Final Map has been approved.
- 4. The Planning Director's Special Permit shall expire two years from the date of approval.
- 5. The applicant shall comply with the latest Mitigation Monitoring Plan (P00-005) on file at the Planning Division.
- 6. Air Quality Mitigation: The applicant shall comply with the Natomas Park TSMAP Plan for residential development, including but not limited to the following:
 - a. Participate in the North Natomas Transportation Management Association (TMA);
 - b. Install low nitrogen oxide emitting, and/or high efficiency water heaters;
 - c. Install gas or electric outlets in the backyard;
 - d. Install energy efficient dual-pane windows, and/or energy efficient windows treated with reflective coatings; and
 - e. Provide new homeowners with information regarding alternative travel modes.
- 7. Parks Maintenance: Prior to the issuance of the 150th building permit for the project know as Northpointe Park Phase 2 (Village 20,23), or the first certificate of occupancy for said project, or final permit of said project, whichever comes first, the applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project to an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood parks maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the costs will be spread based upon a hearing report which specifies the tax rate and method of apportionment.
- 8. Street Trees - Selection and placement of street trees shall be in accordance with the "Heritage" Northborough Area PUD Guidelines Amendment (August 10, 2001), Exhibits 10 and 11, Landscape Master Plan - Street Tree Legend on pages 18 and 19, and as follows:
 - a. Applicant shall provide and install an average of two 15-gallon size street trees per lot frontage, with an average spacing of 20' to 30' on center, as measured along the entire length of the street; the species designated for street trees within Village 3 & 13 is **Red Oak** and **American Linden** as required in the "Heritage" Northborough PUD Guidelines;
 - b. On corner lots, the street side yard also shall be planted with two 15-gallon size street trees, plus three accent trees selected from "Heritage" Northborough Area PUD Guidelines Exhibit 12: Recommended Trees, Shrub and Groundcovers (on pages 20-22); and accent trees shall be a different species from the street trees;

- c. If spacing is interrupted by street lights or driveways, the trees shall be re-spaced to accommodate required clearances while maintaining the required quantity of trees on average;
 - d. Location of street trees and accent trees shall conform to City standards for sight line requirements at intersections and driveways.
9. Landscaping - Landscaping will be subject to review by the Natomas Park Design Review Committee (DRC), and shall be in accordance with the Northborough PUD Guidelines and as follows:
- a. Front yard landscaping materials shall include, in addition to street trees: one 15-gallon accent tree, one 5-gallon specimen shrub, 20 1-gallon foundation and accent shrubs, turf, and ground cover at a maximum spacing of 12 inch on center with decorative bark;
 - b. Side yard landscaping shall include, in addition to street trees and accent trees: one 5-gallon specimen shrub, turf, and ground cover with a maximum spacing of 12 inch on center with decorative bark;
 - c. All plant materials shall be consistent with the "Heritage" Northborough Area PUD Guidelines Exhibit 12: Recommended Trees, Shrubs and Groundcoverss (on pages 20 thru 22); and
 - d. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.
10. Fencing and Walls - All fencing and walls will be subject to the review of the Natomas Park DRC, and shall be in accordance with the "Heritage" Northborough Area PUD Guidelines and as follows:
- a. Street shall be designed and constructed to the satisfaction of the Department of Public Works.
 - b. Wood fencing with wood posts shall be provided in the village per the PUD Guidelines;
 - c. All fencing visible to the public shall have a semi-transparent stain in a neutral tone to be specified by the Natomas Park Design Review Committee;
 - d. On corner lots, street side fencing shall commence at the back corner of the house nearest to the street (excluding projections), leaving the side elevation and landscaping exposed to the side street;
 - e. Wooden fencing visible from public areas shall be 6' in height and shall have continuous top and bottom rails with vertical plank panels;
 - f. Side and rear yard fences up to six feet (6'-0") in height from house grade are allowed; however, within the front setback area, no fence or wall shall be greater than 3'-6" in height;
 - g. All fencing and walls shall conform to City standards for sight line requirements at intersections and driveways.
10. Design Enhancements on Visible Elevations:
- a. Enhanced side and rear elevations shall be required whenever either of those elevations face a public street, school, park, canal, or other public space. This includes the street side elevation on all corner lots in the subdivision. There are eighteen (18) corner lots (**Lot 1, 6, 11, 12, 26, 27, 29, 30, 45, 54, 55, 56, 60, 65, 66, 76, 77 and 81**) that will require enhanced street side elevations (See Exhibit 1);
 - b. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house, or other appropriate door and window trim features; and a four foot return of materials on the side or rear elevations, as appropriate. On enhanced side and rear elevations, window treatments, roof lines, and materials shall match front facade in appearance and quality. All enhanced elevation treatments shall be shown on the plans submitted for building permit;

c. More options in the design and color of garage doors and front doors is recommended.

11. Driveways - Driveways shall have a pattern of score lines to minimize the expanse of concrete. "Hollywood style" driveways are encouraged with a minimum 2 foot 6 inch planter strip between the two driveways. A maximum of 40% of front yard setback area may be paved, per City Zoning Code; and this calculation (including front yard setback area, driveway area within the setback, and the percent covered by paving) shall be shown on all plot plans.
12. Garage: Each house plan shall provide at least one garage space with minimum *inside* dimensions of 10 feet wide by 20 feet long, as required by the City Zoning Code.

PREPARED BY:


Kenny Wan, Junior Planner

APPROVED BY:


David Kwong, Senior Planner

APPROVED ON:

8-19-02
Date

Attachments:

- Vicinity Map
- Exhibit 1: Site Plan
- Exhibit 2: Setback Exhibits - (a) Interior Lot (b) Corner Lot
- Exhibit 3: Plan 1650 (a)Floor Plan (b) Elevations;
- Exhibit 4: Plan 1725 (a)Floor Plan (b) Elevations;
- Exhibit 5: Plan 1857 (a)Floor Plan (b) Elevations;
- Exhibit 6: Plan 2072 (a)Floor Plan (b) Elevations;
- Exhibit 7: Plan 2475 (a)Floor Plan (b) Elevations;
- Exhibit 8: Plan 2546 (a)Floor Plan (b) Elevations;
- Exhibit 9: Plan 2956 (a)Floor Plan (b) Elevations;
- Exhibit 10: Option Exhibit (a) Bick Options (b) Stone Options (c) Tile Options
- Exhibit 11: Color Schemes 1-14, Color Scheme 15-22
- Exhibit 12: Natomas Park DRC Approval Letter
- Exhibit 13: Letter of Agreement

File: Original
cc: Applicant
Development Services - Building Division (2)
PUD Binder

THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES, DRAINAGE CONTROL ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS BUILT CONDITIONS WHICH WILL LIKELY VARY FROM THIS PLAN.

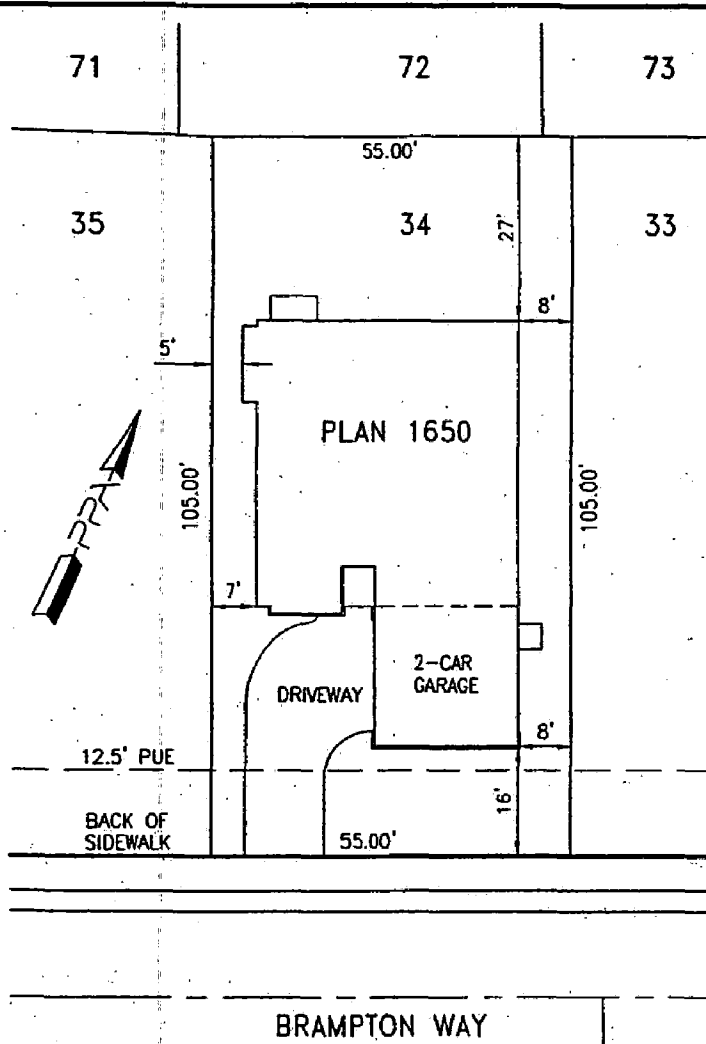


Exhibit 2: Setback
Plan1650 (a)Interior

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
△		
△		

LOT AREA: 5775 SF
 ALLOWED LOT COVERAGE: 2599 SF = 45.0%
 ACTUAL LOT COVERAGE: 2118 SF = 36.7%
 REAR YARD AREA: 1485 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for	PPA Job #005006
Northborough 10-2	Lot 34
Brampton Way, Sacramento, CA 95835	APN
US Home Corporation - Sacramento Division	
2366 Gold Meadow Way, Suite 200, Gold River, CA 95670 Phone (916) 858-3900 Fax (916) 858-3925	
Plot Plan Associates www.plotplans.org	Date Drawn: 05/15/02 Scale: 1"=20'
P.O. Box 435 Citrus Heights CA 95611-0435 (916) 769-9063	Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES, DRAINAGE CONTROL ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS-BUILT CONDITIONS WHICH WILL LIKELY VARY FROM THIS PLAN.

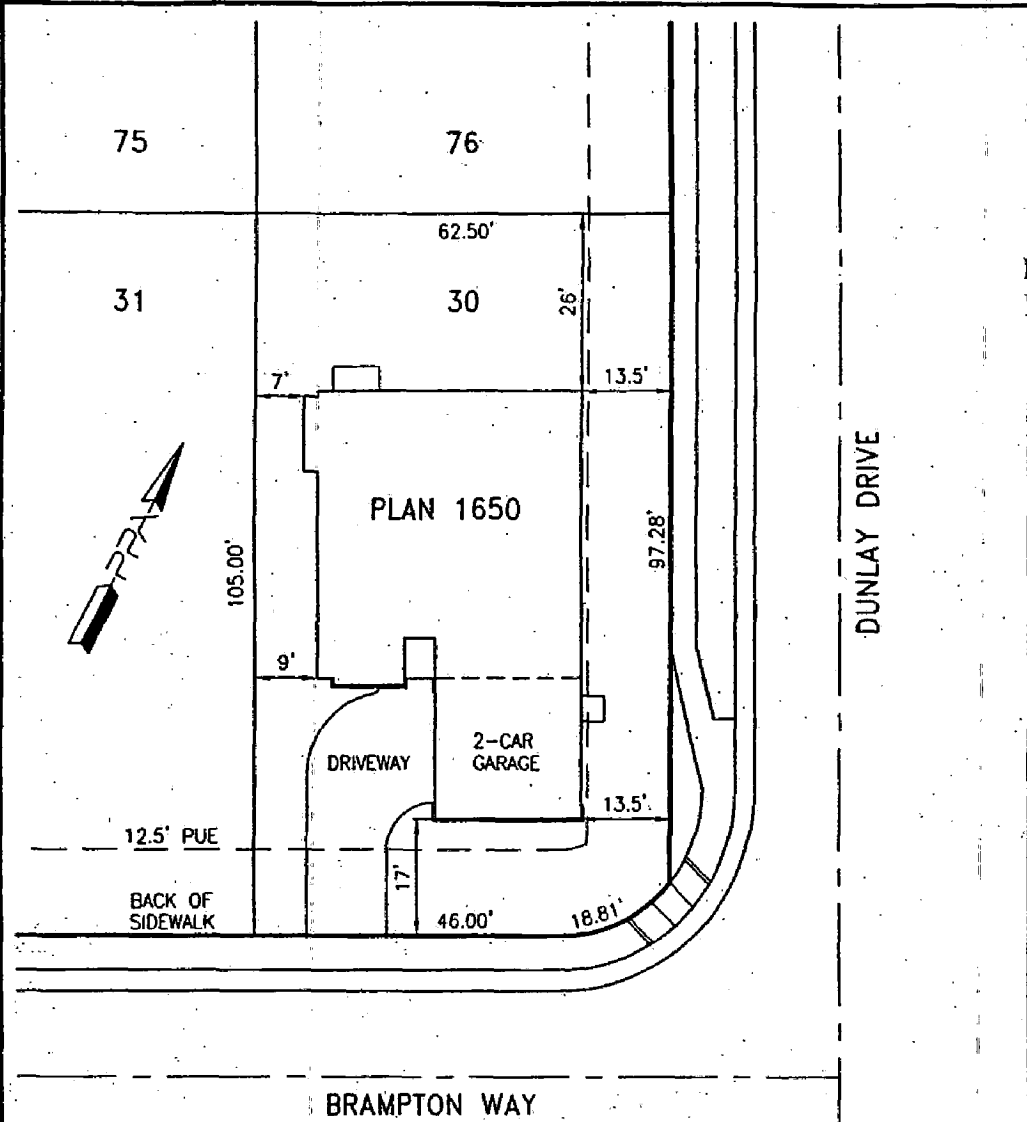


Exhibit 2: Setback Plan 1650 (b) Corner

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
▲		
▲		

LOT AREA: 6524 SF
 ALLOWED LOT COVERAGE: 2936 SF = 45.0%
 ACTUAL LOT COVERAGE: 2118 SF = 32.5%
 REAR YARD AREA: 1308 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for **Northborough 10-2** PPA Job #005006
 Brampton Way, Sacramento, CA 95835 **Lot 30**
 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95630 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org Date Drawn: 05/15/02 Scale: 1"=20'
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063 Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES. DRAINAGE CONTROL, ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS-BUILT CONDITIONS WHICH WILL VARY FROM THIS PLAN.

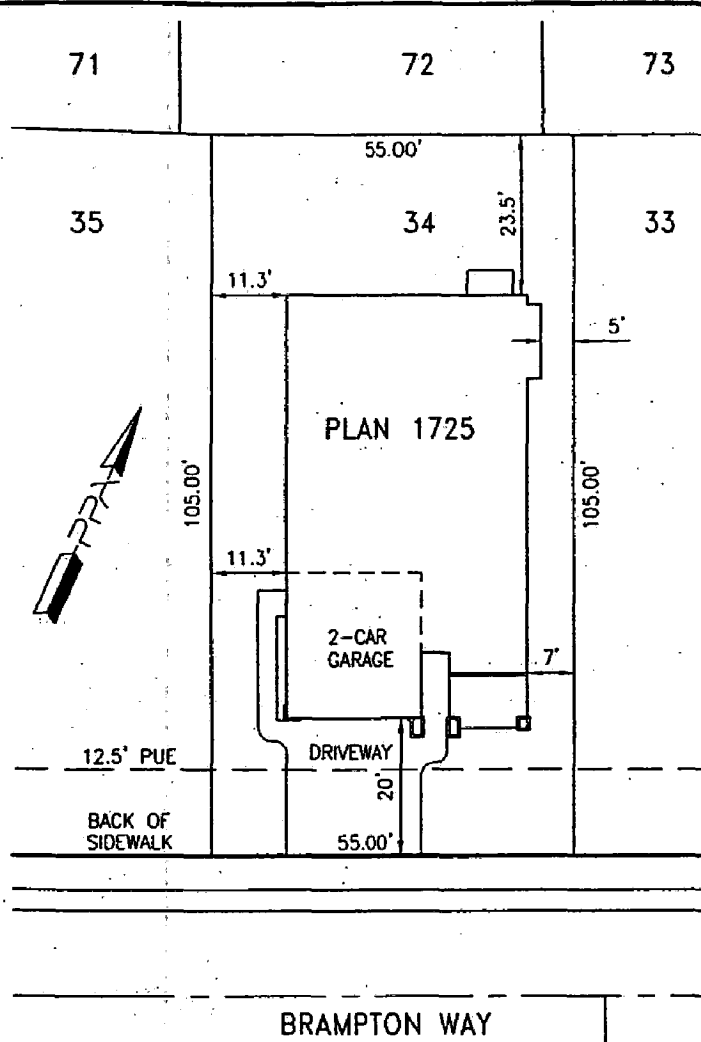


Exhibit 2: Setback
Plan 1725 (a) Interior

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
▲		
▲		

LOT AREA: 5775 SF
 ALLOWED LOT COVERAGE: 2599 SF = 45.0%
 ACTUAL LOT COVERAGE: 2155 SF = 37.3%
 REAR YARD AREA: 1293 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for
Northborough 10-2
 Brampton Way, Sacramento, CA 95835
 PPA Job #005006
Lot 34
 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95670 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063

Date Drawn: 05/15/02 Scale: 1"=20'
 Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES, DRAINAGE CONTROL ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS BUILT CONDITIONS WHICH WILL LIKELY VARY FROM THIS PLAN.

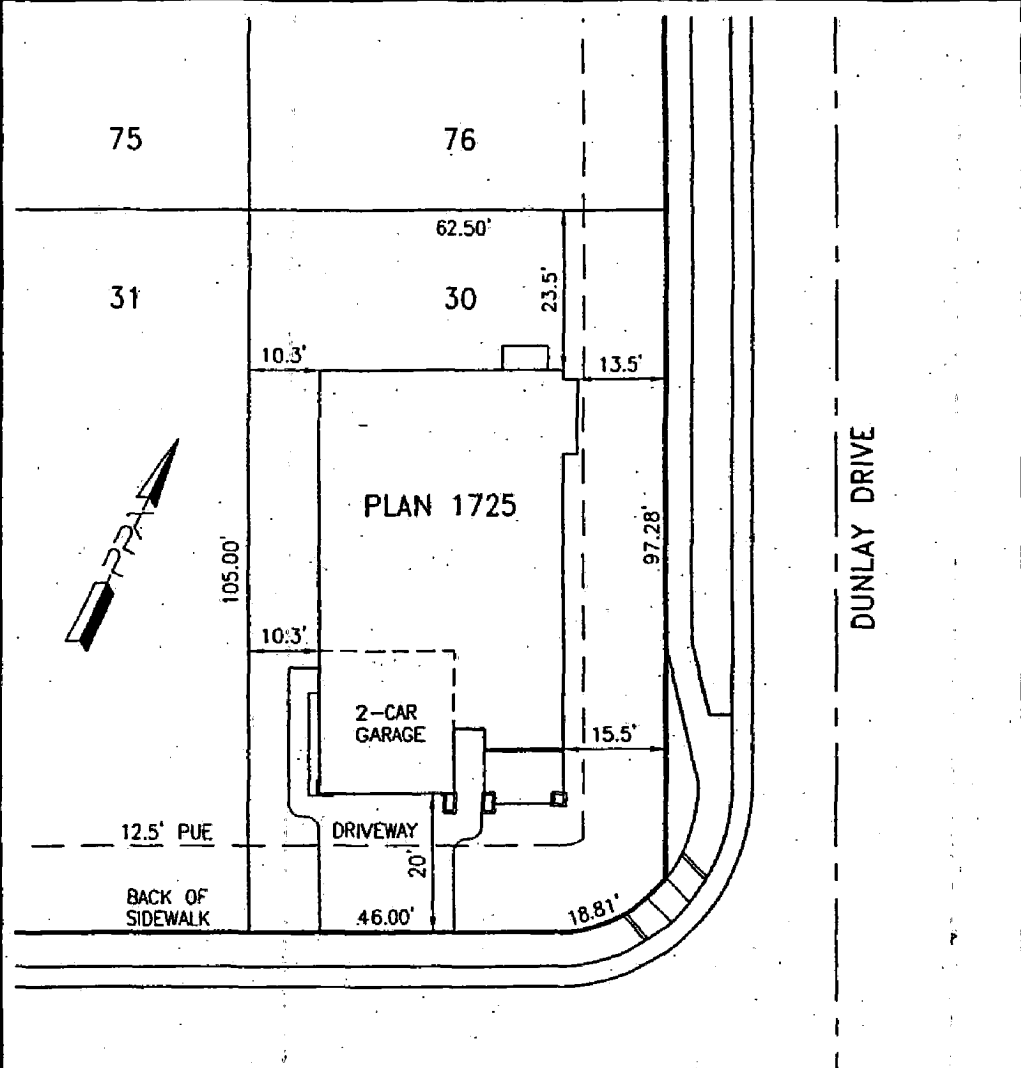


Exhibit 2: Setback
Plan 1725 (b) Corner

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
▲		
▲		

LOT AREA: 6524 SF
 ALLOWED LOT COVERAGE: 2936 SF = 45.0%
 ACTUAL LOT COVERAGE: 2155 SF = 33.0%
 REAR YARD AREA: 1179 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for
Northborough 10-2
 Brampton Way, Sacramento, CA 95835
 PPA Job #005006
Lot 30
 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95630 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org Date Drawn: 05/15/02 Scale: 1"=20'
 PO Box 435 Citrus Heights, CA 95611-0435 (916) 769-9063 Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES, DRAINAGE CONTROL ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS BUILT CONDITIONS WHICH WILL OCCUR FROM THIS PLAN.

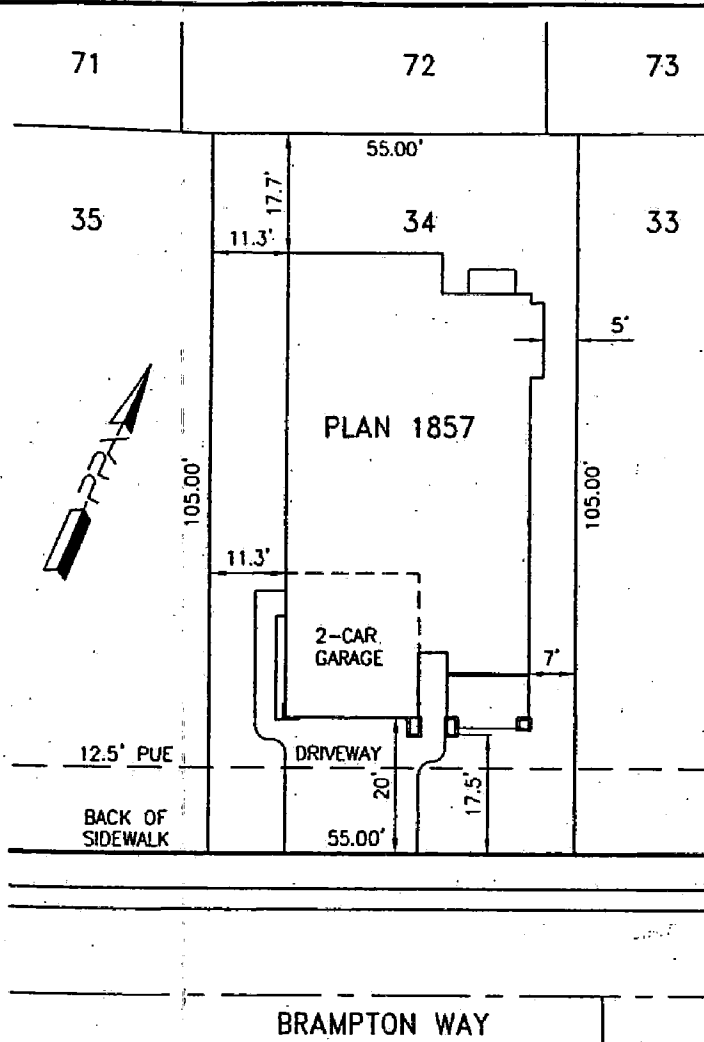


Exhibit 2: Setback
Plan 1857 (a) Interior

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
▲		
▲		

LOT AREA: 5775 SF
 ALLOWED LOT COVERAGE: 2599 SF = 45.0%
 ACTUAL LOT COVERAGE: 2291 SF = 39.7%
 REAR YARD AREA: 1100 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for
Northborough 10-2
 Brampton Way, Sacramento, CA 95835

PPA Job #005006
Lot 34
 APN

US Home Corporation - Sacramento Division

2366 Gold Meadow Way, Suite 200, Gold River, CA 95670 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063

Date Drawn: 05/15/02 Scale: 1"=20'
 Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES, DRAINAGE CONTROL ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS BUILT CONDITIONS, WHICH WILL VARY FROM THIS PLAN.

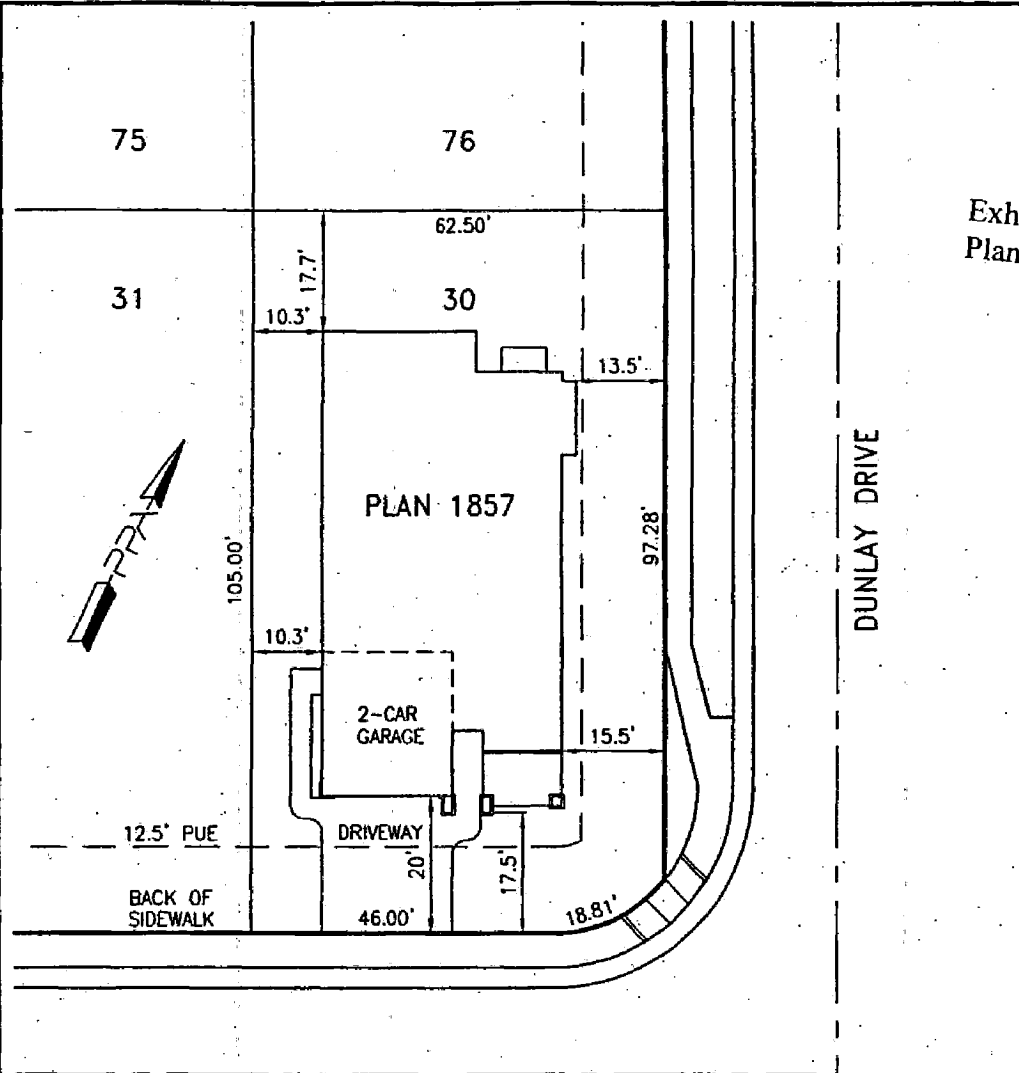


Exhibit 2: Setback Plan 1857 (b) Corner

Approved By:	US Home Corp. Rep.	Date:
Revision	Approved By	Date
△		
△		

LOT AREA: 6524 SF
 ALLOWED LOT COVERAGE: 2936 SF = 45.0%
 ACTUAL LOT COVERAGE: 2291 SF = 35.1%
 REAR YARD AREA: 1179 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for: **Northborough 10-2** PPA Job #005006
 Lot 30
 Brampton Way, Sacramento, CA 95835 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95630 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org Date Drawn: 05/15/02 Scale: 1"=20'
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063 Date Revised: - Drawn By: BEB

THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES. DRAINAGE CONTROL, ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROPRIATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS BUILT CONDITIONS WHICH WILL LIKELY VARY FROM THIS PLAN.

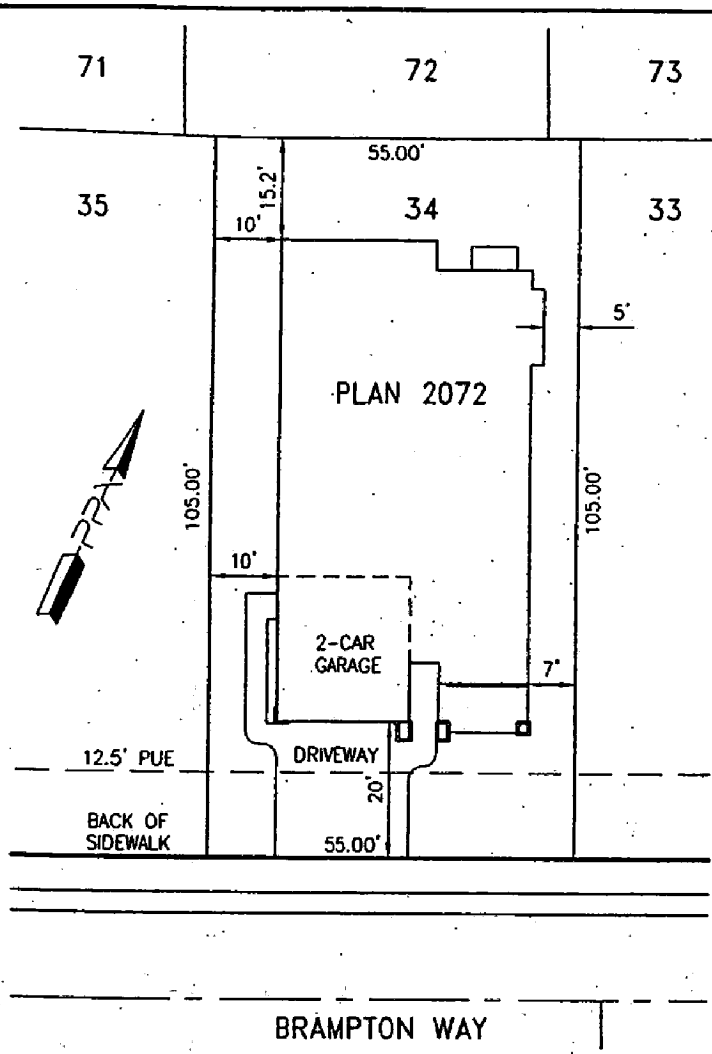


Exhibit 2: Setback Plan2072 (a)Interior

Approved By: US Home Corp. Rep.	Date	LOT AREA: 5775 SF
Revision	Approved By	Date
▲		
▲		
It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.		ALLOWED LOT COVERAGE: 2599 SF = 45.0% ACTUAL LOT COVERAGE: 2500 SF = 43.3% REAR YARD AREA: 927 SF NUMBER OF BEDROOMS:
Plot Plan for Northborough 10-2 Brampton Way, Sacramento, CA 95835		PPA Job #005006 Lot 34 APN
US Home Corporation - Sacramento Division 2366 Gold Meadow Way, Suite 200, Gold River, CA 95670 Phone (916) 858-3900 Fax (916) 858-3925		
Plot Plan Associates www.plotplans.org PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063		Date Drawn: 05/15/02 Scale: 1"=20' Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES. DRAINAGE CONTROL, ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS BUILT CONDITIONS WHICH WILL LIKELY VARY FROM THIS PLAN.

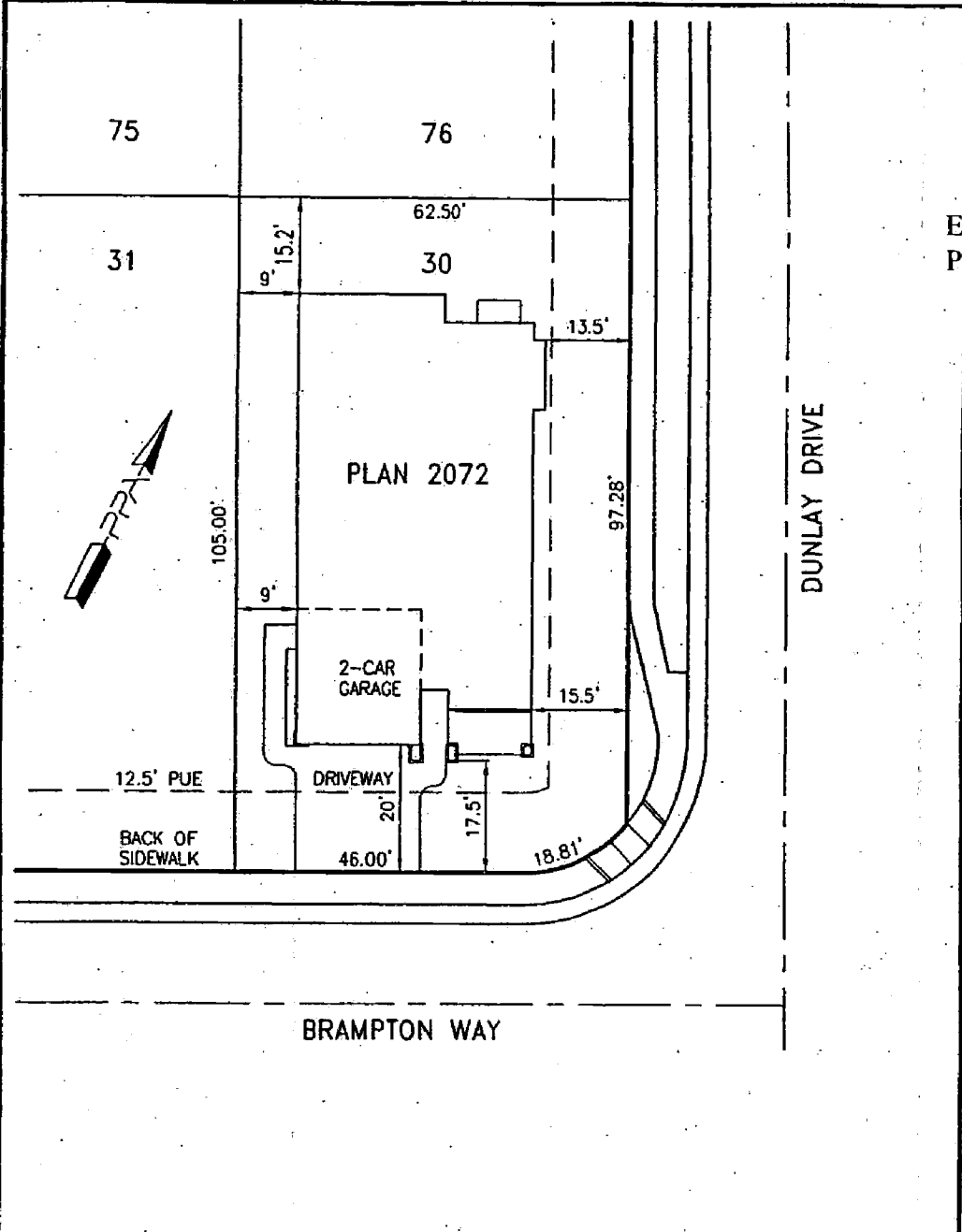


Exhibit 2: Setback
Plan2072 (b)Corner

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
▲		
▲		

LOT AREA: 6524 SF
 ALLOWED LOT COVERAGE: 2936 SF = 45.0%
 ACTUAL LOT COVERAGE: 2500 SF = 38.3%
 REAR YARD AREA: 842 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for **Northborough 10-2** PPA Job #005006
 Brampton Way, Sacramento, CA 95835 **Lot 30**
 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95630 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org Date Drawn: 05/15/02 Scale: 1"=20'
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063 Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES, DRAINAGE CONTROL, ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS BUILT CONDITIONS WHICH WILL LIKELY VARY FROM THIS PLAN.

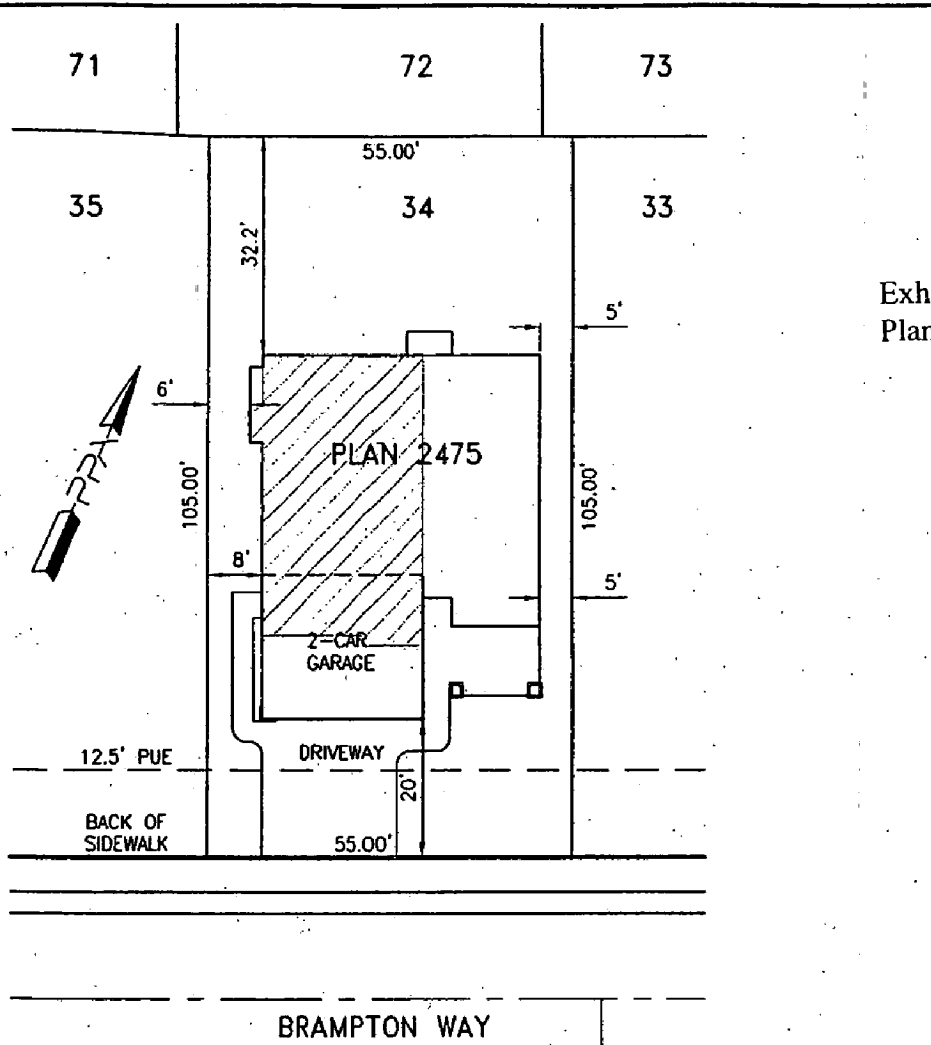


Exhibit 2: Setback Plan 2475 (a) Interior

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
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▲		

LOT AREA: 5775 SF
 ALLOWED LOT COVERAGE: 2310 SF = 40.0%
 ACTUAL LOT COVERAGE: 1982 SF = 33.8%
 REAR YARD AREA: 1769 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for
Northborough 10-2
 Brampton Way, Sacramento, CA 95835

PPA Job #005006
Lot 34
 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95670 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org Date Drawn: 05/15/02 Scale: 1"=20'
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063 Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES, DRAINAGE CONTROL, ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS BUILT CONDITIONS WHICH WILL LIKELY VARY FROM THIS PLAN.

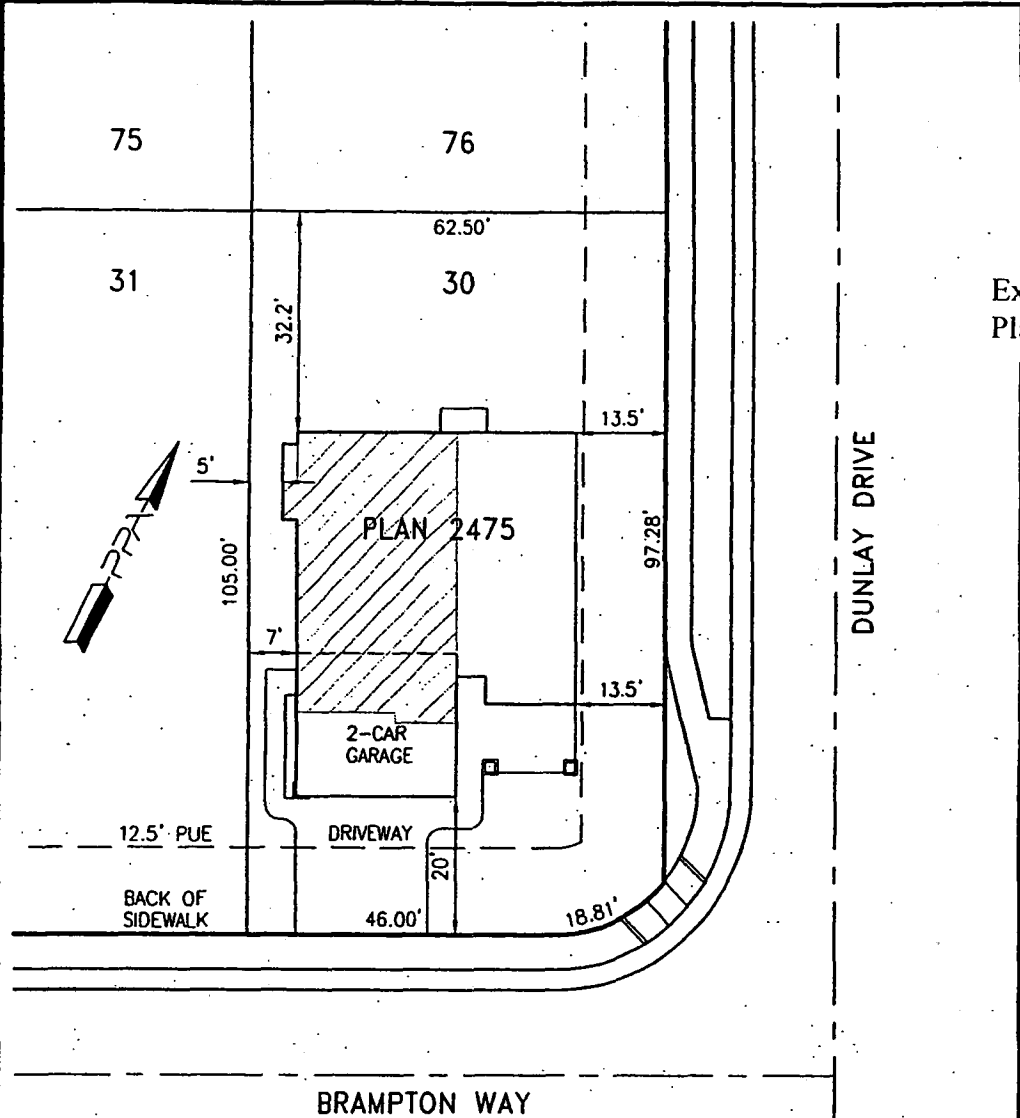


Exhibit 2: Setback Plan 2475 (b) Corner

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
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LOT AREA: 6524 SF
 ALLOWED LOT COVERAGE: 2610 SF = 40.0%
 ACTUAL LOT COVERAGE: 1982 SF = 30.4%
 REAR YARD AREA: 1608 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for **Northborough 10-2** PPA Job #005006
 Lot 30
 Brampton Way, Sacramento, CA 95835 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95630 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org Date Drawn: 05/15/02 Scale: 1"=20'
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063 Date Revised: - Drawn By: BEB

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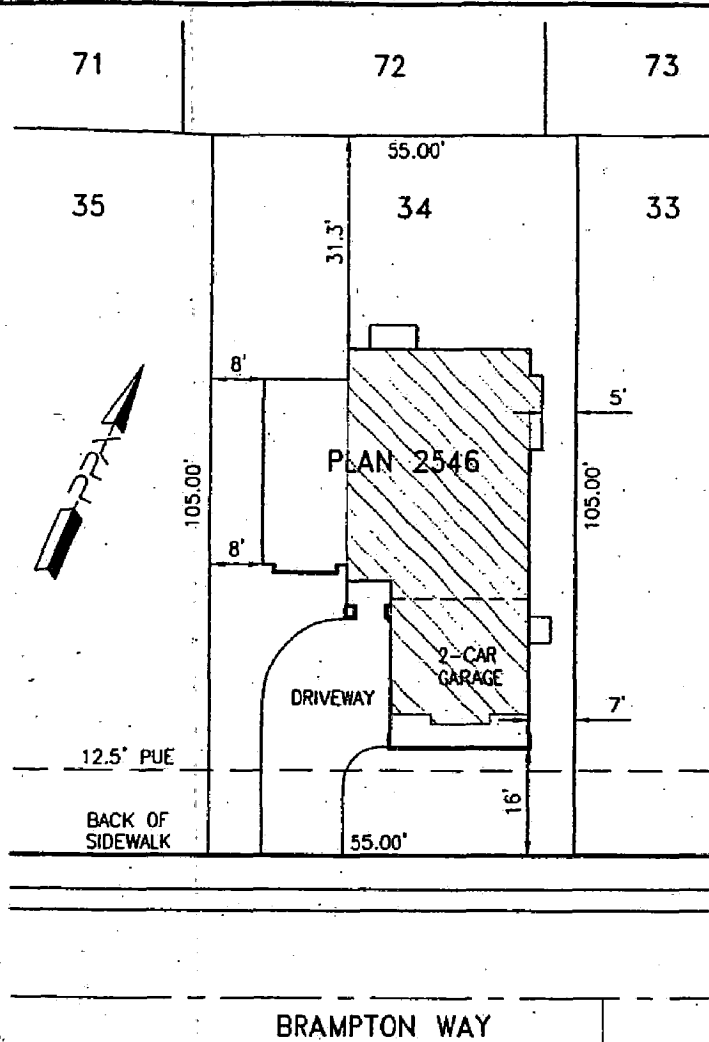


Exhibit 2: Setback
Plan 2546 (a) Interior

<p>Approved By: US Home Corp. Rep. Date</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">Revision</th> <th style="width: 60%;">Approved By</th> <th style="width: 25%;">Date</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">▲</td> <td></td> <td></td> </tr> <tr> <td style="text-align: center;">▲</td> <td></td> <td></td> </tr> </tbody> </table>	Revision	Approved By	Date	▲			▲			<p>LOT AREA: 5775 SF ALLOWED LOT COVERAGE: 2310 SF = 40.0% ACTUAL LOT COVERAGE: 1796 SF = 31.1% REAR YARD AREA: 1816 SF NUMBER OF BEDROOMS:</p>
Revision	Approved By	Date								
▲										
▲										
<p>It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.</p>										
<p>Plot Plan for Northborough 10-2 Brampton Way, Sacramento, CA 95835</p>										
<p>PPA Job #005006 Lot 34 APN</p>										
<p>US Home Corporation - Sacramento Division 2366 Gold Meadow Way, Suite 200, Gold River, CA 95670 Phone (916) 858-3900 Fax (916) 858-3925</p>										
<p>Plot Plan Associates www.plotplans.org P0 Box 435 Citrus Heights CA 95611-0435 (916) 769-9063</p>										
<p>Date Drawn: 05/15/02 Scale: 1"=20' Date Revised: - Drawn By: BEB</p>										

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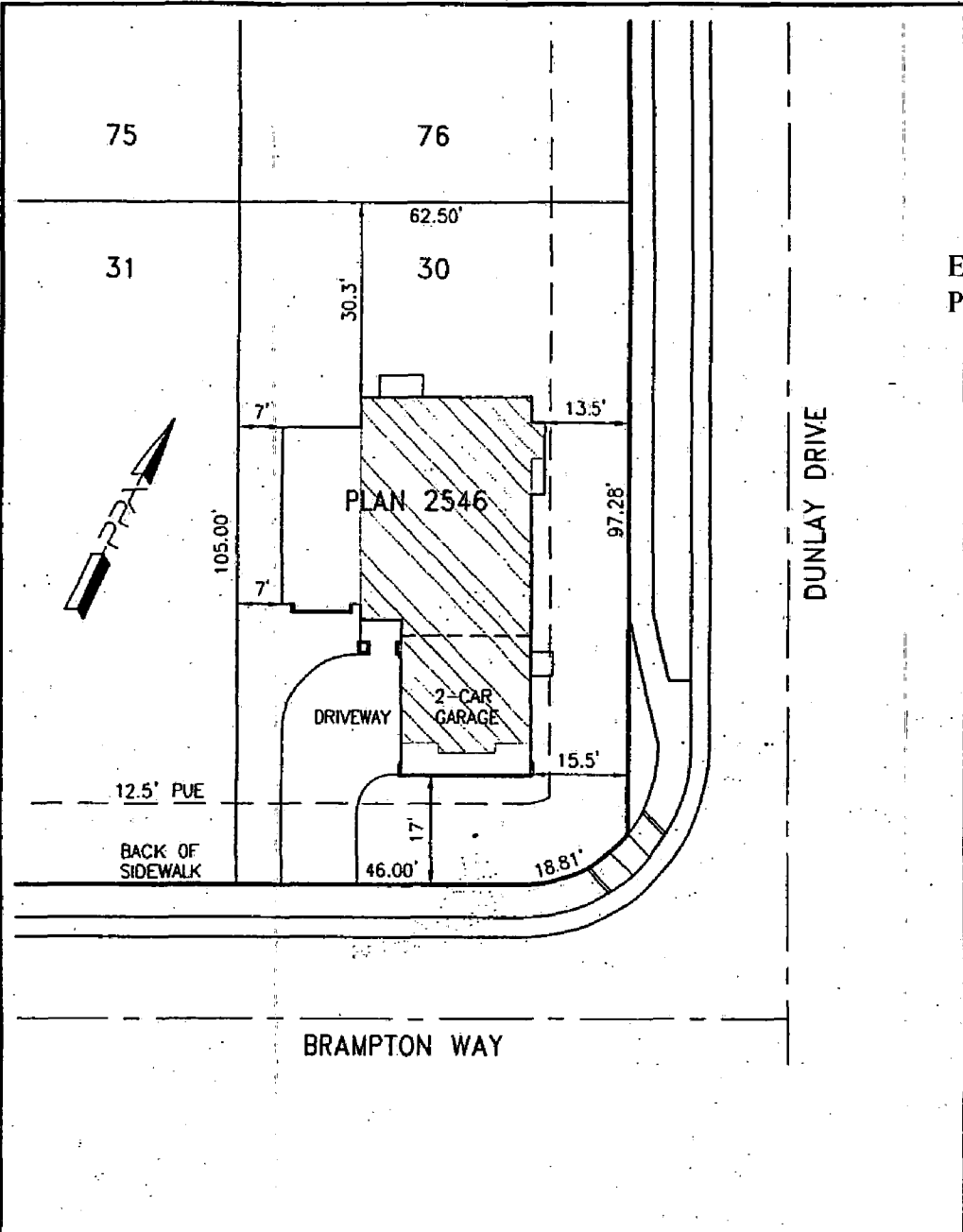


Exhibit 2: Setback
Plan 2546 (b) Corner

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
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▲		

LOT AREA: 6524 SF
 ALLOWED LOT COVERAGE: 2610 SF = 40.0%
 ACTUAL LOT COVERAGE: 1796 SF = 27.5%
 REAR YARD AREA: 1604 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for **Northborough 10-2** PPA Job #005006
 Brampton Way, Sacramento, CA 95835 **Lot 30**
 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95630 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org Date Drawn: 05/15/02 Scale: 1"=20'
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063 Date Revised: - Drawn By: BEB

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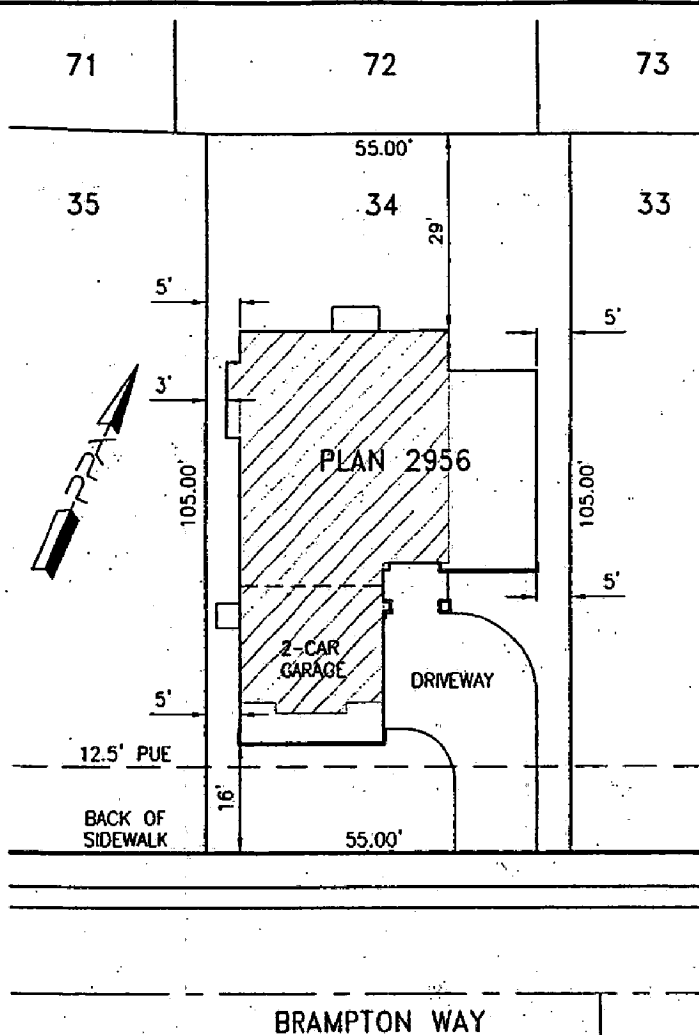


Exhibit 2: Setback
Plan2956 (a)Interior

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
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▲		

LOT AREA: 5775 SF
 ALLOWED LOT COVERAGE: 2310 SF = 40.0%
 ACTUAL LOT COVERAGE: 2061 SF = 35.7%
 REAR YARD AREA: 1700 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for
Northborough 10-2
 Brampton Way, Sacramento, CA 95835

PPA Job #005006
Lot 34
 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95670 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063

Date Drawn: 05/15/02 Scale: 1"=20'
 Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINE. DRAINAGE CONTROL, ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS-BUILT CONDITIONS WHICH WILL LIKELY VARY FROM THIS PLAN.

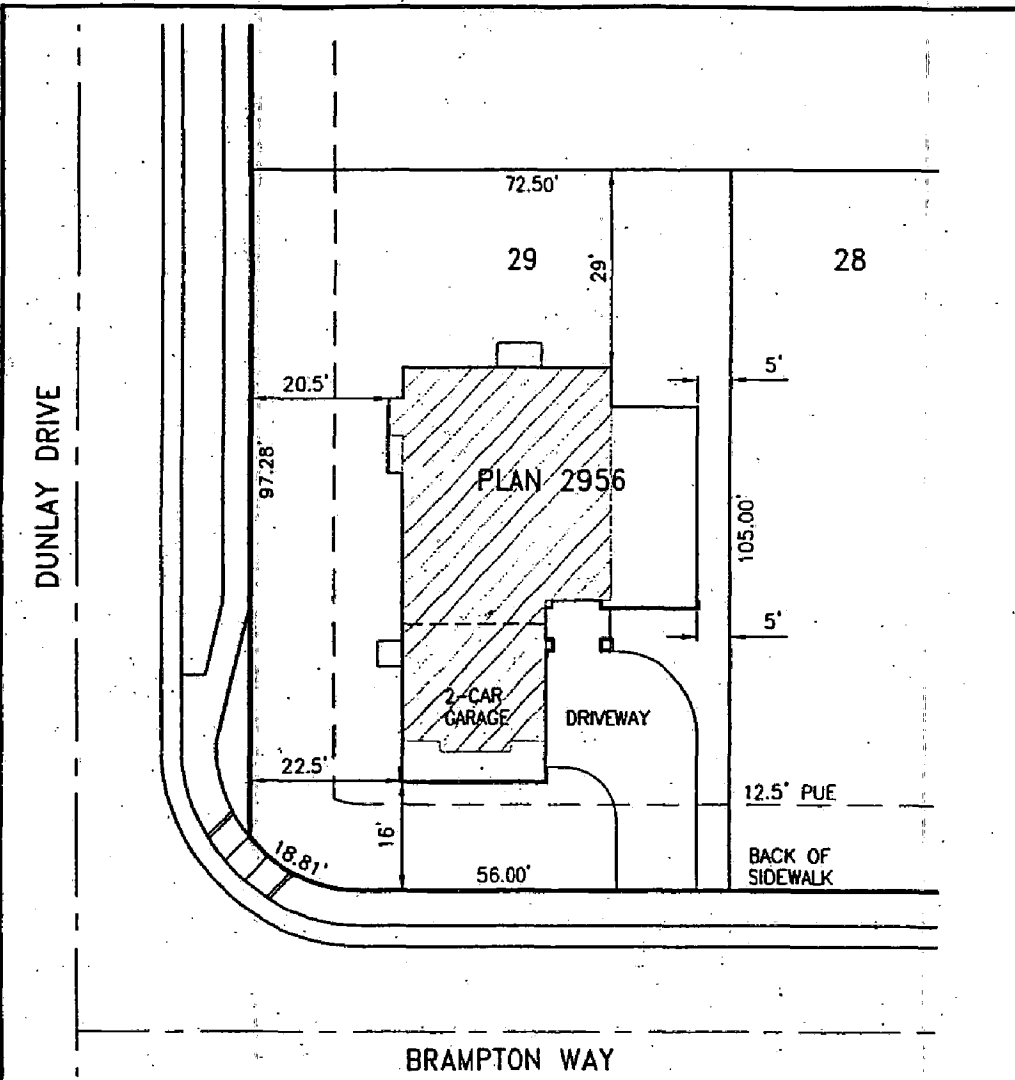


Exhibit 2: Setback Plan 2956 (b) Corner

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
▲		
▲		

LOT AREA: 7574 SF
 ALLOWED LOT COVERAGE: 3030 SF = 40.0%
 ACTUAL LOT COVERAGE: 2061 SF = 27.2%
 REAR YARD AREA: 1845 SF
 NUMBER OF BEDROOMS:

It is understood that the drainage areas, slopes and grades shall not be altered, changed, blocked, modified or in any way be reconstructed by Owner contrary to what is depicted on this Plot Plan. THESE CONDITIONS RUN WITH THE LAND AND ARE BINDING ON ALL SUBSEQUENT OWNERS. All setback dimensions and elevations as shown may be adjusted to fit field conditions.

Plot Plan for Northborough 10-2 PPA Job #005006
 Brampton Way, Sacramento, CA 95835 Lot 29 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95630 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org Date Drawn: 05/15/02 Scale: 1"=20'
 PO Box 435 Citrus Heights CA 95611-0435 (916) 769-9063 Date Revised: - Drawn By: BEB

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THIS PLAN IS PREPARED TO SHOW THE DIMENSIONAL RELATIONSHIP FROM BUILDING FOUNDATION TO PROPERTY LINES, DRAINAGE CONTROL ELEVATIONS AND DIRECTION OF DRAINAGE FLOW. THIS IS DONE TO CONFORM TO LOCAL ORDINANCES FOR THE PURPOSE OF BUILDING PERMIT ISSUANCE. INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE EXCEPT FOR MINIMUM SETBACKS WHICH ARE REQUIRED BY LOCAL ORDINANCE. THIS PLAN DOES NOT REFLECT AS-BUILT CONDITIONS WHICH WILL VARY FROM THIS PLAN.

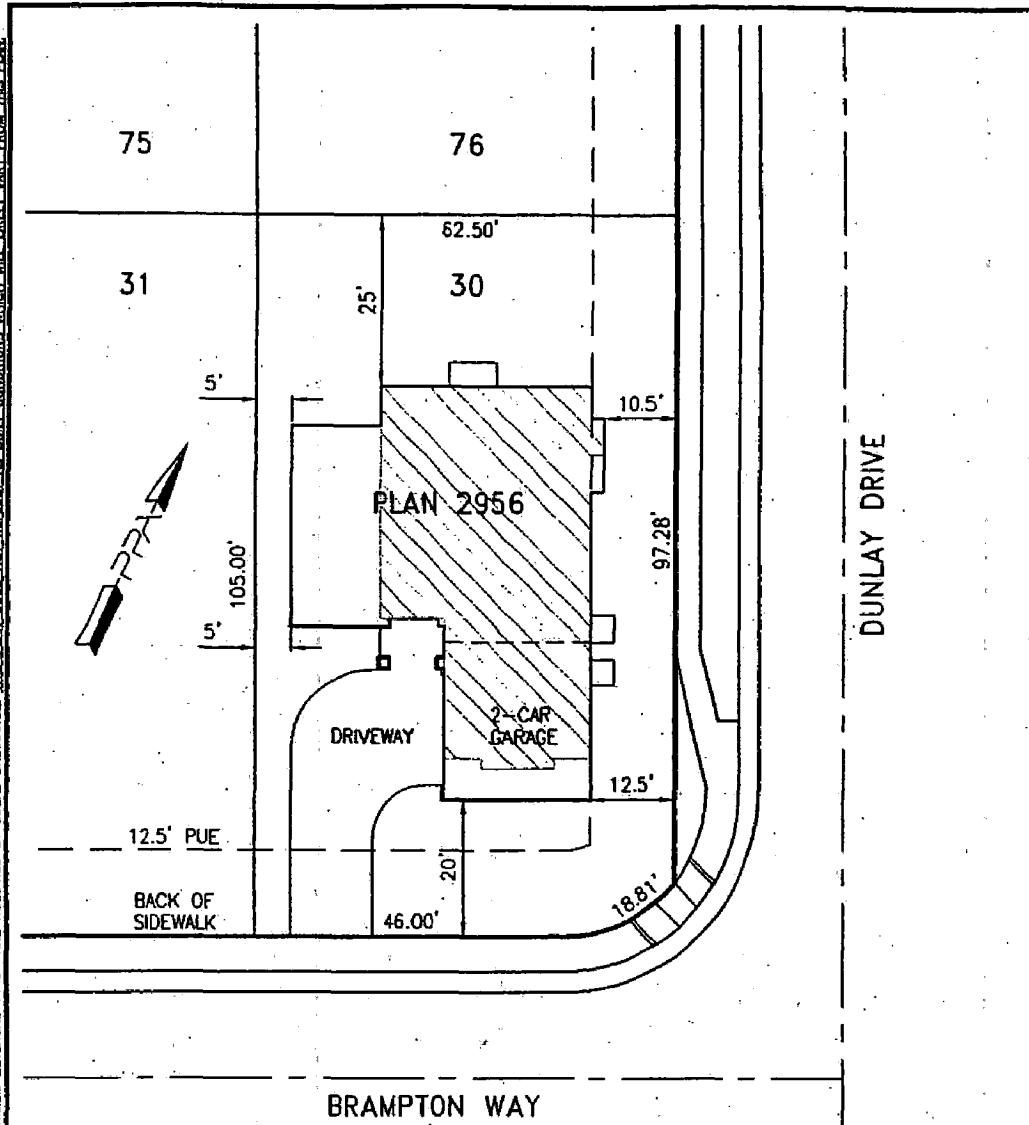


Exhibit 2: Setback Plan 2956 (b)Corner

Approved By:	US Home Corp. Rep.	Date
Revision	Approved By	Date
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▲		

LOT AREA: 6524 SF
 ALLOWED LOT COVERAGE: 2610 SF = 40.0%
 ACTUAL LOT COVERAGE: 2061 SF = 31.6%
 REAR YARD AREA: 1355 SF
 NUMBER OF BEDROOMS:

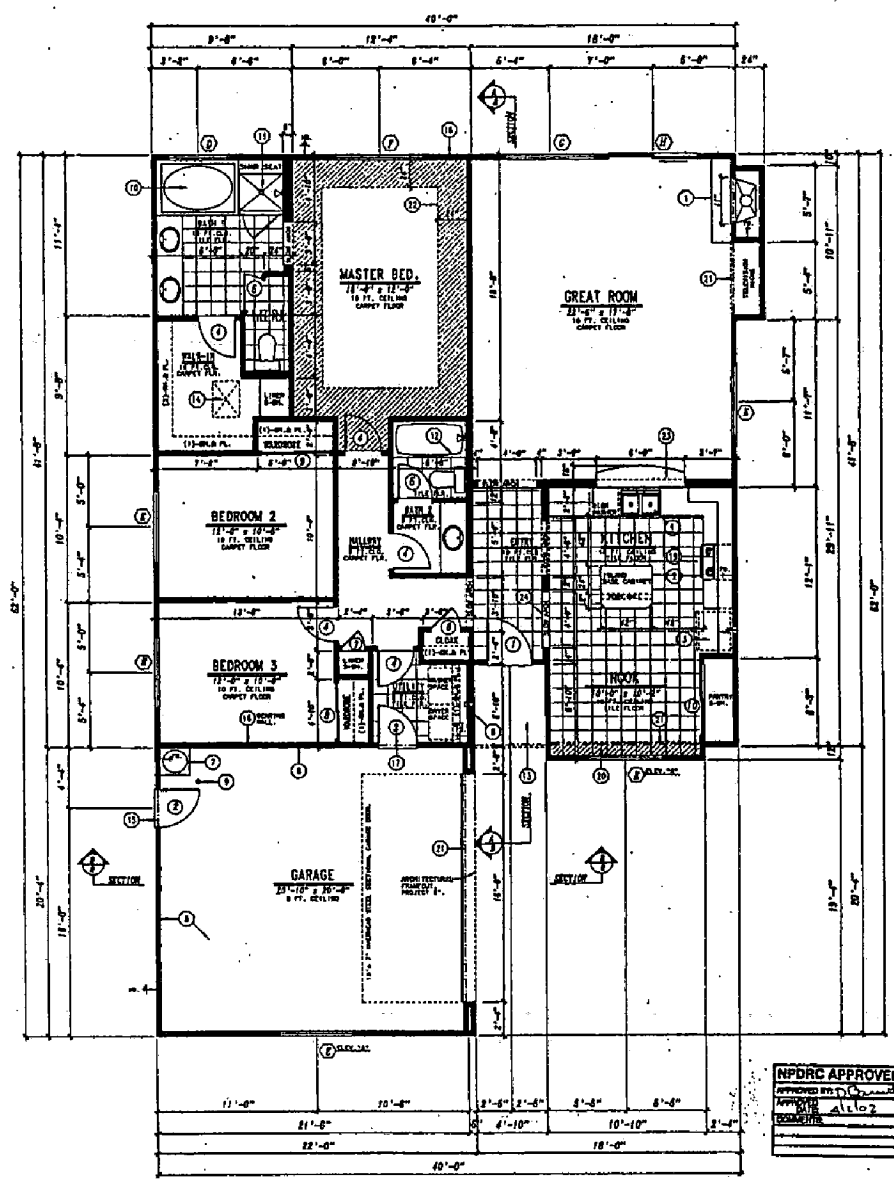
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Plot Plan for
Northborough 10-2
 Brampton Way, Sacramento, CA 95835
 PPA Job #005006
Lot 30
 APN

US Home Corporation - Sacramento Division
 2366 Gold Meadow Way, Suite 200, Gold River, CA 95630 Phone (916) 858-3900 Fax (916) 858-3925

Plot Plan Associates www.plotplans.org Date Drawn: 05/15/02 Scale: 1"=20'
 PO Box 435 Citrus Heights CA, 95611-0435 (916) 769-9063 Date Revised: - Drawn By: BEB

D:\005006\Plotplans\Lot30g.dwg



ADDITIONAL FLOOR PLAN NOTES

1. PROVIDE 1/2" MIN. INSULATION AT ALL EXTERIOR WALLS AND CEILING.
2. PROVIDE 1/2" MIN. INSULATION AT ALL EXTERIOR WALLS AND CEILING.
3. PROVIDE 1/2" MIN. INSULATION AT ALL EXTERIOR WALLS AND CEILING.
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18. PROVIDE 1/2" MIN. INSULATION AT ALL EXTERIOR WALLS AND CEILING.
19. PROVIDE 1/2" MIN. INSULATION AT ALL EXTERIOR WALLS AND CEILING.
20. PROVIDE 1/2" MIN. INSULATION AT ALL EXTERIOR WALLS AND CEILING.

IMPORTANT
SEE SHEET 10-2 FOR:

1. SHEAR WALL LOCATIONS AND CONSTRUCTION.
2. BEAM AND HEADER LOCATIONS AND SIZES.
3. OTHER STRUCTURAL RECOMMENDATIONS.

DOOR SCHEDULE

SYMBOL	SIZE	TYPE	REMARKS	QTY.
1	3'-0" x 8'-0" 1-3/4"	SOLID CORE EXTERIOR	TRIM PER BUILDER, 1" KEYS, DEAD BOLT LOCK	1
2	3'-0" x 8'-0" 1-3/4"	SOLID CORE EXTERIOR	1" KEYS, DEAD BOLT LOCK	1
3	3'-0" x 8'-0" 1-3/4"	SOLID CORE INTERIOR	SOFT WOOD, SELF-CLOSING, 1" KEYS, L.B.	1
4	3'-0" x 8'-0" 1-3/4"	MS/LOW CORE INTERIOR		1
5	3'-0" x 8'-0" 1-3/4"	MS/LOW CORE INTERIOR		1
6	3'-0" x 8'-0" 1-3/4"	MS/LOW CORE INTERIOR		1
7	3'-0" x 8'-0" 1-3/4"	MS/LOW CORE INTERIOR		1
8	3'-0" x 8'-0"	BYPASS	WARDROBE	1
9	3'-0" x 8'-0"	BYPASS	WARDROBE	1
10	3'-0" x 8'-0"	BYPASS	PARTY	1

WINDOW SCHEDULE

SYMBOL	SIZE	TYPE	REMARKS	QTY.
1	3'-0" x 8'-0"	VINYL SINGLE HUNG	TEMPERED GLASS, OPERABLE TOP WINDOW	1
2	3'-0" x 8'-0"	VINYL SINGLE HUNG	TEMPERED GLASS, OPERABLE TOP WINDOW	1
3	3'-0" x 8'-0"	VINYL SINGLE HUNG	W/SLIDING GLIP-ON, OPERABLE TOP WINDOW	1
4	3'-0" x 8'-0"	VINYL SLIDING P.S.	TEMPERED GLASS, OPERABLE TOP WINDOW	1
5	3'-0" x 8'-0"	VINYL SLIDING P.S.	TEMPERED GLASS, OPERABLE TOP WINDOW	1
6	3'-0" x 8'-0"	VINYL SLIDING P.S.	TEMPERED GLASS, OPERABLE TOP WINDOW	1
7	3'-0" x 8'-0"	VINYL SLIDING P.S.	TEMPERED GLASS, OPERABLE TOP WINDOW	1
8	3'-0" x 8'-0"	VINYL SLIDING P.S.	TEMPERED GLASS, OPERABLE TOP WINDOW	1
9	3'-0" x 8'-0"	VINYL SLIDING P.S.	TEMPERED GLASS, OPERABLE TOP WINDOW	1
10	3'-0" x 8'-0"	VINYL SLIDING P.S.	TEMPERED GLASS, OPERABLE TOP WINDOW	1

FLOOR PLAN SCALE: 1/4" = 1'-0"

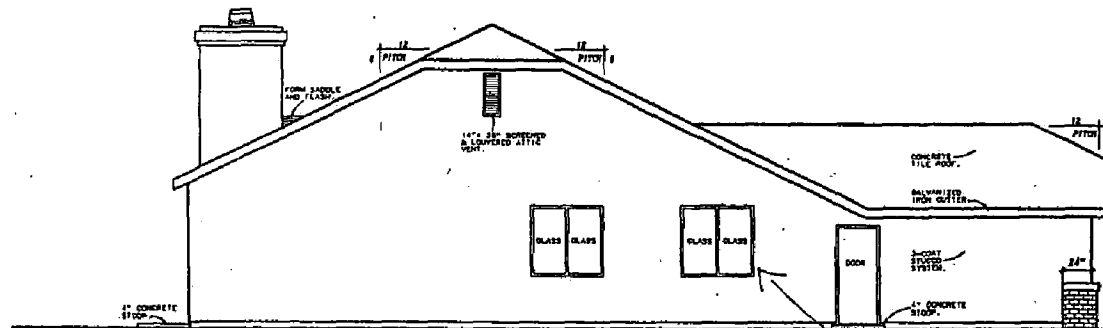
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(TOTAL) - GARAGE AREA = 437 SQ. FT.
TOTAL AREA = 29,827 SQ. FT.
TOTAL NON-LIVING AREA = 498 SQ. FT.

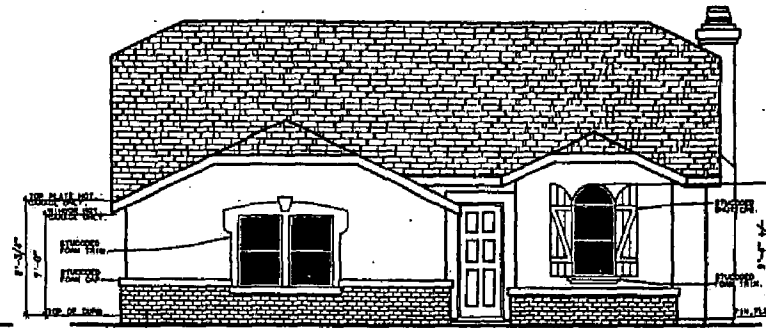
GENERAL NOTES:

1. ALL WINDOWS AND PATIO DOORS SHALL BE DARK GLAZED INSULATING TYPE.
2. PROVIDE WEATHER BARRIERS AT ALL EXTERIOR WALLS BY OTHER TRADES PRIOR TO AND AFTER FINISHES.
3. PROVIDE 2x4 INSULATION AT CEILING OF ALL LIVING AREAS, B.S.D.
4. PROVIDE 2x4 INSULATION AT CEILING OF ALL LIVING AREAS, B.S.D.
5. PROVIDE 2x4 INSULATION AT CEILING OF ALL LIVING AREAS, B.S.D.
6. PROVIDE 2x4 INSULATION AT CEILING OF ALL LIVING AREAS, B.S.D.
7. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ATTIC ACCESS.
8. PROVIDE 2x4 INSULATION AT WATER HEATER ON FIRST FLOOR FEET OF PIPING.
9. PROVIDE 2x4 INSULATION AT WATER HEATER ON FIRST FLOOR FEET OF PIPING.
10. PROVIDE 2x4 INSULATION AT WATER HEATER ON FIRST FLOOR FEET OF PIPING.
11. PROVIDE 2x4 INSULATION AT WATER HEATER ON FIRST FLOOR FEET OF PIPING.
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16. PROVIDE 2x4 INSULATION AT WATER HEATER ON FIRST FLOOR FEET OF PIPING.
17. PROVIDE 2x4 INSULATION AT WATER HEATER ON FIRST FLOOR FEET OF PIPING.
18. PROVIDE 2x4 INSULATION AT WATER HEATER ON FIRST FLOOR FEET OF PIPING.
19. PROVIDE 2x4 INSULATION AT WATER HEATER ON FIRST FLOOR FEET OF PIPING.
20. PROVIDE 2x4 INSULATION AT WATER HEATER ON FIRST FLOOR FEET OF PIPING.

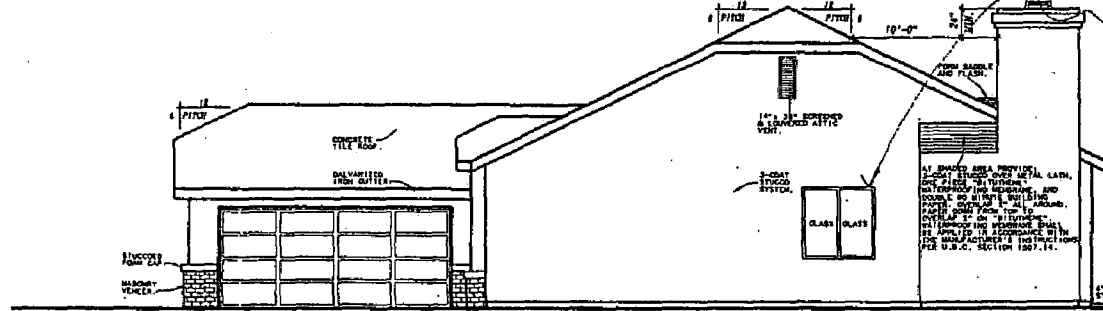
Exhibit 3: Plan 1650
(b) Elevations



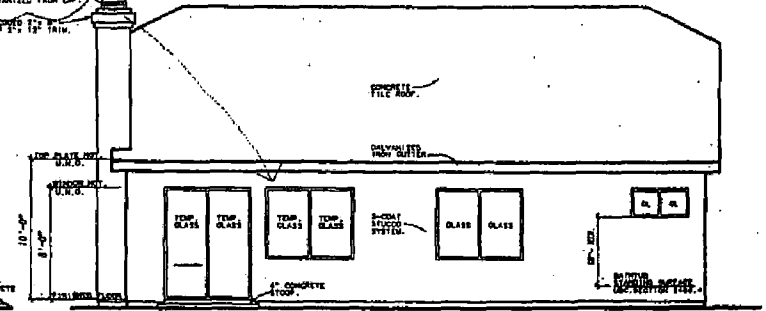
LEFT ELEVATION SCALE: 1/4"=1'-0"



FRONT ELEVATION SCALE: 1/4"=1'-0"

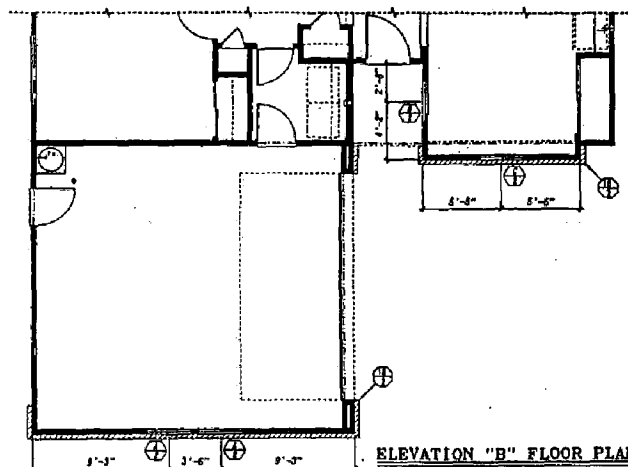


RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the top or rear of the houses that are or side on to streets, schools, parks, and other open spaces visible to public view.



ELEVATION "B" FLOOR PLAN ADDENDA SCALE: 1/4"=1'-0"
SEE FLOOR PLAN ON SHEET 23 FOR ALL REPETITIVE NOTES AND DIMENSIONS.

NPDRC APPROVED
APPROVED BY: [Signature]
DATE: [Date]

FROM:	TO:		
	USE OF ROOF WATER DRAINAGE	USE FIRED HEATING APPLIANCES	SEWER VENTS
WINDOW OR DOOR EXHAUST AIR INTAKE	1 FT. HORIZONTALLY OR 1 FT. ABOVE	NOT LESS THAN 4 FT. BELOW OR 4 FT. HORIZONTALLY, AND SEE NOTES FOR EXCEPTIONS	12 FT. HORIZONTALLY OR 3 FT. ABOVE
ROOF	1 FOOT ABOVE	2 FT. ABOVE VENT; 1 FT. ABOVE ROOF	2 FT. ABOVE ROOF OR 3 FT. ABOVE ROOF ON ROOF
AT OR L. EXCEPT STREET OR ALLY	4 FEET ABOVE	9 FEET HORIZONTALLY	3 FEET IN EVERY DIRECTION
FORCED AIR MECH. AIR INTAKE	10 FT. HORIZONTALLY OR 3 FT. ABOVE	12 FT. HORIZONTALLY OR 3 FT. ABOVE	10 FT. HORIZONTALLY
VERTICAL WALL SURFACE	4 FT. MORE THAN A 45 DEGREE ANGLE	4 FT. MORE THAN A 45 DEGREE ANGLE	1 FT. HORIZONTALLY

EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
1. COMPLY WITH U.F.C. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEYS AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
 2. INSTALL ALL TYPE OF VENT TERMINATIONS PER U.S.C. 903.
 3. INSTALL SEA WINDPROOFING (WEATHER PROTECTING) PER U.S.C. 903.
 4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C. 903.
 5. VENT EACH BAY OF VAULTED CEILING, IF THERE IS NO ATTIC SPACE ABOVE CEILING.

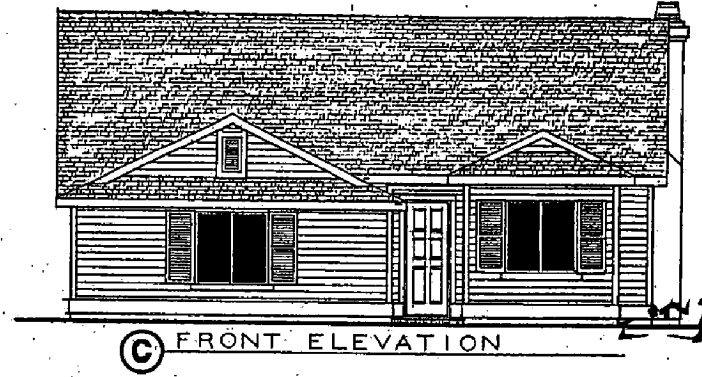


Exhibit 3: Plan 1650
(b) Elevations

NPDRC APPROVED
APPROVED BY: [Signature]
DATE: 11/13/12
PROJECT: [Signature]

WILLIAM HAMILTON
FRANK W. WILKINSON
FRANK W. WILKINSON

REVISION BLOCK

VILLAGE 10-2

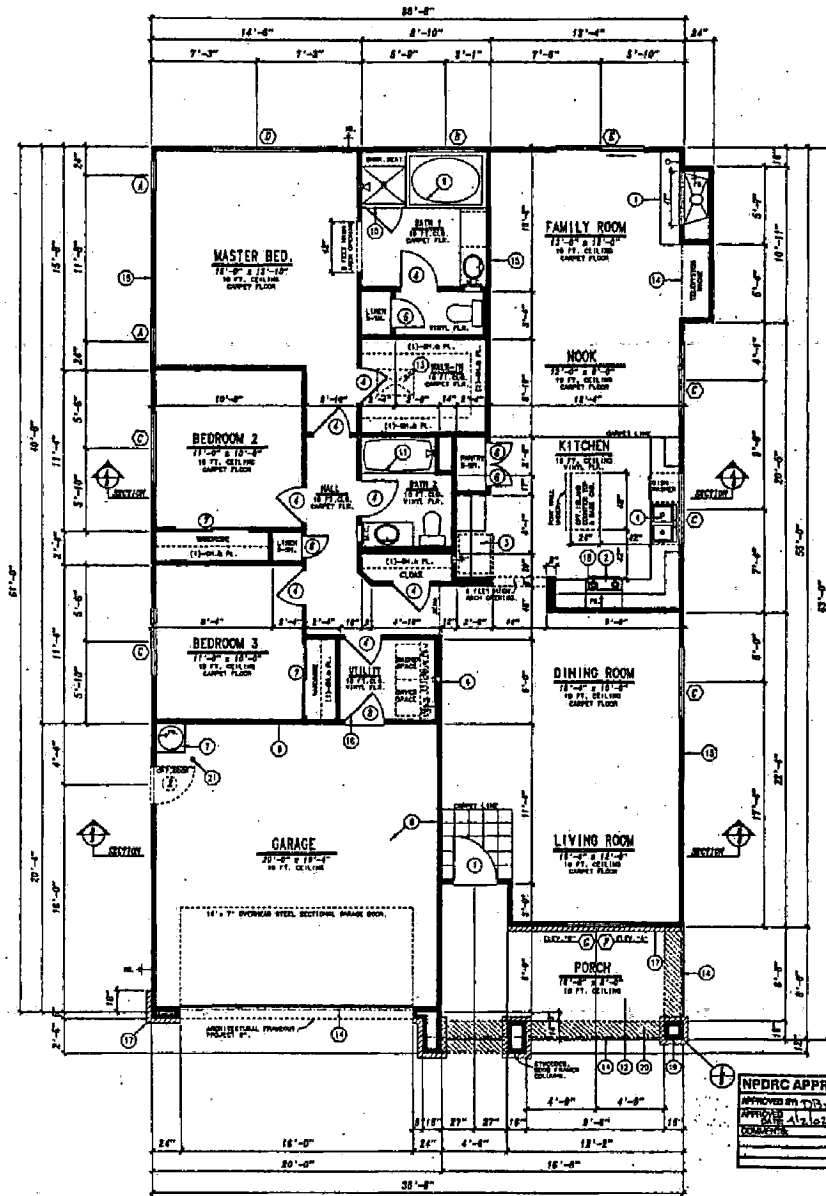
US-Home

MODEL 1650

SHEET

9

Exhibit 4: Plan 1725
(a) Floor Plan



- ADDITIONAL FLOOR PLAN NOTES**
1. FINISHES SHALL BE AS SHOWN ON SHEET 1725-1.
 2. ALL WALLS SHALL BE 5/8" GYPSUM BOARD OVER 1/2" GYPSUM BOARD ON STUDS.
 3. ALL CEILING SHALL BE 5/8" GYPSUM BOARD ON JOISTS.
 4. ALL FLOORS SHALL BE 1/2" GYPSUM BOARD ON JOISTS.
 5. ALL EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON INSIDE.
 6. ALL EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON INSIDE.
 7. ALL EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON INSIDE.
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 19. ALL EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON INSIDE.
 20. ALL EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON INSIDE.
- IMPORTANT**
SEE SHEET 1725-1 FOR:
1. WINDOW AND DOOR SCHEDULES
 2. FINISHES
 3. OTHER STRUCTURAL REQUIREMENTS

DOOR SCHEDULE					
SYM	SIZE	TYPE	REMARKS	QTY	
1	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
2	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
3	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
4	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
5	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
6	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
7	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
8	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
9	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
10	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
11	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
12	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
13	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
14	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
15	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
16	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
17	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
18	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
19	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	
20	3'-0" x 7'-0"	1-1/2" SOLID CORE EXTERIOR	WALKING DOOR	1	

WINDOW SCHEDULE					
SYM	SIZE	TYPE	REMARKS	QTY	
1	3'-0" x 7'-0"	VINYL STATIONARY	WALKING DOOR	1	
2	3'-0" x 7'-0"	VINYL STATIONARY	WALKING DOOR	1	
3	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
4	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
5	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
6	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
7	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
8	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
9	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
10	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
11	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
12	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
13	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
14	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
15	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
16	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
17	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
18	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
19	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	
20	3'-0" x 7'-0"	VINYL SLIDING X.O.	WALKING DOOR	1	

FLOOR PLAN SCALE: 1/4" = 1'-0"

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 [SYMBOLS] - GARAGE AREA = 483 SQ. FT.
 PORCH AREA = 147 SQ. FT.
 TOTAL HOME LIVING AREA = 230 SQ. FT.

- GENERAL NOTES:**
1. ALL FINISHES AND MATERIALS SHALL BE AS SHOWN ON SHEET 1725-1.
 2. ALL WALLS SHALL BE 5/8" GYPSUM BOARD OVER 1/2" GYPSUM BOARD ON STUDS.
 3. ALL CEILING SHALL BE 5/8" GYPSUM BOARD ON JOISTS.
 4. ALL FLOORS SHALL BE 1/2" GYPSUM BOARD ON JOISTS.
 5. ALL EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON INSIDE.
 6. ALL EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON INSIDE.
 7. ALL EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON INSIDE.
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 20. ALL EXTERIOR WALLS SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD ON INSIDE.

WILLIAM HAMILTON
 ARCHITECT
 FRANK WHITAKER

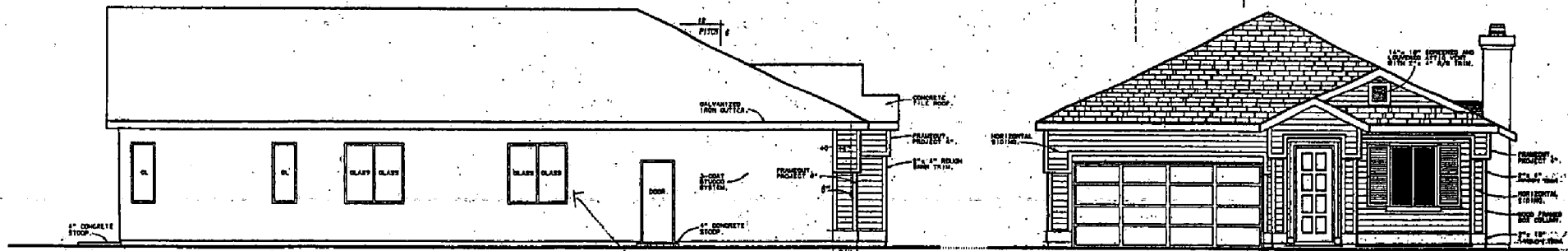
VILLAGE 10-2

US-Home

MODEL 1725

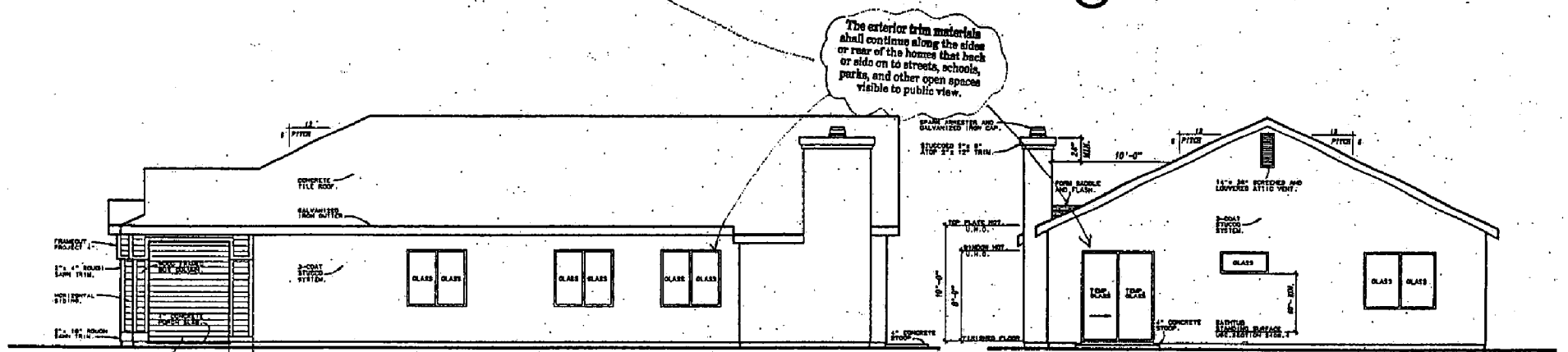
SHEET 2 OF 11

Exhibit 4: Plan 1725
(b) Elevations



LEFT ELEVATION SCALE: 1/4"=1'-0"

FRONT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"

REAR ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the sides or rear of the home that back or side on to streets, schools, parks, and other open spaces visible to public view.

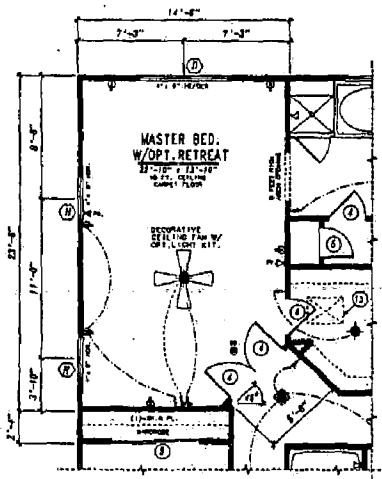
NPDRG APPROVED
APPROVED BY: [Signature]
DATE: 4/18/07
DRAWN BY: [Signature]
SCALE: AS SHOWN

VENT CLEARANCE TABLE			
FROM:	TO:		
	SEE TABLE	SEE TABLE	SEWER VENTS
NUMBER OF FEET ABOVE GRAVITY AIR INTAKE	5 FT. HORIZONTALLY OR 1 FT. ABOVE	NOT LESS THAN 4 FT. OR 1/2" OF 1/2" MIN. CLEARANCE TO THE TOP OF THE EXHAUSTION	18 FT. HORIZONTALLY OR 5 FT. ABOVE
ROOF	1 FOOT ABOVE	1/2" ABOVE ROOF TYPE "A" VENT - 1 FT. ABOVE TYPE "B" VENT - 1 FT. ABOVE	1" ABOVE ROOF 1 FT. ABOVE ROOF DECK
AT P.S. (EXCEPT STREET OR ALLEY)	4 FEET ABOVE	4 FEET HORIZONTALLY	2 FEET IN EVERY DIRECTION
AT P.S. (EXCEPT AT P.S. COOK)	18 FT. HORIZONTALLY OR 3 FT. ABOVE	18 FT. HORIZONTALLY OR 3 FT. ABOVE	10 FT. HORIZONTALLY
VERTICAL WALL SURFACE	1 FT. MORE THAN A 15 DEGREE ANGLE	1 FT. MORE THAN A 15 DEGREE ANGLE	1 FT. HORIZONTALLY

EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"

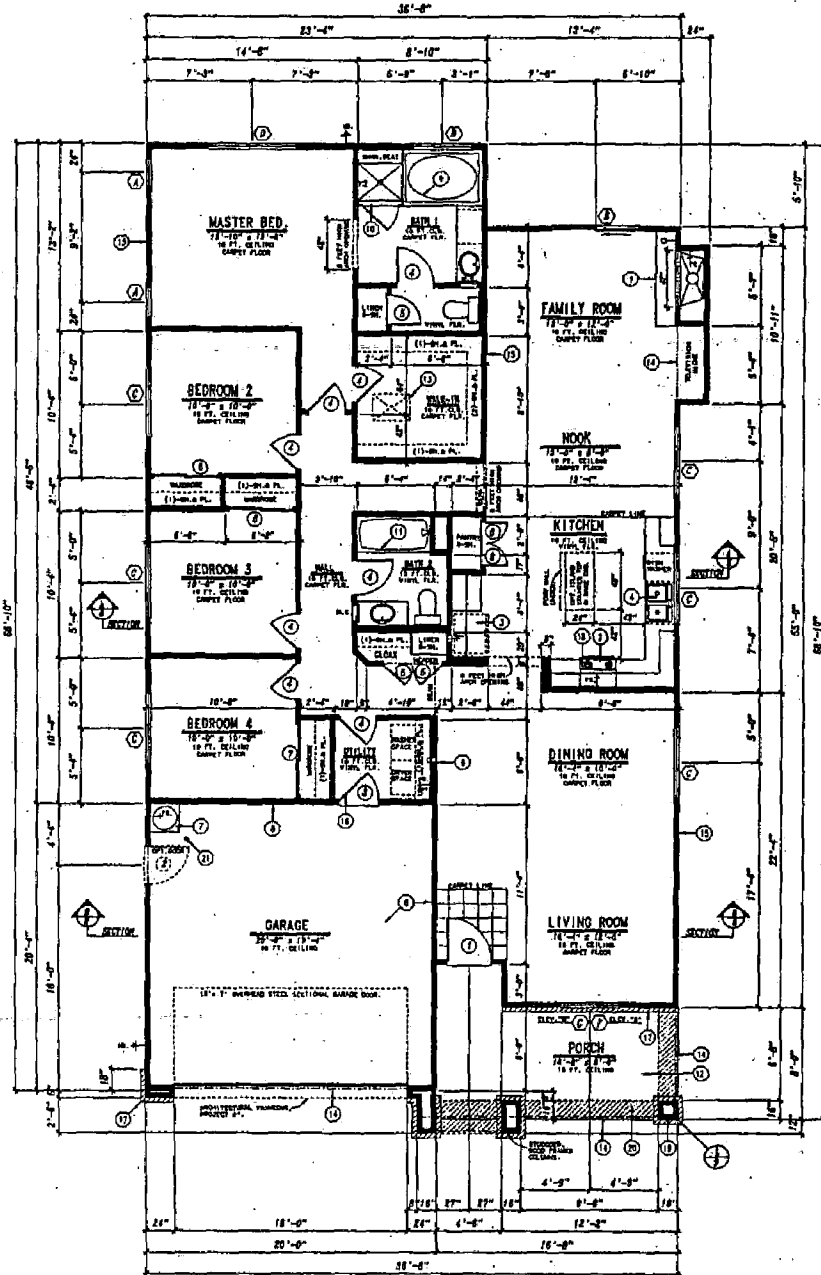
- GENERAL NOTES:**
1. TERMINATION OF ALL EXHAUSTIVE TERMINATIONS AT FINISH GRADE AND
 2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER D.B.S. REC. 800.
 3. INSTALL ALL WATERPROOFING (WEATHER PROTECTING) PER U.S.C.
 4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
 5. VENT EACH BAY OF VAULTED CLOS., IF THERE IS NO ATTIC SPACE ABOVE C.G.

Exhibit 5: Plan 1857
(a) Floor Plan



OPTIONAL MASTER BEDROOM RETREAT

SEE FLOOR PLAN, LAYOUT BRACING PLAN, AND ELECTRICAL PLAN ON SHEET NUMBERS 7, 8, AND 9 FOR ALL REPETITIVE NOTES AND DIMENSIONS.
NO CHANGE IN STRUCTURE, BRACING, SPECIAL WALL TYPES, OR LOCATIONS.



NPDRC APPROVED
APPROVED BY: [Signature]
DATE: 4/16/02
CONSENT:

ADDITIONAL FLOOR PLAN NOTES

1. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
2. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
3. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
4. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
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13. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
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16. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
17. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
18. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
19. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
20. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.

IMPORTANT
SEE SHEET 7 FOR LAYOUT BRACING PLAN AND ELECTRICAL PLAN.
1. BEAR WALL LOCATIONS AND CONSTRUCTION.
2. BEAR AND HANGER LOCATIONS AND SIZES.
3. OTHER STRUCTURAL RECOMMENDATIONS.

DOOR SCHEDULE				
NO.	SIZE	TYPE	REMARKS	QTY
1	3'-0" x 8'-0"	SOLID CORE EXTERIOR	MANU. PER GLD., 1" RATED DEAD BOLT LOCK	1
2	3'-0" x 8'-0"	SOLID CORE EXTERIOR	1" RATED DEAD BOLT LOCK	1
3	3'-0" x 8'-0"	SOLID CORE INTERIOR	ESD. WOOD, 2 1/2" COILING, 1" RATED B.P.	1
4	3'-0" x 8'-0"	MELLOW CORE INTERIOR		1
5	3'-0" x 8'-0"	MELLOW CORE INTERIOR		1
6	3'-0" x 8'-0"	MELLOW CORE INTERIOR		1
7	3'-0" x 8'-0"	BIPASS	WARDROBE	1
8	3'-0" x 8'-0"	BIPASS	WARDROBE	1
9	3'-0" x 8'-0"	BIPASS	WARDROBE	1

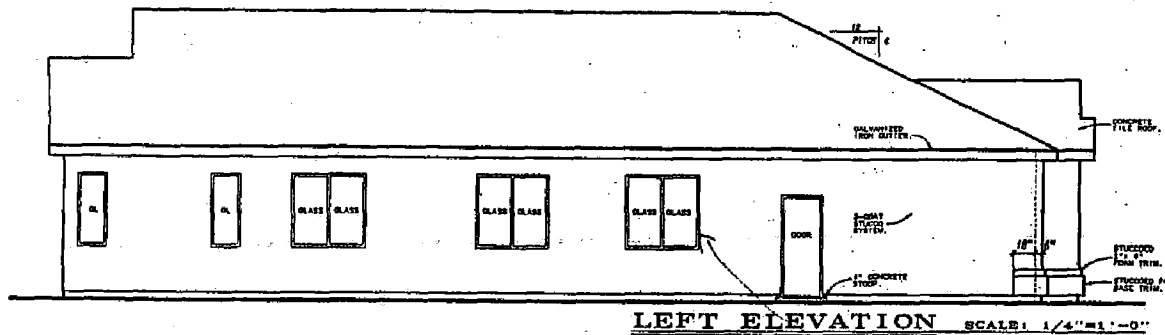
WINDOW SCHEDULE				
NO.	SIZE	TYPE	REMARKS	QTY
1	4'-0" x 8'-0"	VINYL STATIONARY		1
2	4'-0" x 8'-0"	VINYL SLIDING 2.0		1
3	4'-0" x 8'-0"	VINYL SLIDING 2.0		1
4	4'-0" x 8'-0"	VINYL SLIDING 2.0	TEMPERED GLASS, LOCKING PIN AT SILLING	1
5	4'-0" x 8'-0"	VINYL SLIDING 2.0		1
6	4'-0" x 8'-0"	VINYL SLIDING 2.0	DIV. LIGHTS W/ 1/2" INS. GLASS ON FINISH SIDE	1
7	4'-0" x 8'-0"	VINYL SINGLE HANG		1

FLOOR PLAN SCALE: 1/4" = 1'-0"

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 (VEHICLE) CHANGE AREA = 400 SQ. FT.
 PORCH AREA = 147 SQ. FT.
 TOTAL NON-LIVING AREA = 547 SQ. FT.
 TOTAL LIVING AREA = 1847 SQ. FT.

- GENERAL NOTES:**
1. ALL WINDOWS AND DOORS SHALL BE SUP. GLAZED TRIPLE-paneled TYPE.
 2. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS WITH EXTERIOR BRUSH STRIP AND 1" RATED DEAD BOLT LOCK.
 3. PROVIDE 3/4" INSULATION AT DECORATION OF ALL LIVING AREAS, W.A.O.
 4. DOOR 2 WITH ALL GLAZING SHALL BE ALL FIVE GLAZES AND 1/2" INSULATION. LOCKING PIN AT SILLING AT 8" FROM BOTTOM.
 5. DOOR 3 WITH ALL GLAZING SHALL BE ALL FIVE GLAZES AND 1/2" INSULATION. LOCKING PIN AT SILLING AT 8" FROM BOTTOM.
 6. INSTALL BARNDOOR HINGERS PER TITLE 24.
 7. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 8. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 9. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 10. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 11. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 12. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 13. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 14. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 15. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 16. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 17. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 18. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 19. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.
 20. PROVIDE WEATHER STRIPPING AT ALL EXTERIOR DOORS AND AT ALL ACCESS DOORS.

Exhibit 5: Plan 1857
(b) Elevations

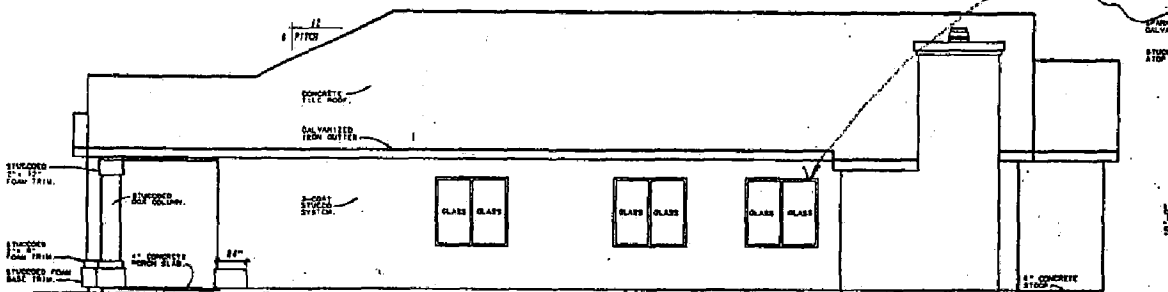


LEFT ELEVATION SCALE: 1/4"=1'-0"

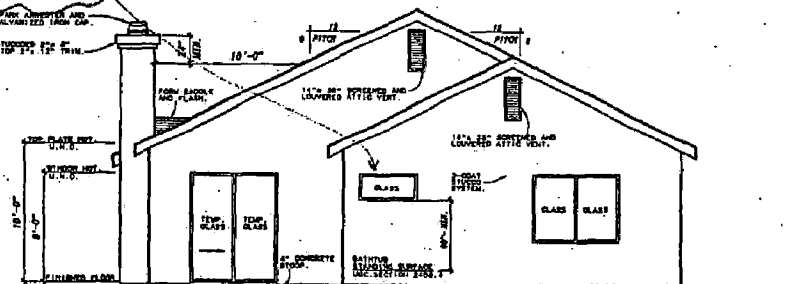


A FRONT ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the sides or rear of the houses from back or side on to streets, schools, parks, and other open spaces visible to public view.



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

NPDR APPROVED
APPROVED BY: [Signature]
DATE: 11/10/11
CONTRACT NO. 11-11111

VENT CLEARANCE TABLE			IASI, SEC. 604
FROM:	TO:		
	GAS FIRED HEATING APPLIANCES	EVERY VENTS	
SHEDS OR ROOF SURFACE BY AIR INTAKE	5 FT. HORIZONTALLY	48 FT. HORIZONTALLY	
ROOF	2 FEET ABOVE	2 FEET ABOVE	
ROOF (SLOPE 12 IN. PER 12 IN.)	4 FEET HORIZONTALLY	2 FEET IN EVERY DIRECTION	
FORCED AIR MECH. AIR INTAKE	18 FT. HORIZONTALLY OR 5 FT. ABOVE	18 FT. HORIZONTALLY	
VERTICAL WALL SURFACE	4 FT. MORE THAN A 45 DEGREE ANGLE	1 FT. HORIZONTALLY	

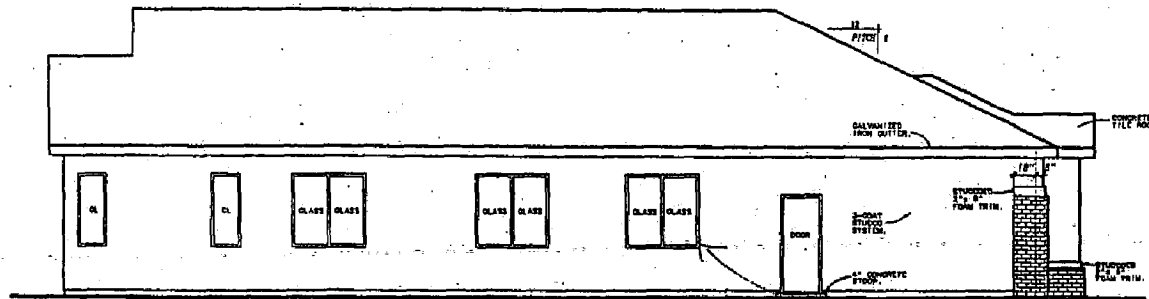
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEY AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER IAS, SEC. 604.
3. INSTALL ALL WATERPROOFING (WEATHER PROTECTIONS) PER U.S.C.
4. PROVIDE DRAINAGE EXHAUST VENTS PER U.S.C.
5. VENT CAN BE SAID OF VALUED CLER., IF THERE IS NO ATTIC SPACE ABOVE OLD.

Exhibit 5: Plan 1857
(b) Elevations

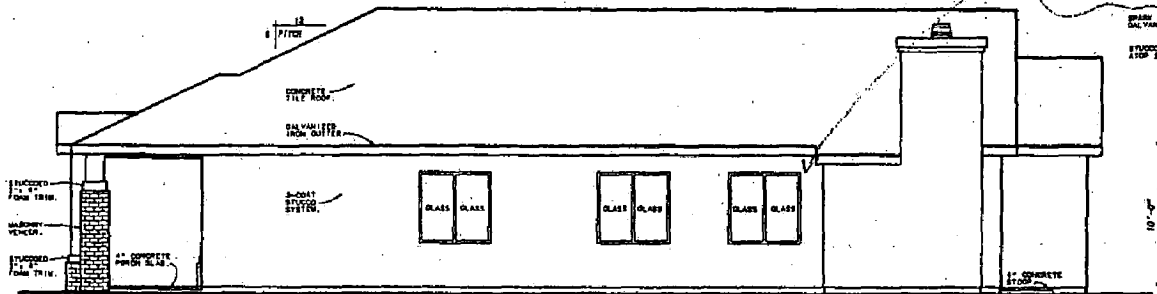


LEFT ELEVATION SCALE: 1/4"=1'-0"

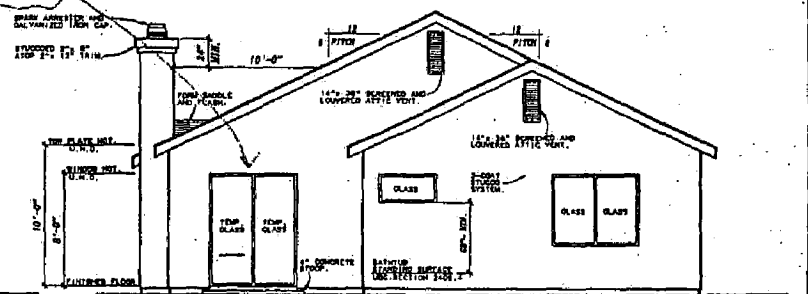


FRONT ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the sides or rear of the homes that back or side on to streets, schools, parks, and other open spaces visible to public view.



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

NPBRC APPROVED
APPROVED BY THE BOARD OF ARCHITECTS
DATE: 1/15/10
BY: [Signature]

VENT CLEARANCE TABLE			
FROM:	TO:		
	GAS FIRED HEATING WATER HEATERS	GAS FIRED HEATING APPLIANCES	BENCH VENTS
WINDING OR EXHAUST EXHAUSTIVE AIR INTAKE	4 FT. HORIZONTALLY OR 1 FT. ABOVE.	20' FEET HORIZONTALLY OR 2 FT. BELOW 1 FT. ABOVE FOR EXHAUSTS. SEE SEC. 104.1 FOR EXHAUSTS.	10 FT. HORIZONTALLY OR 2 FT. ABOVE.
ROOF	1 FOOT ABOVE.	20' FEET HORIZONTALLY OR 1 FT. ABOVE.	8' ABOVE ROOF OR 2 FT. ABOVE ROOF ON ROOF.
STAIRS (IF APPLICABLE)	4 FEET ABOVE.	4 FEET HORIZONTALLY.	8 FEET ON EVERY 10 FEET.
FORCED AIR MECH. AIR INTAKE	10 FT. HORIZONTALLY OR 5 FT. ABOVE.	10 FT. HORIZONTALLY OR 5 FT. ABOVE.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE	1 FT. HIGHER THAN A 45 DEGREE ANGLE.	1 FT. HIGHER THAN A 45 DEGREE ANGLE.	1 FT. HORIZONTALLY.

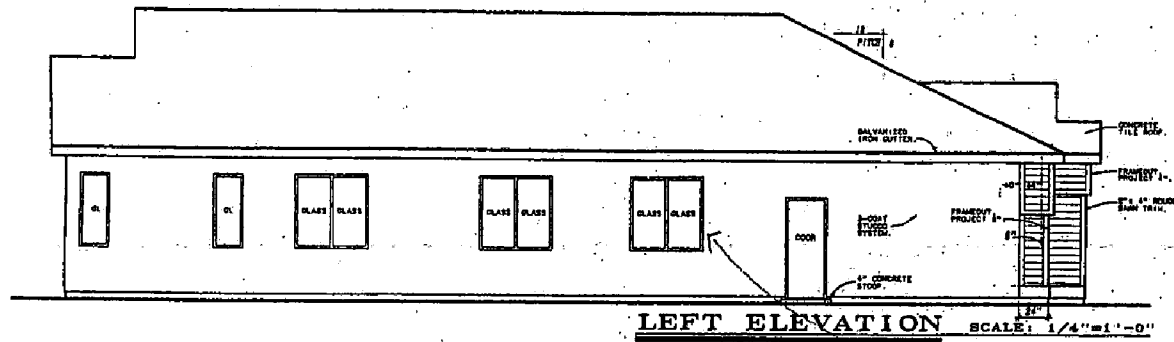
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. FINISH WITH MFC. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEY AND TERRAZZO FLOOR. SEE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER IMC, SEC. 908.
3. INSTALL ALL WEATHERTIGHT (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE DAMAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH END OF VAULTED CEILING, IF THERE IS NO AIRFLOW ABOVE CEILING.

Exhibit 5: Plan 1857
(b) Elevations

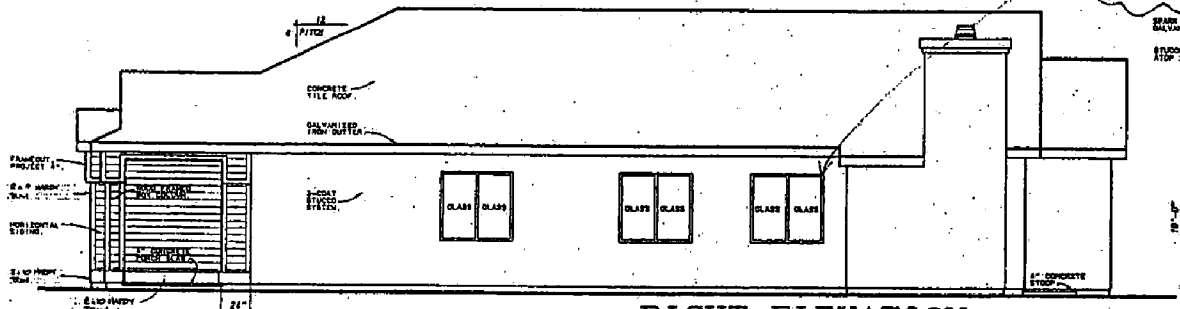


LEFT ELEVATION SCALE: 1/4"=1'-0"

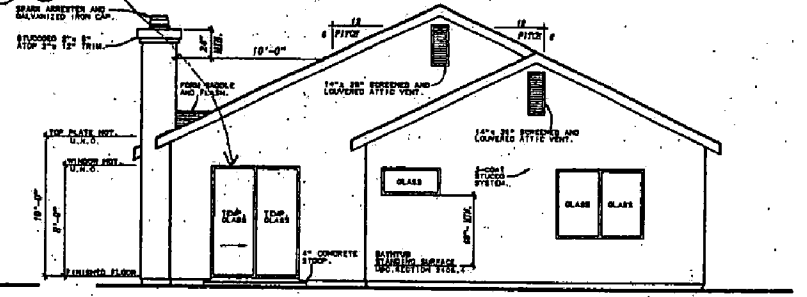


FRONT ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the sides or rear of the homes that back or side on to streets, schools, parks, and other open spaces visible to public view.



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

NPDRC APPROVED
APPROVED BY: [Signature]
DATE: 1/10/02
COMMENTS: [Blank]

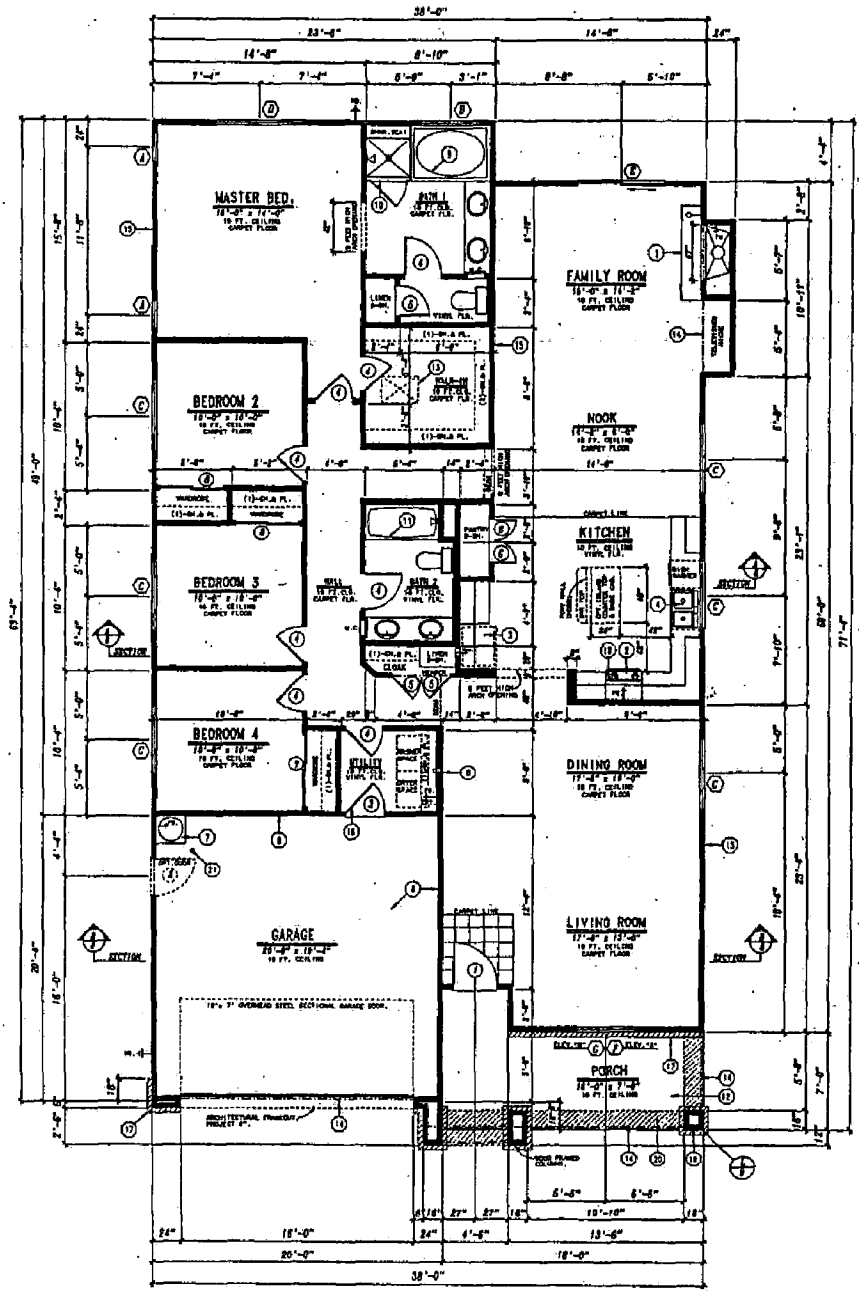
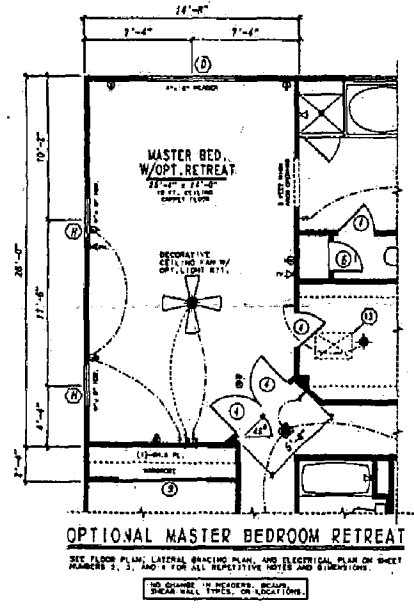
VENT CLEARANCE TABLE			
FROM:	TO:		
	GLASS FIBER REINFORCED PLASTER	GLASS FIBER REINFORCED PLASTER	SEWER VENTS
ROOF OR GUTTER	18\"/>		
ROOF	1 FOOT ABOVE	18\"/>	
AT P.L. (EXCEPT STREET OR ALLEY)	4 FEET ABOVE	18\"/>	
FINISHED 1ST FLOOR	18\"/>		
VERTICAL WALL SURFACE	4 FT. MORE THAN A 45 DEGREE ANGLE	1 FT. HORIZONTALLY	

EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEY AND TERMINATIONS. USE ONLY LISTED TERMINATIONS PER U.S.C. 900.
 2. INSTALL ALL TYPE "W" VENT TERMINATIONS PER U.S.C. 900.
 3. INSTALL ALL WEATHERPROOFING (WEATHER PROTECTION) PER U.S.C. 900.
 4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C. 900.
 5. VENTS EACH BAY OF VAULTED CEILING, IF THERE IS NO ATTIC SPACE ABOVE CEILING.

Exhibit 6: Plan 2072
(a) Floor Plan

NPDRC APPROVED
APPROVED BY: [Signature]
DATE: 11/26/02
CONTRACT NO.:



ADDITIONAL FLOOR PLAN NOTES

1. [Note regarding window schedule and exterior finish]
2. [Note regarding door schedule and interior finish]
3. [Note regarding kitchen island and countertop]
4. [Note regarding bathroom fixtures]
5. [Note regarding bedroom closets]
6. [Note regarding living room fireplace]
7. [Note regarding dining room table]
8. [Note regarding family room fireplace]
9. [Note regarding master bedroom closet]
10. [Note regarding garage door]
11. [Note regarding porch railing]
12. [Note regarding exterior lighting]
13. [Note regarding interior lighting]
14. [Note regarding ceiling heights]
15. [Note regarding floor finish]
16. [Note regarding wall finish]
17. [Note regarding door swing]
18. [Note regarding window treatment]
19. [Note regarding kitchen sink]
20. [Note regarding bathroom vanity]
21. [Note regarding bedroom furniture]
22. [Note regarding living room furniture]
23. [Note regarding dining room furniture]
24. [Note regarding family room furniture]
25. [Note regarding master bedroom furniture]
26. [Note regarding exterior landscaping]
27. [Note regarding interior partitions]
28. [Note regarding door hardware]
29. [Note regarding window hardware]
30. [Note regarding general construction]

IMPORTANT
SEE EXHIBIT 10 FOR
1. DEAN WALL LOCATIONS AND CONSTRUCTION.
2. DEAN AND HEADY LOCATIONS AND SIZES.
3. OTHER STRUCTURAL REVISIONS/NOTES.

DOOR SCHEDULE

SYMBOL	SIZE	TYPE	REMARKS	QTY.
1	3'-0" x 7'-0"	SOLID CORE EXTERIOR	WALK-IN CLOSET DOOR	1
2	3'-0" x 7'-0"	SOLID CORE EXTERIOR	WALK-IN CLOSET DOOR	1
3	3'-0" x 7'-0"	SOLID CORE EXTERIOR	WALK-IN CLOSET DOOR	1
4	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
5	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
6	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
7	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
8	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
9	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
10	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
11	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
12	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
13	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
14	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
15	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
16	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
17	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
18	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
19	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
20	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
21	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
22	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
23	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
24	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
25	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
26	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
27	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
28	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
29	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1
30	3'-0" x 7'-0"	SOLID CORE INTERIOR	SOLID WOOD, SELF-CLOSING, 1" WATER B.B.	1

WINDOW SCHEDULE

SYMBOL	SIZE	TYPE	REMARKS	QTY.
1	3'-0" x 7'-0"	WIND. STATIONARY	WIND. STATIONARY	1
2	3'-0" x 7'-0"	WIND. STATIONARY	WIND. STATIONARY	1
3	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
4	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
5	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
6	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
7	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
8	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
9	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
10	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
11	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
12	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
13	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
14	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
15	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
16	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
17	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
18	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
19	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
20	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
21	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
22	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
23	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
24	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
25	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
26	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
27	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
28	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
29	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1
30	3'-0" x 7'-0"	WIND. SLIDING S.G.	WIND. SLIDING S.G.	1

FLOOR PLAN SCALE: 1/4"=1'-0"

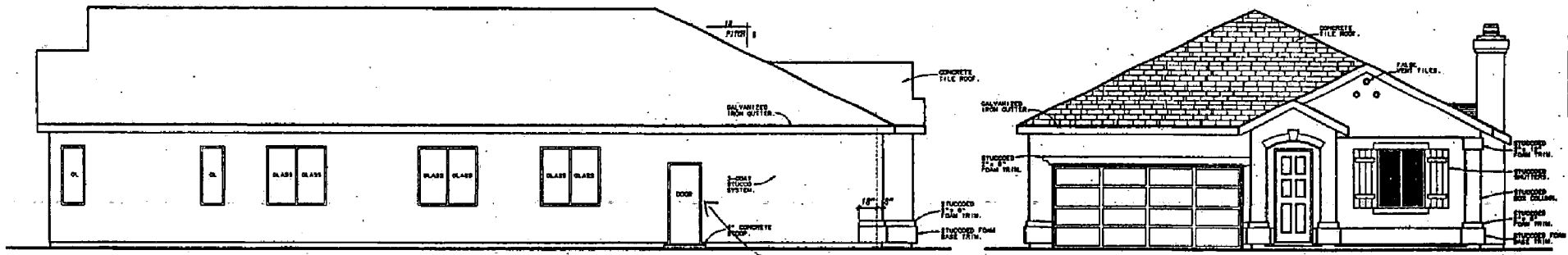
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(VEHICLE) - GARAGE AREA = 403 SQ.FT.
PORCH AREA = 137 SQ.FT.
TOTAL NON-LIVING AREA = 540 SQ.FT.

TOTAL LIVING AREA = 2046 SQ.FT.

- GENERAL NOTES:**
1. ALL WINDOWS AND DOORS SHALL BE DOUBLE GLAZING TYPE.
 2. FINISHES REFER TO S-11 UNLESS NOTED OTHERWISE.
 3. FINISHES TO BE IDENTICAL TO THOSE OF ALL LIVING AREAS.
 4. COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS, INCLUDING FIRE RATED DOORS AND PARTITIONS.
 5. VERIFY ALL LOCAL AND STATE REQUIREMENTS.
 6. VERIFY ALL LOCAL AND STATE REQUIREMENTS.
 7. PROVIDE GLASS PARTITIONS AT ALL EXTERIOR DOORS AND AT ALL ACCESS.
 8. PROVIDE A RAILING AT WATER HEATER ON FIRST FLOOR OF OFFICE.
 9. PROVIDE METAL PROTECTIVE COVERS OVER ALL ELECTRICAL PANELS AND ALL OTHER ELECTRICAL PANELS.
 10. PROVIDE METAL PROTECTIVE COVERS OVER ALL ELECTRICAL PANELS AND ALL OTHER ELECTRICAL PANELS.
 11. PROVIDE METAL PROTECTIVE COVERS OVER ALL ELECTRICAL PANELS AND ALL OTHER ELECTRICAL PANELS.
 12. PROVIDE METAL PROTECTIVE COVERS OVER ALL ELECTRICAL PANELS AND ALL OTHER ELECTRICAL PANELS.
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 18. PROVIDE METAL PROTECTIVE COVERS OVER ALL ELECTRICAL PANELS AND ALL OTHER ELECTRICAL PANELS.
 19. PROVIDE METAL PROTECTIVE COVERS OVER ALL ELECTRICAL PANELS AND ALL OTHER ELECTRICAL PANELS.
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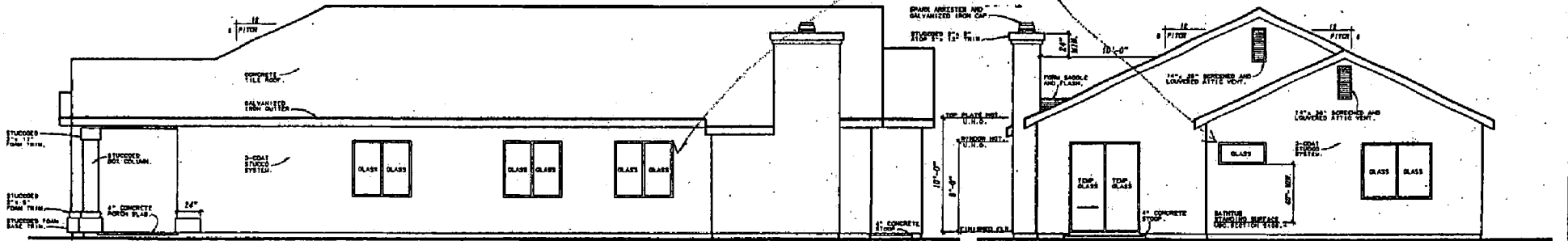
Exhibit 6: Plan 2072
(b) Elevations



LEFT ELEVATION SCALE: 1/4"=1'-0"

(A) FRONT ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the sides or rear of the house that back or side on to streets, schools, parks, and other open spaces visible to public view.



RIGHT ELEVATION SCALE: 1/4"=1'-0"

REAR ELEVATION SCALE: 1/4"=1'-0"

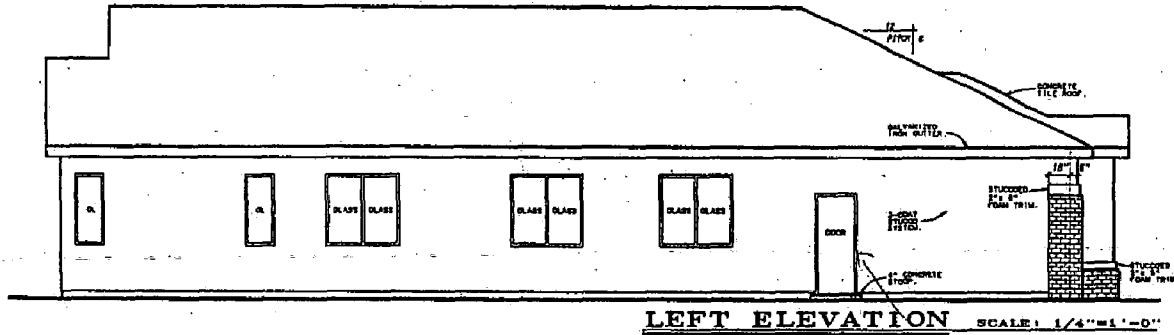
NPDR APPROVED
APPROVED BY: [Signature]
DATE: 11/19/22
CONTRACT NO. [Number]

FROM:	TO:		
	GAS FIRED WATER HEATERS	GAS FIRED HEATING APPLIANCES	OTHER VENTS
WINDOR OR DOOR HEAVY AIR INTAKE	4 FT. HORIZONTALLY OR 1 FT. ABOVE.	20" x 20" TYPE "C" VENT - 2 FT. ABOVE. 20" x 20" TYPE "C" VENT - 2 FT. ABOVE. 20" x 20" TYPE "C" VENT - 2 FT. ABOVE.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.
ROOF	1 FOOT ABOVE.	10" x 10" TYPE "C" VENT - 2 FT. ABOVE.	10 FT. ABOVE ROOF OR 3 FT. ABOVE ROOF.
15 FT. (EXCEPT STREET OR ALLEY)	4 FEET ABOVE.	4 FEET HORIZONTALLY.	2 FEET IN EVERY DIRECTION.
CONCRETE AIR MESH AIR INTAKE	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE	4 FT. MORE THAN A 45 DEGREE ANGLE.	4 FT. MORE THAN A 45 DEGREE ANGLE.	1 FT. HORIZONTALLY.

EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEYS AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
 2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER GAS, SEC. 908.
 3. INSTALL ALL WATERPROOFING WEATHER PROTECTION PER U.S.C.
 4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
 5. VENT EACH BAY OF VAULTED CLOS., IF THERE IS NO ATTIC SPACE ABOVE CLO.

Exhibit 6: Plan 2072
(b) Elevations

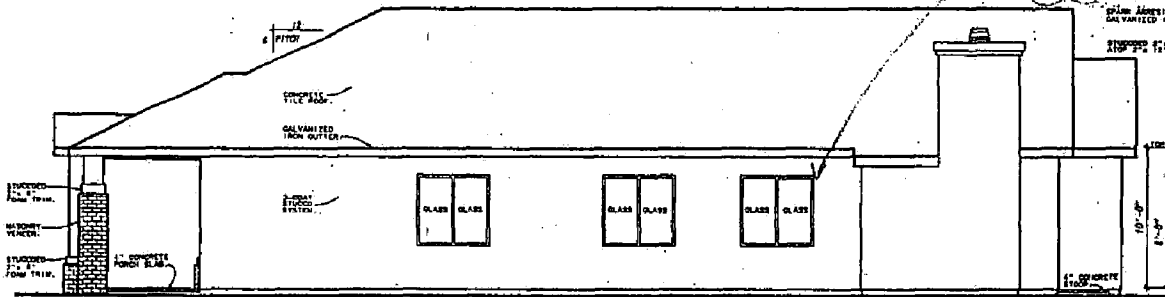


LEFT ELEVATION SCALE: 1/4"=1'-0"

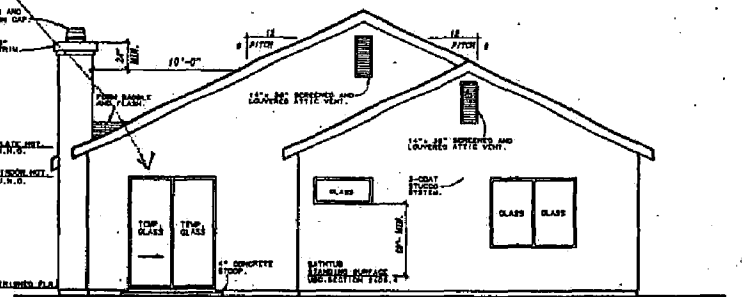


FRONT ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the sides or rear of the homes that back or side on to streets, schools, parks, and other open spaces visible to public view.



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

NPDR APPROVED
APPROVED BY: [Signature]
DATE: 11/10/12
CONTRACT: [Number]
SHEET: [Number]

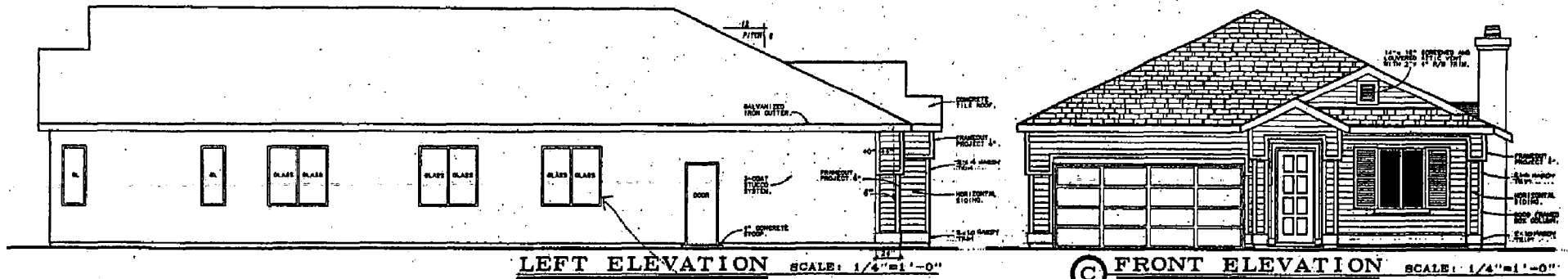
FROM:	TO:		
	BASE LINE WATER TABLE	ONE FLOOR HEATING APPLIANCE	SEWER VENTS
WINDOW OR DOOR ORALLY AIR INTAKE	3 FT. HORIZONTALLY 1 FT. ABOVE	NOT LESS THAN 4 FT. BELOW OR 4 FT. HORIZONTALLY, AND 12" ABOVE THE EXHAUSTION	18 FT. HORIZONTALLY 1 FT. ABOVE
ROOF	1 FOOT ABOVE	12" ABOVE ROOF TYPE "L" VENT "L" 1 FT. ABOVE ON ROOF	1" ABOVE ROOF 1 FT. ABOVE ROOF DECK ON ROOF
STOVE OR WATER HEATER	4 FEET ABOVE	4 FEET HORIZONTALLY	3 FEET IN EVERY DIRECTION
FORCED AIR HEAT. AIR INTAKE	18 FT. HORIZONTALLY OR 5 FT. ABOVE	18 FT. HORIZONTALLY OR 5 FT. ABOVE	10 FT. HORIZONTALLY
VENT FROM WALL SURFACE	2 FT. HORIZ. FROM A 9" SQUARE HOLE	2 FT. HORIZ. FROM A 9" SQUARE HOLE	1 FT. HORIZONTALLY

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
1. FOUNDATION AND UNFINISHED INTERIORS AT FINISH GRADE SHALL BE AS SHOWN.
 2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER U.S.G.C. 804.
 3. INSTALL ALL WEATHERSTRIP (WEATHER PROTECTION) PER U.S.G.C.
 4. PROVIDE AIRSIDE EXHAUST VENTS PER U.S.G.C.
 5. VENT EACH BAY OF VAULTED CEILING, IF THERE IS NO ATTIC SPACE ABOVE CEILING.

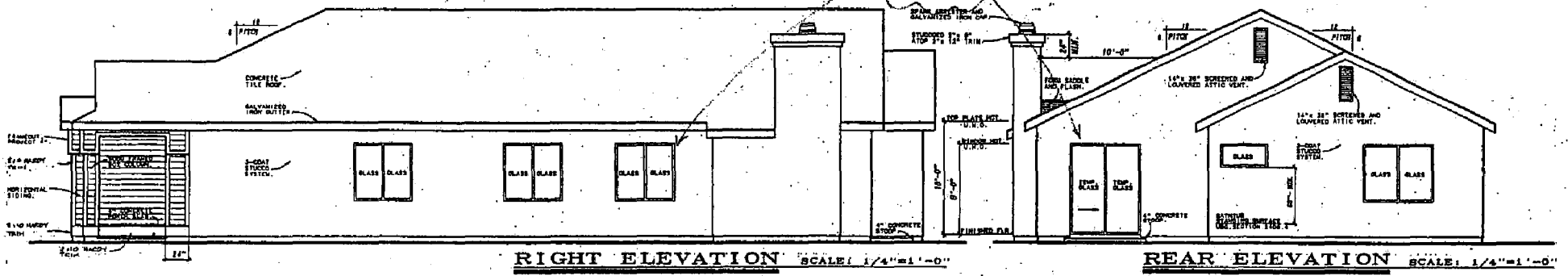
Exhibit 6: Plan 2072
(b) Elevations



LEFT ELEVATION SCALE: 1/4"=1'-0"

FRONT ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the sides or eave of the homes that back or side on to streets, schools, parks, and other open spaces visible to public view.



RIGHT ELEVATION SCALE: 1/4"=1'-0"

REAR ELEVATION SCALE: 1/4"=1'-0"

NFIRC APPROVED
APPROVED BY: [Signature]
APPROVED DATE: [Date]
DESIGNER: [Name]
SHEET NUMBER: [Number]

FROM:	TO:		
	BAR SCREENS NOTED EXCEPT	BAR SCREENS HEATING AND OPENINGS	OTHER VENTS
WINDOW OR DOOR ORALLY AIR INTAKE	6 FT. HORIZONTALLY OR 1 FT. ABOVE	NOT LESS THAN 4 FT. BELOW OR 1 FT. HORIZONTALLY, AND SEE NOTES FOR EXCEPTIONS.	12 FT. HORIZONTALLY OR 5 FT. ABOVE
ROOF	1 FOOT ABOVE	12 FT. HORIZONTALLY OR 5 FT. ABOVE	12 FT. HORIZONTALLY OR 5 FT. ABOVE
AT & B. EXHAUST STREET OR SIDE	4 FEET ABOVE	4 FEET HORIZONTALLY	4 FEET IN EVERY DIRECTION
EXHAUST FROM STREET	12 FT. HORIZONTALLY OR 5 FT. ABOVE	12 FT. HORIZONTALLY OR 5 FT. ABOVE	12 FT. HORIZONTALLY
VERTICAL WALL EXHAUST	4 FT. MORE THAN A 45 DEGREE ANGLE	4 FT. MORE THAN A 45 DEGREE ANGLE	1 FT. HORIZONTALLY

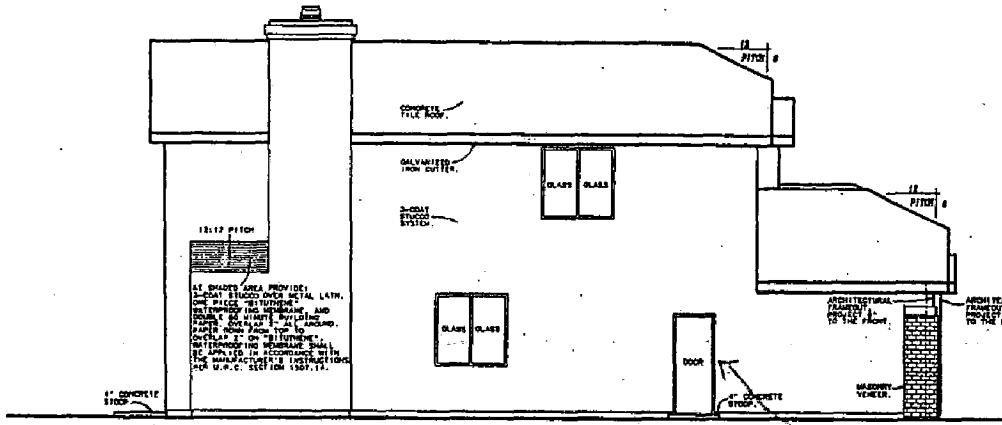
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

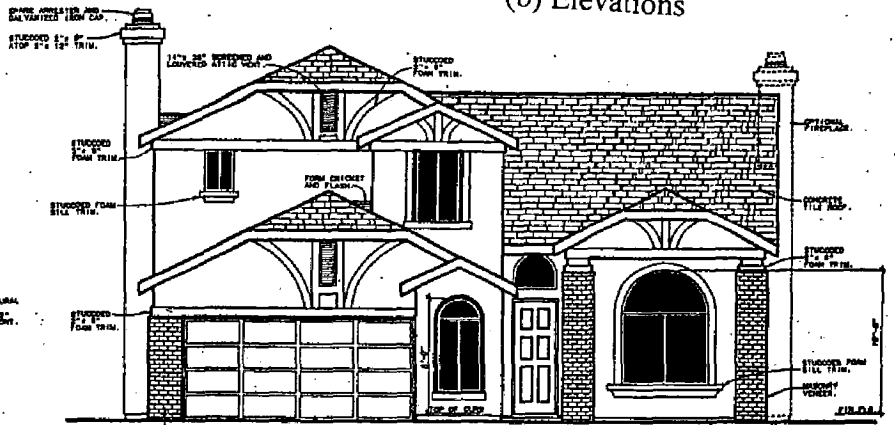
GENERAL NOTES:

1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEYS AND TOWNSHIPS. USE ONLY LISTED TOWNSHIPS.
2. INSTALL ALL TYPE TOP VENT TOWNSHIPS PER UNO.BEE.000.
3. INSTALL ALL WATERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH SET OF VALUED GLASS, IF THERE IS NO ATTIC SPACE ABOVE GLASS.

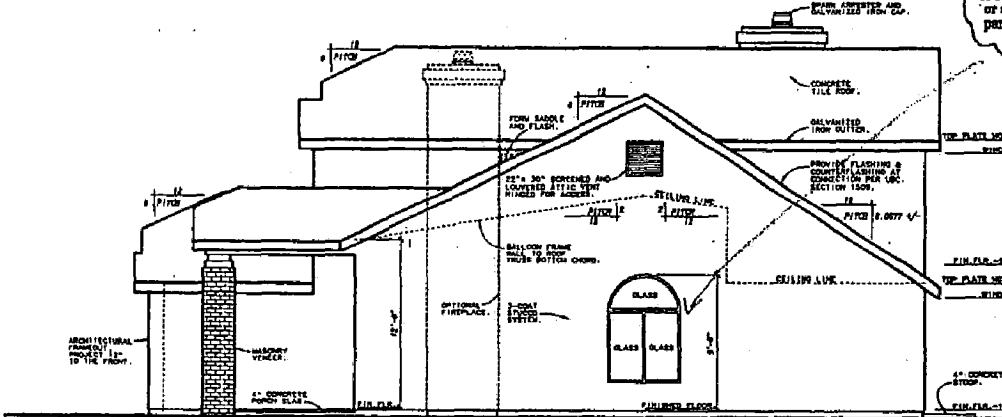
Exhibit 7: Plan 2475
(b) Elevations



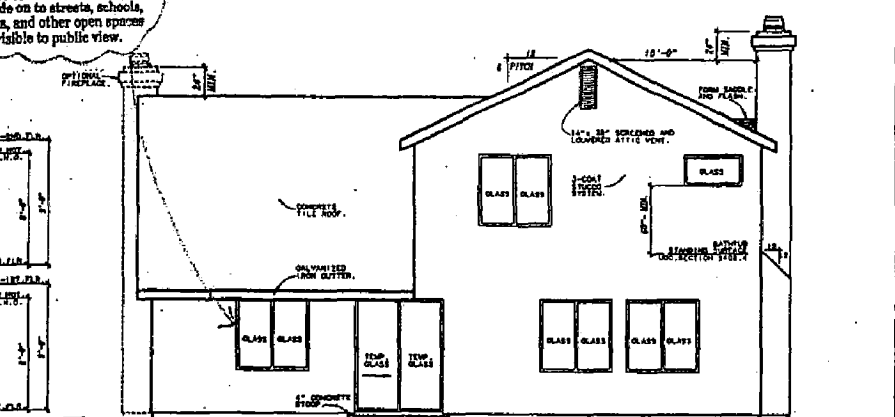
LEFT ELEVATION SCALE: 1/4"=1'-0"



FRONT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"



REAR ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the side or rear of the home, streets, parks, and other open spaces visible to public view.

NPDR APPROVED
APPROVED BY: [Signature]
DATE: [Date]

FROM:	TO:		
	GAS FIRED WATER HEATER	GAS FIRED HEATING APPLIANCES	SEWER VENTS
WINDOW OR ROOF DRAINAGE AIR INTAKE	2 FT. HORIZONTALLY OR 1 FT. ABOVE.	NOT LESS THAN 2 FT. HORIZONTALLY OR 1 FT. ABOVE.	18 FT. HORIZONTALLY OR 5 FT. ABOVE.
ROOF	1 FOOT ABOVE.	2 FT. ABOVE.	1 FOOT ABOVE ROOF OR 1 FOOT ABOVE ROOF.
FLUE (4" DIA.)	4 FEET ABOVE.	4 FEET HORIZONTALLY.	3 FEET IN EVERY DIRECTION.
VENTED AIR HEAT. AIR INTAKE	18 FT. HORIZONTALLY OR 5 FT. ABOVE.	18 FT. HORIZONTALLY OR 5 FT. ABOVE.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE	4 FT. MORE THAN A 25 DEGREE ANGLE.	4 FT. MORE THAN A 25 DEGREE ANGLE.	1 FT. HORIZONTALLY.

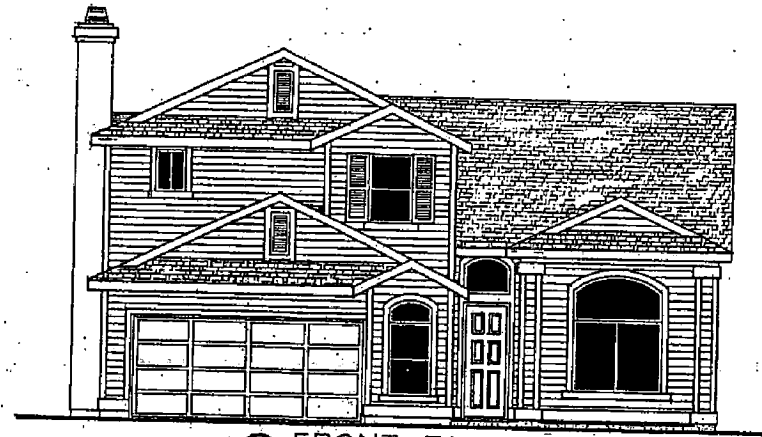
EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. CHECK WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEY AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER IBC, SEC. 906.
3. INSTALL ALL WEATHERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH BAY OF VAULTED CLOS., IF THERE IS NO ATTIC SPACE ABOVE CLOS.

WILLY I AM HAMILTON
 REGISTERED ARCHITECT
 FRANK WILJAKER
 VILLAGE 10-2
 US-Home
 MODEL 2475
 13



C FRONT ELEVATION

Exhibit 7: Plan 2475
(b) Elevations

NPDR APPROVED
APPROVED BY: [Signature]
DATE: 4/12/11
COMMENTS:

WILLIAM HAMILTON
REGISTERED ARCHITECT
FRANK WHITAKER

REVISION BLOCK

VILLAGE 10-2

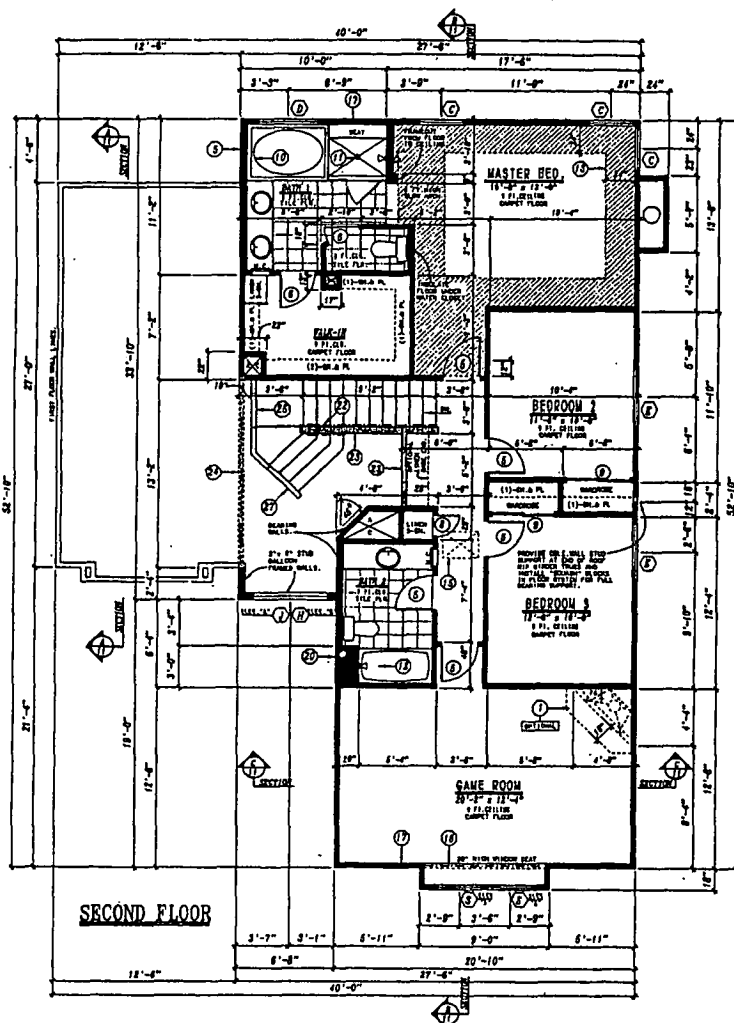
US·Home®

MODEL 2475

SHEET

9

Exhibit 8: Plan 2546
(a) Floor Plan

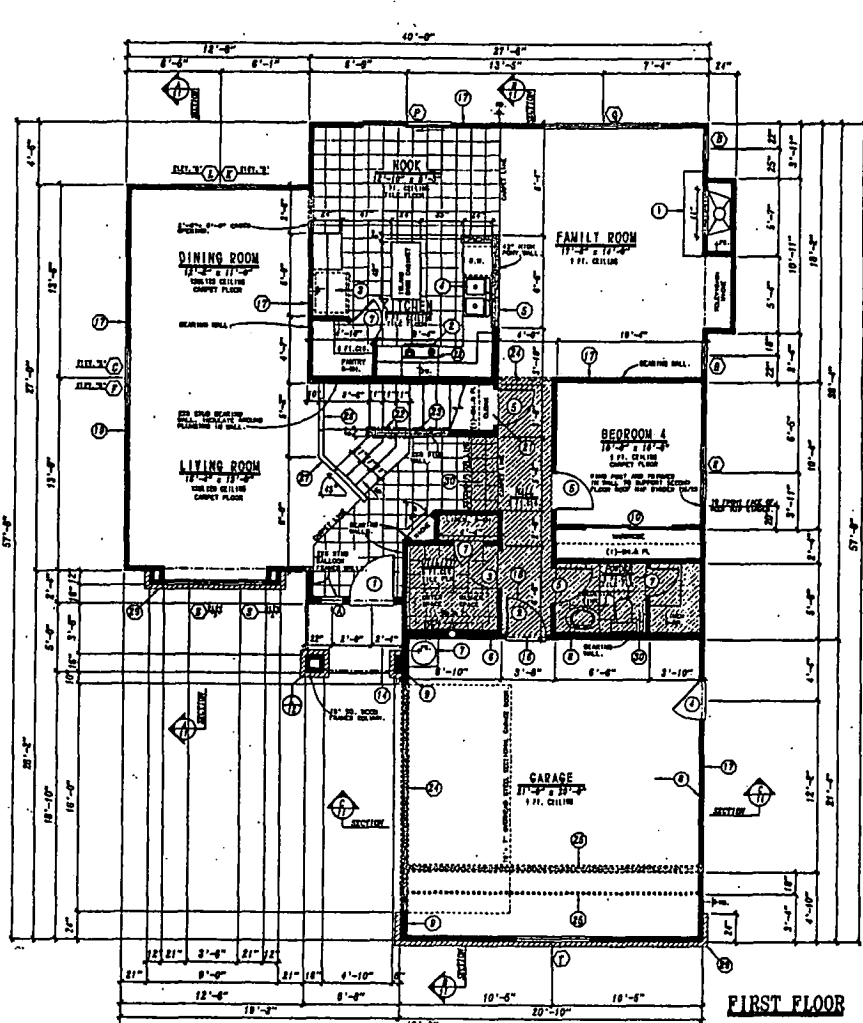


ADDITIONAL FLOOR PLAN NOTES

1. INTERIOR WALLS TO BE FINISHED WITH 5/8" GYP BOARD. EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD.
2. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYP BOARD. EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD.
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15. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYP BOARD. EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD.
16. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYP BOARD. EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD.
17. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYP BOARD. EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD.
18. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYP BOARD. EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD.
19. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYP BOARD. EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD.
20. ALL INTERIOR WALLS TO BE FINISHED WITH 5/8" GYP BOARD. EXTERIOR WALLS TO BE FINISHED WITH 1/2" GYP BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD.

IMPORTANT

1. BEAM WALL LOCATIONS AND CONSTRUCTION.
2. BEAM AND HEADER LOCATIONS AND SIZES.
3. OTHER STRUCTURAL RECOMMENDATIONS.



DOOR SCHEDULE

QTY	SIZE	TYPE	REMARKS	QTY
1	1'-0" x 2'-0"	SOLID CORE EXTERIOR	8 PANEL PER ALY. 1" KEYED DEAD BOLT LOCK	1
2	1'-0" x 2'-0"	SOLID CORE INTERIOR	SOLID WOOD W/ANTIOGLESER, 1" KEYED D.B.	2
3	2'-0" x 2'-0"	HOLLOW CORE INTERIOR	1" KEYED DEAD BOLT LOCK	1
4	2'-0" x 2'-0"	SOLID CORE EXTERIOR	1" KEYED DEAD BOLT LOCK	1
5	2'-0" x 2'-0"	HOLLOW CORE INTERIOR	1" KEYED DEAD BOLT LOCK	1
6	2'-0" x 2'-0"	HOLLOW CORE INTERIOR	1" KEYED DEAD BOLT LOCK	1
7	2'-0" x 2'-0"	HOLLOW CORE INTERIOR	1" KEYED DEAD BOLT LOCK	1
8	1'-0" x 1'-0"	HOLLOW CORE INTERIOR	1" KEYED DEAD BOLT LOCK	1
9	1'-0" x 1'-0"	HOLLOW CORE INTERIOR	1" KEYED DEAD BOLT LOCK	1
10	6'-0" x 8'-0"	BIPASS	WARRANTY	1
11	6'-0" x 8'-0"	BIPASS	WARRANTY	1
12	5'-0" x 6'-0"	BIPASS	WARRANTY	1

WINDOW SCHEDULE

QTY	SIZE	TYPE	REMARKS	QTY
1	11'-0" x 2'-0"	VINYL STATIONARY	TEMPERED GLASS	1
2	2'-0" x 2'-0"	VINYL STATIONARY	TEMPERED GLASS	1
3	1'-0" x 2'-0"	VINYL SING. HANG		1
4	2'-0" x 2'-0"	VINYL STATIONARY		1
5	1'-0" x 2'-0"	VINYL SING. HANG		1
6	1'-0" x 2'-0"	VINYL SING. HANG		1
7	1'-0" x 2'-0"	VINYL SING. HANG		1
8	1'-0" x 2'-0"	VINYL SING. HANG		1
9	1'-0" x 2'-0"	VINYL SING. HANG		1
10	1'-0" x 2'-0"	VINYL SING. HANG		1
11	1'-0" x 2'-0"	VINYL SING. HANG		1
12	1'-0" x 2'-0"	VINYL SING. HANG		1
13	1'-0" x 2'-0"	VINYL SING. HANG		1
14	1'-0" x 2'-0"	VINYL SING. HANG		1
15	1'-0" x 2'-0"	VINYL SING. HANG		1
16	1'-0" x 2'-0"	VINYL SING. HANG		1
17	1'-0" x 2'-0"	VINYL SING. HANG		1
18	1'-0" x 2'-0"	VINYL SING. HANG		1
19	1'-0" x 2'-0"	VINYL SING. HANG		1
20	1'-0" x 2'-0"	VINYL SING. HANG		1

WINDOW SCHEDULE CONTINUED

QTY	SIZE	TYPE	REMARKS	QTY
1	1'-0" x 2'-0"	VINYL SING. HANG		1
2	1'-0" x 2'-0"	VINYL SING. HANG		1
3	1'-0" x 2'-0"	VINYL SING. HANG		1
4	1'-0" x 2'-0"	VINYL SING. HANG		1
5	1'-0" x 2'-0"	VINYL SING. HANG		1
6	1'-0" x 2'-0"	VINYL SING. HANG		1
7	1'-0" x 2'-0"	VINYL SING. HANG		1
8	1'-0" x 2'-0"	VINYL SING. HANG		1
9	1'-0" x 2'-0"	VINYL SING. HANG		1
10	1'-0" x 2'-0"	VINYL SING. HANG		1

FLOOR PLAN SCALE: 1/4" = 1'-0"

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TOTAL GARAGE AREA = 415 SQ. FT.
TOTAL NON-LIVING AREA = 478 SQ. FT.

FIRST FLOOR LIVING AREA = 1,133 SQ. FT.
SECOND FLOOR LIVING AREA = 1,133 SQ. FT.
TOTAL LIVING AREA = 2,266 SQ. FT.

GENERAL NOTES:

1. ALL WINDOWS AND French doors shall be double glazed insulating type.
2. INSULATE EXTERIOR WALLS WITH 2" POLYURETHANE FOAM.
3. PROVIDE 6" INSULATION AT CEILING OF ALL LIVING AREAS.
4. COMPLY WITH U.S.G. SECTION 504 FOR ALL FLOOR AND CEILING INSULATIONS (EXCEPT FINE GRADE AT 1" MINIMUM, OTHERWISE).
5. VERIFY EXISTING CONDITIONS BEFORE CONSTRUCTION. VERIFY ALL DIMENSIONS AND LOCATIONS.
6. VERIFY ALL DIMENSIONS AND LOCATIONS BEFORE CONSTRUCTION.
7. VERIFY ALL DIMENSIONS AND LOCATIONS BEFORE CONSTRUCTION.
8. VERIFY ALL DIMENSIONS AND LOCATIONS BEFORE CONSTRUCTION.
9. VERIFY ALL DIMENSIONS AND LOCATIONS BEFORE CONSTRUCTION.
10. VERIFY ALL DIMENSIONS AND LOCATIONS BEFORE CONSTRUCTION.
11. REFER TO SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
12. REFER TO SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
13. REFER TO SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
14. REFER TO SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
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19. REFER TO SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
20. REFER TO SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.

WILLIAM HAMILTON
REGISTERED ARCHITECT
FRANK WHITAKER

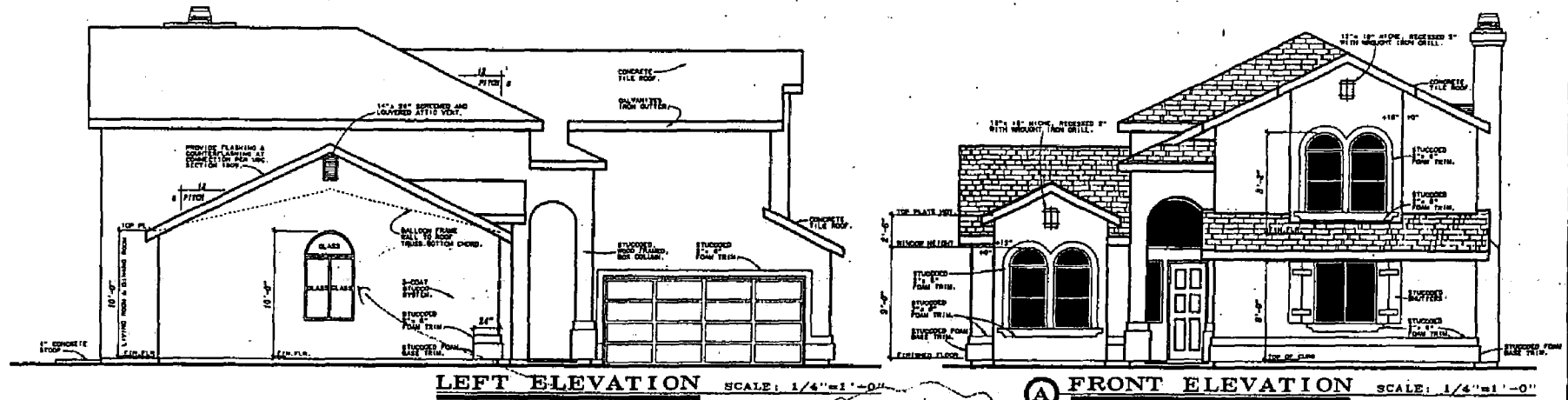
VILLAGE 10-2

US Home

MODEL 2546

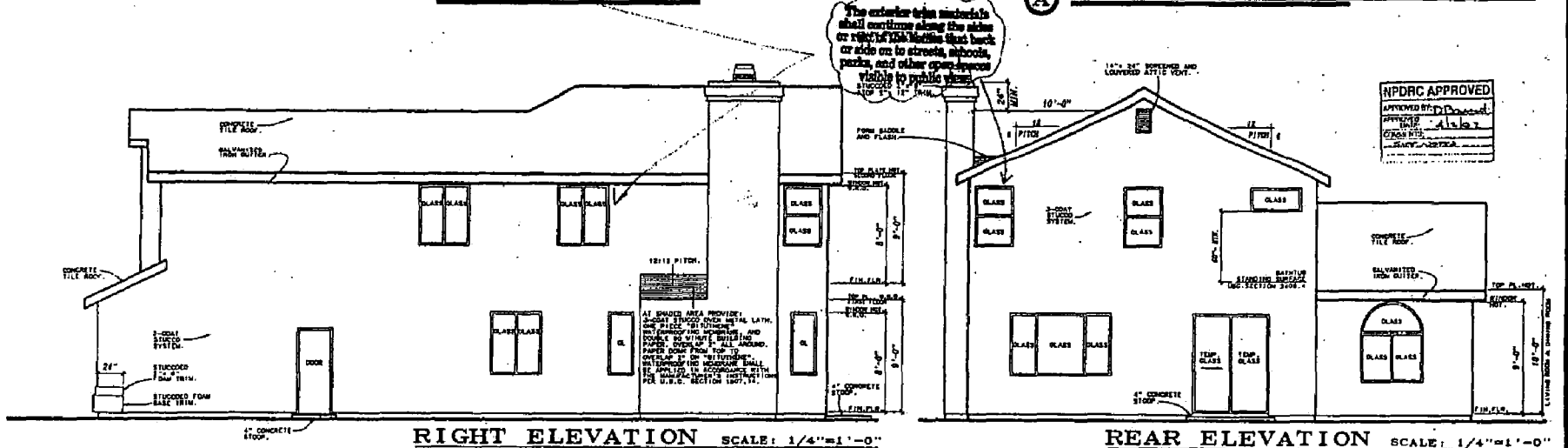
SHEET 2 OF 14

Exhibit 8: Plan 2546
(b) Elevations



LEFT ELEVATION SCALE: 1/4"=1'-0"

A FRONT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"

REAR ELEVATION SCALE: 1/4"=1'-0"

VENT CLEARANCE TABLE			
FROM:	TO:		
	GAS FIRED SOLID FUELS	GAS FIRED HEATING APPLIANCES	WORKING VENTS
WINDOW OR DOOR QUALITY AIR INTAKE	4 FT. HORIZONTALLY OR 3 FT. ABOVE.	NOT LESS THAN 4 FT. BELOW OR 4 FT. HORIZONTALLY OR 3 FT. ABOVE. SEE NOTES FOR EXCEPTIONS.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.
ROOF	1 FOOT ABOVE.	2 FT. ABOVE VENTS TYPE "A" VENT - 3 FT. ABOVE.	5' ABOVE ROOF, 2 FT. ABOVE SIDE ROOF ON ROOF.
AT 90° (PERPENDICULAR) STREET OR ALLEY.	4 FEET ABOVE.	4 FEET HORIZONTALLY.	3 FEET IN EVERY DIRECTION.
FORCED AIR MECH. AIR INTAKE	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY OR 3 FT. ABOVE.	10 FT. HORIZONTALLY.
VERTICAL WALL SURFACE.	4 FT. ABOVE WITH A 24 DEGREE ANGLE.	4 FT. ABOVE WITH A 24 DEGREE ANGLE.	1 FT. HORIZONTALLY.

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. CONSULT WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEY AND FOUNDATIONS. USE ONLY LISTED CHIMNEY MODEL.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER UAC, SEC. 906.
3. INSTALL ALL WEATHERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH RAY OF VAULTED CEILING. IF THERE IS NO ATTIC SPACE ABOVE CEILING.

WILLIAM HAMILTON ARCHITECTURAL DESIGNERS FRANK WHITAKER
 VILLAGE 10-2
 US-Home
 MODEL 2546
 SHEET 5 OF 14



© FRONT ELEVATION

Exhibit 8: Plan 2546
 (b) Elevations

The exterior trim materials shall continue along the sides or rear of the homes that back or side on to streets, schools, parks, and other open spaces visible to public view.

HPDRC APPROVED
 APPROVED BY: [Signature]
 DATE: 11/13/03
 SQUARE

WILLIAM HAMILTON
 ARCHITECTURAL DESIGNERS
 FRANK WEITAKER

SECTION BLOCK

VILLAGE 10-2

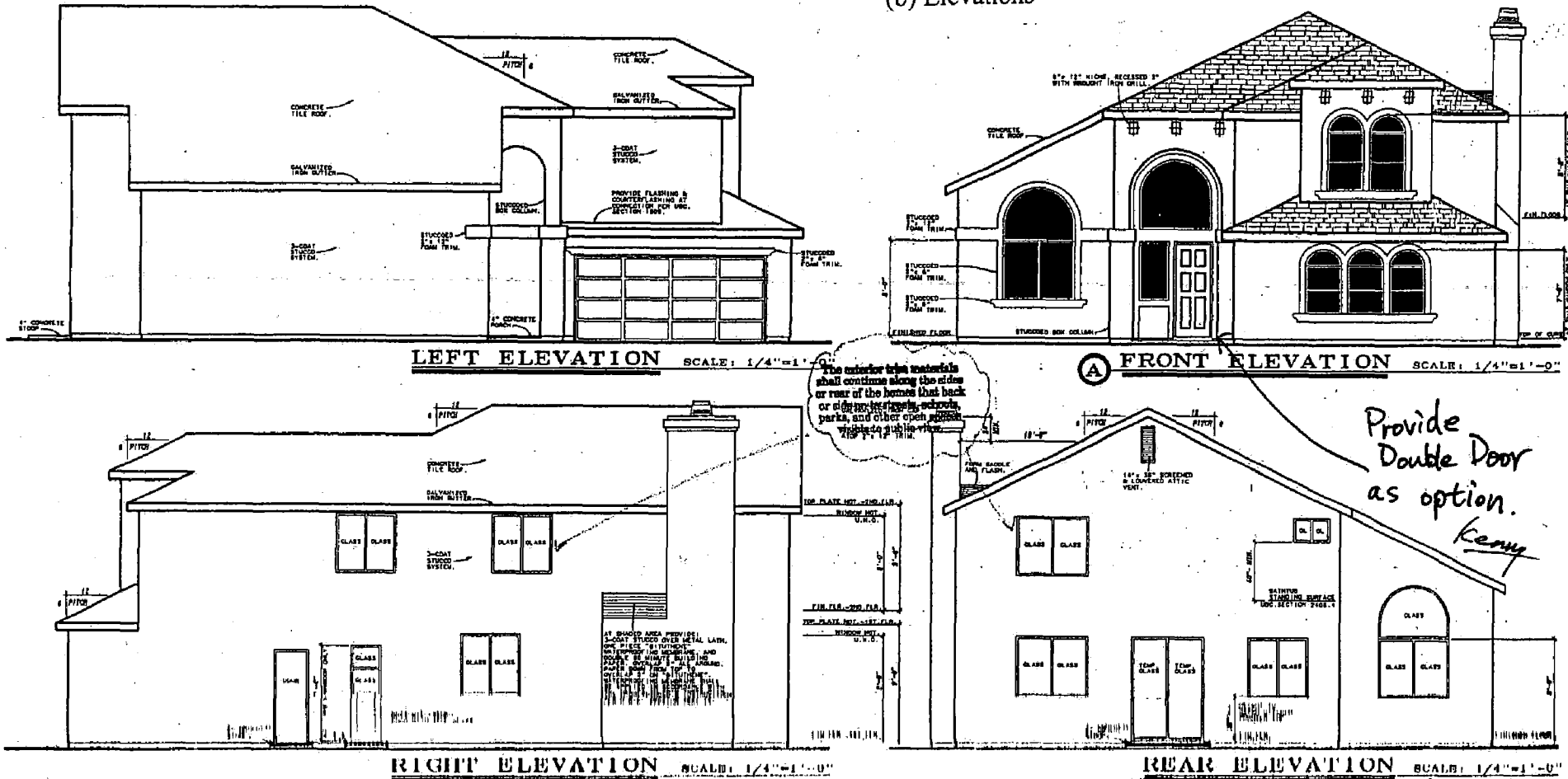
US-Home®

MODEL 2546

SHEET

OF

Exhibit 9: Plan 2956
(b) Elevations



LEFT ELEVATION SCALE: 1/4"=1'-0"

FRONT ELEVATION SCALE: 1/4"=1'-0"

RIGHT ELEVATION SCALE: 1/4"=1'-0"

REAR ELEVATION SCALE: 1/4"=1'-0"

The exterior trim materials shall continue along the sides or rear of the home that back or side of the house, patios, porches, and other open spaces, which do not have a roof.

Provide Double Door as option.
Kenny

NPURC APPROVED
APPROVED BY: [Signature]
DATE: 10/12/11

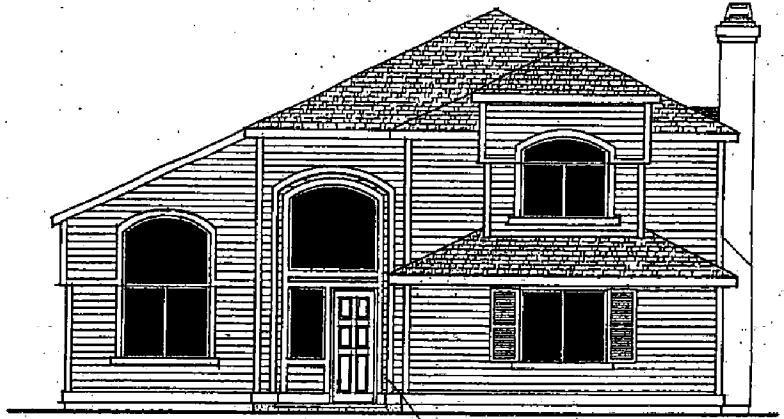
VENT CLEARANCE TABLE			
FROM:	TO:		
WINDOW OR DOOR DRAUGHT AIR INTAKE	8 FT. HORIZONTALLY OR 1 FT. ABOVE.	8 FT. TYPED HEATING APPLIANCES	8 FT. HORIZONTALLY OR 5 FT. ABOVE.
ROOF	1 FOOT ABOVE.	8" x 8" VENT - 1 FT. ABOVE.	8" ABOVE ROOF OR 24" ABOVE ROOF ON 12:12 PITCH.
AT 2' x 4' (EXCEPT STREET OR ALLEY).	4 FEET ABOVE.	4 FEET HORIZONTALLY.	2 FEET IN EVERY DIRECTION.
FORCED AIR MECH. AIR INTAKE.	18 FT. HORIZONTALLY OR 8 FT. ABOVE.	18 FT. HORIZONTALLY OR 8 FT. ABOVE.	18 FT. HORIZONTALLY.
VERTICAL WALL SURFACE.	4 FT. MORE THAN A 24 DEGREE ANGLE.	4 FT. MORE THAN A 24 DEGREE ANGLE.	1 FT. HORIZONTALLY.

EXTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"

GENERAL NOTES:

1. COMPLY WITH MFG. INSTALLATION INSTRUCTIONS AT FIREPLACE CHIMNEY AND TERMINATIONS. USE ONLY LISTED TERMINATIONS.
2. INSTALL ALL TYPE "B" VENT TERMINATIONS PER INC. SEC. 909.
3. INSTALL ALL WATERPROOFING (WEATHER PROTECTION) PER U.S.C.
4. PROVIDE GARAGE EXHAUST VENTS PER U.S.C.
5. VENT EACH BAY OF VAULTED CLOS., IF THERE IS NO ATTIC SPACE ABOVE CLOS.

WILLIAM HAMILTON
 DRAWING ARCHITECTS
 27 PARK WILLYAKER
 VILLAGE 10-2
 US-home
 MODEL 2956
 SHEET
 5
 9
 13



© FRONT ELEVATION

Exhibit 9: Plan 2956
(b) Elevations

*Provide
Double Door
as option.
Kenny*

NPDRC APPROVED
DATE: 1/1/00
BY: [Signature]

WILLIAM HAMILTON
RESIDENTIAL ARCHITECTURE
FRANK WHITAKER

REVISION BLOCK

VILLAGE 10-2

US-HOME

MODEL 2956

SHEET

9

Exhibit 10:
Option Exhibit

P02-068



Sacramento Division

RFCO MAY 24 2002

NORTHBOROUGH VILLAGE 10-2
(SEE ATTACHED SAMPLES FOR ALL PRODUCTS LISTED BELOW)

MASONRY

Brick is standard on "B" elevations ONLY per plan. Brick is also optional on fireplace faces.

Brick:

- | | | |
|----------------------|---------------|--------------|
| California Handmold | Stonehenge | Canterbury |
| Railroad Blend | Mountain Mist | English Rose |
| Placer Antique | French Oak | |
| Klinker | Common Select | |
| Monterey Bay Flashed | Cobble Hill | |

Stone Options:

- | | |
|-------------------------------|--------------------------------------|
| Stream Stone Spring | Tularosa Country Rubble |
| Stream Stone Winter | Sonoma Creek Cobble |
| Desert Shadows Stacked Stone | Bucks County Southern LedgeStone |
| Aspen Dressed Field Stone | 80-20 Bucks Southern / Bucks Dressed |
| Chardonnay Dressed Fieldstone | Cedar Limestone |
| English Country Rubble | American Creek Cobble |
| River Rock | Bouquet Canyon |

ROOFING

STANDARD - Material to be Monier Lifetile

- 1SLCS/0212 – Brookside Rosewood Blend (Slate)
- 1SRCB/5225 - Shadow Grey (Shake)

Options:

- 1VACS/5537 - Pueblo Sienna Blend (Villa)

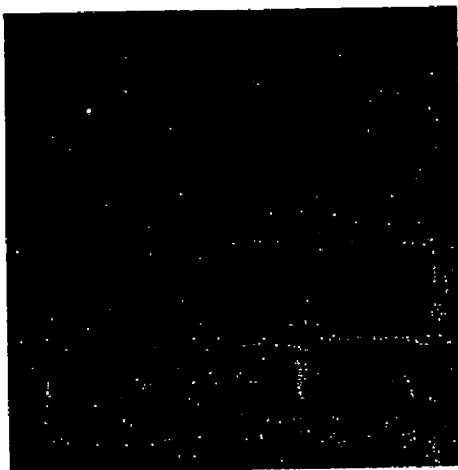
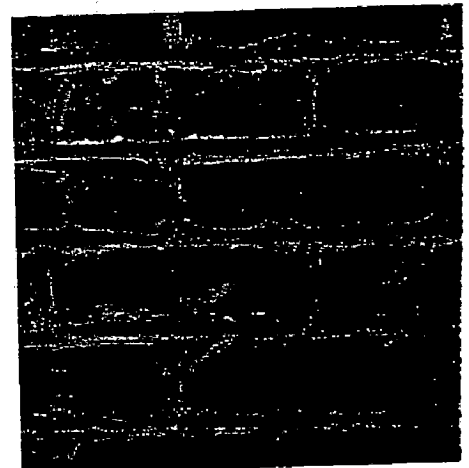
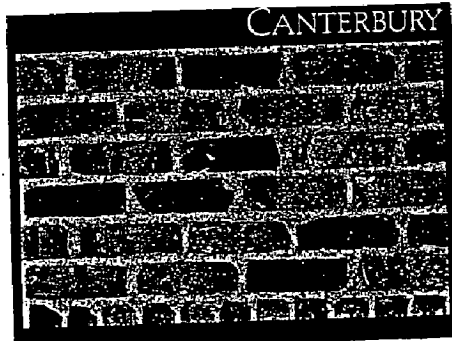
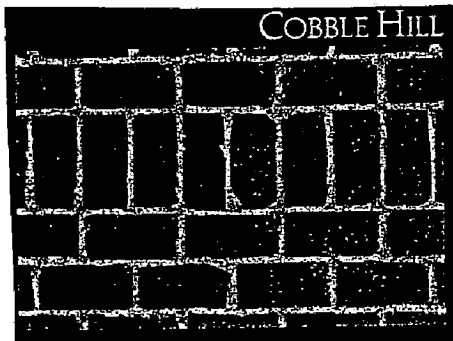
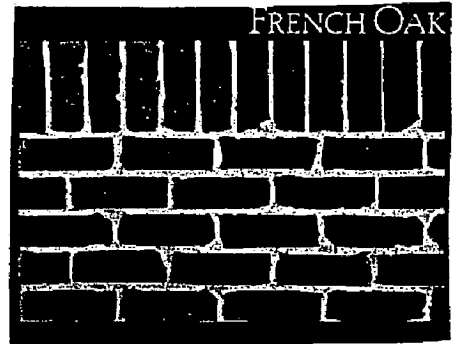
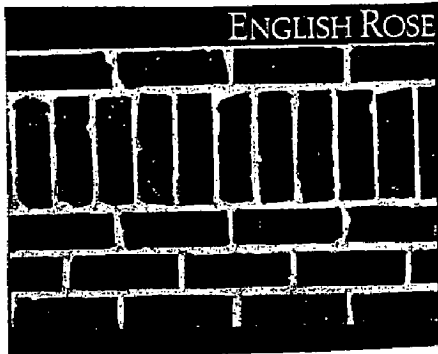
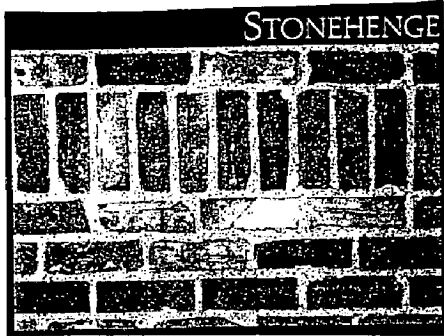


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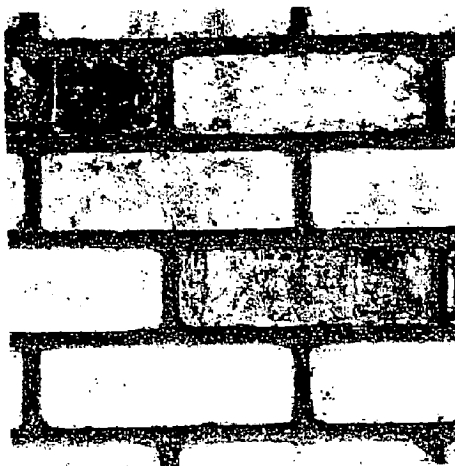
Exhibit 10:
(a) Bick Options

NORTHBOROUGH VILLAGE 10-2

BRICK OPTIONS

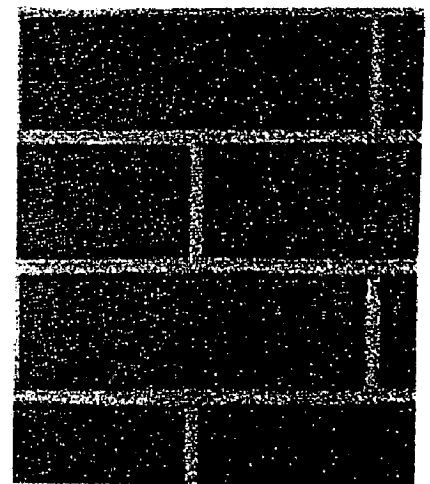


Clinker •



Placer •

California Handmold •



CommonSelect

P02-068

REC'D MAY 24 2000

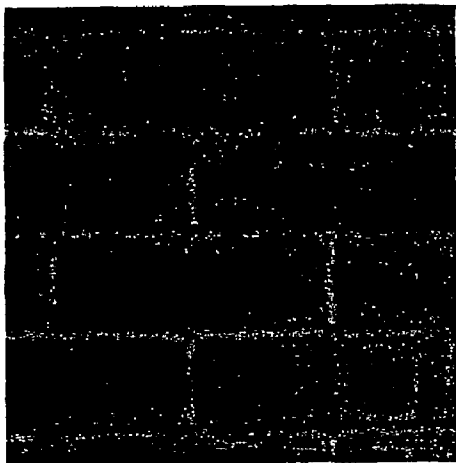


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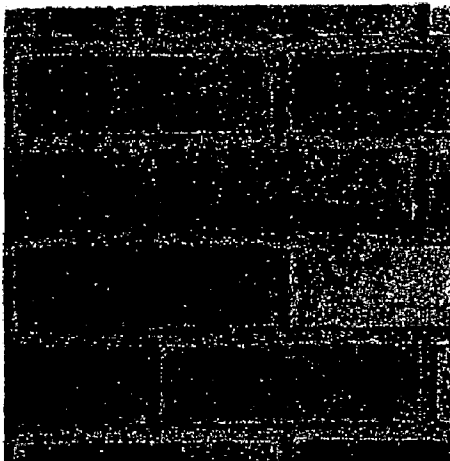
NORTHBOROUGH VILLAGE 10-2

BRICK OPTIONS

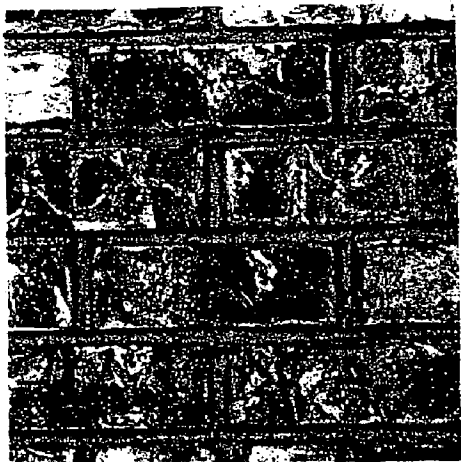
Exhibit 10:
(a) Brick Options



Railroad Blend •



Monterey Bay Flashed •



Mountain Mist •

P02-068

REC'D MAY 24 2002



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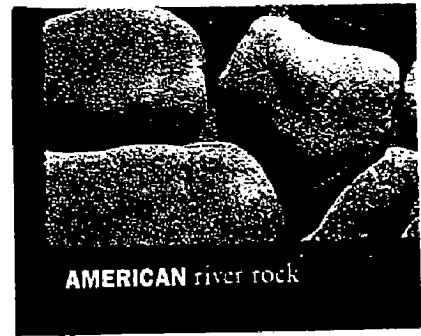
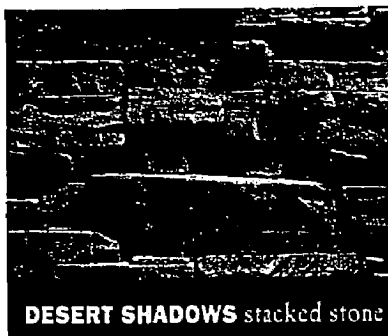
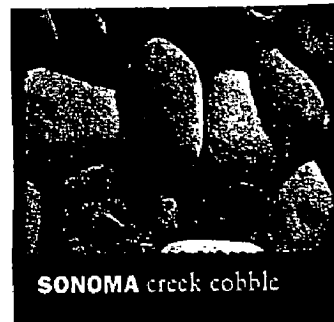
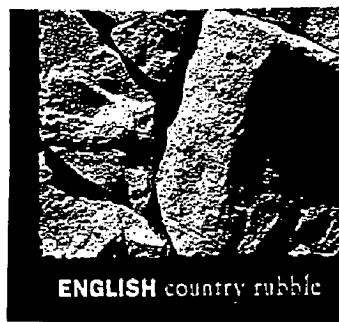
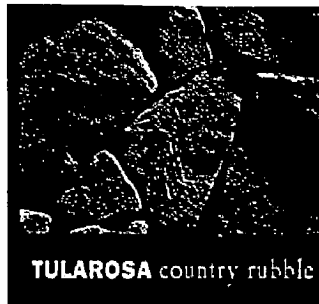
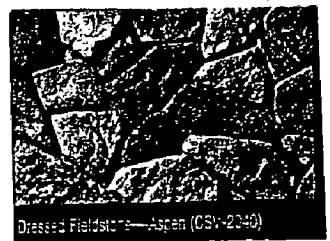
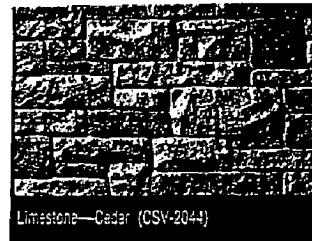
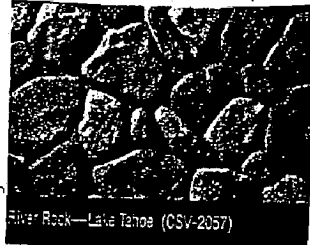
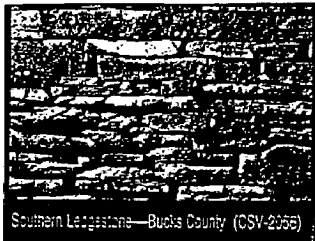
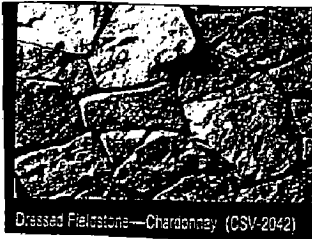
NORTHBOROUGH VILLAGE 10-2

Exhibit 10:
(b) Stone Options

STONE OPTIONS



Stream Stone—Spring Standard (CSV-2070)



P02-068

REC'D MAY 24 2002

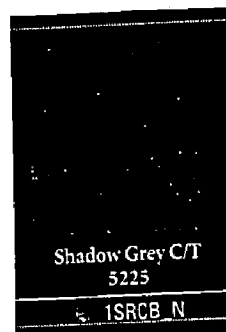
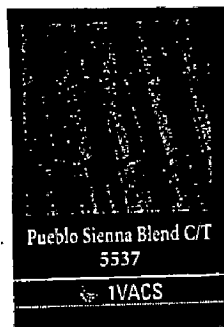


Sacramento Division

NORTHBOROUGH VILLAGE 10-2

ROOF TILE OPTIONS

Exhibit 10:
(c) Tile Options



P02-068

REC'D MAY 24 2002

SCHEME 1

1. BODY - SW 2018 Pink Beige
2. TRIM - SW 2427 Alpine White
3. ACCENT - SW 2132 Gray Bridge

SCHEME 2

1. BODY - SW 2010 Taupe Tint
2. TRIM - SW 2428 Coconut Grove
3. ACCENT - ICI Match - Morning Coat

SCHEME 3

1. BODY - SW 2010 Taupe Tint
2. TRIM - SW 2428 Coconut Grove
3. ACCENT - SW 2378 Ocatillo

SCHEME 4

1. BODY - SW 2025 Castle Beige
2. TRIM - SW 2426 Windfresh White
3. ACCENT - SW 2398 Overseas

SCHEME 5

1. BODY - SW 2039 Estate Tan
2. TRIM - SW 2100 Stormy Night
3. ACCENT - ICI Match - Curtain Call

SCHEME 6

1. BODY - SW 2213 Sahara Sand
2. TRIM - SW 2429 Palais White
3. ACCENT - SW 2378 Ocatillo

SCHEME 7

1. BODY - SW 2025 Castle Beige
2. TRIM - SW 2024 Gobi Beige
3. ACCENT - SW 2118 Gunmetal Gray

SCHEME 8

1. BODY - SW 2053 Coast Point
2. TRIM - SW 2045 Boulevard Beige
3. ACCENT - SW 2397 Treasure Key

SCHEME 9

1. BODY - SW 2206 Row House Tan
2. TRIM - SW 2429 Palais White
3. ACCENT - SW 2105 Wrought Iron

SCHEME 10

1. BODY - SW 2003 Stucco Greige
2. TRIM - SW 2427 Alpine White
3. ACCENT - ICI Match - Lakehurst

SCHEME 11

1. BODY - SW 2011 Pediment
2. TRIM - SW 2009 Sandstone
3. ACCENT - SW 2014 Beatrix Brown

SCHEME 12

1. BODY - SW 2011 Pediment
2. TRIM - SW 2425 White Heron
3. ACCENT - SW 2264 Newport Blue

SCHEME 13

1. BODY - SW 2018 Pink Beige
2. TRIM - SW 2015 Faux Marble
3. ACCENT - SW 2118 Gunmetal Gray

SCHEME 14

1. BODY - SW 2128 March Wind
2. TRIM - SW 2428 Coconut Grove
3. ACCENT - SW 2243 Wetlands

SCHEME 15

1. BODY - SW 2018 Pink Beige
2. TRIM - SW 2428 Coconut Grove
3. ACCENT - SW 2118 Gunmetal Gray

SCHEME 22

1. BODY - SW 2431 Natural Tan
2. TRIM - SW 2114 Gris
3. ACCENT - SW 2132 Gray Bridge

SCHEME 16

1. BODY - SW 2011 Pediment
2. TRIM - SW 2100 Stormy Night
3. ACCENT - ICI Match - #90 BG 14/159 (Blue)

SCHEME 17

1. BODY - SW 2206 Row House Tan
2. TRIM - SW 2214 Tradition Ivory
3. ACCENT - SW 2398 Overseas

U S HOMES - New Projects 22 Schemes 8/200
All SWP Colors, Names & Numbers except
7 only ICI matches

SCHEME 18

1. BODY - SW 1023 Ermine
2. TRIM - SW 2002 Gray Ashler
3. ACCENT - SW 2393 Potomac Blue

SCHEME 19

1. ACCENT - SW 2214 Tradition Ivory
2. BODY - SW 2205 Townhall Tan
3. TRIM - ICI Match - #90 BG 14/159 (Blue)

SCHEME 20

1. ACCENT - SW 2137 Everest White
2. BODY - ICI Match - Soreal Blue
3. TRIM - SW 2118 Gunmetal Gray

SCHEME 21

1. ACCENT - SW 1023 Ermine
2. BODY - SW 2427 Alpine White
3. TRIM - SW 2258 Ivy Wall



April 2, 2002

REC'D APR 19 2002

Exhibit 12: Letter
from DRC

Mr. Mitch Young
US HOME
2366 Gold Meadow Way, Suite 100
Gold River, CA 95670

**RE: Design Review of US HOME Plans - Natomas Park
Northborough - Village 10-2**

Dear Mitch:

The plans you submitted for Northborough Village 10-2 have been reviewed by the Natomas Park Design Review Committee. We would like to compliment you on the design of these excellent homes. The submitted items, listed below, are approved with the following conditions:

Floor plans & Elevations

Floor plans are approved as submitted.

Exterior elevations approved with following conditions:

1. Homes with back or sides to streets, parks, open space and schools need to continue trim along visible side of house, as noted on plans.
2. Materials shall wrap on the sides of the homes, as noted on the plans.
3. The accent materials shown on plans are to be standard materials, not options.
4. Driveways shall have a pattern of score lines that will create a pleasing texture compatible with the architecture.

In addition to these conditions, we recommend that any roof projections (i.e.: vents, pipes) be located in the back of the home, not visible from the street.

Landscape Plans

Please provide copies of the typical landscape plans for interior and corner homesites when available.

Site/Lot Plans

Please provide copies of a plot plan of each of the homes shown on a typical interior and corner homesite.

We believe that the appearance of the streetscape is a critical element in achieving an attractive community. For this reason, we request that you stagger your home setbacks to create an open and diverse streetscape.

JUL-15-2002 MON 01:44 PM LENNAR COMMUNITIES

Exhibit 12: Letter
from DRCExterior Colors & Materials

Approved as shown.

Please be aware that the adopted guidelines require diversity in streetscape, i.e.: variation of colors and elevations. Please provide evidence during the project development of achieving the required diversity.

The model home complex site plan, neighborhood identification signage and/or monumentation is also subject to approval by the NPDRC. Please submit for review when available.

The plans were reviewed for compliance with the Design Review Handbook. You are responsible to ensure that the plans are in compliance with the City of Sacramento Zoning Code and all applicable building codes. Compliance with the City of Sacramento Zoning Code includes compliance with building setback and lot coverage standards.

For your reference, please find enclosed the garage mitigation compliance form and a checklist that we used during our review. Please give me a call should you have any questions.

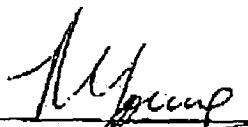
Respectfully,

LENNAR COMMUNITIES

*Don Barnett*Don Barnett
Community Planning Manager

Cc: DRC file

By signing below, you acknowledge your acceptance of these comments and conditions, and you agree to comply with them.



Mitch Young

Date

4/18/02

JUL-15-2002 MON 01:44 PM LENNAR COMMUNITIES

Exhibit 12:
Letter from DRC.

GARAGE MITIGATION COMPLIANCE

BUILDER/NEIGHBORHOOD: US HOME Northborough 10-2
ELEVATION

% compliance
of total
of homes

PLAN	A	B	C	D	
1650	Side Entry garage mitigated plan-full credit	Side Entry garage mitigated plan-full cred.	Side Entry garage mitigated plan-full credit		
1725	Forward porch	Forward porch	Forward porch		
1857	mitigated plan-full credit	mitigated plan-full cred.	mitigated plan-full credit		
2072					
2475	Front porch mitigated plan-full credit	Front porch mitigated plan-full cred.	Front porch mitigated plan-full credit		
2546	Side entry garage mitigated plan-full credit	Side entry garage mitigated plan-full cred.	Side entry garage mitigated plan-full credit		
2956	Side entry garage mitigated plan-full credit	Side entry garage mitigated plan-full cred.	Side entry garage mitigated plan-full credit		

TOTAL COMPLIANCE %:

100%

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD
LETTER OF AGREEMENT**

P02-068: U.S.Home Corp.- NORTHBOROUGH VILLAGE 3 & 13

PROJECT NAME/FILE #: Northborough Village 3 & 13
(97 Units), P02-068

PROJECT LOCATION: North of Mabry Drive, Southeast of Northborough Drive,
and East of Dunlay Street.

ASSESSOR'S PARCEL NUMBER(S): 201-0310-003 & 006

ZONING: R-1PUD

APPLICANT'S NAME/ADDRESS: US Home Corp. (Mitch Young)
2366 Gold Meadow #200 Gold River, CA 95670
(916) 858-3900

I, Mitchell Young (please print and include title),
agree to amend the project application, P02-068, to incorporate the attached Conditions of
Approval into the requested Planning Director's Special Permit (PDSP).

I acknowledge that this project, P02-068, is subject to these PDSP Conditions of Approval.
These PDSP Conditions of Approval will establish responsibilities for the monitoring of my project
by various City Departments, and by other public agencies under the terms agreed upon in the
PDSP Conditions of Approval. I understand that the PDSP Conditions of Approval for my project
may require the expenditure of owner/developer funds where necessary to comply with the
provisions of said PDSP Conditions of Approval.

Mitchell Young
Signature
RVP

8/16/02
Date