



# REPORT TO PLANNING COMMISSION City of Sacramento

915 I Street, Sacramento, CA 95814-2671

PUBLIC HEARING  
October 26, 2006

**To: Members of the Planning Commission**

**Subject: Society for the Blind (P06-156)**

The applicant is requesting a special permit approval to establish a school for the Society for the Blind, an organization that provides training for people who are blind or have low vision, within an existing 20,000± two-story structure with existing onsite parking spaces on .44± net acres in the General Commercial Neighborhood Corridor Overlay (C-2-NC) zone.

- A. Environmental Determination:** Categorical Exemption pursuant to CEQA Section 15332 (Infill Exemption); and
- B. Special Permit** to develop a teaching facility (school) on .44± net acres in the General Commercial Neighborhood Corridor Overlay (C-2-NC) zone; and
- C. Variance** to allow less than required maneuverability for existing onsite parking spaces on .44± net acres in the General Commercial Neighborhood Corridor Overlay (C-2-NC) zone.

**Location:** 1228 S Street, Sacramento, CA

**Council District:** District 4

**Assessor's Parcel Numbers:** 009-0082-008, 009, 010, 026

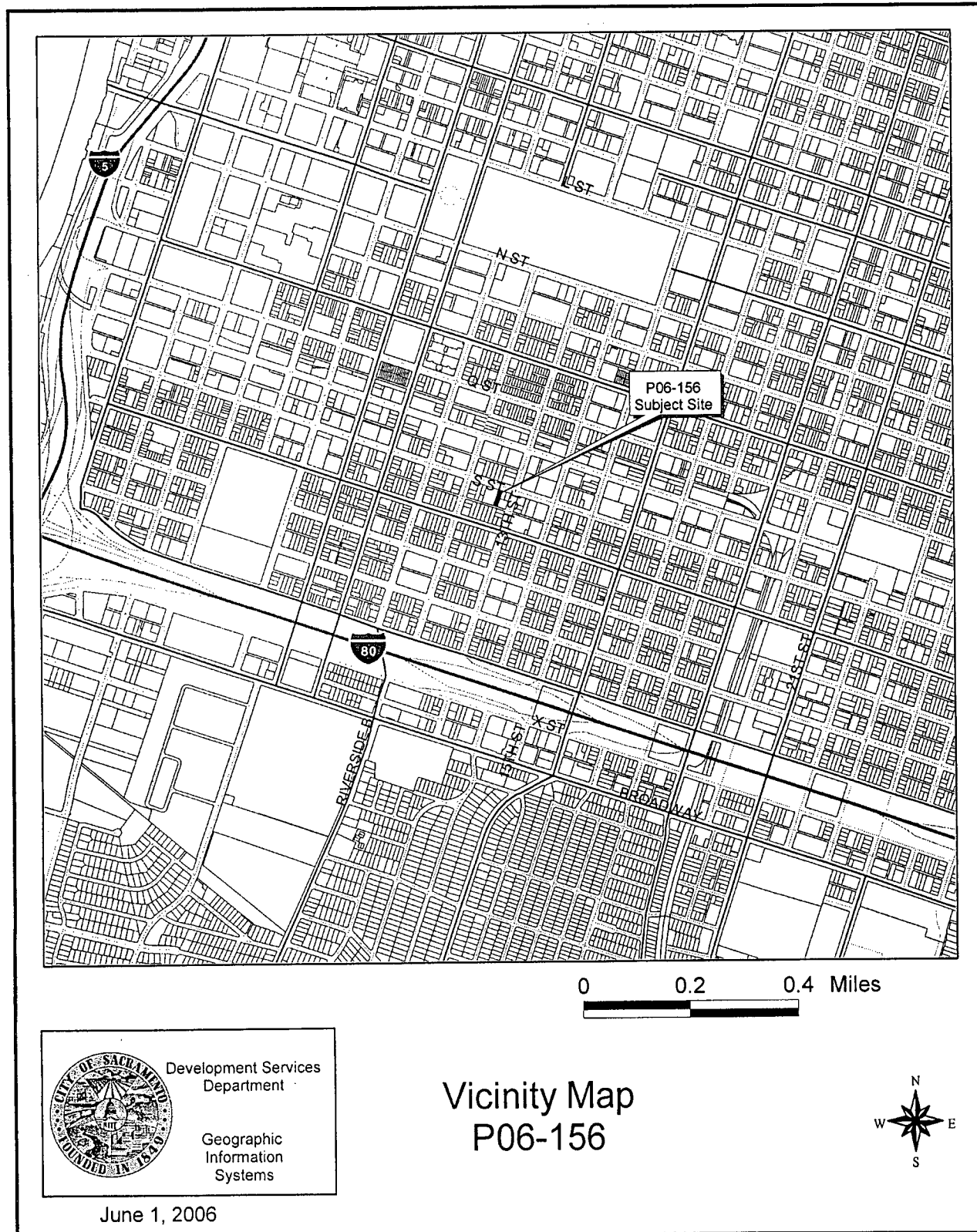
**Recommendation:** Staff recommends that the Planning Commission approve the request based on the findings and subject to the conditions listed in Attachment 1. At the time of this report, **all of the issues have been resolved** with the proposed conditions of approval. The Commission has final approval authority over items B-C listed above, and its decision is appealable to the City Council.

**Staff Planner:** Sally Shore, Assistant Planner, (916) 808-8001

**Applicant:** Matthew Gross, Precision GCC, Inc., 5580 Power Inn Road, Suite G  
Sacramento, CA 95820; (916) 381-4640

**Owner:** Society for the Blind, 2750 24<sup>th</sup> Street  
Sacramento, CA 95818-3299; (916) 452-8271

**Vicinity Map**



**Summary**

The applicant is proposing to provide tenant improvements to convert an existing two-story 20,000± commercial office building into a school/training facility for people who are blind or visually impaired on .44± net acres in the General Commercial Neighborhood Corridor Overlay (C-2-NC) zone. The building is currently constructed across four parcels and the project has been conditioned to require that the four parcels be merged in order to create one lot measuring 120 feet by 160 feet (19,200 square feet). A special permit is required to establish a private or nonprofit school within the C-2-NC zone. Additionally, the subject site will provide 20 parking spaces, half of which will not meet the required maneuverability. Therefore, a variance has been requested to reduce the required maneuvering area for the existing parking spaces located south of the building adjacent to the alley.

**Table 1: Project Information**

<b>General Plan Land Use designation:</b> Community Neighborhood Commercial & Office
<b>Central City Community Plan Land Use designation:</b> General Commercial
<b>Density allowed per C-2-NC zoning:</b> No density limit in the Neighborhood Corridor Overlay zone
<b>Proposed Density:</b> NA
<b>Existing zoning of site:</b> (C-2-NC) General Commercial, Neighborhood Corridor Overlay zone
<b>Existing use of site:</b> Two story office building (20,000 square feet)
<b>Property area:</b> 0.44± net acres (19,200 square feet)

**Background Information**

The existing two story office building located at 1238 S Street was constructed in the early 1970s across the existing parcel lines of four properties. The project has been conditioned to merge the lots to remove the parcel lines and prevent building code issues. There are no previous entitlements associated with the subject site.

Founded over 50 years ago, the Society for the Blind is the Sacramento Region's only full service agency serving blind and visually impaired people of all ages. The Society's most recent location was established at 2750 24<sup>th</sup> Street and granted a planning commission special permit (P2266) to allow the use in 1965. Over the years since the special permit approval in 1965, the Society has outgrown the 5,000 square foot 24<sup>th</sup> Street location and finds the current facility with approximately 20,000 square feet to be more suitable for the current range of programs offered. Approval of a new special permit is required to establish the use at the proposed location.

**Public/Neighborhood Outreach and Comments**

The project has been noticed to property owners within a 500 foot radius of the subject site in addition to the Midtown Business Association, Richmond Grove Neighborhood

Watch, Capitol Area R Street Association, Southside Neighborhood Association, and the Neighborhood Advisory Group. Additionally, the Society for the Blind has conducted extensive outreach and fundraising in the community in order to support the nonprofit effort of moving the training facility from their previous location at 2750 24<sup>th</sup> Street to the new S Street location. As of the time this report was submitted, staff has not received comments from the above associations, and no neighbors have voiced any objections toward the proposal.

### **Environmental Considerations**

The project will not have a significant effect on the environment and is exempt from CEQA pursuant to Section 15332 of the California Environmental Quality Act (CEQA).

### **Policy Considerations**

**General Plan Update Vision and Guiding Principles:** While the City's General Plan is being updated, the City Council has adopted a vision for the future of the City as well as several guiding principles to help achieve this vision. This was done to ensure that new developments submitted during the ongoing update comply with the goals and policies that are being incorporated into the General Plan through the update. The applicable guiding principles that this proposal complies with include:

1. Promote developments that foster accessibility and connectivity between areas and safely and efficiently accommodate a mixture of cars, transit, bicyclists, and pedestrians.
2. Use the existing assets of infrastructure and public facilities to increase infill and re-use, while maintaining important qualities of community character.

The proposed project complies with the above guiding principles and is not contrary to any of the proposed policies, since the use will backfill an existing building.

**General Plan:** The subject site is designated Community Neighborhood Commercial & Office in the Land Use Element of the General Plan. The Community/Neighborhood Commercial and Office land use designation within the Commerce and Industry Land Use Element of the General Plan includes uses which offer goods and services for the daily needs of adjacent residential areas. The General Plan identifies the goals of the Commerce and Industry Land Use Element as follows:

GP Policy 1- Sec.1-30 Cultural amenities such as symphonies, theater, schools, libraries, museums and art help to enhance the urban environment. Support for these amenities will help ensure a rich vital urban experience.

GP Policy 3-Sec.-1-32 It is the policy of the City to actively promote the continued vitality and diversification of the local economy, and to expand employment opportunities for City residents.

GP Policy Sec 4-1 Maintain and enhance downtown's role as a regional office, retail and employment center with special emphasis given to promoting visitor service and cultural/entertainment uses.

GP Policy Sec 4-1 Promote the re-use and revitalization of existing developed areas, with special emphasis on commercial and industrial districts.

GP Goal B-Sec. 4-22 Provide expanded employment opportunities for City residents.

GP Policy 1-Sec.4-22 Provide public support to expand job placement and training services.

Staff believes that the proposed project which establishes a training facility serving blind and visually impaired people of all ages is in keeping with the intent of the General Plan's commercial and mixed use policies.

**Central City Community Plan:** The site is located within the Central City Community Plan area and is designated as General Commercial use. Staff believes the proposal is consistent with the land use designation and policies of both the General Plan and Central City Community Plan because the services provided by the Society of the Blind will enhance the cultural environment of the Central City while promoting the establishment of quality vocational training and commercial services within the Central City.

CCCP Education Goal Maintain quality educational/vocational facilities and services for Central City residents.

In using an existing building for the facility, the project is consistent with the following policies:

GP Policy 5-Sec.1-34 It is the policy of the City to promote the reuse and rehabilitation of existing development as a means to meet projected growth.

GP Goal B-Sec. 4-1 Promote the re-use and revitalization of existing developed areas, with special emphasis on commercial and industrial districts.

In providing educational activity during the week with some weekend and evening events, the project is consistent with the primary goal of the Central City Community Plan; "to continue revitalization of the Sacramento Central City area as a viable living, working, shopping and cultural environment with a full range of day and night activities.

**Neighborhood Corridor Overlay:** The intent of the Neighborhood Corridor Overlay zone is to encourage the development of new housing within specified General Commercial zones and to encourage commercial development that is compatible with adjacent residential uses. The site is located within the Neighborhood Corridor Overlay zone which allows the use of a public, private, or nonprofit school subject to the approval of a planning commission special permit.

## Project Design

### **Land Use**

The applicant is proposing to provide tenant improvements to convert an existing two-story 20,000± commercial office building into a school for people who are blind or visually impaired on .44± net acres in the General Commercial Neighborhood Corridor Overlay (C-2-NC) zone. The project also includes a small retail store (640 square feet) within the building which will be open to the public and will offer products that would benefit people who are blind or have low vision. Section 17.164.030 of the zoning code states that within the Neighborhood Corridor Overlay zone, the establishment of a public, private, or nonprofit school is allowed within the overlay zone subject to a planning commission special permit. Retail stores are allowed by right within the overlay zone. The General Commercial (C-2) zone allows retail stores in the Central City by right and schools subject to a planning commission special permit. Additionally, the proposed uses are consistent with the policies and objectives of the General Plan, the Central City Community Plan, and the City's Zoning Code.

The City's Zoning Ordinance requires a special permit for the establishment of a private or nonprofit school in any zone. Pursuant to the City's Zoning Ordinance, a finding must be made that a proposed project must be based on sound principles of land use, must not be detrimental to the public welfare nor result in the creation of a public nuisance, and must comply with the objectives of the general or specific plan for the area.

It is staff's position that such a finding can be made for the proposed project. The proposed use is located in a predominantly commercial/office area along S Street near the employment center of the Central City with some residential housing located to the south of the site along 13<sup>th</sup> Street. The use itself is quiet and innocuous. Sufficient parking is available on-site for use by faculty and staff. Students will be utilizing public or private transportation in order to attend the training facility. Transportation services, through the use of private Society-owned vans, are supplied and overseen by the Society and a transportation drop-off zone is being provided at the front of the facility for loading and unloading of passengers. Further discussion of the transportation provided by the Society is outlined under the Parking section of this report.

### **Project Scope, Site Design, Access, and Circulation**

The project proposal consists of 20,000 square feet of training facilities within a two-story commercial structure for students of all ages who are blind or visually impaired. 640 square feet of retail space will be established within the ground floor for the sale of products related to the training facility. The anticipated operating hours of the store will be 8:00 am to 6:00 pm with the potential for Saturday hours from 10:00 am to 2:00pm. The hours of operation for the training facility and the low vision clinic are anticipated to be primarily between 8:00 am and 5:00 pm on weekdays. Training services include: orientation and mobility training, adapted computer skill instruction, Braille instruction, daily living skills training, career development counseling, a youth enrichment program, a senior intensive retreat, transitional counseling, a low vision clinic, and the "Aids to

Independence" store. The low vision clinic is available during business hours to provide optometry services to patients who are visually impaired or legally blind.

The ground floor main entrance to the building is accessible from 13<sup>th</sup> Street and leads into a lobby with access to the store, reception area and waiting room. An additional entrance to the store is located along the south wall of the building oriented toward the alley parking lot in order to allow the store to be opened independently from the training facility when the facility is closed. The ground floor also includes several training rooms, the low vision clinic, administrative offices for the Society's business services, a boardroom, a student breakroom, elevator, stairs and restrooms. At the rear of the building, access doors are provided for the rear parking lot and the dog rest area. The dog rest area is a landscaped, fenced area provided within the parking lot for guide dogs attending the training facilities with their owners. All the dogs attending the facility are working dogs and the dog rest area will be monitored by a professional cleaning service. The second floor of the building consists of additional training rooms, a computer lab, offices, stairs, elevator and restrooms.

The average number of employees and students anticipated within the facility is approximately 80 people. This breaks down to approximately 40 staff members and 40 students, patients, store customers, and volunteers. Based on previous numbers at the Society, the anticipated number of guide dogs within the building is between six and eight dogs at any one time. The dog rest area is not anticipated to have more than two to three dogs visiting the area at any one time and each dog would be on a harness and overseen by their owner. One of the training skills that will be provided at the facility includes training individual dog owners to be aware of their dog's needs within the dog rest area and monitoring the dog's usage of the rest area.

### **Parking**

The Zoning Code specifies that the number of parking spaces to be provided for a school that requires a special permit is determined by the planning commission. As the primary function of the proposed facility is to train students of all ages who are visually impaired, it is not likely that any of the students will be driving vehicles or bicycles to the facility and parking within the lot. The applicant has also indicated that there are currently 42 staff members on the Society payroll. The staff breakdown is as follows:

Type of Employee	Personal vehicle on site	Frequency	Spaces Needed
4 Optometrists	4	1 day per week	4
4 Van drivers	0	5+ days per week	0
3 consultants working from home	0	5+ days per week	0
3 off-site employees	0	5+ days per week	0
14 on-site employees (visually impaired)	0	5+ days per week	0
14 on-site employees (not visually impaired)	14± (some may utilize public transport)	5+ days per week	14
Total 42 employees	18 personal vehicles	5+ days per week	18 total spaces

The four optometrists visit the Society one day per each week to provide services for the low vision clinic which services patients who are not legally allowed to drive because of their low vision. The Society employs four van drivers who operate the four Society-owned vans used to pick up and drop off students for training and appointments at the Society. The vans are driven home every night with the drivers and are not parked at the lot overnight. The drivers, therefore, do not park personal cars at the lot. Six other workers employed by the Society work from home and rarely visit the Society. Out of the 28 employees who work onsite at the Society, half of them are visually impaired or legally blind and are dependent upon public or private transportation in order to access the site. The retail component of the facility requires two parking spaces based on the zoning code. Because the majority of staff and students regularly using the facility are visually impaired and do not drive, staff believes that the 20 parking spaces provided at the facility are adequate to service the volunteers and visitors who may be driving to the site.

Additionally, the project site is located one and a half blocks south of the 13<sup>th</sup> Street light rail station. Access to bus routes 6, 63, 64 and 141 is available two blocks east of the subject site. Four blocks west of the subject site, access is also available to bus routes 2, 51 and 142. The Society anticipates that most of the staff and students will either be utilizing public transportation or will be dropped off at the site by private transportation overseen by the Society.

As mentioned above, the Society operates four vans that are used to provide transportation to and from the training facility and clinic for students and visitors. Because of the frequency of pick ups and drop offs throughout the day, the project has been conditioned to provide a 40 foot long loading zone along the 13<sup>th</sup> Street curb in front of the main entrance where the vans will be able to load and unload passengers attending the facility. The loading zone will not impact the existing park strip and will consist of a painted curb with access to the sidewalk in front of the building.

Bicycle parking requirements are based on the number of vehicular parking spaces provided. The proposed building provides an interior storage room which will serve as the required bicycle parking. The following tables show how the proposal complies with the vehicular and bicycle parking regulations pursuant to Chapter 17.64 of the Code:

<b>Table 3: Parking</b>			
<b>Use</b>	<b>Required Parking</b>	<b>Proposed Parking</b>	<b>Difference</b>
Commercial/ Retail	1:400 for the 1 <sup>st</sup> 9600' (640' proposed=2 spaces)	2	0
School	To be determined (estimated 18 spaces needed)	18	0
<b>Total</b>	<b>20</b>	<b>20</b>	<b>0</b>

<b>Table 3a: Bicycle Parking</b>			
<b>Total parking provided</b>	<b>Required bicycle parking</b>	<b>Provided bicycle parking</b>	<b>Difference</b>
20	1 space per every 20 required parking spaces = 1	1	0

As indicated above, the project meets the anticipated vehicular or bicycle parking needed.

A variance to allow less than 26 feet of vehicle maneuvering area is being requested for all of the parking spaces located on the south side of the building adjacent to the alley. While these parking spaces are existing, required modifications to meet current ADA accessibility standards that includes the installation of a six foot path of travel in front of the existing spaces reduces the maneuvering area from 23 feet to 22 feet including the width of the alley. The ADA spaces will be provided within the parking spaces located at the west side of the building where all of the parking spaces meet the 26 foot maneuvering area requirement. Additionally, an easement has been established which

allows maneuvering area across the property line on the adjacent parcel to the west where additional parking is provided.

The six foot path of travel from the ADA spaces will be provided in front of the parking spaces to the south of the building in order to provide required ADA access to the retail store entry doors. Staff is in support of the variance since the additional movements necessary for the reduced maneuvering will occur in the alley and is not anticipated to affect the on-street traffic. Additionally, the parking spaces for the previous office use were located in the same place with less than the required maneuvering area (23 feet), compliance with ADA standards to provide a walkway is being met, and the existing buildings cannot be relocated to increase the maneuvering area to accommodate the walkway.

### Height and Area

Within Neighborhood Commercial Overlay zone, commercial buildings are limited to 35 feet in height. The existing building is 26 feet high which is within the height requirements of the zone. Within the General Commercial (C-2) zone, structures under 26 feet in height are required to provide a setback of 7.5 feet. The proposed structure provides a one foot front setback off of S Street, but because the building is existing, a setback variance is not required. Additionally, the main entrance to the building will be located off of 13<sup>th</sup> Street where a nine foot setback is established. The existing setbacks as outlined below were established with the construction of the office building in 1974 and are not proposed to be changed with the tenant improvements.

The following table shows how the proposed structure complies with the height and area requirements of the General Commercial Neighborhood Corridor Overlay zone, pursuant to Chapter 17.60 and Chapter 17.164 of the Zoning Code:

<b>Table 4: Height and area standards</b>			
<b>Standard</b>	<b>Required</b>	<b>Existing</b>	<b>Deviation</b>
Height	35 feet	26 feet	None
Front setback (S Street)	7.5 feet for a structure between 15' and 26' high	1 foot	Yes= building existing – no variance required
Rear setback	0	0	None
Street side setback (13 <sup>th</sup> Street)	5 feet	9 feet	None
Interior side setbacks	0 (if adjacent to a public alley)	0	None
Building Size	Maximum 40,000' in C-2 without special permit	20,000'	None

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As indicated above, the project meets the height and area requirements and is not required to obtain a variance.

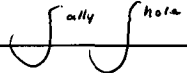
### **Signage, Landscaping, and Trash Enclosures**

The subject property is located within the Central City Design Review District; therefore any exterior work, including any proposed signage, is subject to Design Review approval. The elevation drawings include Braille text proposed around building façade visible from both 13<sup>th</sup> and S Streets, which has been determined to be "sculpture art" and not signage by Design Review staff and approved subject to the conditions of approval of Design Review file DR06-231. Any future signage proposed will require review and approval of Design Review staff prior to the issuance of a sign permit.


Because the lot is already developed and the commercial building was recently used as an office, the proposed landscaping improvements are minimal. The dog rest area has been conditioned to provide appropriate landscaping and a large shade tree as determined by the City Arborist. The existing landscaping is to remain for the street elevations of the building and no impact to the existing street trees is proposed.

The existing parking lot, which was established with the construction of the building in 1974, does not meet the current requirement to provide 50% tree shading for all parking areas. The zoning ordinance does not require existing nonconforming parking facilities to comply with the tree shading requirement unless the lot is expanded by an amount, in area or number of spaces, equal to or greater than 50% within any continuous three-year period. The proposed site improvements do not include an expansion of the existing parking lot area. In fact, the parking lot area is being reduced to provide for the dog rest area and to provide additional ADA parking spaces in compliance with current accessibility standards.

The project has been conditioned to provide a new trash enclosure within the parking lot which is to be reviewed and approved by Design Review staff. The trash enclosure is proposed to be located off of the alley within parking space number eleven on the site plan which has not been calculated in the total number of parking spaces provided. Because the existing trash enclosure is located on the adjacent parcel not part of this project, a new trash enclosure is required to be provided to meet the zoning code requirements.

Respectfully submitted by:  Sally Shore  
Assistant Planner

Recommendation Approved:

  
Jeanne Corcoran  
Senior Planner

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Attachments

Attachment 1

Attachment 2

Exhibit A

Exhibit B

Exhibit C

Exhibit D

Exhibit E

Recommended Findings of Fact and Conditions of Approval

Land Use & Zoning Map

Site Plan

Ground Floor Plan

Second Floor Plan

Elevations

Letter from Applicant

**Attachment 1**

**Recommended Findings and Conditions of Approval  
Society for the Blind (P06-156)  
1238 S Street**

**RECOMMENDED FINDINGS OF FACT:**

Staff recommends that the Planning Commission make the following findings of fact:

- A. Environmental Determination:** The Planning Commission finds that the project is categorically exempt from environmental review pursuant to Section 15332 of the California Environmental Quality Act (CEQA). The project has been determined to have no significant effect on the environment and is therefore exempt from environmental review of the California Environmental Quality Act (CEQA) Guidelines.
- B. The Special Permit** to develop a teaching facility (school) on .44± net acres in the General Commercial Neighborhood Corridor Overlay (C-2-NC) zone is approved subject to the following Findings of Fact:
1. The project is based upon sound principles of land use in that that no significant changes are proposed to adaptively reuse the building for the school, and the school is a complementary use to the surrounding residential uses to the south and the primarily office and commercial development to the east, west and north.
  2. The project will not be detrimental to the public health, safety and welfare in that the proposed use will not result in significant noise impacts, nor impacts to on-street parking.
  3. The project is consistent with the General Plan and Central City Community Plan in that
    - a. The use is consistent with the current General Plan and Central City Community Plan (office, commercial) land use designations for the site.
    - b. The project is consistent with General Plan and Central City Community Plan goals and policies related to the provision of educational facilities, and the reuse of existing structures within in the Central City.
- C. The Variance** to allow less than required maneuverability for existing onsite parking spaces on .44± net acres in the General Commercial Neighborhood Corridor Overlay (C-2-NC) zone is approved subject to the following Findings of Fact:

1. The variance is not a special privilege extended to one individual property owner in that the full development of the site is constrained by the limitation of the existing building footprints which limits the existing maneuverability for the existing parking to the south of the building wall.
2. The variance is not "use" variance because the proposed use is permitted within the zone.
3. The variance is not injurious to the public welfare, nor to property in the vicinity of the applicant in that the reduced maneuverability is existing and has been functioning adequately and that the alley will provide safe maneuvering area for the vehicles parking to the south of the building wall.
4. The variance is consistent with the policies of the General Plan which designates the site as Community/Neighborhood Commercial & Offices in that the reduced maneuvering does not pose new negative impacts upon existing development and is consistent with general plan policies encouraging infill development and the provision of educational facilities within the Central City.

**RECOMMENDED CONDITIONS OF APPROVAL:**

Staff recommends that the Planning Commission approve the **Special Permit** to develop a teaching facility (school) on .44± net acres in the General Commercial Neighborhood Corridor Overlay (C-2-NC) zone and the **Variance** to allow less than required maneuverability for existing onsite parking spaces on .44± net acres in the General Commercial Neighborhood Corridor Overlay (C-2-NC) zone subject to the following conditions of approval:

**Planning**

- BC1. The applicant shall obtain all necessary building and/or encroachment permits prior to commencing construction.
- BC2. The applicant shall comply with the conditions of approval of DR06-231.
- BC3. Any modification to the project shall be subject to review and approval by Planning Department staff prior to the issuance of building permits.
- BC4. The applicant shall complete a lot line merger between parcel numbers 009-0082-008, 009, 010, and 026 prior to the issuance of occupancy permit.
- BC5. Twenty parking spaces shall be provided within the parking lot for the use of the Society of the Blind facility.
- BC6. The required ADA spaces shall be relocated to the west side of the building.
- BC7. The number of regularly registered students utilizing the training facility shall be limited to 40 at any one time.

- BC8. The planter shown on the site plan at the south elevation shall be converted to a path of travel to meet the ADA requirement.
- BC9. The applicant shall provide a trash enclosure that is in compliance with SCC 17.72.040 within the parking lot adjacent to the alley.
- BC10. The applicant shall provide landscaping improvements including replacing deteriorated irrigation and plantings as needed to the existing exterior planters and shall provide appropriate landscaping and irrigation to the dog rest area in addition to the shade tree conditioned below.

#### **Development Engineering**

- BC11. Repair or replace/reconstruct any existing deteriorated curb, gutter and sidewalk fronting the property along S street and 13th street per City standards and to the satisfaction of the Development Engineering Division;
- BC12. All new driveways shall be designed and constructed to City Standards to the satisfaction of the Development Engineering Division;
- BC13. The site plan shall conform to A.D.A. requirements in all respects. This shall include the reconstruction of the ramps at the south-west corner of the intersection of 13th and S streets to the satisfaction of the Development Engineering Division;
- BC14. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Development Engineering Division;
- BC15. The applicant shall paint the curb in-front of the entrance to the building along 13th street to be a loading zone for the Society of the Blind vans. No cutouts in the planter area are allowed. The area for the loading and unloading shall be for 40-feet and shall be to the satisfaction of the Development Engineering Division;
- BC16. The applicant shall require a variance for the required 26-foot maneuvering area for the proposed alley parking. The alley parking shall have a minimum of 22-feet of maneuvering area;
- BC17. The applicant shall not build any of the proposed shelters in the right-of-way (Planter area). Instead the applicant shall utilize the existing 9-foot building setback to construct a shelter/canopy if approved by the development Services Department;

#### **Urban Forest Services**

- BC18. Install concrete mow strips across the park strip to create a turf free 7.5' x 12' planter within the park strip along 13th Street 18' to 20' from the north edge of

the city park strip along 13th Street and 18' to 20' from the south end of the park strip along 13th Street. The stump left from the Elm tree removal will be removed and replaced by the Urban Forest Services Division (UFS). Two additional trees will be added to the park strip by UFS within the provided mow strip planters. Please contact Duane Goosen 808-4996 of UFS with any questions regarding the placement of the mow strips.

- BC19. All park strip trees are to be mulched w/ wood chips (playground fiber or coarser) to a depth of approximately 3", (minimum area of 8'x 8').
- BC20. All park strip trees shall have no groundcover or shrubs planted within 4 feet of the trunk.
- BC21. Enlarge the planter proposed within the dog rest area to 8' x 8' and provide a large shade canopy tree with two irrigation bubblers and mulch wood chips (playground fiber or coarser) to a depth of approximately 3".

#### **Utilities**

- BC22. Only one domestic water service is allowed per parcel. Any new domestic water services shall be metered. Excess domestic water service shall be abandoned
- BC23. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project and prepare plans to control urban runoff pollution from the project site during construction.

#### **Advisory Notices**

##### **Fire**

- 1. An automatic fire sprinkler system shall be installed and equipped with an electronic monitoring system as follows: An automatic fire sprinkler system shall be installed in any portion of a building when there is a change of occupancy and the floor area of that portion of the building which is changed exceeds 4,999 square feet. Refer to UBC Section 302.1 for accessory use. (City Code 15.36.1003 Amendment of Article 10, Section 1003, fire extinguishing systems.)
- 2. Installation of an automatic fire sprinkler system may require additional hydrants. Provide any required fire hydrants in accordance with CFC 903.4.2 and Appendix III-B, Section 5.

##### **Police**

- 3. Employee / pedestrian, unit entry, storage, linen, laundry, mechanical, electrical, maintenance, and roof access doors shall be of solid core wood or hollow sheet metal with a minimum thickness of 1 3/4 inches and shall be secured by a deadbolt lock with a minimum throw of one inch.

4. A 180 degree viewing device (or peephole) shall be installed in office, administration, delivery, and registration area entry doors to screen persons before allowing entry.
5. Outside hinges on all exterior doors shall be provided with non-removable pins when pintype hinges are used or shall be provided with hinge studs, to prevent removal of the door.
6. Exterior doors into hallways and doors leading into stairwells shall have self locking (dead latch) devices allowing egress to the exterior of the building or stairwell but requiring a key to be used to gain access to the interior of the building from the outside or into the hallway from the stairwell.
7. Exterior doors into buildings and doors leading into stairwells shall be equipped with self-closing devices.
8. Locate door locks a minimum of 40 inches from adjacent windows where possible.
9. Windows shall be constructed so that when the window is locked it cannot be lifted from the frame (sliding).
10. The sliding portion of a sliding glass window shall be on the inside track.
11. Window locking devices shall be capable of withstanding a force of 200 pounds in any direction.
12. Secondary locking devices are required on ground floor windows and any windows accessible from outside connecting balconies.
13. The address number of every commercial building (exterior) shall be illuminated during the hours of darkness so that it shall be easily visible from the street. The numerals in these numbers shall be no less than ten inches in height and of a color contrasting with the background.
14. Stairwell, hall, and elevator lighting shall be equipped with vandal-resistant lenses and shall remain on at all times.
15. The alarm systems must be approved by the Sacramento Police Department's Alarm Unit.
16. Commercial establishments having one hundred dollars or more in cash on the premises after closing hours shall lock such money in an approved type money safe with a minimum rating of TL-15 or class "C".
17. The cash on hand in the registers shall be limited, and frequent drops into the safe should be made. The safe should be equipped with duress alarm capability.
18. The cash register area shall be covered by a CCTV system with a recorder.
19. Landscaped areas should be planned for maximum growth while at the same time provide unobstructed observation of parking lots, buildings, and pathways; day and night. Maximum height for shrubs is 36" and lowest tree branch should be at least 6'.

20. Parking areas should be laid out to allow a high degree of observation. Close in employee parking for people working late should be provided adjacent to the employee entrances.
21. Use sidewalks, pavement, lighting and landscaping to clearly guide the public to and from entrances and exits.
22. Use fences, walls or landscaping to prevent and or discourage public access to or from dark and unmonitored areas.
23. Entrances should be clearly visible to patrol and the public and held to a minimum number.
24. Security lighting provided for courtyards and entryways.
25. External lighting requirements should consider general lighting level of .50 - 1
26. foot-candle minimum maintained at ground level and fixtures should be equipped with vandal-resistant covers.
27. Intercom and public address systems for stairwells and elevators.
28. A lighting level of 1 foot-candle shall be provided in all open parking areas, roadways, and pedestrian travel areas.
29. All required lighting shall be equipped with vandal resistant covers/lenses.
30. Tire stops shall be installed in all parking spaces that do not overhang a 6-foot wide landscape or sidewalk area.
31. Handicapped spaces shall be clearly marked and properly sign posted.
32. The entrance to the parking areas and other highly visible locations on-site shall be posted with appropriate signs per 22658 (a) CVC to assist in removing vehicles at the property owner/manager's request.
33. Elevators shall be equipped with a convex mirror to allow surveillance of the interior prior to entry into the car.
34. The developer/applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours. A security person shall be provided to patrol the project after normal working hours during all phases of construction, and adequate security lighting shall be provided to illuminate vulnerable equipment and materials.
35. The applicant shall post the property "No Trespassing" and must include on the sign (602 k pc and the Sac. City Code).
36. No public telephone shall be installed or maintained on the exterior of the premises.
37. The applicant shall be responsible for the daily removal of all litter generated by the business, from the subject site, adjacent properties and streets.
38. All dumpsters must be kept locked.
39. The applicant shall agree to a "good neighbor policy." The "good neighbor policy" shall require that if any significant problems arise and the city receives


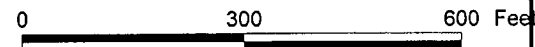
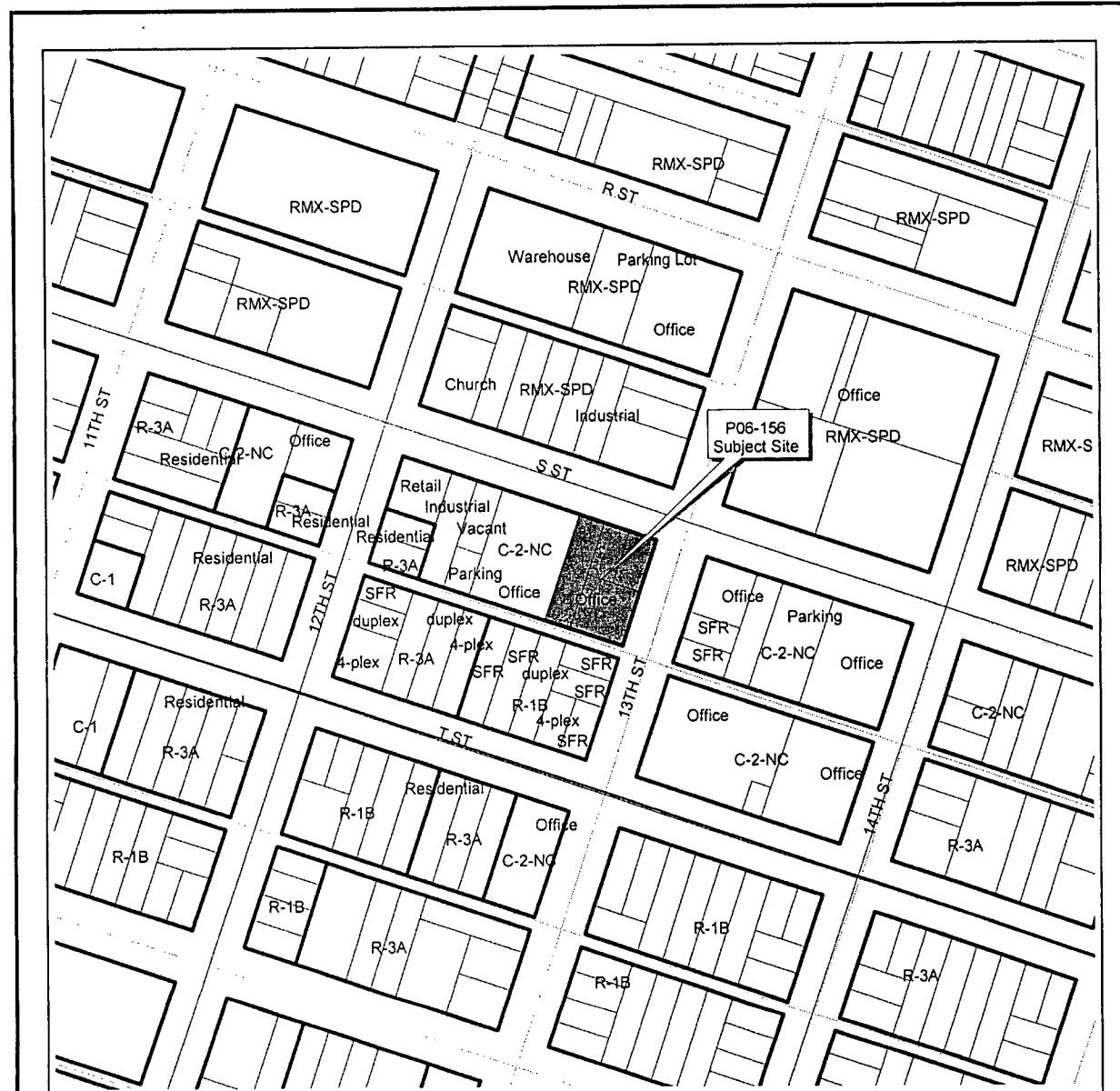
complaints about the use, the City will commence with Special Permit revocation hearings at the cost of the property owner. The revocation hearing shall be at the discretion and direction of the Planning Commission.

40. Restrict access to roofs by way of dumpsters, loading docks, stacked items, etc.
41. Use interior shelving and displays no higher than five feet and even less in front of windows.
42. Windows shall not be covered with signage.....to allow passing patrol officers visibility and employees visibility of the exterior.
43. Separate loading zones, with designated delivery hours, from public parking areas.
44. Close in parking should be available for nighttime employees.
45. Position restrooms to be visible or observable from nearby offices or reception area.
46. Each entrance, exit and balcony must have it's own exterior light source that remains on from dusk till dawn.

#### **Utilities**

47. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the fire suppression systems.
48. This project is served by the Combined Sewer System (CSS). Therefore, the developer/property owner will be required to pay the Combined Sewer System Development Fee prior to the issuance of any building permit. The impact to the CSS due to the change of use is estimated to be 0 ESD. The Combined Sewer System fee at time of building permit is estimated to be \$0 per unit plus any increases to the fee due to inflation and credit for existing sanitary sewer flows from the site
49. The proposed project is located in the Flood zone designated as a Shaded X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) that have been revised by a Letter of Map Revision effective February 18, 2005. Within the Shaded X zone, there are no requirements to elevate or flood proof.

Attachment 2 – Land Use & Zoning Map



Development Services  
Department

Geographic  
Information  
Systems

June 1, 2006

### Land Use & Zoning P06-156

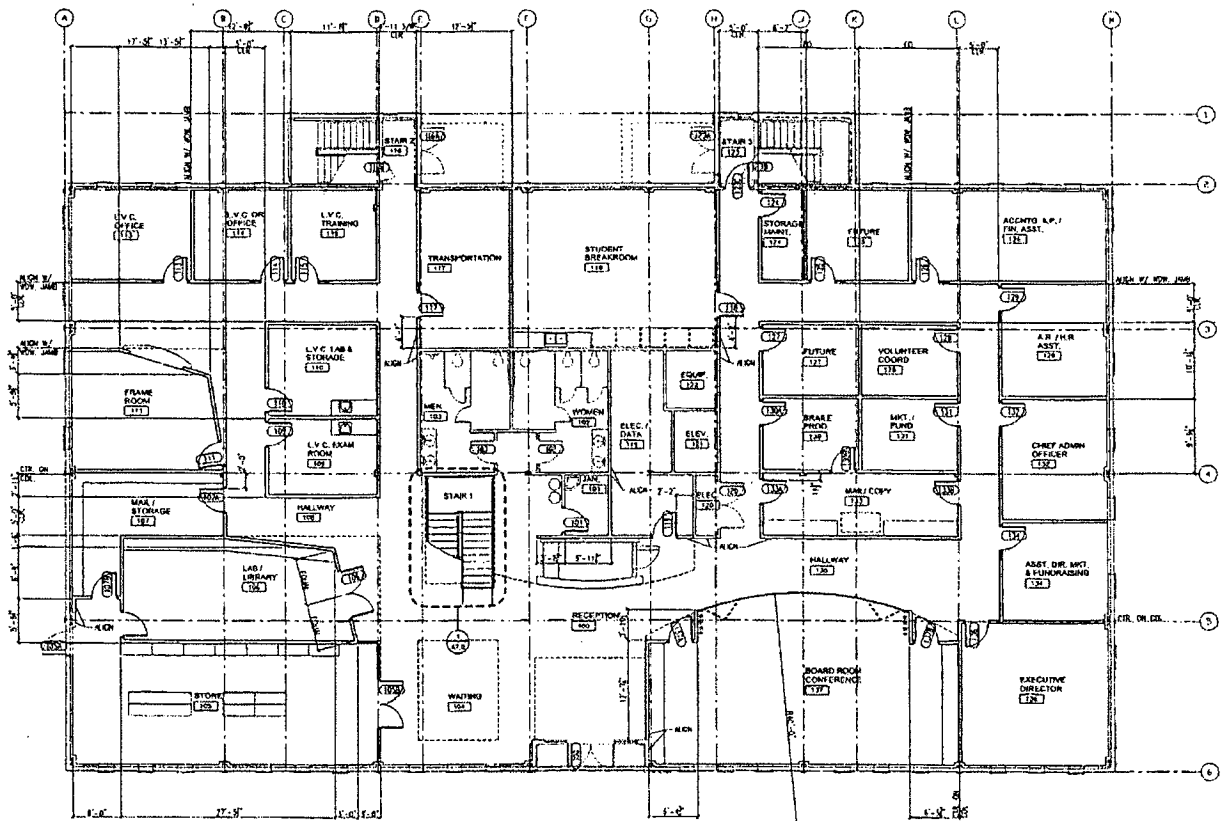






Subject: Society for the Blind (P06-156)

October 26, 2006

Exhibit B - 1st Floor Plan



**WALL LEGEND**

-  NEW 2x4 STUD WALL W/ 5/8" GYP. BD. CA. SIDE AND BATT INSULATION, F.R. TO 60' ABOVE C.E.G.
-  NEW 1 HR. RATED 2x4 STUD WALL W/ 5/8" GYP. BD. CA. SEC. 708, F.R. TO ROOF STRUCTURE

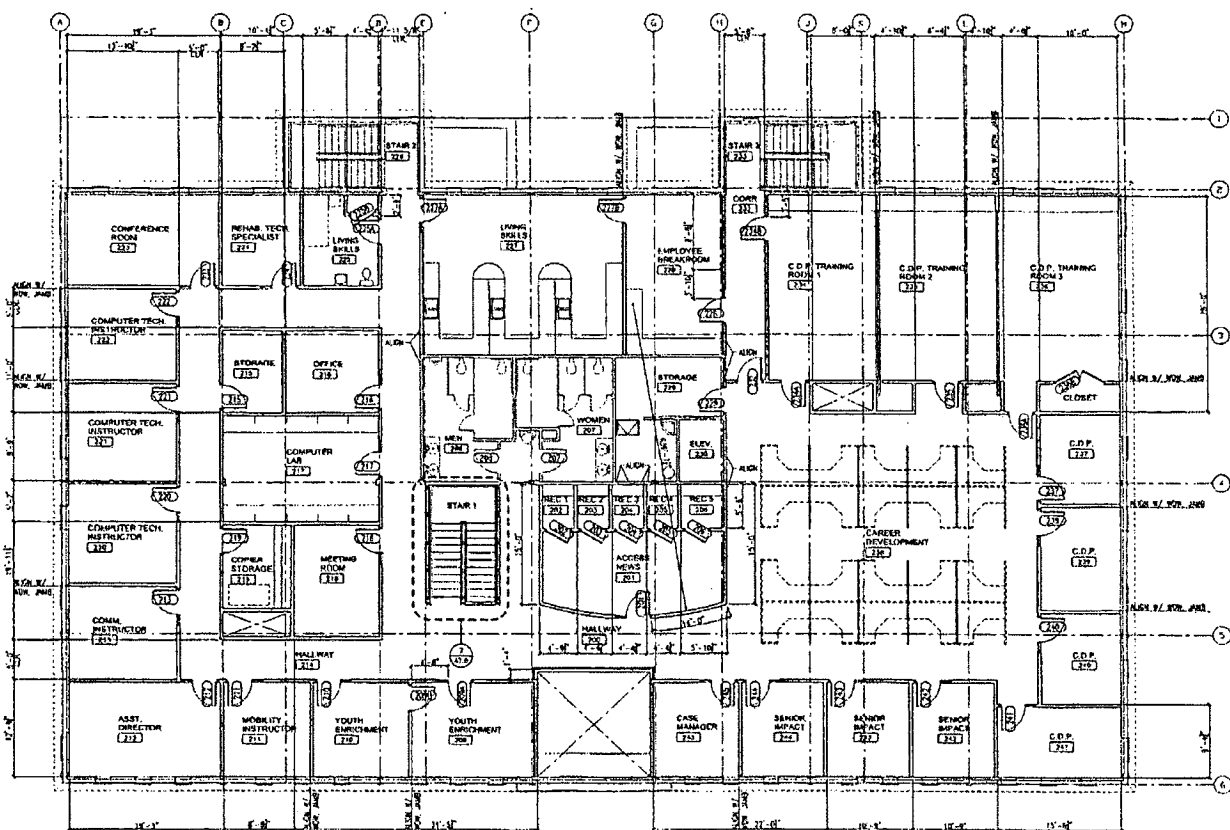
1 FLOOR PLAN - FIRST FLOOR





Subject: Society for the Blind (P06-156)

October 26, 2006

Exhibit C - 2<sup>nd</sup> Floor Plan



**WALL LEGEND**

-  NEW 2x4 STUD WALL W/ 5/8" GYP. BD. EX. SIDE AND BATT INSULATION, FLR. TO EB" ABOVE CLG.
-  NEW 1 HR. RATED 2x4 STUD WALL W/ 5/8" GYP. BD. EX. SIDE, FLR. TO ROOF STRUCTURE

1 FLOOR PLAN - SECOND FLOOR  
1/4" = 1'-0"



Exhibit D: Elevations

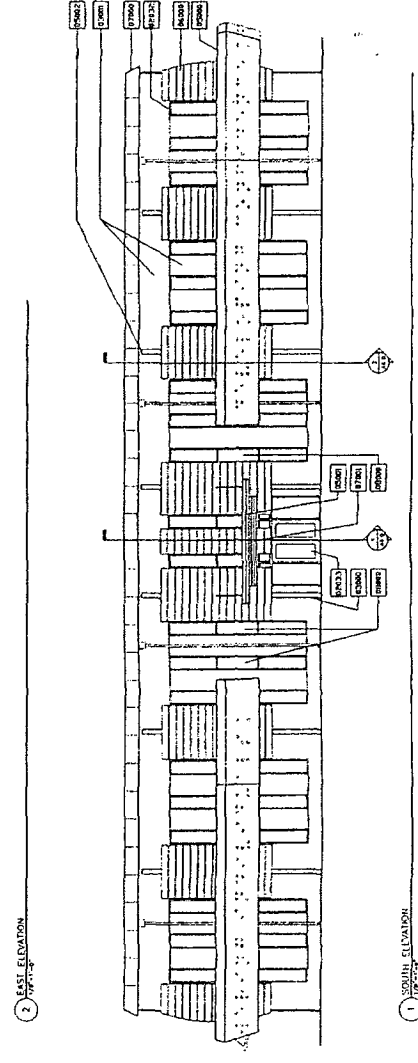
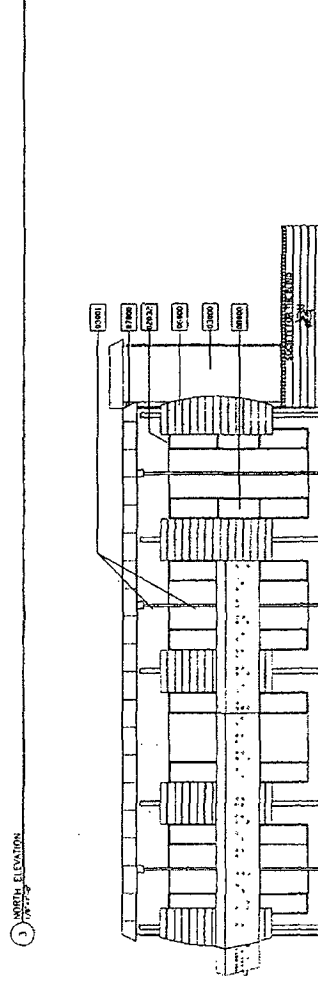
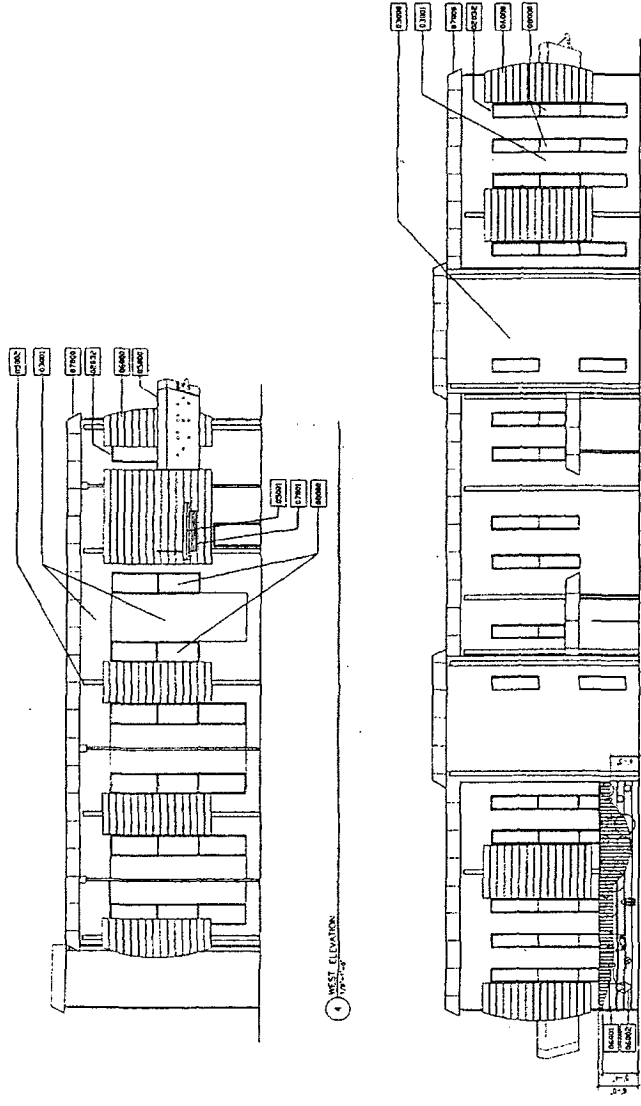


Exhibit E: Letter from Applicant



July 14, 2006

**Board of Directors**

*President:*  
Stephen M. Lerner  
McDonough, Holland &  
Allen

*Vice President:*  
Steven Scott  
Vision Service Plan

*Secretary:*  
Mike May  
Sendero Group

*Treasurer:*  
Michael Hodgdon  
Silverado Bank

Paul Peterson, D.C.

Bob Pugh  
Sacramento Yacht Club

Paul Carver  
Governor's Office of  
Emergency Services

Michael Moore, M.D.

Doris Flint

Palmer Lee, O.D.

Tim Ray  
at&t California

Susan Prudler

Kevin B. Duggan  
*Executive Director*  
*Society for the Blind*

Mr. Ray Kerridge  
City Manager  
915 "I" Street, 5<sup>th</sup> Floor  
Sacramento, CA 95814

Dear Mr. Kerridge,

Since 1954, Society for the Blind has been providing necessary rehabilitation services to blind and visually impaired people throughout the Sacramento Region. For almost 40 years, we have been operating out of a small, inadequate building on 24<sup>th</sup> Street. We have felt the pressure of expanding our programs and increasing our services in order to keep up with the growing needs and population of the Sacramento community. At the end of last year, in an effort to meet these needs, we procured a 20,000 square foot building located at 1238 "S" Street. This building sits on four existing parcels that need to be merged. We were able to purchase it for roughly two-thirds of its market value due to the philanthropy of a local developer.

Much like our current building, which was created more for recreation than rehabilitation, this new building does not have the classrooms, offices and work areas necessary for the success of the clients of Society for the Blind. With the assistance of several community organizations and corporations, we are embarking on a significant tenant improvement project to ensure that the internal structure of the building will allow the Society to reach its full potential and meet the needs of the 30,000 visually impaired individuals throughout the Sacramento Region who could benefit from our services.

Thus far we have received a great deal of support from the City of Sacramento – including Rob Fong and his staff, and the City's Development Services Department. We have reached out to the public and have held two community informational meetings with our Consumer Advisory Committee and Executive Board. In addition, on June 20<sup>th</sup>, we held an open house to which we invited over 2000 local business, industry professionals and supporters of Society for the Blind. These community events have inspired public awareness about the Society for the Blind and strengthened our support from the community.

As a 501(c) 3 nonprofit organization (Federal Tax ID # 94-1384666), the Society for the Blind's resources are extremely limited. We are in the early stages of a capital campaign to raise enough funds to pay off the building's mortgage. This does not even begin to cover the costs associated with the tenant improvement project. However, all of the products and services for the tenant improvement project have been donated thus far. Please see the enclosed list of participating companies.

*The mission of Society for the Blind is to empower individuals who are blind or have low vision to live productively and independently by building confidence through training, tools and mentorship.*

Subject: Society for the Blind (P06-156)

October 26, 2006

Exhibit F: Letter from Applicant (cont.)

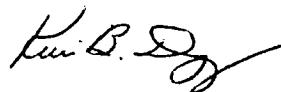


Costs associated with this project include City of Sacramento planning fees of \$7,705.76 and design review fees of \$472.48. Additionally, we understand there will be building permit fees and development engineering fees for the required lot line merger. Given the community involvement in this project, the nature of our organization, and the benefits an improved blindness services facility will bring to the residents of the City of Sacramento, I am requesting that the City of Sacramento demonstrate their support by waiving the fees associated with this tenant improvement project.

Thank you for your consideration and assistance as we work to maximize the quality of life for people with vision loss by providing them with the tools and skills necessary to achieve and maintain success and independence.

If you have any further questions, or would like additional information regarding this project and/or Society for the Blind, please contact me directly at (916) 452-8271, extension 304.

Sincerely,



Kevin B. Duggan  
Executive Director

cc:

David Kwong  
Robert Chase  
William Thomas  
Rob Fong

*The mission of Society for the Blind is to empower individuals who are blind or have low vision to live productively and independently by building confidence through training, tools and mentorship.*