

## CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Gardner-Feusi Company, 1722 Professional Dr., Suite C., Sac., CA 95825  
OWNER U. S. Machinery, P. O. Box 15099, Sacramento, CA 95851  
PLANS BY Gardner-Feusi Company, 1722 Professional Dr., Suite C., Sac., CA 95825  
FILING DATE 4/9/87 ENVIR. DET. Cat. Ex. 15061(b)(3) REPORT BY JH.vf  
ASSESSOR'S-PCL. NO. 215-0241-008

**APPLICATION:** Plan Review to allow a detached 5,200 square foot metal storage building on 9.1 partially developed acres in conjunction with a previously approved heavy equipment assembly building in the Light-Industrial-Review (M-1R) zone.

**LOCATION:** Northeast corner of Raley Boulevard and Vinci Avenue

**PROPOSAL:** The applicant is requesting the necessary entitlements to construct a 5,200 square foot 65 x 80 foot building, 34 feet high for storage of metal parts.

### PROJECT INFORMATION:

1974 General Plan Designation:	Industrial
1984 North Sacramento Community Plan Designation:	Industrial
Existing Zoning of Site:	M-1 (R)
Existing Land Use of Site:	U. S. Machinery 42,000 sq. ft. assembly building under construction

### Surrounding Land Use and Zoning:

North: Vacant; M-1 (R)  
South: Vacant; M-1 (R)  
East : Vacant; M-1 (R)  
West : Vacant; M-1 (S) (R)

Parking Required:	5 spaces for new building
Parking Provided:	5 spaces on overall site plan
Property Dimensions:	660 ft. x 660 ft.
Property Area:	9.2+ acres
Square Footage of Building:	5,200 square feet
Height of Building:	34 feet
Topography:	Flat
Street Improvements:	To be installed
Utilities:	To be extended
Exterior Building Materials:	Metal panel, steel frame
Roof Material:	Metal panel

### PROJECT BACKGROUND:

On June 12, 1986, the Planning Commission approved a Plan Review to construct a 42,000 square foot heavy equipment assembly building and offices on 10+ vacant

APPLC. NO. P87-186 MEETING DATE May 28, 1987 ITEM NO. 26

002222

acres. The project is nearing completion and the applicant wishes to relocate an existing 65 ft. by 80 ft. metal building, 34 ft. in height which has been disassembled from the former U. S. Machinery construction site to the new site.

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site contains 10+ acres and is currently zoned Light Industrial-review (M-1R) zone. The 1984 North Sacramento Community Plan designates the site as Industrial. Current land use is a 37,000 square foot, 38 foot high steel assembly building, 100 feet wide and 352 feet long and a 5,277 square foot, two story office building. A 3.7+ acre area located north of the warehouse concrete is proposed for outdoor vehicle and equipment storage. The proposed 5,200 square foot storage building is proposed to be constructed north of the new warehouse assembly building as shown on the site plan.

B. Site Design and Elevations

The 5,200 square foot warehouse building is to be constructed north of the existing concrete slab near the outdoor storage area. Staff notes that the metal building has four sets of roll-up doors proposed for the north and south elevations. The building is currently painted a dark blue. The applicant will be repainting the building once reassembled to match the new assembly building colors.

The warehouse building will be constructed on a concrete slab. Staff recommends that a minimum of 40 feet of all weather surfacing be constructed around the perimeter of the new warehouse due to fork lift and truck traffic.

No additional parking was shown on the revised site plan. A total of five parking spaces are required for the new structure which must meet City standards for design, back out maneuvering and tree shading. Staff recommends that the revised site plan show five additional parking spaces meeting city Zoning Ordinance requirements. They may be located adjacent to the existing parking lot or on an area near the warehouse building.

C. Agency Comments

The proposed project was reviewed by the various City Departments with no comments received.

ENVIRONMENTAL DETERMINATION: The proposed project is exempt from environmental review pursuant to State EIR guidelines (CEQA Section 15061(b)(3)).

RECOMMENDATION: Staff recommends the following action:

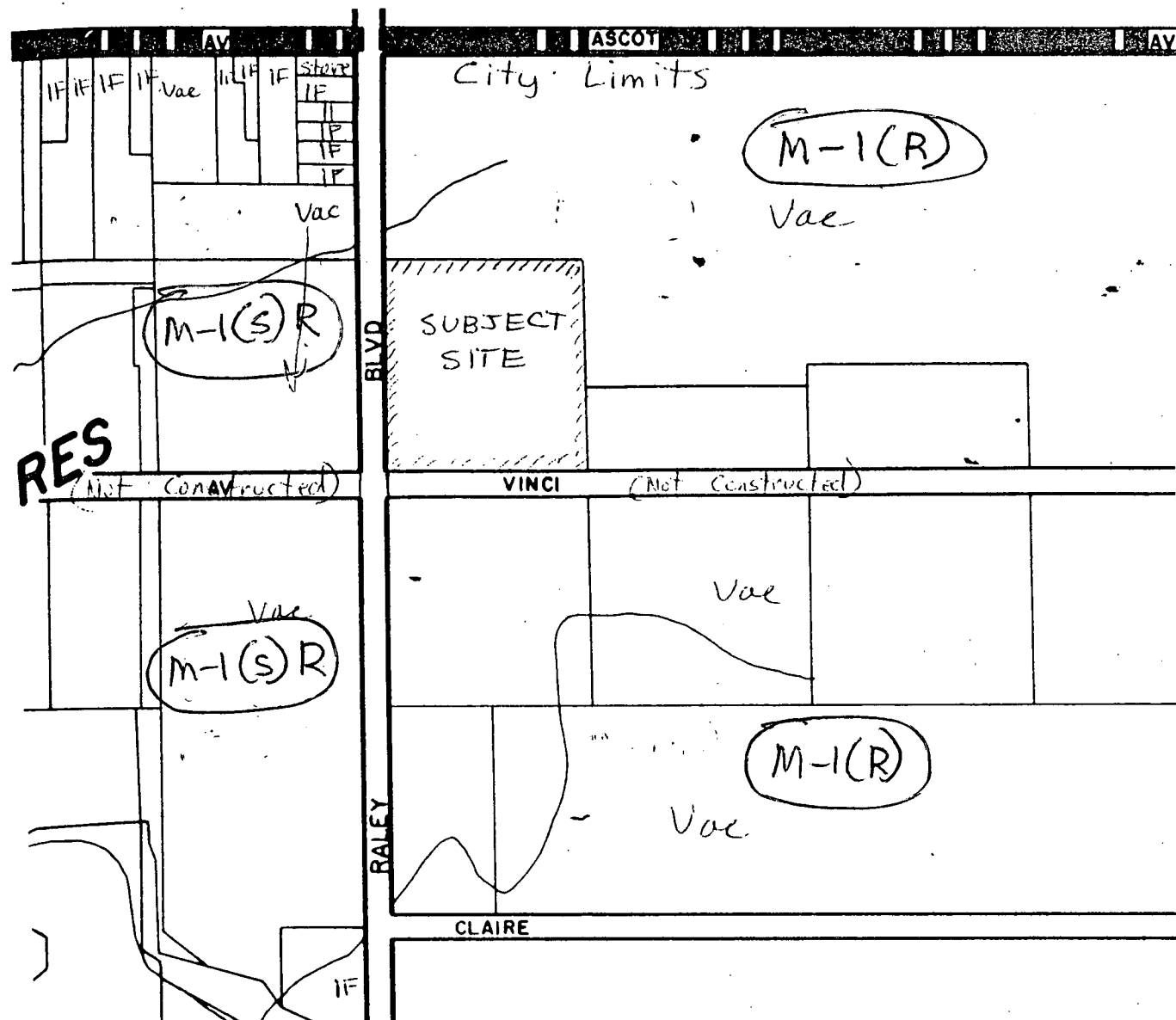
Approval of the Plan Review subject to conditions and based upon findings of fact which follow.

Conditions: Plan Review

1. The applicant shall revise the master site plan to show five additional parking spaces meeting the City Zoning Ordinance and Tree Shading Ordinance requirements. The master site plan and revised landscape plans shall be reviewed and approved by the Planning Director prior to issuance of building permits for the warehouse.
2. The warehouse building shall be painted the same color as the main manufacturing and assembly building.
3. The warehouse shall be constructed on a concrete foundation with a minimum of 40 feet of all weather surface around the perimeter of the warehouse.
4. The applicant shall comply with all conditions of approval of the previous Plan Review Permit, (P86-160).

Findings of Fact/Plan Review

1. The project, as conditioned, is based upon sound principles of land use in that the proposed warehouse use is compatible with proposed industrial land uses.
2. The proposed project will not be injurious to the public health, safety or welfare nor to surrounding properties in that adequate landscaping, on-site parking and infrastructure will be provided.
3. The proposed project is consistent with the City's Discretionary Interim Land Use Policy in that the site is designated for industrial use by the 1984 North Sacramento Community Plan and the proposed warehouse use conforms with the plan designation.



Zoning - Entire Area M-1(R)  
 Land Use - Vacant unless otherwise noted

N  
 ↑  
 Scale: 1"=500'

## VICINITY - LAND USE - ZONING

P-87-186

002225

5-28-87

item 26



ARCHITECTS

1000 1/2 ST. N. SEASIDE, CALIF.

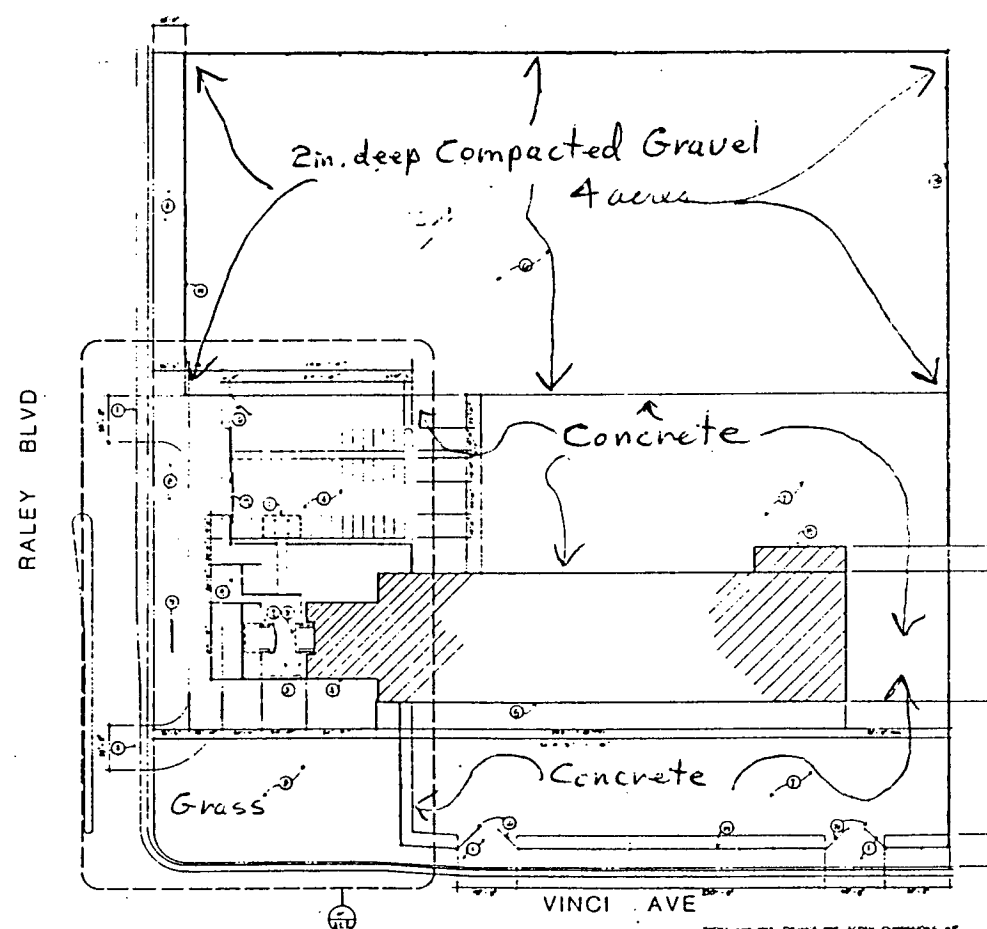
OVERALL  
SITE  
PLAN

SITE PLAN

A 1.1

# KEYNOTES

1. Boundary line (see sheet 1000).
2. Main entry driveway.
3. Plaza, see note on sheet 1000.
4. Driveway, see note on sheet 1000.
5. Paved surface (see sheet 1000).
6. Concrete driveway, see sheet 1000.
7. Concrete driveway, see sheet 1000.
8. Concrete driveway, see sheet 1000.
9. Concrete driveway, see sheet 1000.
10. Concrete driveway, see sheet 1000.
11. Concrete driveway, see sheet 1000.
12. Concrete driveway, see sheet 1000.
13. Concrete driveway, see sheet 1000.
14. Concrete driveway, see sheet 1000.
15. Concrete driveway, see sheet 1000.
16. Concrete driveway, see sheet 1000.
17. Concrete driveway, see sheet 1000.
18. Concrete driveway, see sheet 1000.
19. Concrete driveway, see sheet 1000.
20. Concrete driveway, see sheet 1000.
21. Concrete driveway, see sheet 1000.
22. Concrete driveway, see sheet 1000.
23. Concrete driveway, see sheet 1000.
24. Concrete driveway, see sheet 1000.
25. Concrete driveway, see sheet 1000.
26. Concrete driveway, see sheet 1000.
27. Concrete driveway, see sheet 1000.
28. Concrete driveway, see sheet 1000.
29. Concrete driveway, see sheet 1000.
30. Concrete driveway, see sheet 1000.
31. Concrete driveway, see sheet 1000.
32. Concrete driveway, see sheet 1000.
33. Concrete driveway, see sheet 1000.
34. Concrete driveway, see sheet 1000.
35. Concrete driveway, see sheet 1000.
36. Concrete driveway, see sheet 1000.
37. Concrete driveway, see sheet 1000.
38. Concrete driveway, see sheet 1000.
39. Concrete driveway, see sheet 1000.
40. Concrete driveway, see sheet 1000.
41. Concrete driveway, see sheet 1000.
42. Concrete driveway, see sheet 1000.
43. Concrete driveway, see sheet 1000.
44. Concrete driveway, see sheet 1000.
45. Concrete driveway, see sheet 1000.
46. Concrete driveway, see sheet 1000.
47. Concrete driveway, see sheet 1000.
48. Concrete driveway, see sheet 1000.
49. Concrete driveway, see sheet 1000.
50. Concrete driveway, see sheet 1000.
51. Concrete driveway, see sheet 1000.
52. Concrete driveway, see sheet 1000.
53. Concrete driveway, see sheet 1000.
54. Concrete driveway, see sheet 1000.
55. Concrete driveway, see sheet 1000.
56. Concrete driveway, see sheet 1000.
57. Concrete driveway, see sheet 1000.
58. Concrete driveway, see sheet 1000.
59. Concrete driveway, see sheet 1000.
60. Concrete driveway, see sheet 1000.
61. Concrete driveway, see sheet 1000.
62. Concrete driveway, see sheet 1000.
63. Concrete driveway, see sheet 1000.
64. Concrete driveway, see sheet 1000.
65. Concrete driveway, see sheet 1000.
66. Concrete driveway, see sheet 1000.
67. Concrete driveway, see sheet 1000.
68. Concrete driveway, see sheet 1000.
69. Concrete driveway, see sheet 1000.
70. Concrete driveway, see sheet 1000.
71. Concrete driveway, see sheet 1000.
72. Concrete driveway, see sheet 1000.
73. Concrete driveway, see sheet 1000.
74. Concrete driveway, see sheet 1000.
75. Concrete driveway, see sheet 1000.
76. Concrete driveway, see sheet 1000.
77. Concrete driveway, see sheet 1000.
78. Concrete driveway, see sheet 1000.
79. Concrete driveway, see sheet 1000.
80. Concrete driveway, see sheet 1000.
81. Concrete driveway, see sheet 1000.
82. Concrete driveway, see sheet 1000.
83. Concrete driveway, see sheet 1000.
84. Concrete driveway, see sheet 1000.
85. Concrete driveway, see sheet 1000.
86. Concrete driveway, see sheet 1000.
87. Concrete driveway, see sheet 1000.
88. Concrete driveway, see sheet 1000.
89. Concrete driveway, see sheet 1000.
90. Concrete driveway, see sheet 1000.
91. Concrete driveway, see sheet 1000.
92. Concrete driveway, see sheet 1000.
93. Concrete driveway, see sheet 1000.
94. Concrete driveway, see sheet 1000.
95. Concrete driveway, see sheet 1000.
96. Concrete driveway, see sheet 1000.
97. Concrete driveway, see sheet 1000.
98. Concrete driveway, see sheet 1000.
99. Concrete driveway, see sheet 1000.
100. Concrete driveway, see sheet 1000.



NOTE: SEE CIVIL DRAWING FOR KITCHEN DIMENSIONS OF  
SITE AND BUILDING FOOTPRINT

EXHIBIT B

P-87-186

5-28-87

P-86-160

June 12, 1986

Steve 36

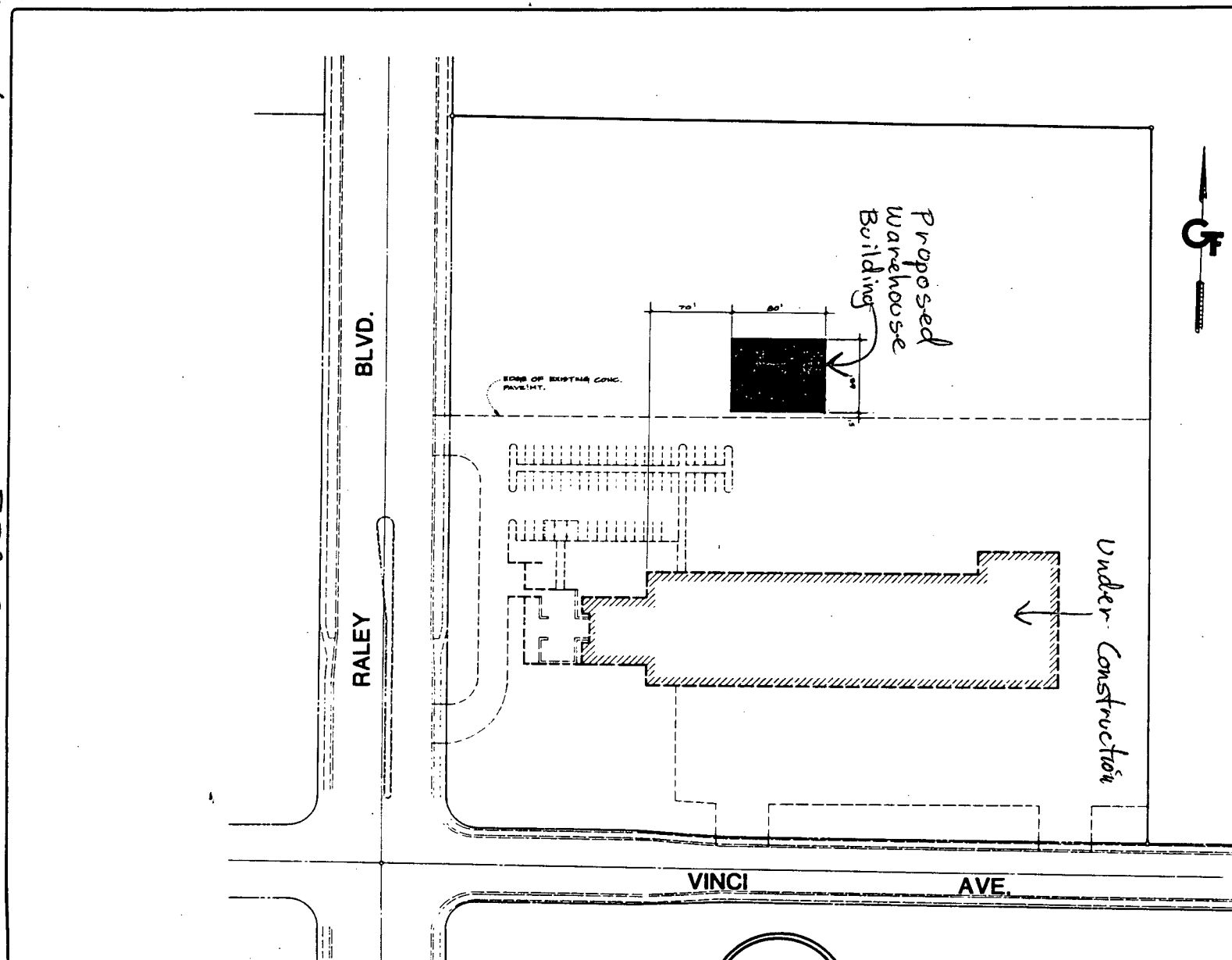
Steve 36

P-87-186

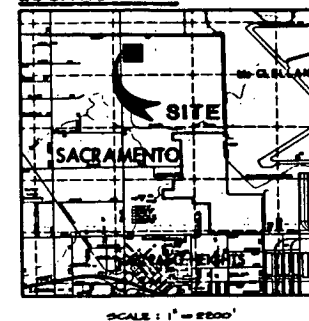
5-28-87

check

002227



#### LOCATION MAP



#### SITE RESUME

OWNER : US MACHINERY  
 SITE ADDRESS : 8400 RALEY BLVD  
 A.P. NUMBER : 215-241-05  
 PROPOSED USE : STORAGE  
 EXISTING USE : NONE  
 LOT SIZE : 10.00 ACRES (GROSS)

#### PARKING RESUME

SEE PREVIOUS BLOCK PERMIT  
 FOR 8400 RALEY BLVD.

#### BUILDING RESUME

BUILDING AREA : 5,200 SQ. FT.  
 EXISTING BLDG : 5,200 SQ. FT.

REVISIONS	DESCRIPTION	DATE
1	APPROVED FOR COUNTY APPROVAL	

BENCHMARK	ELEV.
NOT APPLICABLE	NO

HORIZ SCALE: 1" = 40'	DRAFTED BY: X. J. HU
VERT SCALE: N/A	DESIGNED BY: J. APLAND
SURVEYED BY:	CHECKED BY: R. PRUGH
FIELD BOOK NO:	DATE: JAN. 1987
A.P. NO: 215-241-05	FILE:

**GTE** (916) 482-6177  
 1722 Professional Dr.  
 Suite "C"  
 Sacramento, CA. 95825

**SITE PLAN**

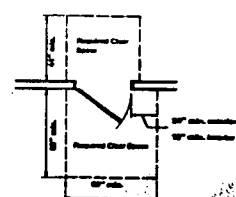
**US MACHINERY  
 AUXILIARY BUILDING**

SHEET  
**C1 of 1**  
 PLAN NO.  
**86-88**

P-87-186

5-28-87

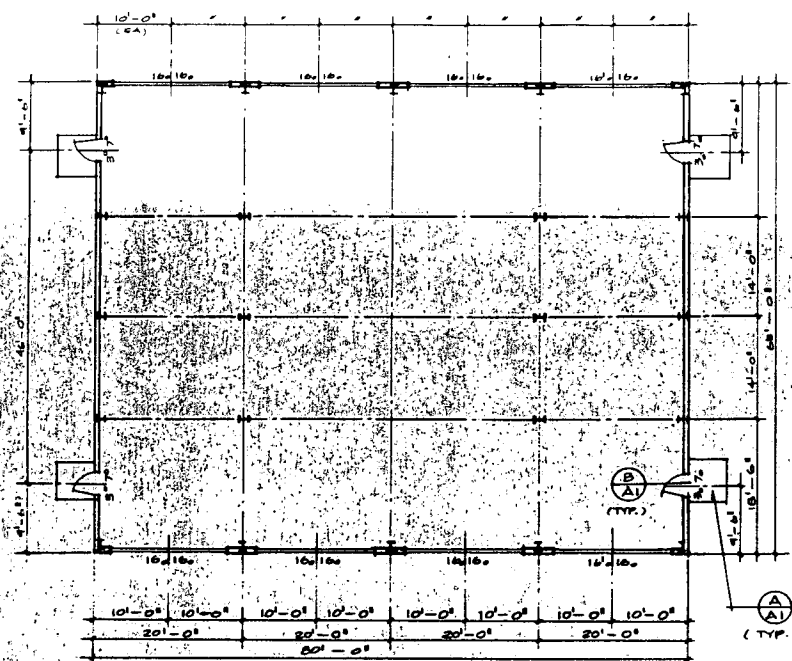
Handwritten



(A) LEVEL FLOOR OR LANDING



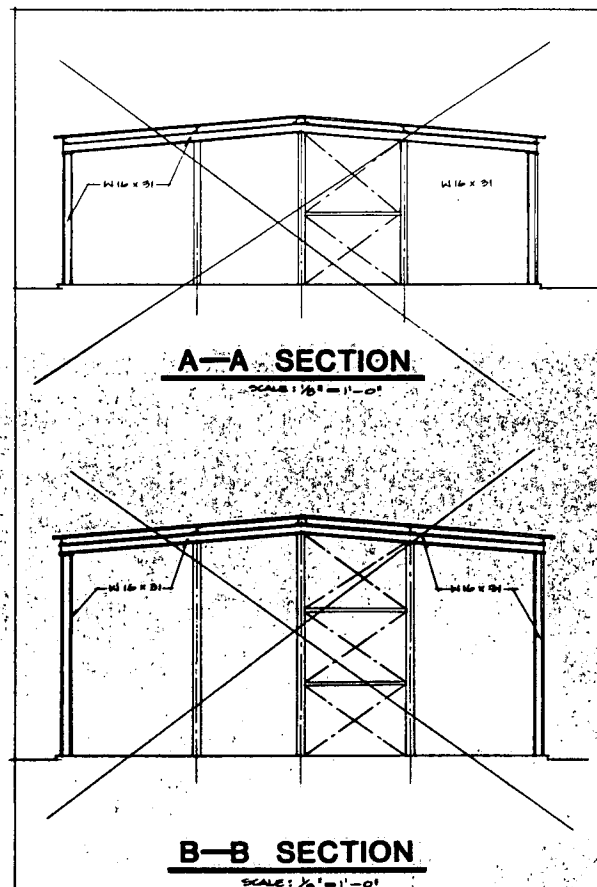
(B) THRESHOLD



FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE:  
STRUCTURAL PROVIDES ARCHITECTURAL  
IF THEY ARE CONFLICTING.



A-A SECTION

SCALE: 1/8" = 1'-0"

B-B SECTION

SCALE: 1/8" = 1'-0"

REVISIONS	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

BENCHMARK  
NOT APPLICABLE

HORIZ. SCALE: 1/8" = 1'-0"  
VERT. SCALE: 1/8" = 1'-0"  
DESIGNED BY: J. A. PUGH  
CHECKED BY: R. PUGH  
FIELD BOOK NO. 1457  
DATE: JAN 1987  
FILE



(912) 482-6177  
1722 Peachtree Dr.  
Suite 100  
Smyrna, GA 30080

FLOOR PLAN  
AND SECTIONS

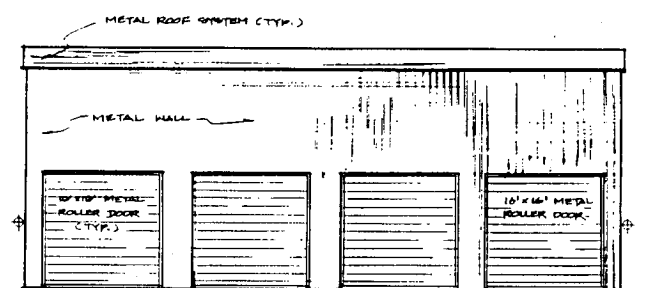
US MACHINERY  
AUXILIARY BUILDING

SER  
A1  
PLAN NO.  
86-68

002229

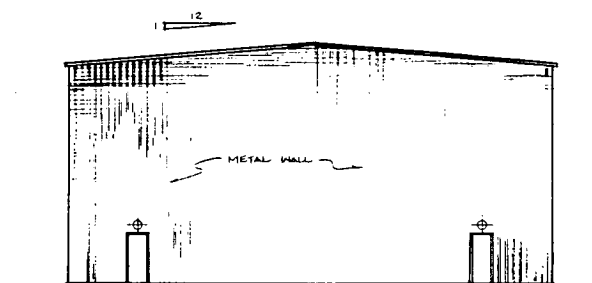
P-87-186

5-28-87



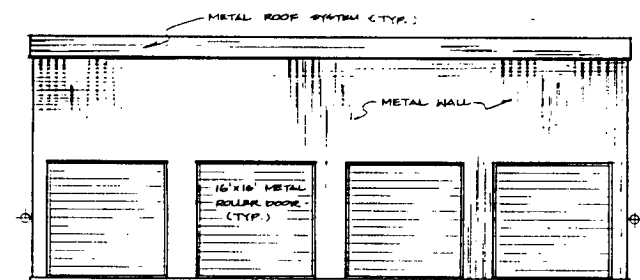
**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



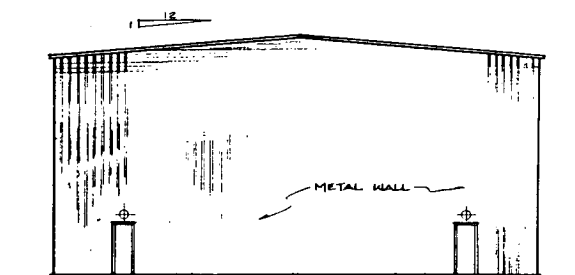
**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

REVISIONS	DESCRIPTION	DATE	COUNTY APPROVAL
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

BENCHMARK	ELEV.
NOT APPLICABLE	

HORIZ SCALE: 1/8" = 1'-0"	DRAFTED BY: K. J. WU
VERT SCALE: 1/8" = 1'-0"	DESIGNED BY: J. A. P. L. S.
SURVEYED BY:	CHECKED BY: K. F. S. G. I.
FIELD BOOK NO.	DATE: JAN. 1987
APP NO: 215-241-05	FILE



(916) 482-5177  
1722 Professional Dr.  
Suite "C"  
Sacramento, CA. 95825

**ELEVATIONS**

**US MACHINERY  
AUXILIARY BUILDING**

SHEET  
A2 OF  
PLAN NO.  
86-68

002231



