

P00-041 NEXTEL PG&E TOWER WIRELESS SITE

REQUEST: A. Environmental Determination (Exemption)

- B. **Special Permit** to increase the height of an existing 74 foot electrical tower to 85 feet in order to add 12 wireless communications antenna panels mounted at 83 feet and 77 feet on the tower located on 0.53± partially developed acres in the Multi-Family (R-2A) zone.

LOCATION: Southeast Corner of Jessie Avenue and Rose Street
Assessor's Pcl. No.237-0200-002
North Sacramento Community Plan Area
Robla School District
Council District 2

APPLICANT: Nextel of California, Inc (Kcammee Vreman), 568-4434
2180 Harvard Street, Ste. 220, Sacramento, CA 95815

OWNER: Pacific Gas and Electric
P.O. Box 770000, San Francisco, CA 94177

APPLICATION FILED: March 16, 2000

STAFF CONTACT: Sandra Yope, 264-7158

SUMMARY: The applicant is requesting to attach three (originally twelve) wireless antenna panels to the top of an existing PG&E high tension lattice tower. The existing 74 foot high tower will be increased to 85 feet to accommodate the panels. The equipment building will be located at ground level behind the tower.

RECOMMENDATION: Staff recommends approval of the project, subject to conditions, based on upon the fact that the antenna panels will be attached to an existing PG &E tower; the location meets the telecommunications siting guidelines, and the project will not impact the existing use of the site nor the adjacent residential land uses.

PROJECT INFORMATION:

General Plan Designation: Medium Density Residential (16-29 du/na)
Community Plan Designation: Residential (11-21 du/na)
Existing Land Use of Site: Vacant and Power lines
Existing Zoning of Site: Multi-Family (R-2A)

Surrounding Land Use and Zoning:

North: R-1; Vacant and Power lines
South: R-2A; Vacant and Power lines
East: R-2A; Residential
West: R-2A; Railroad Tracks

Property Dimensions: 300 feet x 70 feet
Property Area: 0.53± acres
Height of Tower: 74 feet (85 feet proposed)
Topography: Flat
Street Improvements: Existing
Utilities: Existing

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant is required to obtain a building permit from the City's Building Division. Operation of the proposed wireless communication site is regulated by the Federal Communications Commission (FCC).

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The General Plan designates the subject site as Medium Density Residential (16-29 du/na). The North Sacramento Community Plan designates the subject site as Residential (11-21 du/na). The proposed antenna panels are consistent with the land use designations. The proposed project is also consistent with the Zoning Ordinance. The adopted Telecommunications Facility policy encourages collocation of telecommunication projects on existing structures to minimize the number of towers, monopoles and similar structures that are built. The height of the existing lattice tower will be increased by eleven feet to allow for the antennas; however, the addition in height is minimal and is a preferred option than a new pole request.

B. Site Plan Design/Zoning Requirements

The project site consists of 0.53± developed acres in the Multi-Family (R-2A) zone and is vacant except for the PG&E transmission towers. The project initially proposed antenna panels to be attached in a "top-hat" configuration to the top of the lattice transmission tower raising the overall tower height from 74 feet to 85 feet. There would be twelve antennas total. Each panel will be one foot by four feet. Initially, there would have been nine antennas installed at two different heights (six panels centered at 83 feet and three panels

centered at 77 feet). However, PG&E has recently indicated the desire to change out the lattice tower and replace it with a new monopole with three high tension line arms. The applicant has subsequently revised the project application to adjust to the different structure. There will now be only three panels in a cylindrical configuration at the top of the pole. The proposed height will remain the same.

There will also be a 12 foot by 22 foot equipment building located to the south of the lattice tower. The 264 square foot equipment building will be enclosed with a six foot high redwood fence. The cable run will be underground.

The west property line parallels Rose Street. The street is undeveloped, but the Zoning Ordinance requires a 25 foot street side yard setback for all structures in the R-2A zone. The existing tower is located six feet from the west property line. The proposed equipment building will be 12.5 feet from the street side property line; however, the reduced setback is established by the existing tower.

According to the City Zoning Ordinance (Section 2-E-59) a Planning Commission Special Permit is required to locate a communication antenna in a residential zone.

PROJECT REVIEW PROCESS:

A. Environmental Determination

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Sections 15301}.

B. Public/Neighborhood and Business Association Comments

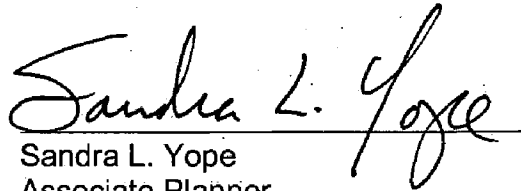
The project has been noticed and staff has received no calls.

PROJECT APPROVAL PROCESS: The Planning Commission has the authority to approve or deny the requested Special Permit. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action.

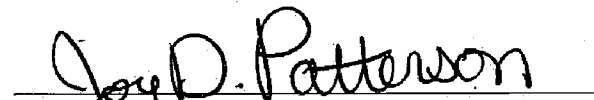
RECOMMENDATION: Staff recommends the Planning Commission take the following action:

- A. Adopt the attached Notice of Decision and Findings of Fact (Attachment 1) with the Environmental Determination that the project is **Exempt** from further environmental review pursuant to the California Environmental Quality Act.
- B. Adopt the attached Notice of Decision and Findings of Fact (Attachment 1) **approving the Special Permit** to increase the height of an existing 74 foot electrical tower to 85 feet in order to add 12 wireless communications antenna panels mounted at 83 feet and 77 feet on the tower located on 0.53± partially developed acres in the Multi-Family (R-2A) zone.

Report Prepared By,


Sandra L. Yope
Associate Planner

Report Reviewed By,


Joy D. Patterson
Senior Planner

Attachments

- Attachment 1 Notice of Decision and Findings of Fact
 - Exhibit B-1 Site Plan
 - Exhibit B-1A Enlarged Area Site Plan
 - Exhibit B-2 Elevations

- Attachment 2 Vicinity/Locator Map

- Attachment 3 Land Use and Zoning Map

ATTACHMENT 1**NOTICE OF DECISION AND FINDINGS OF FACT FOR THE NEXTEL PG&E TOWER WIRELESS SITE, LOCATED AT SOUTHEAST CORNER OF JESSIE AVENUE AND ROSE STREET IN THE MULTI-FAMILY (R-2A) ZONE. (P00-041)**

At the regular meeting of May 25, 2000, the City Planning Commission heard and considered evidence in the above entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. **Environmental Determination (Exemption)**
- B. **Approved the Special Permit to increase the height of an existing 74 foot electrical tower to 85 feet in order to add 12 wireless communications antenna panels mounted at 83 feet and 77 feet on the tower located on 0.53± partially developed acres in the Multi-Family (R-2A) zone.**

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. **Categorical Exemption**: The City Planning Commission finds and determines that the proposed project is exempt from environmental review pursuant to Section 15301 of the California Environmental Quality Act.
- B. **Special Permit**: The Special Permit for the proposed antenna panels is approved subject to the following finding of fact:
 - 1. Granting the Special Permit is based upon sound principles of land use in that:
 - a. the wireless equipment will be added to an existing 74 foot high electrical tower with other equipment; and
 - b. the proposed site is consistent with wireless facility siting and design guidelines and policy.
 - 2. Granting the Special Permit would not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
 - a. the proposed wireless antenna panels will be attached to an 11 foot height extension of the existing 74 foot high electrical tower; and
 - b. the design and location of the antenna panels will not significantly impact the surrounding residential area.

3. The project is consistent with the General Plan and North Community Plan which designate the site as Medium Density Residential (16-29 du/na) and Residential (11-21 du/na) respectively.

CONDITIONS OF APPROVAL

- B. The Special Permit for the proposed antenna panels (Exhibits B-1 through B-3) is hereby approved subject to the following conditions:
- B1. The applicant shall obtain all necessary building permits prior to commencing construction.
 - B2. Size and location of the panels and "top-hat" addition shall conform to the plans submitted. The applicant shall use non-reflective paint to match the tower at the point of attachment and connection on all sides and on all equipment, cables, connections, and panels.
 - B3. Any additional panels (3 panels approved) or increased height for the panels (85 feet maximum approved height) shall require a modification of the Special Permit.
 - B4. Should the applicant ever discontinue using the panels then the applicant shall remove all equipment and panels within six months of termination.
 - B5. The proposed cable run from the tower to the equipment building shall be attached to the interior tower-leg or existing cable run. All new cable runs shall underground.
 - B6. The applicant shall plant shrubs or bushes around the entire perimeter of the equipment building fence and provide an automatic irrigation system for the landscaping.
 - B7. The applicant shall provide a driveway entrance/exit per City of Sacramento standards (along Jessie Avenue) to the satisfaction of the Public Works Department. This driveway will provide access to and from the equipment shelter via Jessie Avenue.
 - B8. The applicant shall provide a 15 foot wide (paved) access from the driveway entrance/exit (located north east of project site) to the proposed equipment shelter. This access shall also provide a "turn-around" area to accommodate service vehicles to and from the equipment shelter.
 - B9. An anti-graffiti treatment shall be applied to the exterior of the equipment shelter. Any graffiti shall be removed in a timely manner.
 - B10. There shall be no barbed wire installed on the top of the wood fence (a higher fence may be installed if necessary).

CHAIRPERSON

ATTEST:

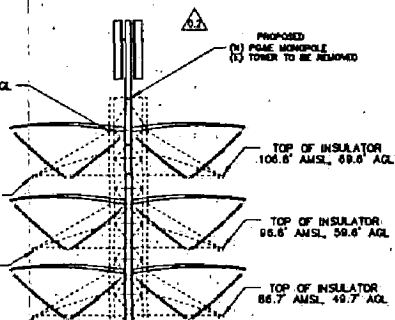
SECRETARY TO
CITY PLANNING COMMISSION CHAIRPERSON

P00-041

MAY 25, 2000

EXHIBIT B-1

T. OF ANSLS.
AQL
BOTTOM OF INSULATOR
101.9' AMSL, 54.8' AQL
BOTTOM OF INSULATOR
81.7' AMSL, 54.7' AQL
BOTTOM OF INSULATOR
81.9' AMSL, 44.8' AQL



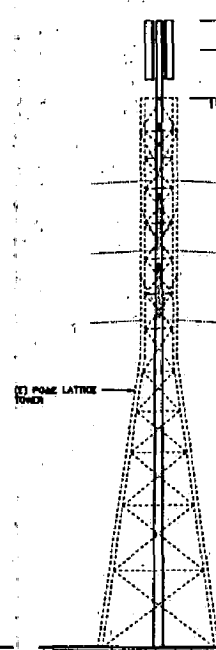
1 NORTH ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED
(1) 120' NEXTEL PANEL ANTENNA
TOP OF (2)

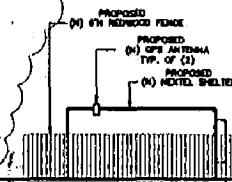
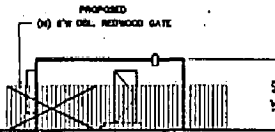


2 EAST ELEVATION
SCALE 1/4" = 1'-0"

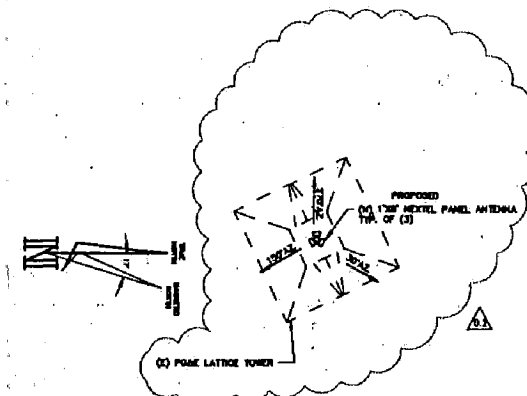
TOP OF TOWER = 81' AQL
DECKPLATE = 81' AQL
PEAK OF TOWER
TITLE AMSL, 74.7' AQL



3 WEST ELEVATION
SCALE 1/4" = 1'-0"



MAY 16 2000



4 ANTENNA DETAIL - PLAN VIEW
NOT TO SCALE

WESTERN PLANNING & ENGINEERING
11880 KEMPER ROAD, #2
AUBURN, CA 95603
PHONE: (530) 833-8817
FAX: (530) 833-8818

NEXTEL of California, Inc. (dba NEXTEL COMMUNICATIONS)
2100 HARVARD ST., STE. 220
SACRAMENTO, CA 95815
OFFICE PH: (916) 568-4434
FAX PH: (916) 568-1548
CONTACT: KATHAEE VREMAN

GRANT UNION SITE
P.N. CA-1695B
CORNER OF JESSIE &
RIO LINDA BLVD.
SACRAMENTO, CA 95838
CITY OF SACRAMENTO

ZONING

DATE PREPARED: MAY 16, 2000

APPROVALS
PROJECT MANAGER: _____ DATE: _____

NO.	DATE	ISSUE
0	3/15/00	ZONING
0.1	5/1/00	ANT. CONFG.
0.2	5/18/00	POC REV.

SHEET TITLE
EXHIBIT B ELEVATIONS
PROJECT GENERAL NOTES
ANTENNA DETAIL

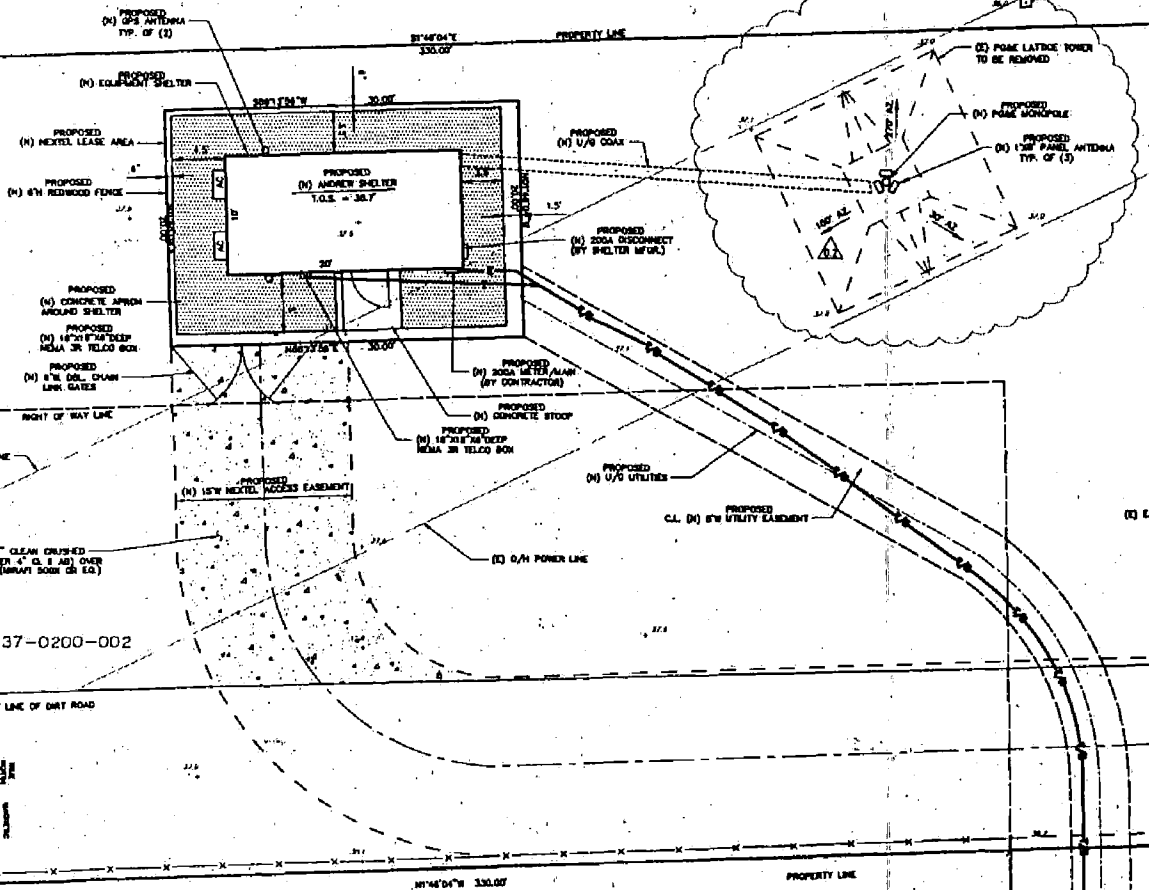
SHEET NUMBER

A-2

MAY 25, 2000

EXHIBIT B-1A

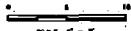
APN 237-0200-002



SITE DETAIL

SCALE: 1" = 5'

BUILDING SETBACKS	
FRONT	= 25'
SIDE	= 12.5'
REAR	= 15'



JESSIE AVENUE

RIGHT OF WAY LINE

WESTERN PLANNING & ENGINEERING

11860 KEMPER ROAD, #3
ALBANY, CA 95003

PHONE: (530) 833-4817
FAX: (530) 833-0818

NEXTEL of California, Inc. dba NEXTEL COMMUNICATIONS

2180 HARVARD ST., STE. 220
SACRAMENTO, CA 95813
OFFICE PH: (916) 568-4434
FAX PH: (916) 568-1548
CONTACT: ROBERT WELSH

GRANT UNION SITE
P.N.: CA-1895B
CORNER OF JESSIE &
RIO LINDA BLVD.
SACRAMENTO, CA 95838

CITY OF SACRAMENTO

ZONING

DATE PREPARED: MAY 16, 2000

APPROVALS

PROJECT MANAGER: _____ DATE: _____

PROJECT NO.

CA-1895B

DRAWN BY: _____

BOH

CHECKED BY: _____

NET

NO.	DATE	REVISION
1	3/13/00	ZONING
2	5/1/00	INT. CONF.
3	5/16/00	PCE REV.

SHEET TITLE

**SITE PLAN, DETAIL
VICINITY MAP,
LEGAL DESCRIPTION**

SHEET NUMBER

A-1

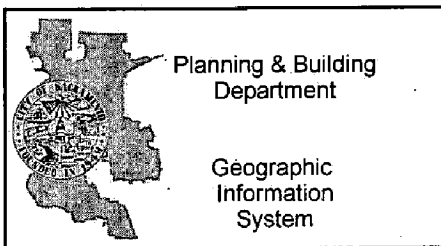
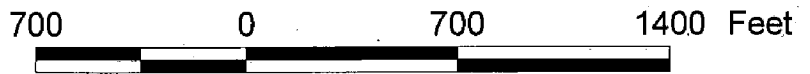
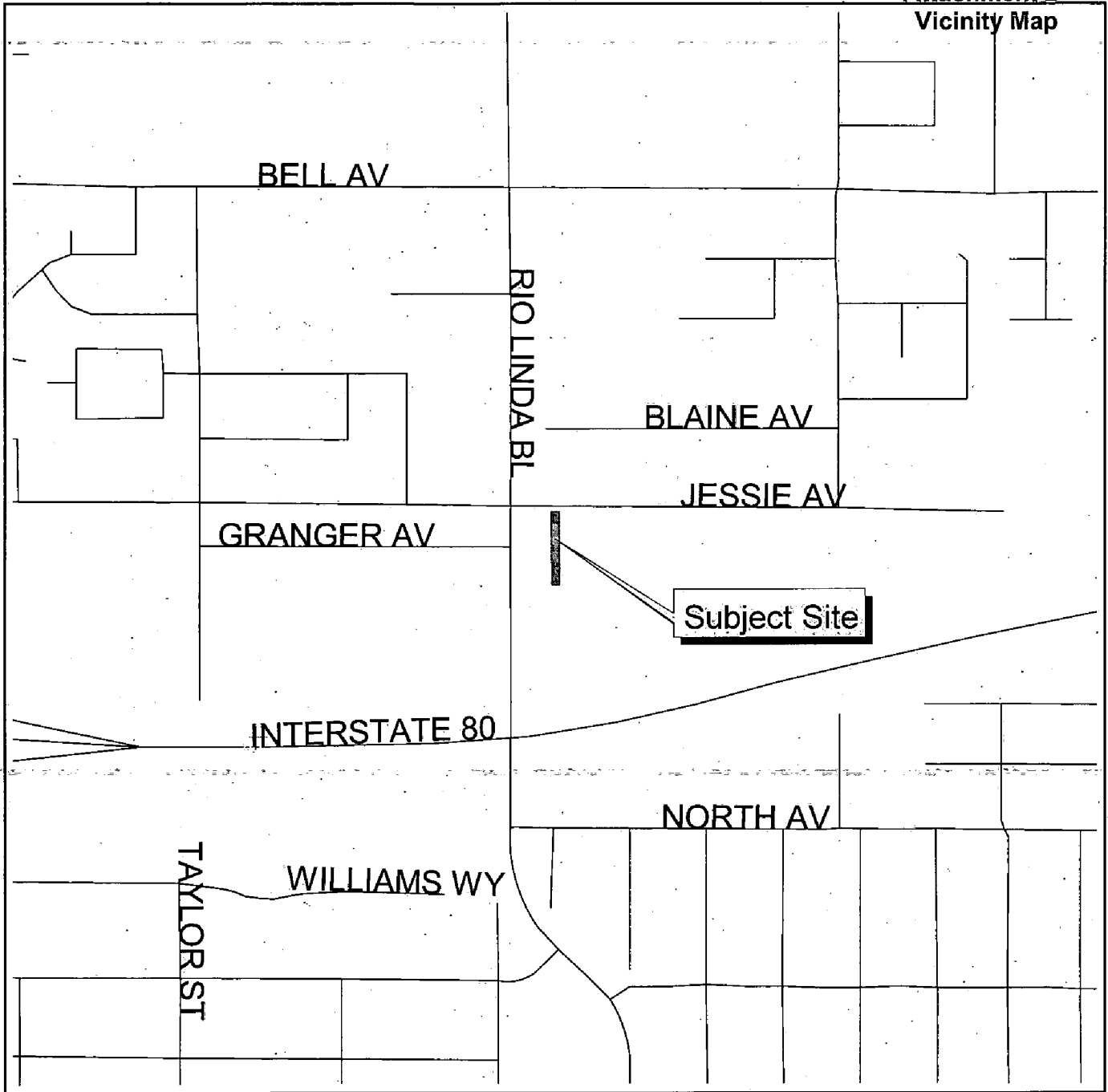
RECEIVED

MAY 16 2000

Z 00-041

CITY OF SACRAMENTO
CITY PLANNING DIVISION

**Attachment 2
Vicinity Map**

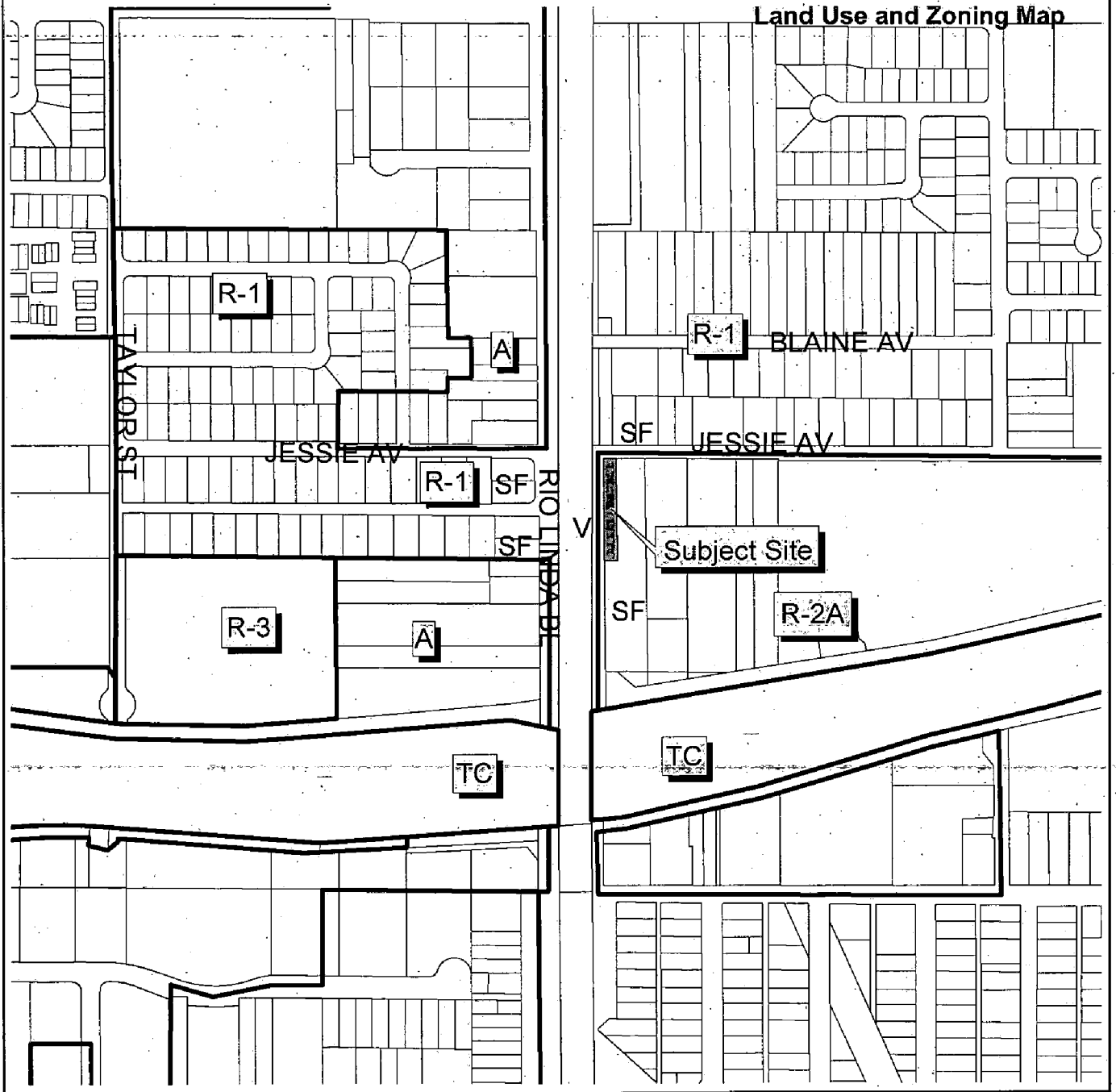


Vicinity Map
P00-041



Attachment 3

Land Use and Zoning Map



400 0 400 800 1200 Feet



Planning & Building
Department

Geographic
Information
System

Land Use & Zoning
P00-041

