

CITY PLANNING COMMISSION

1231 "I" STREET, SUITE 200, SACRAMENTO, CA 95814

APPLICANT Joseph Frank Washington - 220 Ford Avenue, Sacramento, CA 95838
OWNER Allen Chapel A.M.E. Church - 1239 Grand Avenue, Sacramento, CA 95838
PLANS BY Church Planning Consultants - 222 West Lockeford Street, Lodi, CA 95240
FILING DATE 12-1-88 ENVIR. DET. Negative Declaration REPORT BY DH:sg
ASSESSOR'S PCL. NO. 251-073-21 & 22

- APPLICATION:
- A. Negative Declaration
 - B. Special Permit to demolish an existing church and construct a 240 seat church on a 41 space parking lot on 5.5 developed acres in the Standard Single Family (R-1) zone
 - C. Lot Line Adjustment to merge two developed lots into one lot of 0.55 acres in the R-1 zone

LOCATION: 1239 Grand Avenue and 3816 Dry Creek Road

PROPOSAL: The applicant is requesting the necessary entitlements to demolish an existing church and construct a new 240 seat church.

PROJECT INFORMATION:

1988 General Plan Designation: Residential Low Density 4-15 du/ac
1984 North Sacramento Community Plan Designation: Residential 4-8 du/net ac
Existing Zoning of Site: R-1
Existing Land Use of Site: Church, Sunday school classrooms and house

Surrounding Land Use and Zoning:	Setbacks:	Required	Provided
North: Single family; R-1	Front:	25'	52'
South: Grant High School; R-1	Side(Int):	5'	12'
East: Single family; R-1	Side(St):	12-1/2'	10'
West: Vacant & two family; R-1	Rear:	15'	78'

Parking Required: 40 spaces at 1 space per 6 seats
Parking Provided: 41 spaces
Property Dimensions: 260' x 115'
Property Area: 0.55± acres
Square Footage of Building: 5,300 sq. ft. new church; total building coverage 8,638 sq. ft.
Height of Building: 35' for new church
Topography: Flat
Street Improvements: To be upgraded
Utilities: Existing
Exterior Building Materials: Brick, tile, stucco, glass
Roof Material: Composition shingle
Hours of Operation: 8 AM - 1 PM Sundays
Capacity of Church: 240
Capacity of Sunday School Classrooms: 100
Maximum Number of Worshipers: 200

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APPLC. NO. P89-016 MEETING DATE March 23, 1989 ITEM NO. 22

PROJECT EVALUATION: Staff has the following comments:

A. Land Use and Zoning

The subject site consists of two lots, one containing an existing church and classroom building with parking and a northern lot containing a single family dwelling. Both lots are zoned Standard Single Family (R-1) Zone and designated for Residential 4-8 du/net acres on the 1984 North Sacramento Community Plan and 1988 General Plan. Surrounding land uses include single family to the north and east with Grant High School to the south and vacant lands to the west. Churches are allowed in residential zones subject to securing a Planning commission special permit. The existing church does not have a special permit issued by the Commission. The church was established prior to annexation into the City in 1965 and is therefore a legal non-conforming use.

B. Site Plan Evaluation

The applicant proposes to demolish the existing church building and construct a new 5,300 square foot, 240 seat church. The classroom building will be preserved. Parking is proposed on the lot to the north of the classroom building after the existing house has been moved off the site to a nearby lot. A lot line merger is necessary to provide parking on the same lot as the church. A 6 foot high masonry wall is shown along the north property line separating the parking lot from the northern residential lot. A 20 foot wide unimproved earth alley is located along the east property line.

The site is located in the Del Paso Heights Design Review District and will require Design Review approval prior to building permit issuance.

After reviewing the applicant's site plan and a field inspection of the site, staff has the following comments:

1. A minimum 7 foot wide landscape strip is recommended along Grand Avenue adjacent to the parking lot. Shrubbery will be required to screen headlights from cars parking along the street. Where parking abuts a landscape strip, a two foot vehicle overhang and reduction by 2 feet of the parking stall length is recommended. Minimum backout maneuvering is 25 feet for 90 degree parking. All landscaped areas adjacent to a public right-of-way, parking lot, or property line are required to be contained in a 6 inch wide, 6 inch high concrete curb. No portable wheel stops are allowed.
2. Several large trees are present on the site. Staff recommends the landscape plan show all trees to be preserved and necessary measures provided to protect the trees taken during house move and construction activities.
3. Parking along the east building elevation requires backing into the alley. An encroachment permit and agreement with the City Engineering Division will be necessary to allow paving and use of the alley.

Staff recommends the walkway adjacent to the building be raised 6 inches and a minimum of 8 feet in width with 2 feet of vehicle overhang incorporated into the parking stall. Total backout maneuvering area from the back of the stall is 26 feet. With 20 feet of alley, 6 feet of room is necessary behind the stall.

4. Along the north property line, a decorative 6 foot high masonry wall is required adjacent to the parking lot. Staff recommends a 7 foot planter with 2 feet of vehicle overhang be installed to provide adequate landscape area for shrubbery and planting.
5. The proposed church is located 10 feet from Dry Creek Road sidewalk. The revised site plan should show the center lines of both streets with scaled dimension right-of-way with the actual property line verified in relation to existing improvements.
6. All driveways will be required to be constructed to City standards for commercial driveway.
7. No plans were provided showing the location of heating and cooling equipment. Staff recommends that the locations of mechanical equipment be shown and that they be screened from view so to not be visible off-site.
8. Gates are proposed between the proposed church and education building. No details were provided on the design of the gates. Staff recommends that the gates be constructed of decorative wrought iron and that, if locked, the police or fire department have pass keys.
9. Staff discussed fencing off the north parking lot with the applicant. During hours of non-use, the north lot shall be secured with cable or similar material to prevent unauthorized access to the site. The lot should be illuminated but not directed off-site onto residentially used property.
10. All on-site lighting is to be shielded so that it does not reflect off-site onto residentially used property.
11. No indication is made whether bells or public address system is to be used. Bells, if desired, shall be subject to further review by the Planning Director.
12. The elevations show attached building signage. The applicant should be aware that the requirements of the R-1 zone allow only 16 square foot of sign area for building identification purposes. The proposed sign shall comply with the City Sign Ordinance requirements for non-residential uses in residential zones.
13. The site plan does not indicate placement of a trash enclosure. If a trash enclosure is proposed for a dumpster unit, then it should be

located away from residential uses and be screened with landscaping. If garbage cans are to be stored within one of the buildings, then no trash enclosure shall be required. No unenclosed dumpster bins will be allowed.

14. Detailed landscaping and irrigation plans shall be reviewed and approved by the Planning Director prior to issuance of building permits. Lawn groundcover shall be planted along the building setback along Dry Creek Road and Grand Avenue. Street trees shall be planted at a minimum density of one tree per 30 lineal feet of street frontage. Trees shall be selected from the City Arborist Street Tree List.

C. Elevations and Building Materials

The elevations show a mix of stucco, brick and wood trim. Roofing is proposed as slate grey blend composition shingle. Stucco is proposed to be an ivory color and brick a terra cotta color. Staff supports the proposed elevations. Review by the City Design Review Board will be required.

D. Agency Comments

Comments were received from the following City departments regarding the lot line adjustment.

City Engineer

The applicant shall complete the following at the Public Works Department prior to lot line merger being recorded.

1. File Certificate of Compliance and pay necessary fees.
2. Waive parcel map.
3. Pay off or segregate any existing assessments

Regarding the special permit, standard improvements are required at time of building permit, including concrete alley, standard curb, gutter and sidewalks and street lights and on-site drainage system.

City Traffic Engineer

1. Requires house move and demolition permit be issued by the City.
2. Street improvements will be brought up to City standards and improve alley to City standards.

3. Parking stalls on the corner are unacceptable. They shall comply with the City's visibility ordinance.

E. ENVIRONMENTAL DETERMINATION

The Environmental Coordinator has determined that the project as proposed will not have a significant impact to the environment; therefore, a negative declaration has been prepared. In compliance with Section 15070(B)1 of the California Environmental Quality Act Guidelines, the applicant has incorporated the following mandatory mitigation measures into the project plans to avoid identified effects or to mitigate such effects to a point where clearly no significant effects would occur:

The applicant shall provide separate lighting for the parking areas. This lighting shall be shielded and directed downward to minimize the amount of light escaping the site. Lighting located on the two buildings shall be directed so that only the building sides are illuminated. Lighting shall be so noted on the plans submitted to the Building Division for permits.

Non-compliance with, or deletion of any of the above mitigation measures by any party will require the project to be reprocessed for additional environmental review. If this review determines that there is the possibility for significant adverse environmental impact due to the development of the project, additional mitigation measures may be required, or the applicant may be requested to prepare an environmental impact report if identified impacts cannot be reduced to less than a significant level through mitigation.

RECOMMENDATION: Staff recommends the Commission take the following actions:

- A. Ratify the Negative Declaration;
- B. Approve the Special Permit, subject to conditions and based upon findings of fact which follow; and
- C. Adopt the attached resolution approving the Lot Line Adjustment.

Conditions - Special Permit

1. The applicant shall prepare detailed landscaping, parking, irrigation and site plan revisions for the review and approval of the Planning Director prior to issuance of building permits.
2. Revised elevations shall be submitted after review and approval by the Design Review Board to the Planning Director prior to issuance of building permits.

3. A minimum 7 foot wide landscaping strip shall be shown along Grand Avenue and the north parking lot north property line. Shrubbery shall be planted in the Grand Avenue planter strip to screen headlights.
4. No portable concrete wheel stops are to be used. Vehicles shall have 2 feet of overhang into the adjacent planter strip or walkway and parking stalls reduced in length by 2 feet.
5. All backout maneuvering areas and parking stall dimensions shall comply with the City Parking Ordinance.
6. Landscaping adjacent to the public right-of-way and parking lot areas shall be contained within a 6 inch high concrete curb.
7. The revised site plan shall show all trees to be preserved and placement of new trees. Street trees shall be planted along Dry Creek and Grand Avenue at a minimum density of one tree per 30 lineal feet of street frontage.
8. All parking areas shall meet the 50% shading requirement of the City Zoning Ordinance.
9. The alley shall be improved to the satisfaction of the City Engineer. (Concrete is required as per City Code for alleys.)
10. The walkway adjacent to the east building elevation shall be raised 6 inches and a minimum of 8 feet in width to allow 2 feet of vehicle overhang incorporated into the parking stall.
11. A 6 foot high solid decorative masonry wall is required along the north property line, except in the 25 foot front yard setback where the wall can only be 3 feet in height. Detailed drawings of the decorative treatment of the wall shall be reviewed and approved by the Planning staff prior to issuance of building permits. Evergreen shrubbery and trees are recommended to be planted adjacent to the wall.
12. The revised site plan shall show the centerline and right-of-way for the adjacent streets in relation to existing street improvements.
13. All driveways shall be constructed to City standards for commercial driveways.
14. All mechanical heating and cooling equipment shall be screened to not be visible off-site.
15. The proposed security gates between the church and classroom building shall be constructed of decorative wrought iron or similar material to be approved by Planning staff.

16. If bells or outdoor public address system is proposed, it shall be subject to review by the Planning Director.
17. All signs shall comply with City Sign Ordinance for non-residential uses in residential zones.
18. No unenclosed trash bins are allowed. Outdoor trash collection shall be screened with a trash enclosure designed to City standards.
19. Lawn shall be planted where shrubbery is not required along the street frontage setback area.
20. The parking stalls proposed at the corner of Grand and Dry Creek shall be deleted or modified to comply with the City's visibility ordinance to the satisfaction of the City Traffic Engineer.
21. The north parking lot shall be secured with cable or gates to prevent access during hours of non-use to the satisfaction of the Planning Director.
22. All lighting shall be directed on-site and not reflect off-site onto residentially zoned or used property.
23. The applicant shall comply with the mitigation measures identified in the negative declaration for P89-016 on file at the City Planning Division regarding building illumination.
24. Demolition or building move permits are required to be reviewed by the Design Review staff of the Planning Division.

Findings of Fact - Special Permit

1. The proposed church, as conditioned, is based upon sound principles of land use in that:
 - a. adequate parking, landscaping and security will be provided;
and
 - b. a church has been established at this location for over 40 years with no negative impact on the neighborhood.
2. The project, as conditioned, is not injurious to the general public health, safety or welfare in that:
 - a. adequate on-site parking will be provided;
 - b. no increased traffic congestion is to occur;
 - c. lighting will be focused on-site; and

- d. a second wall is to be constructed along the north property line.
3. The project, as conditioned, is consistent with the General Plan and 1984 North Sacramento Community Plan which designate the site for residential uses and churches are allowed in any zone subject to securing a Planning Commission Special Permit.

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FOR SECTION 7, RANCHO DEL PASO

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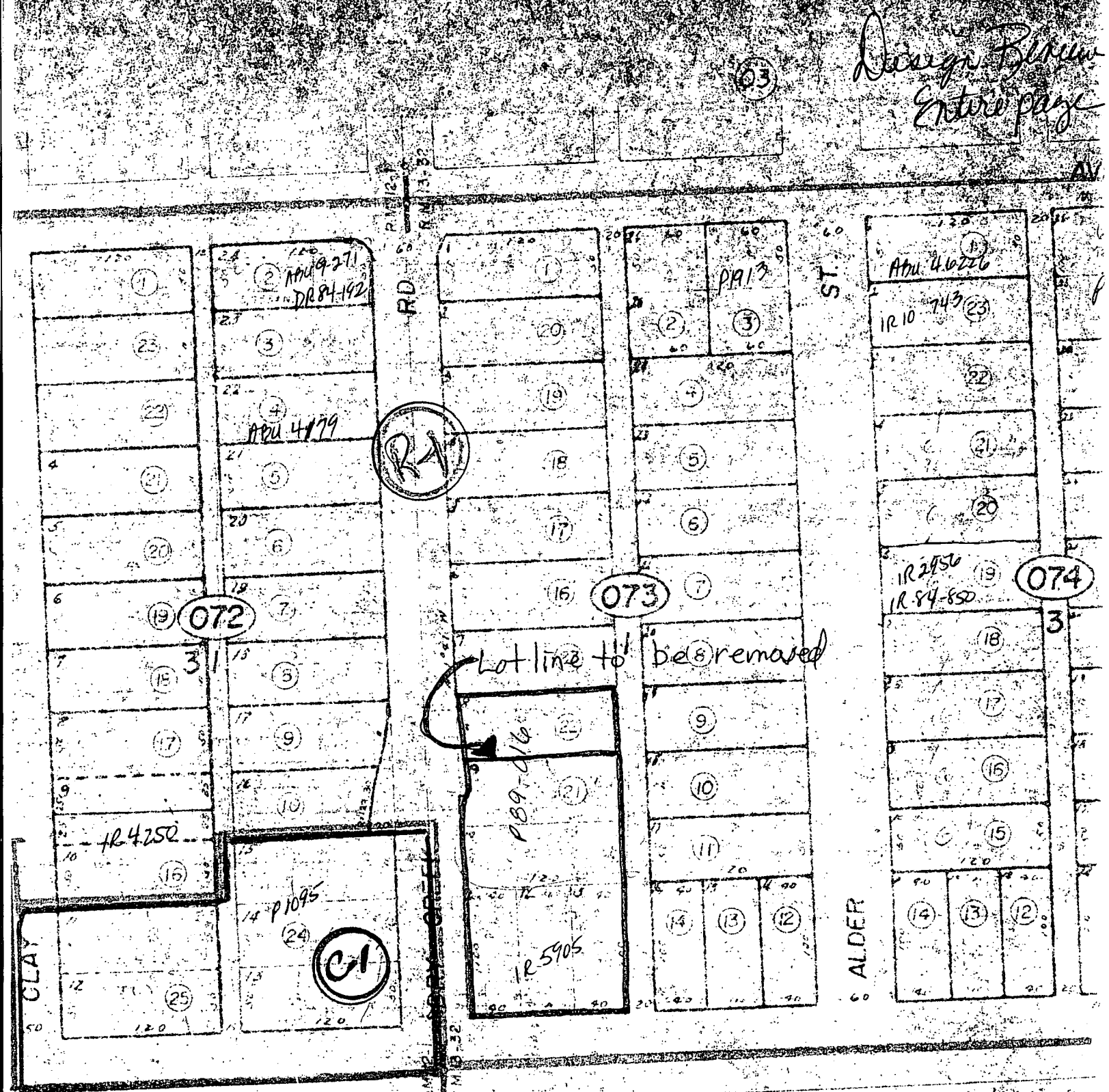


EXHIBIT A

P-89-016
 01399
 3-23-89
 11
 item 22
 Assessor's Map
 County of Sacra

EXHIBIT B

Legal Description for 1239 Grand Avenue, Sacramento 95838

Book 42998145; Lots 9, 10, 11, 12 and 13; Block 1, as shown on the Plate of East Del Paso Heights, recorded in the Office of County Recorder in Sacramento County on August 8, 1912 in Book 13 of the Maps (32).

Deeded to Allen Chapel on August 14, 1951.

bounded and described as follows:

Lot 8 in Block 1, as shown on the "Plot of East Del Paso Heights", Sacramento, recorded August 8, 1912, in Book 13 of Maps, Map No 32, records of said County. 1962-1963 Assessor's Parcel No. 251-073-22 Code 64-016

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item 22

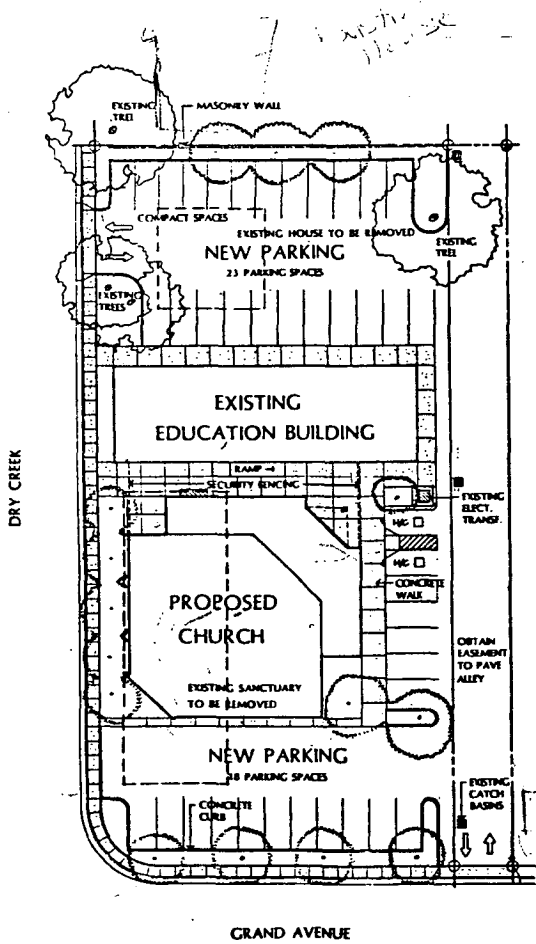
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11/16/89
MEX. 10 houses

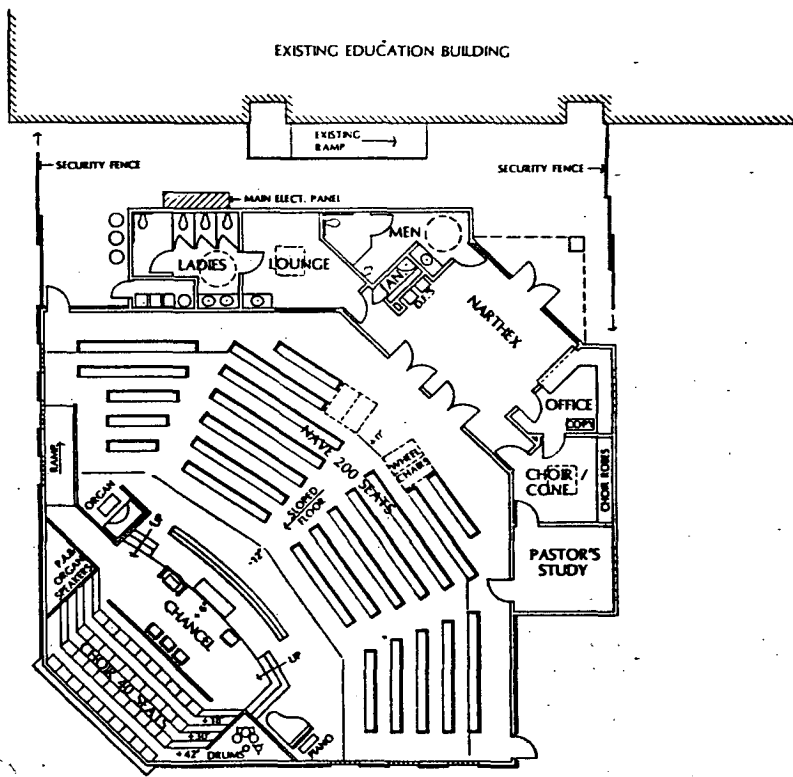
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Item 22



SITE PLAN
SCALE 1" = 20'



FLOOR PLAN
SCALE 1/8" = 1'-0"

P89 016

CHURCH PLANNING

architect

consultant

sheet title
SITE PLAN / FLOOR PLAN

NEW SANCTUARY FOR
ALLEN CHAPEL
A.M.E. CHURCH
SACRAMENTO, CALIFORNIA

sheet number
1
1 of 2

revisions

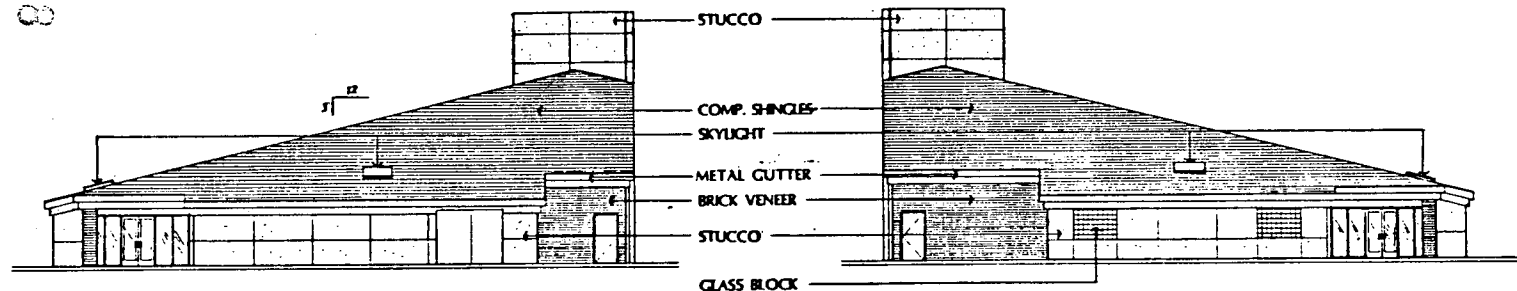
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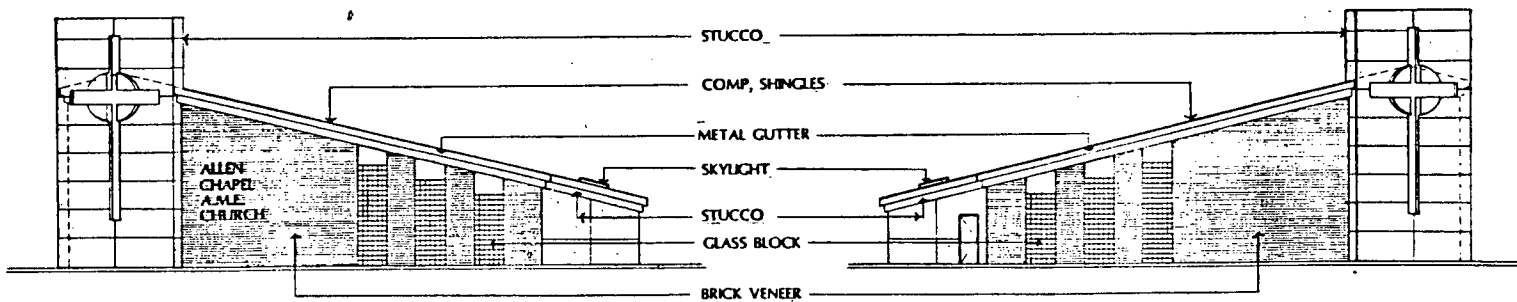
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NORTH ELEVATION
SCALE 1/8" = 1'-0"

EAST ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"

WEST ELEVATION
SCALE 1/8" = 1'-0"

CHURCH
PLANNING

architect

consultant

sheet title
EXTERIOR ELEVATION

NEW SANCTUARY FOR
ALLEN CHAPEL
A.M.E. CHURCH

sheet num

2
2 of 2

revisions

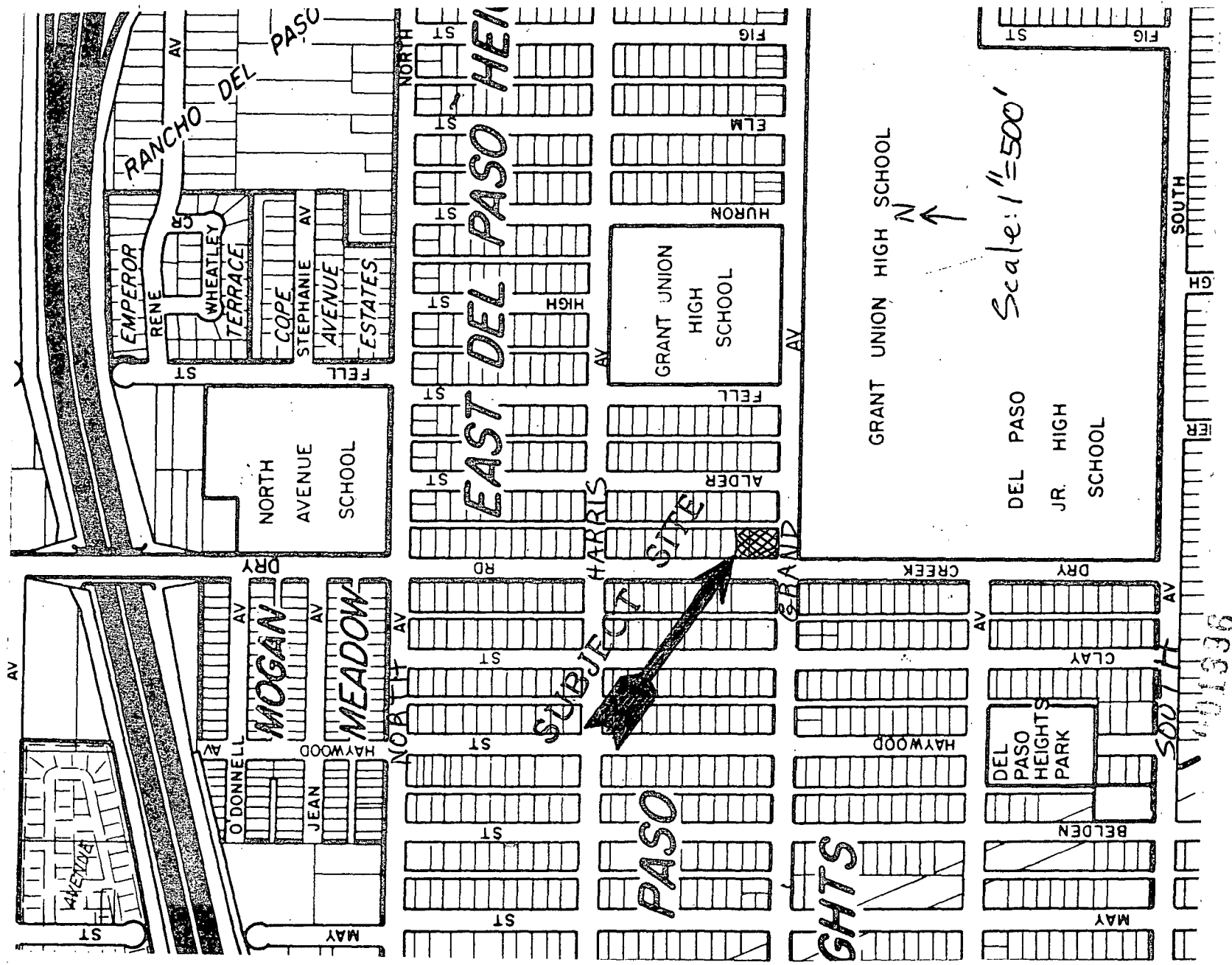
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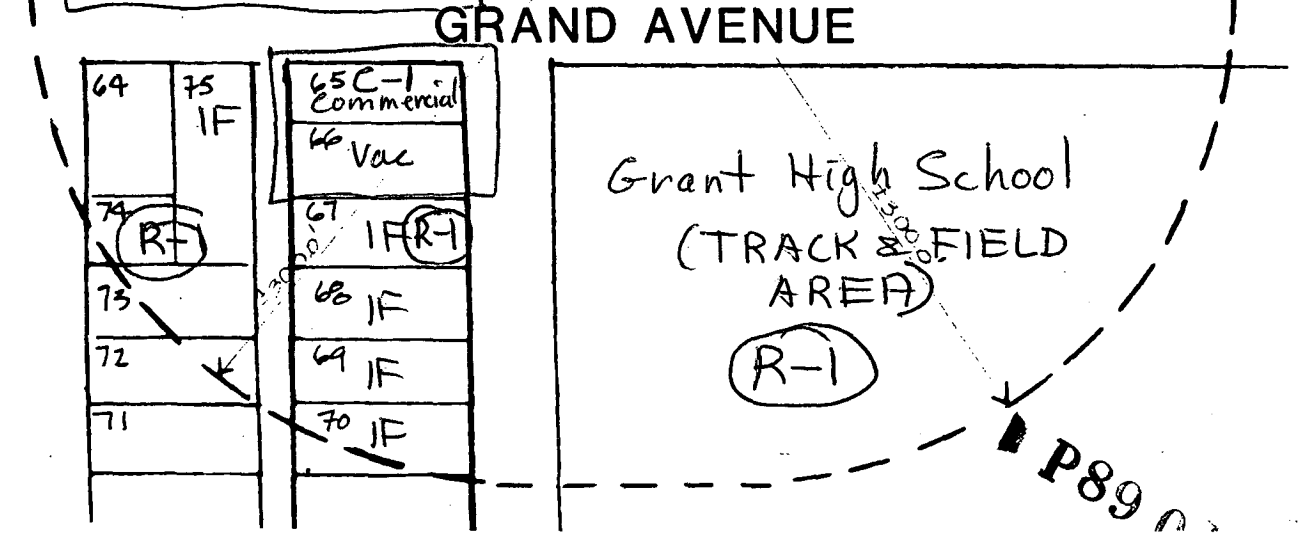
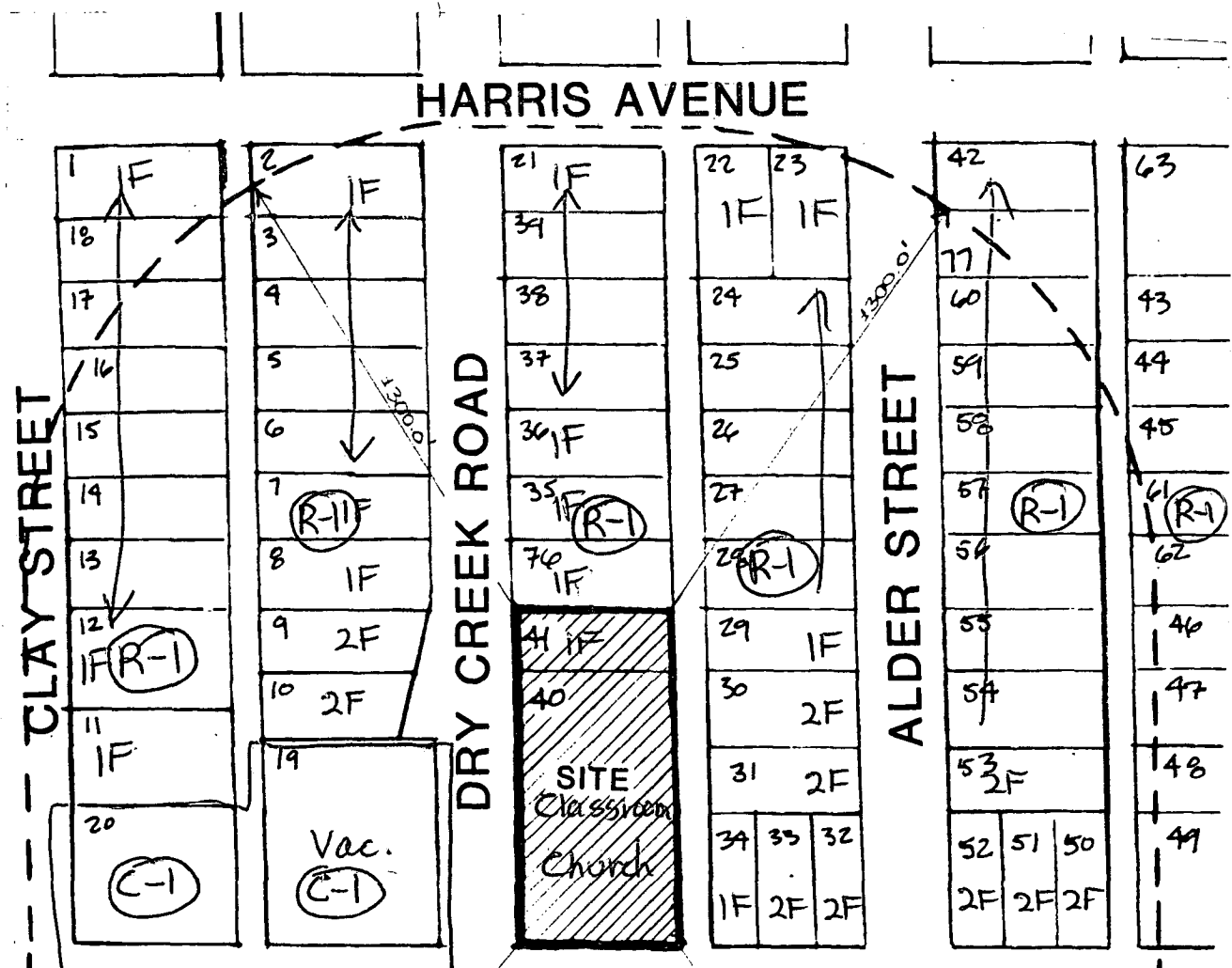


VICINITY MAP

P-89-016

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Note: Area in Del Paso Heights Design Review District

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Scale: Reduced

LAND USE & ZONING MAP