

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
915 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Thursday, April 6, 2005, the Zoning Administrator approved with conditions a special permit for an additional two residences on a deep lot with an existing residence for the project known as Z05-251. Findings of Fact and conditions of approval for the project are listed on pages 2-5.

Project Information

Request: **Zoning Administrator Special Permit for Deep Lot** to construct an construct a 1,982 square foot house (including garage) and one 1,834 square foot house (including garage) on a lot with an existing 672 square foot house on 0.46± partially developed acres in the Standard Single Family (R-1) zone.

Location: 1129 Rood Road (D2, Area 4)

Assessor's Parcel Number: 226-0300-015

Applicant: Craig Rowland
4813 Del Norte Blvd
Sacramento, CA 95820

Property Owner: Derrick Waddell
1129 Rood Avenue
Sacramento, CA 95838

Project Planner: Sandra Yope

General Plan Designation: Low Density Residential (4-15 du/na)
North Sacramento

Community Plan Designation: Residential (4-8 du/na)

Existing Land Use of Site: Single Family Residence

Existing Zoning of Site: Standard Single Family (R-1)

Surrounding Land Use and Zoning:	Setbacks Required	Existing	Proposed
North: R-1; Single Family Residence	Front: 25'	35.3'	35.3'
South: R-1; Vacant	Side (E.): 5'	8'	5'
East: R-1; Residential and Industrial	Side (W.): 5'	30'	14'
West: R-1; Single Family Residence	Rear: 15'	262'	20'

Property Dimensions: 64 feet x 340 feet
Property Area: 0.46± acres
Square Footage of Buildings: Existing: 872 square feet

	Proposed: House A: 1,825 square feet
	Garage A 323 square feet
	House B: 1,651 square feet
	Garage B 471 square feet
	Total: 5,142 square feet
Height of Buildings:	Existing: Single Story
	Proposed: Single Story, 17 feet
Exterior Building Materials:	Stucco
Roof Materials:	Composition Shingles
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Project Plans: See Exhibits A-K

Previous Files: IR05-346 (Deep Lot Preliminary Review)

Additional Information: The applicant is requesting a special permit for deep lot development to construct two additional single family residences on a deep lot with an existing 672 square foot single family residence and an existing 200 square foot shed. Each residence will be single story with a stucco exterior and composition shingle roof. House A will be 1,825 square feet including the patio with a 323 square foot garage. House B will be 1,651 square feet including the patio with a 471 square foot garage. A new parking pad will be constructed behind the existing house and the existing shed will be relocated to allow for the proposed 20 foot wide driveway along the west property line. The new driveway will provide access to all the units with a turn around for emergency vehicles between the shed and second house. A special permit is required to construct additional dwelling units on a deep lot.

The project was noticed and staff received two calls from adjacent property owners. One owner was concerned about the proposed location of the House B garage and drainage and the second owner wanted a fence constructed between their properties. The project was conditioned to provide a drainage study and a means to drain the site and to relocate the proposed garage to at least five feet from the northern property line. The project was also required to have a fence between all the properties.

Agency Comments: The proposed project was reviewed by the City Building Division, Development Engineering and Finance Division, Utilities Department, the Fire Department, and the Police Department. The comments received pertaining to the project have been included as conditions.

Environmental Determination: This project will not have a significant effect on the environment and is exempt from environmental review pursuant to California Environmental Quality Act Guidelines 15303(a).

Conditions of Approval

1. The proposed project shall conform to submitted plans (unless needed to be modified for building code requirements). The applicant may phase the building of the houses; however, the driveway with the turn around must be completed prior to the occupancy of the first new residence.

2. The rear garage shown adjacent to the north property line shall be set back at least five feet from the north property line. The associated north house maybe moved south five feet also if needed to accommodate the relocated garage.
3. Construct privacy fences for the two middle units around the designated back yard area. The applicant shall construct a six foot wood fence along the east property line the length of the property from the northern property line to the required front yard setback line.
4. All residential buildings shall display a street number in a prominent location on the street side in such a position that the number is easily visible to approaching emergency vehicles. The numbers shall be no less that four inches in height and shall be of a contrasting color to the background to which they are attached. The numerals shall be lighted at night.
5. The driveway shall be paved from the street to the rear garage. Alternative pervious paving is allowed if approved by the Fire Department.

Utilities:

6. Only one domestic water service will be allowed per parcel. Any new domestic water services shall be metered. Excess services shall be abandoned to the satisfaction of the Department of Utilities. Section 13.04.060 of the City Water Code states that for a single-family domestic service connection, the maximum size shall be one (1) inch, or one and one half (1-1/2) inches if residential fire sprinkler systems are present, unless otherwise authorized by the Director of the Department of Utilities. Prior to submitting plans to the Building Department the applicant should contact the Chief Plumbing Inspector with the Building Division to determine the size of the domestic water tap required for this project. If the required size is greater than one and one half inches, then the applicant must submit a request to the Department of Utilities for approval of a larger tap size. Approvals need to be obtained prior to issuing the building permit. **Advisory Note:** If the lot is to be subdivided in the future, each resulting lot shall have its own independent water service.
7. Prior to design of the subject project, the Department of Utilities suggests that the applicant request a water supply test to determine what pressure and flows the surrounding public water distribution system can provide to the site. This information can then be used to assist the engineers in the design of the fire suppression systems. The houses at the rear of the lot may require sprinkler systems or an on-site fire hydrant. The nearest existing hydrant is located over 200 feet west of the proposed driveway.
8. A drainage study will be required to show that development of the site will not impact downstream or upstream drainage, and that the site development will not impact existing or required on site storage of drainage. All on-site systems shall be designed to the standard for private storm drainage systems (per Section 11.12 of the Design and Procedures Manual). Since no piped drainage system exists in Rood Avenue, the site shall drain with no net increase in runoff to the existing ditch system in Rood Avenue. The site shall be designed to detain on-site peak flows to the satisfaction of the Department of Utilities. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths.
9. A grading plan showing existing and proposed elevations (City datum) is required. Adjacent

off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. Off-site drainage flowing through the lot shall not be blocked, and shall be incorporated into the on-site drainage system. No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.

10. Lot pad elevations shall be a minimum of 1.5 feet above the controlling overland release elevation.
11. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction
12. **Advisory Note:** The proposed project is located in the Flood zone designated as an X zone on the Federal Emergency Management Agency (FEMA) Federal Insurance Rate Maps (FIRMs) dated July 6, 1998. Within the X zone, there are no requirements to elevate or flood proof.

Fire Department:

13. Provide a fire hydrant in accordance with CFC 903.4.2 and Appendix III-B, Section 5.
14. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
15. Provide a water flow test. (Contact Department of Utilities at 916-808-5371 or make arrangements at the North Permit Center's walk-in counter: 2101 Arena Blvd., Suite 200, Sacramento, CA 95834.)
16. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.

Development Engineering and Finance Division:

17. Standard frontage improvements may be required unless there are major utility issues associated with their installation. If so, then an "In-lieu of" payment for future installation will be required.

Findings of Fact- Special Permit:

1. The proposed project, as conditioned, is based upon sound principles of land use in that:
 - a. the proposed addition of a residential units will not substantially alter the characteristics of the site or the surrounding neighborhood;
 - b. the proposed structures are compatible in architecture with the surrounding area; and
 - c. the proposed dwelling units meet the requirements of the Zoning Ordinance for deep lot development.

2. Granting the request will not be injurious to public health, safety, or welfare nor result in a nuisance in that:
 - a. there is adequate available yard area;
 - b. there will be adequate setbacks, landscaping, and on-site parking for the proposed houses; and
 - c. the additional residences will not substantially alter the characteristics of the surrounding neighborhood.

3. The project is consistent with the General Plan and the North Sacramento Plan which designate the site as Low Density Residential (4-15 du/na) and Residential (4-8 du/na) respectively. Three single family units are permitted on a deep lot that meet the Zoning Code area requirements with a Special Permit.

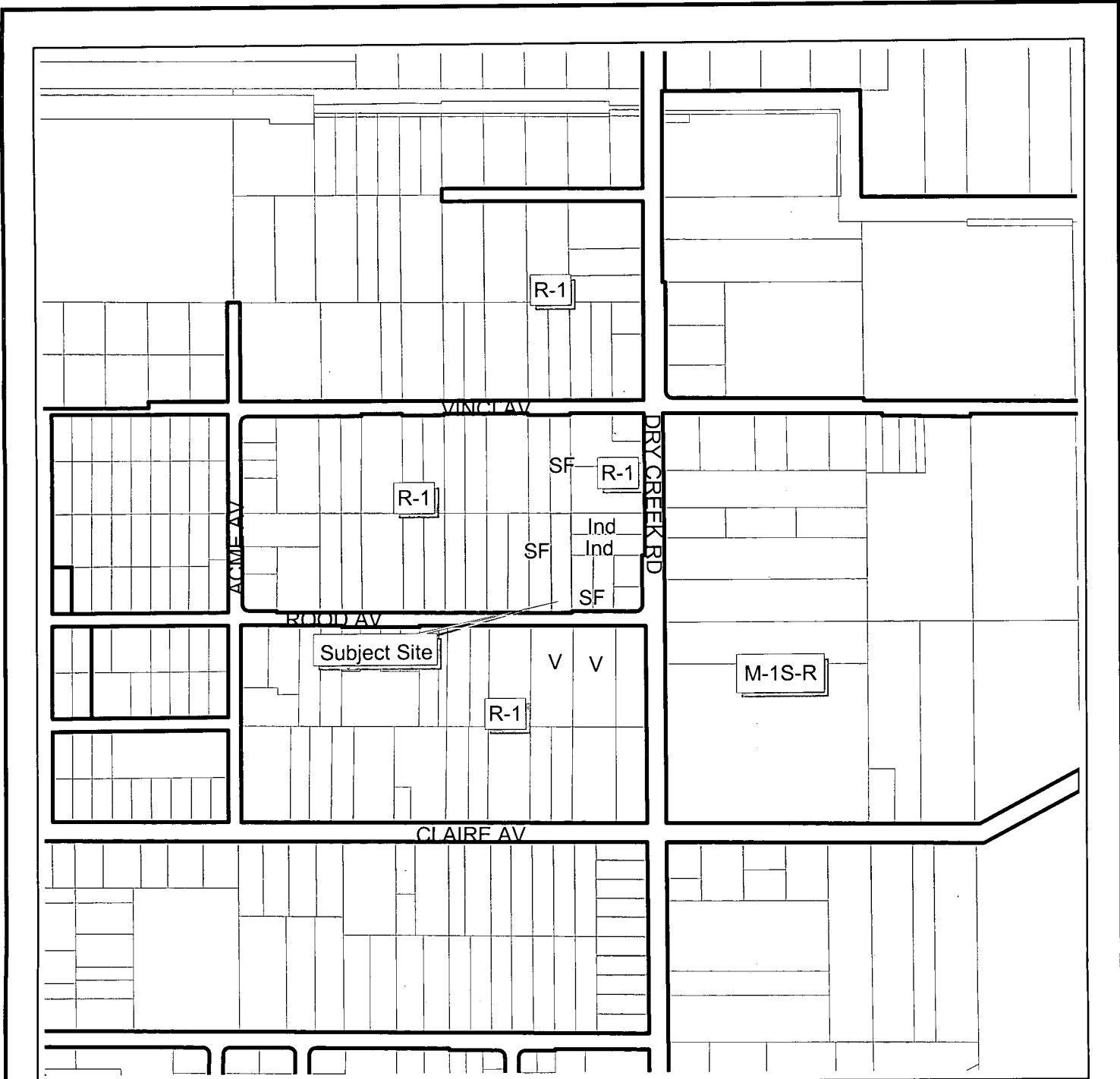



Joy D. Patterson
Zoning Administrator

A use for which a Special Permit is granted must be established within three years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File Applicant ZA Log Book Owner

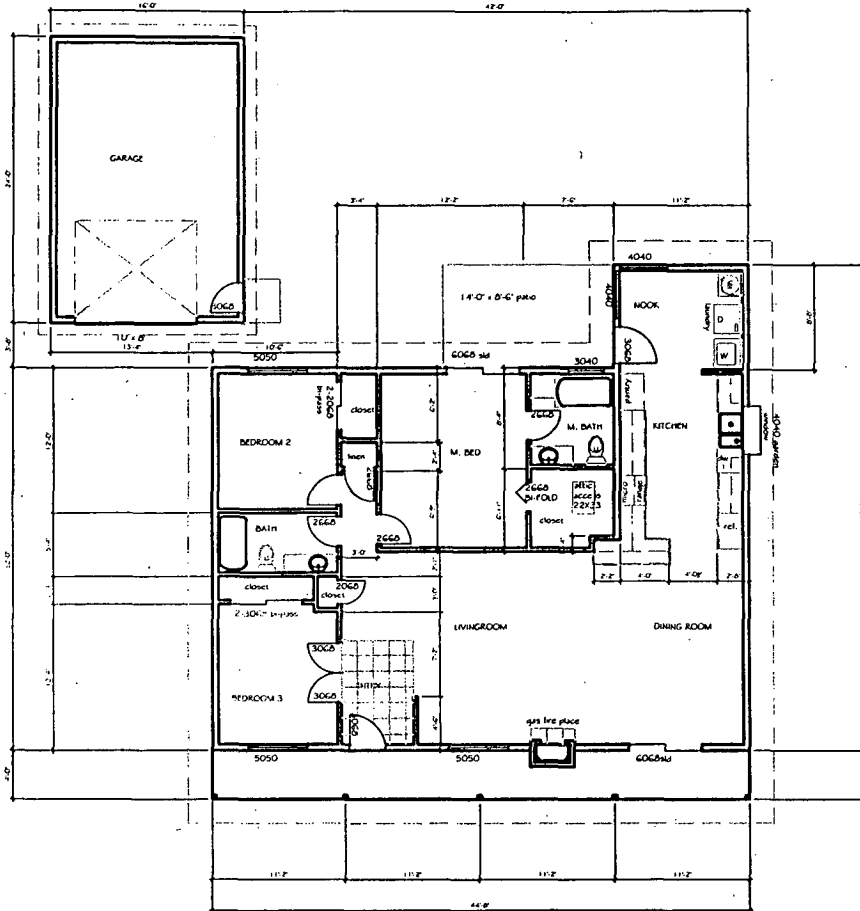



Development Services
Department

Geographic
Information
System

Land Use & Zoning





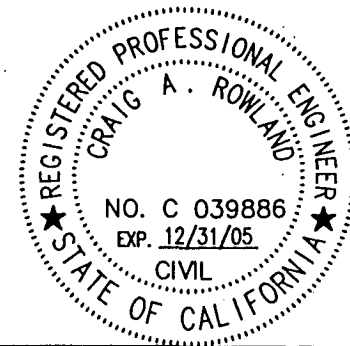
FLOOR SPACE

MAIN HOUSE	1525 SQ.FT.
GARAGE	388 SQ.FT.
PATIO	300 SQ.FT.

ENERGY REQUIREMENTS

ROOF:	R38
EXTERIOR WALLS:	R19
FLOOR:	R19
WINDOWS:	LOW-E DUAL GLAZING

EXHIBIT B



PROJECT
WADDELL

SCALE
1/16" = 1'-0"

SHEET TITLE
UNIT A FLOOR PLAN

SHEET
A-1.D

DATE
12-10-05

REVISION DATE

DRAWN BY
P. JONES

CHECKED BY
C ROWLAND

NEW DIMENSIONS

Z05-341

April 6, 2006

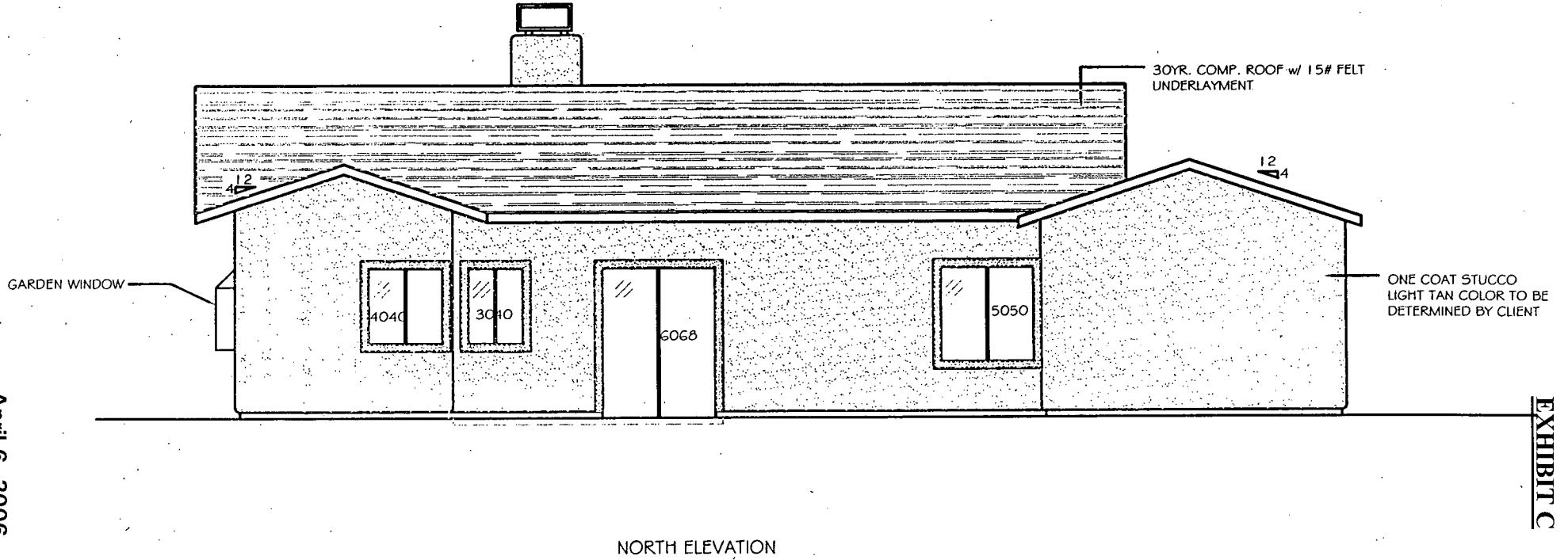
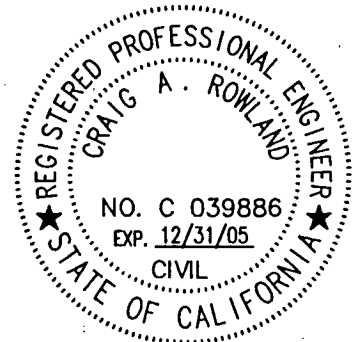


EXHIBIT C



PROJECT
WADDELL

SCALE
 1/8" = 1'-0"

SHEET
 A-1.1

SHEET TITLE
 NORTH ELEVATION

DATE 12-10-05

REVISION DATE

DRAWN BY
 P. JONES

CHECKED BY
 C ROWLAND

NEW DIMENSIONS

WHITE FASICA BOARD TYP. COLOR TO BE DETERMINED BY CLIENT

FOAM TRIM TYP. MED. TAN COLOR TO BE DETERMINED BY CLIENT

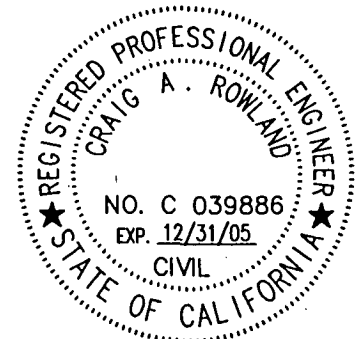


10x8
WHITE FENCE TYP. COLOR TO BE DETERMINED BY CLIENT

WHITE SOILED CORE DOOR COLOR TO BE DETERMINED BY CLIENT

SOUTH ELEVATION

EXHIBIT D



PROJECT
WADDELL

SCALE
1/8" = 1'-0"
SHEET
A-1.1

SHEET TITLE
SOUTH ELEVATION

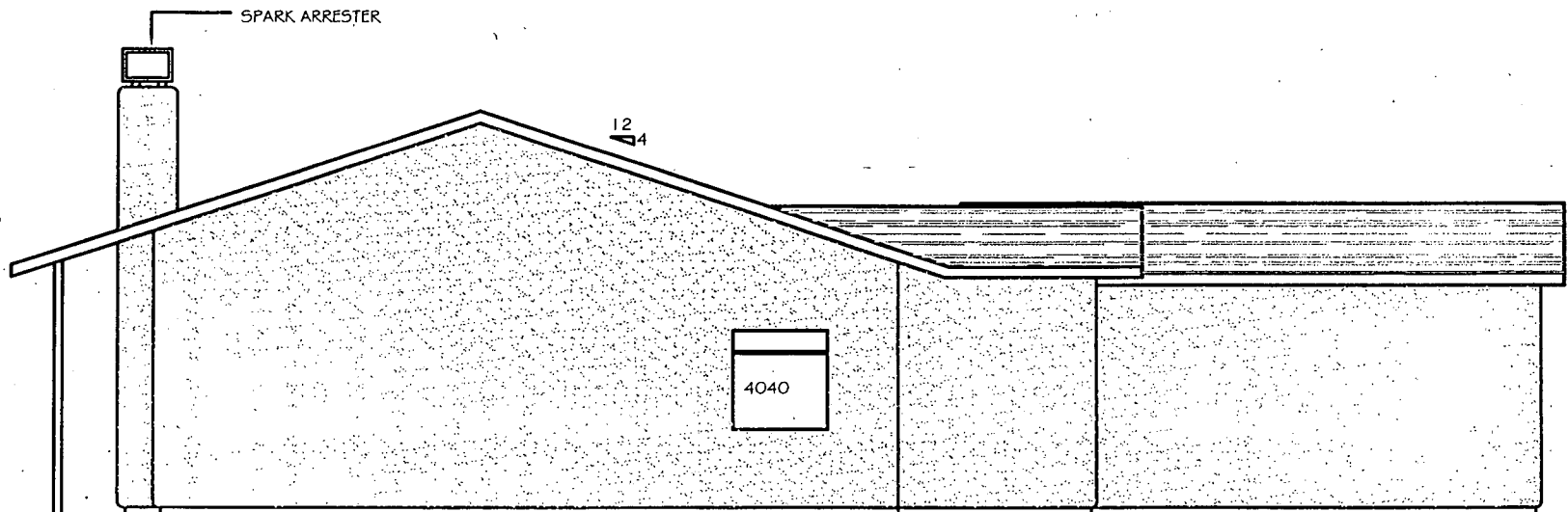
DATE 12-10-05
REVISION DATE

DRAWN BY
P. JONES
CHECKED BY
C ROWLAND

NEW DIMENSIONS

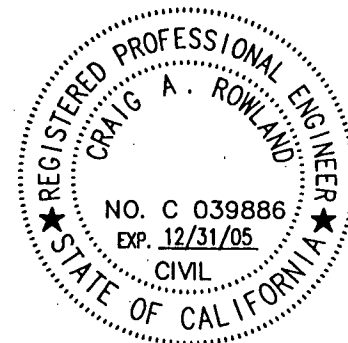
Z05-341

April 6, 2006



EAST ELEVATION

EXHIBIT E



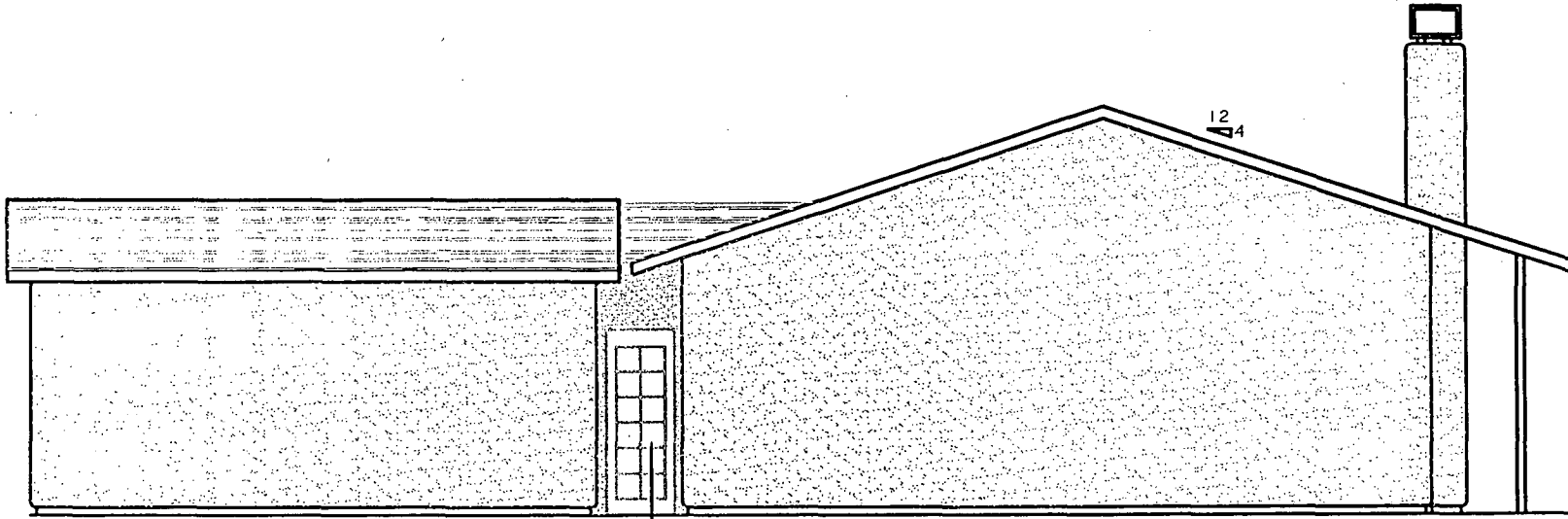
PROJECT
WADDELL
 ITEM 4

SCALE 1/8" = 1'-0"	SHEET TITLE EAST ELEVATION
SHEET A-1.2	

DATE 12-10-05
REVISION DATE

DRAWN BY P. JONES
CHECKED BY C ROWLAND

NEW DIMENSIONS

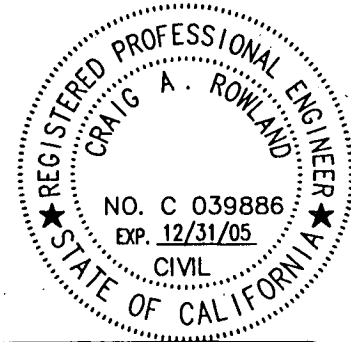


WEST ELEVATION

3668

WHITE FRENCH DOOR w/12 LITES COLOR TO BE DETERMINED BY CLIENT

EXHIBIT F



PROJECT
WADDELL

SCALE
1/8" = 1'-0"

SHEET
A-1.2

SHEET TITLE
WEST ELEVATION

DATE 12-10-05

REVISION DATE

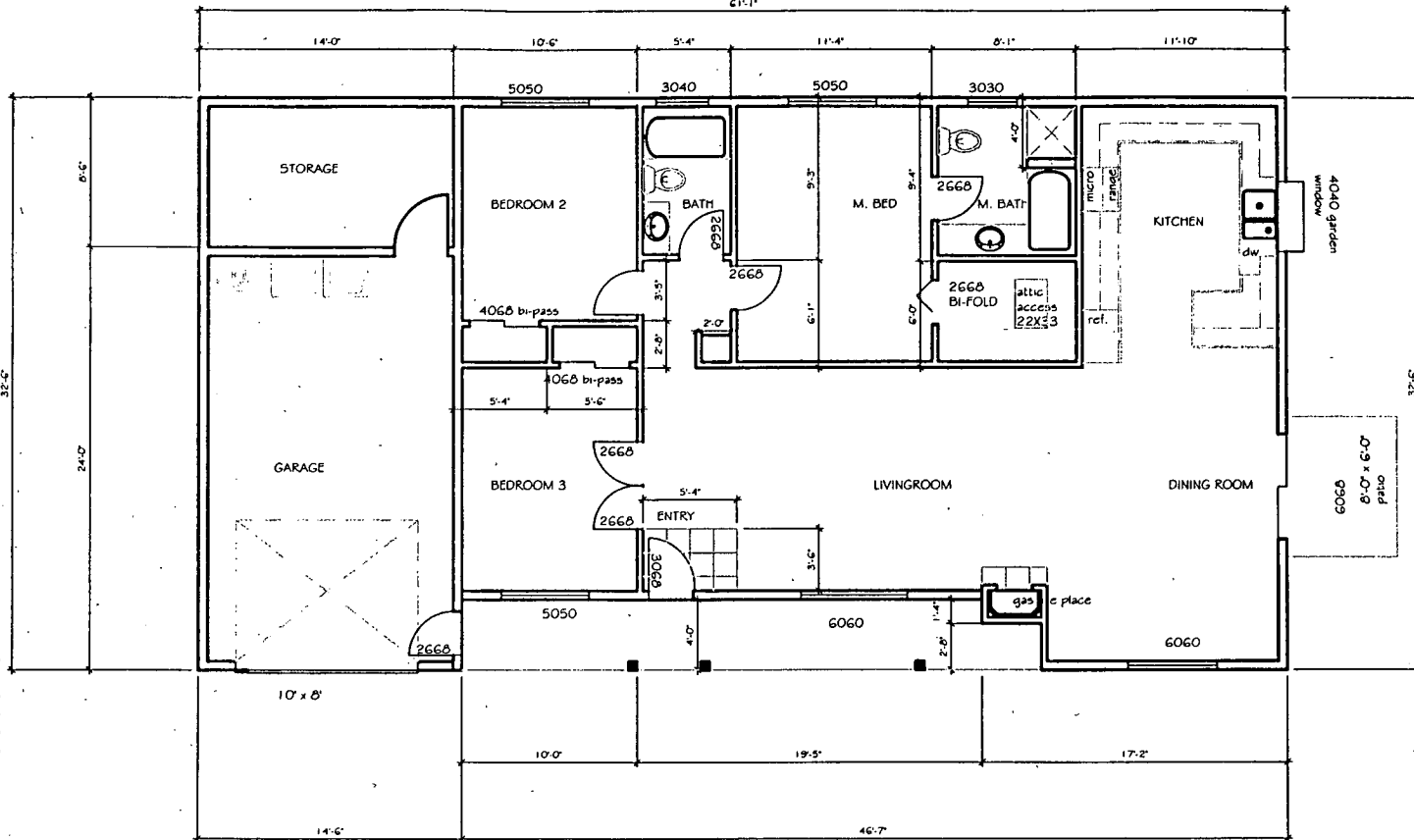
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P. JONES

CHECKED BY
C. ROWLAND

NEW DIMENSIONS

Z05-341

April 6, 2006



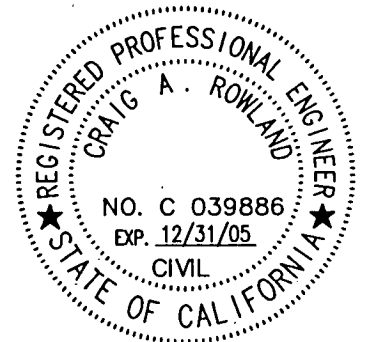
FLOOR SPACE

MAIN HOUSE	1466 SQ.FT.
GARAGE	471 SQ.FT.
PATIO	111 SQ.FT.

ENERGY REQUIREMENTS

ROOF:	R38
EXTERIOR WALLS:	R19
FLOOR:	R19
WINDOWS:	LOW-E DUAL GLAZING

EXHIBIT G



PROJECT
**WADDELL
 UNIT 2**

SCALE
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 SHEET
4-3.0

SHEET TITLE
 UNIT 2
 FLOOR PLAN

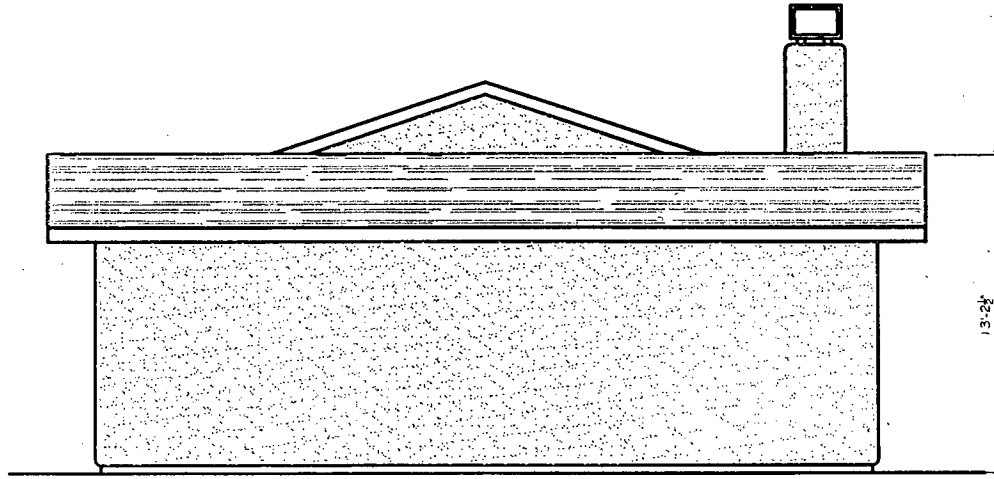
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P. JONES

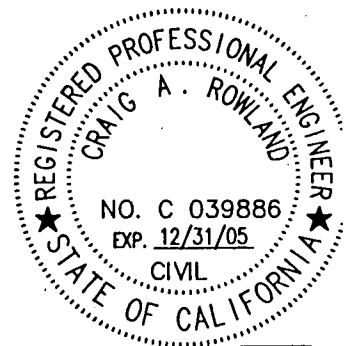
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C. ROWLAND

NEW DIMENSIONS



NORTH ELEVATION

EXHIBIT H



PROJECT
ITEM 4
WADDELL

SCALE
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 SHEET
 A-31

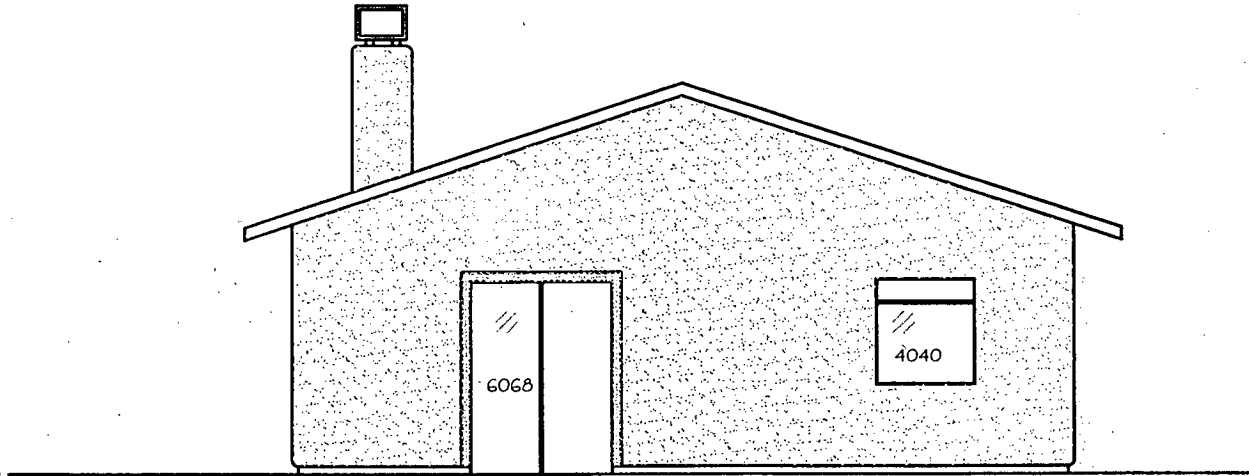
SHEET TITLE
 NORTH ELEVATION

DATE 12-10-05
 DRAWN BY P. JONES
 CHECKED BY C ROWLAND

NEW DIMENSIONS

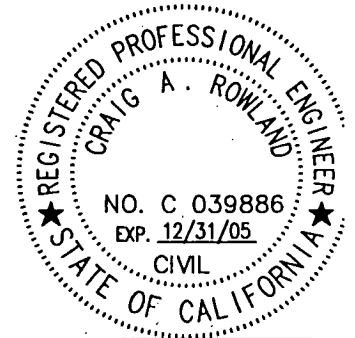
Z05-341

April 6, 2006



SOUTH ELEVATION

EXHIBIT I



PROJECT
WADDELL
ITEM 4

SCALE
1/8" = 1'-0"
SHEET
A- 3.1

SHEET TITLE
SOUTH ELEVATION

DATE 12-10-05
REVISION DATE

DRAWN BY
P. JONES
CHECKED BY
C ROWLAND

NEW DIMENSIONS

Z05-341

April 6, 2006

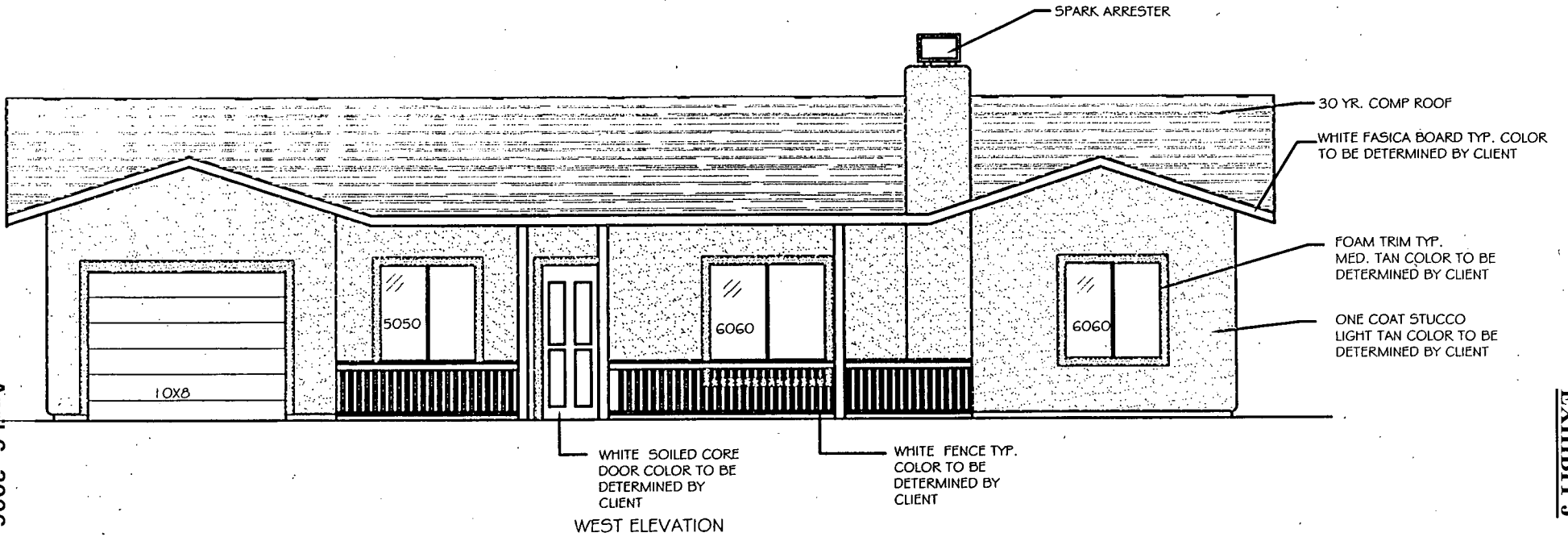
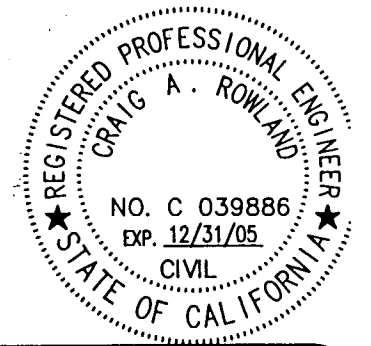


EXHIBIT J



PROJECT
WADDELL
 ITEM 4

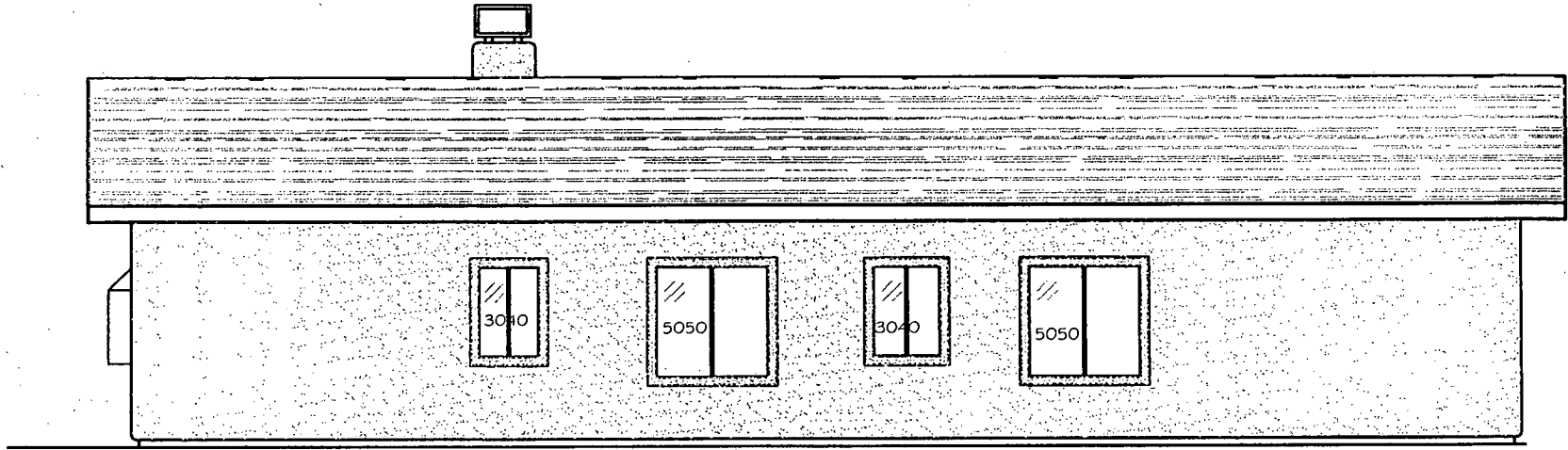
SCALE
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 SHEET
 A-3.2

SHEET TITLE
WEST ELEVATION

DATE
 12-10-05
 REVISION DATE

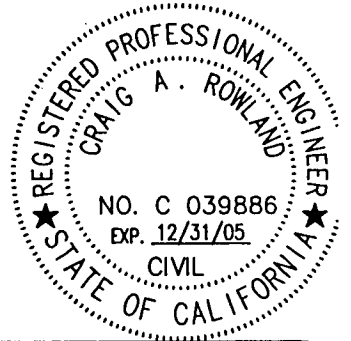
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P. JONES
 CHECKED BY
C ROWLAND

NEW DIMENSIONS



EAST ELEVATION

EXHIBIT K



PROJECT
ITEM 4
WADDELL

SCALE
1/8" = 1'-0"
SHEET
A-3.2

SHEET TITLE
EAST ELEVATION

DATE
12-10-05
REVISION DATE

DRAWN BY
P. JONES
CHECKED BY
C ROWLAND

NEW DIMENSIONS