

RESOLUTION 2025-0339

Adopted by the Sacramento City Council

December 9, 2025

Adopting Findings of Fact and Conditions of Approval to Approve the Bee Shine Carwash and New Multi-Unit Dwellings Project (P23-014) (APNs: 038-0191-001-0000, 038-0191-002-0000, 038-0191-003-0000, 038-0191-0025-0000)

BACKGROUND

- A. On November 13, 2025, the City Planning and Design Commission conducted a public hearing on, and forwarded to the City Council, a recommendation to approve the Bee Shine Carwash and New Multi-Unit Dwellings Project.
- B. On December 9, 2025, the City Council conducted a public hearing, for which notice was given under Sacramento City Code Section 17.812.010(2)(b).

BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

SECTION 1.

Based on the verbal and documentary evidence received at the hearing on the Bee Shine Carwash and New Multi-Unit Dwellings (Project), the City Council approves the Project entitlements based on the findings of fact and subject to the conditions of approval as set forth below.

SECTION 2.

The City Council approves the Project entitlements based on the following findings of fact:

- A. **Conditional Use Permit** to relocate and expand a non-conforming car wash and oil change facility **is approved** based on the following findings:
 1. The proposed use and its operating characteristics are consistent with the general plan in that the Residential Mixed-Use designation allows for new residential development. The car wash and oil change facility is an auto-service use that is nonconforming and allowed to continue operation at the location. Furthermore, the proposed project is consistent with General Plan land use policies including LUP-1.1, 1.8, 2.1, 2.3, 4.1, and 4.5 by combining parcels to create a functional urban

site with increased utilization and by adding housing to an area with frequent transit service. There is no applicable transit village plan. It is also consistent with the Stockton Blvd. Plan in that the project provision of a residential development addresses Community Planning Priority H-2, "Provide all Types of Housing to Serve the Diverse Needs of Residents."

2. The proposed use and its operating characteristics are consistent with the applicable standards, requirements, and regulations of the zoning district in which it is located, and of all other provisions of this title and this code, in that the non-conforming car wash and oil change facility is allowed to relocate to another location on the same lot and be enlarged with the issuance of a use permit. The use will be reconstructed on the site and meet all currently applicable development standards and requirements of the C-2 zone.
3. The proposed use is situated on a parcel that is physically suitable in terms of location, size, topography, and access, and that is adequately served by public services and utilities, in that the use will be accessible via driveways on Dias Avenue and missing street frontage improvements will be installed. The Departments of Public Works and Utilities have reviewed and conditioned the project to ensure adequate service and utilities.
4. The proposed use and its operating characteristics are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance, in that the proposed project will provide new sidewalk on Dias Avenue, consolidate from three driveways to one on Stockton Boulevard, and add many new trees. The use permit has conditions of approval including site security, limited hours of operation, and shielded lighting to assure the use will be compatible with the surrounding area.

B. **Site Plan and Design Review** to construct a car wash and oil change facility, a 48-unit apartment complex, and associated site improvements **is approved** based on the following findings:

1. The design, layout, and physical characteristics of the proposed development are consistent with the Residential Mixed Use general plan land use designation, in that the nonconforming auto service use with added housing units support a mix of land uses on the Stockton Boulevard corridor to support community needs. The new sidewalks, reduced number of driveways, tree shading, and lighting will support a more walkable neighborhood adjacent to transit, in support of General Plan goals. There is no applicable transit village plan.

2. The design, layout, and physical characteristics of proposed development are consistent with applicable design guidelines and with all applicable development standards in that: 1) the project meets applicable C-2 zone development standards including building setbacks, building height, parking, and tree shading, and 2) the project meets applicable principles of the Commercial and Multi-Unit Dwelling design guidelines including by locating vehicle parking at the sides and rear and positioning buildings toward the adjacent boulevard.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards. Stockton Boulevard and Dias Avenue provide access to the site. The proposed development has been analyzed by City Departments of Public Works and Utilities and it is determined that all streets and public access ways and facilities, parking facilities, and utility infrastructure proposed and required to be constructed with this approval are adequate to serve the development and comply with applicable standards.
4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood. New trees along Stockton Boulevard and Dias Avenue frontages will provide an improved aesthetic outward appearance. New sidewalk infrastructure on Dias Avenue and a reduced number of driveways on Stockton Boulevard will enhance pedestrian safety. A solid wall will be constructed between the new development and the adjacent residential uses, reducing any potential conflict between commercial and residential uses.
5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged, in that the newly constructed auto-service use will meet current building code and utility requirements. The project increases the intensity of an urban infill site connected to existing road and utility networks with 48 new residential units, positioning residents within walking distance to commercial services and transit.
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance, in that the project provides a new sidewalk on Dias Avenue, consolidates three driveways to one on Stockton Boulevard, adds many new trees, and separates the site from adjacent properties with a 6-foot-high solid wall.

C. **Tree Permit** to remove one private protected tree **is approved** based on the following findings:

1. The location of the private protected tree conflicts with the feasible placement of proposed parking facilities.
2. The replacement plan is consistent with the standards set forth in section 12.56.060 of the Tree Planting, Maintenance and Conservation Ordinance.

D. **200-Year Flood Protection Finding Consistent with State Law (SB 5) and Planning and Development Code Section 17.810:**

1. The project site is within an area for which the facilities of the State Plan of Flood Control or other flood management facilities protect the project to the urban level of flood protection, as demonstrated by the SAFCA Urban Level of Flood Protection Engineer's Reports accepted by the City Council on October 21, 2025 (Resolution No. 2025-0283).

E. **Housing Element Site [No net loss findings (Gov. Code, § 65863):**

1. This project is located on a consolidated site listed in the 2021-2029 Regional Housing Needs Assessment (RHNA) Housing Element Sites Inventory, which anticipates 2 total units of lower income housing. As of April 18, 2025, the lower income capacity on remaining sites identified in the Housing Element is 15,888, which is adequate to meet the jurisdictions' remaining low income RHNA of 13,406 for the 2021-2029 planning period. As the remaining sites identified in the Housing Element are adequate to meet the requirements of Section 65583.2 of the California Government Code and to accommodate the City's share of the regional housing need pursuant to Section 65584, this project is consistent with the Housing Element.

Conditions of Approval

A. **Conditional Use Permit** to relocate and expand a non-conforming car wash and oil change facility **is approved** subject to the following conditions of approval:

- A1. The site shall be inspected and maintained daily to be clear of litter.
- A2. Provide signage in a visible location at the car wash and oil change building storefronts that includes a 24-hour emergency contact person and phone number(s). The contact information shall be kept current.

- A3. Hours of operation for the car wash and oil change facility shall not extend beyond the hours of 8am and 10pm daily.
- A4. Site lighting shall be directed downward and use full cut-off fixtures to reduce glare and shield light from spilling onto adjacent properties.
- A5. Any modification to the project proposed, or additional commercial uses or future replacement commercial uses, shall be subject to review and approval by Planning staff and may require additional entitlements.

B. **Site Plan and Design Review** to construct a car wash and oil change facility, a 48-unit apartment complex, and associated site improvements **is approved** subject to the following conditions of approval:

Planning

- B1. Provide a minimum 6-foot solid wall between the project site and adjacent privately-owned properties consistent with Sacramento City Code section 17.620.120.
- B2. Provide the following building materials on the apartment buildings as indicated per approved plans:
 - a. Painted cement plaster exterior
 - b. Painted horizontal wood or fiber cement siding
 - c. Metal balconies and railings
 - d. Stone veneer at building base
 - e. Dimensional composition shingle roofing
- B3. Provide the following building materials on the commercial buildings as indicated per approved plans:
 - a. Painted cement plaster
 - b. Standing seam metal roofing
 - c. Brick wainscoting
 - d. Metal canopies

- e. Anodized aluminum commercial storefront window and door system
- B4. The applicant shall comply with each mitigation measure adopted for the project, as identified in the environmental document prepared pursuant to the California Environmental Quality Act (CEQA) and/or Mitigation Monitoring Plan. If there is an error or omission in the Mitigation Monitoring Plan, the mitigation measure as set forth in the environmental document shall control.
- B5. Signs were not reviewed as part of the review and approval of the proposed project. All signs shall require review and approval by Design Review and shall conform to the sign ordinance and require sign permit issuance.
- B6. Provide a minimum of 3 short-term bicycle parking spaces and 24 long-term bicycle storage spaces for the residential component of the project and provide a minimum of 2 short-term bicycle parking spaces and 2 long-term bicycle storage spaces for the commercial component. Bicycle parking shall comply with the City's Bicycle Rack Design and Placement Design Standards.
- B7. Construct landscape improvements including all required irrigation, ground coverings, shrubs, and trees as shown on the final approved landscape plan exhibit.

Public Works

- B8. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property per City standards to the satisfaction of the Department of Public Works.
- B9. The applicant shall dedicate sufficient additional right-of-way and construct an expanded intersection along Stockton Boulevard adjacent to the subject property as shown on the site plan per City standards (DPM Plate 15-11) to the satisfaction of the Department of Public Works.
- B10. The applicant shall construct Dias Avenue to a local commercial street section per City standards to the satisfaction of the Department of Public Works.

Note: There is currently 60-ft of available right-of-way along Dias Avenue. The local commercial street section is 59-ft wide. The extra 0.5-ft of right-of-way shall be added into the planter width.

- B11. The applicant shall relocate all existing utility poles, streetlights, traffic signal poles, street signs, hydrants, etc., that are in conflict with any of the required frontage improvements per City standards to the satisfaction of the Department of Public Works and other concerned agencies.
- B12. The applicant shall submit a signal design concept report to the Department of Public Works for review and approval prior to the submittal of any improvement plans involving traffic signal work.
- B13. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the Department of Public Works. The center lines of such streets shall be aligned.
- B14. The applicant shall dedicate sufficient additional right-of-way at the southeast corner of the intersection of Stockton Blvd and Dias Avenue adjacent to the subject property so that the entire sidewalk and curb ramp at the southeast corner of the intersection is within the public right-of-way easement area.
- B15. On-street Parking shall be prohibited along Dias Avenue adjacent to the subject property for the first 50-ft in length measured from the curb return.
- B16. This project will require the installation of streetlights on all public streets fronting this property to the satisfaction of Public Works. The number and locations of these lights will be determined when development plans are submitted for review.
- B17. All new and existing driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works.
- B18. The applicant shall remove all existing site driveways that are not planned for use with this project per City standards to the satisfaction of the Department of Public Works.
- B19. The minimum throat distance for site driveways along Stockton Boulevard and Dias Avenue shall be 50-ft and 25-ft respectively (throat distance is that distance a vehicle can move from the public right-of-way into a given site before encountering a conflict with parking stalls, aisles, etc).

- B20. The site plan shall conform to the parking requirements set forth in City Code 17.608.040 (Development standards for off-street parking facilities, Zoning Ordinance).
- B21. The applicant shall provide a signing and striping improvement plan if new signage or striping is proposed; or if existing signing and/or striping is removed or relocated. The subject property is within the South Stockton Vision Zero study area. The applicant may be required to install additional street signage and markings in compliance with the Vision Zero study recommendations. The striping plans shall be to the satisfaction of the Department of Public Works.
- B22. The applicant shall monitor the operations of the drive-through to ensure that no vehicle will spill back onto the adjacent public right-of-way as a result of this project's on-site maneuvering to the satisfaction of the Department of Public Works.
- B23. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

Department of Utilities (DOU)

- B24. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by DOU Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU.
- B25. Prior to or concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning

stages to address any water related requirements. Failure to submit the water study may delay review and approval.

- B26. Common area landscaping shall have a separate street tap for a metered irrigation service.
- B27. The existing City drainage system that fronts this project is severely undersized with a history of localized street flooding. Therefore, the development of this site must comply with the current drainage design standards. To meet this requirement 10,600 cubic feet of detention must be provided per each additional acre of impervious area. The maximum discharge rate must be limited to 0.1 cfs/acre. The required detention volume can be partially or fully mitigated by implementing Low Impact Development (LID) features such as Stormwater planters and porous pavement, provided these features conform to the DOU's Hydromodification Management Plan (HMP) requirements. Designer shall utilize the latest edition of the Sacramento Area Hydrology Model (SAHM) when using LID features. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention features.)
- B28. Finished floor elevations shall be a minimum of 6-inches above the 100-year HGL or 1-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
- B29. The onsite water and storm drainage systems shall be private and separate systems maintained by the owner, or other approved entity.
- B30. Per City Code, the applicant may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements, and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
- B31. No more than 6,000 square feet is allowed to sheet drain over a public sidewalk. If the area is larger than 6,000 square feet, then an on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard specified in the DOU onsite manual.

- B32. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
- B33. This project will disturb more than one acre of land; therefore, the project is required to comply with the State's "Construction General Permit". To comply with the State Permit, the applicant must file a Notice of Intent (NOI) through the State's Storm Water Multiple Application and Report Tracking System (SMARTS). A valid WDID number must be obtained and provided to the DOU prior to the issuance of any grading permits.
- B34. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- B35. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. The project is an area not served by an existing regional water quality control facility and/or the project has more than one-acre of new or modified impervious area, therefore, Low Impact Development (LID), Hydromodification Management Plan (HMP), and on-site treatment control measures will be required. The on-site storm water treatment control measures required may affect site design and site configuration and should be considered during early planning stages.
- B36. This project is required to incorporate certified full capture trash control devices, please refer to Appendix H in the "Stormwater Quality Design Manual for the Sacramento Region (July 2018)" for more details.
- B37. A maintenance agreement is required for all on-site treatment and full capture trash control measures. Contact DOU for a list of accepted proprietary devices if considered for treatment and/or full capture trash control. Construction drawings must include all proposed source controls and on-site water quality measures selected for the site. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" for appropriate measures.

SMUD

- B38. SMUD has existing overhead Secondary facilities near the north east corner of the lot and on the west side of the parcel that will need to remain. The Applicant shall

be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.

- B39. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
- B40. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
- B41. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
- B42. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
- B43. In the event the City requires an Irrevocable Offer of Dedication (IOD) for future roadway improvements, the Applicant shall dedicate a 12.5-foot public utility easement (PUE) for overhead and/or underground facilities and appurtenances adjacent to the City's IOD.
- B44. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.
- B45. The Applicant shall locate, verify, and provide a drawing to SMUD identifying all onsite electrical utility infrastructure that feeds existing services. If necessary, any existing onsite electrical infrastructure that serves existing facilities shall be relocated to the satisfaction of SMUD.
- B46. The Applicant shall dedicate any private drive and/or ingress and egress easement and 10-feet adjacent thereto as a public utility easement for overhead and underground facilities and appurtenances. All access roads shall meet minimum SMUD requirements for access roads.

B47. The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.

B48. The indicated transformer space as shown on the plans must be verified as sufficient and satisfactory to SMUD's design and construction standards. The amount of space and required clearances will be dictated by service size, service requirements and other system needs and requirements (e.g., if a switch is necessary, etc.). Additional transformer space may also be required. This additional space will vary and the amount will depend on specific service requirements, including service size, voltage and other requirements. Furthermore, the location of this space will be site-dependent. Please contact SMUD Line Design for additional information.

Recycling and Solid Waste

B49. Project must meet the requirements outlined in City Code Chapter 13.10, 13.24, and 17.616.

B50. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the bins and cans safely.

Fire Department

B51. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. California Fire Code Section 501.4

B52. The farthest projection of the exterior wall of a building shall be accessible from within 150 ft of an approved water supply as measured by an unobstructed route around the exterior of the building. (California Fire Code Sections 503.1.1 & 507.5.1) At minimum, an additional on-site fire hydrant will be required.

B53. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.

B54. All turning radii for fire access shall be designed as 35' inside and 55' outside. California Fire Code Section 503.2.4

- B55. Fire Apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. California Fire Code Section 503.2.3
- B56. Provide a water flow test. (Make arrangements with the Department of Utilities at 916-808-7890 or by email at DOUdevelopmentreview@cityofsacramento.org California Fire Code Section 507.4
- B57. Locate and identify Fire Department Connections (FDCs) on address side of building no farther than 50 feet and no closer than 15 feet from a fire hydrant and not more than 30 feet from a paved roadway.
- B58. An approved fire control room shall be provided for all buildings protected by an automatic fire extinguishing system. The room shall contain all system control valves, fire alarm control panels and other fire equipment required by the Fire Code Official. Fire Control rooms shall be located within the building at a location approved by the Fire Code Official, and shall be provided with a means to access the room directly from the exterior. Durable signage shall be provided on the exterior side of the access door to identify the fire control room. Fire Control rooms shall not be less than 50 square feet for rooms without a fire pump. California Fire Code as Amended by the Sacramento City Code Section 901.4.7 If an independent fire control room is not provided. It must be shown that the other uses are compatible with the purposes of the fire control room and sufficient separation is provided.

Police Department

Lighting:

- B59. Exterior lighting shall be white light using LED lamps with full cutoff fixtures to limit glare and light trespass. Color temperature shall be between 2700K and 4100K with a color rendering index of 80 or higher and a light loss factor of .95 or better. When choosing lamps, the applicant shall look for efficiency of 110 lumens per watt or better. All existing exterior fixtures shall be replaced with fixtures that meet this requirement.
- B60. Light poles, if applicable, shall be no higher than 20'.
- B61. Broken or damaged exterior lighting shall be repaired or replaced within 48 hours of being noted.

- B62. Entry drives, drive aisles, parking and bicycle parking shall be illuminated to a maintained minimum of 1.5 foot candles per square foot of parking area at a 6:1 average to minimum ratio.
- B63. Exterior walkways, alcoves and passageways shall be illuminated to a maintained minimum of 1/3 foot candles per square foot of surface area at a 6:1 average to minimum ratio.
- B64. Exterior lighting distribution and fixtures shall be approved by the Sacramento Police Department CPTED Sergeant (or designee) prior to issuance of a building permit.
- B65. Exterior lighting shall be designed in coordination with the landscaping plan to minimize interference between the light standards and required illumination and the landscape trees and required shading.
- B66. Exterior lighting shall be shielded or otherwise designed to avoid spill-over illumination to adjacent streets and properties.

Landscaping:

- B67. All mature landscaping shall follow the two-foot, six-foot rule. All landscaping shall be ground cover, two feet or less and lower tree canopies of mature trees shall be above six feet. This increases natural surveillance, eliminates hiding areas within the landscape, and provides for tenants and users a safer environment.
- B68. Tree canopies shall not interfere with or block lighting. This creates shadows and areas of concealment. The landscaping plan shall allow for proper illumination and visibility regarding lighting and surveillance cameras through the maturity of trees and shrubs.

Security:

- B69. Fencing, if applicable, shall be of decorative tubular steel, no climb type and a minimum of 6' in height.
- B70. Business shall be equipped with and maintain a security system with:
 - a. An alarm system with a valid UL Certificate in accordance with ANSI/UL Standard 681-2014 (Standard for Installation and Classification of Burglar and Holdup Alarm), Extent Number 4
 - b. a Video Assessment and Surveillance System (VASS)

- B71. Holdup alarm system shall be employed near all points of sales and all safes.
- B72. A Video Assessment and Surveillance System (VASS) shall be installed at the site and maintained by a property management company, security company, or designee.
- B73. Manager with access to VASS storage shall be able to respond to any activation within two hours.
- B74. Cameras shall be day/night capable with a resolution of no less than two (2) megapixels and a minimum frame rate of 15 frames per second.
- B75. Each driveway entrance and each building entrance shall be covered by a camera set at 100 pixels per foot or higher.
- B76. VASS shall be capable of exporting footage to common media in a standard viewing format and shall not require proprietary software for third party viewing.
- B77. Each driveway entrance and each building entrance shall be covered by a camera set at 100 pixels per foot or higher.
- B78. VASS shall be capable of exporting footage to common media in a standard viewing format and shall not require proprietary software for third party viewing.
- B79. VASS shall be placed in drive-thru areas so as to capture driver faces and vehicle license plates.
- B80. VASS shall be capable of storing no less than 30 days' worth of activity.
- B81. VASS shall provide comprehensive coverage of:
 - a. all points of sale
 - b. safe(s)
 - c. manager's office
 - d. areas of ingress and egress (doors, driveways)
 - e. alcohol placement areas
 - f. parking lot

- g. repair shop
- h. adjacent public rights of way
- i. trash enclosure(s)
- j. areas not clearly visible from public streets
- k. coverage of all four (4) exterior sides of the building(s)
- l. at least one camera shall be positioned to get a front face shot (e.g. height strip camera)

B82. Height markers are required on the interior doorways of the commercial buildings.

B83. No more than 10 percent of the square footage of windows and clear doors for retail purposes shall be blocked by advertising, signs, shelves or anything else. All advertising, signs, and shelving shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the premises from the exterior public sidewalk or entrance to the premises. All signs shall comply with the City Code.

B84. All dumpsters shall be kept locked or in locked enclosures. Gating for dumpster enclosures should be slatted to allow visual surveillance of the interior.

B85. Exterior trash receptacles shall be of a design to prevent unauthorized removal of articles from the trash bin.

B86. Sales registers should be designed so as to allow employees visual surveillance of the main store entrance.

B87. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over with matching paint within 72 hours of being applied.

During Construction:

B88. The applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours.

B89. The location shall be monitored by security after normal construction hours during all phases of construction. This can be done via remote camera monitoring.

B90. Adequate security lighting shall be provided to illuminate vulnerable equipment and materials. Lighting shall be white light with full cut off fixtures.

Sacramento Area Sewer District (SASD)

B91. Prior to the approval of Building permit improvement plans: To obtain sewer service, construction of SacSewer sewer infrastructure will be required. Current SacSewer Standards and Specifications apply to any offsite or onsite public sewer construction or modification. These improvements must be shown on the plans. Field modifications to new or existing precast manhole bases are not allowed.

B92. Prior to the approval of Building permit improvement plans: Installation of a public cleanout is required at the right-of-way. These improvements must be shown on the plans.

B93. Prior to the approval of Building permit improvement plans: The proposed onsite sewer crossing parcel boundaries is prohibited.

B94. Prior to the approval of Building permit improvement plans: SacSewer requires each building on each lot with a sewage source to have a separate connection to SacSewer's sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel must have a separate connection to a private onsite sewer line upstream of any connection to the SacSewer sewer. These improvements must be shown on the plans.

B95. Prior to the approval of Building permit improvement plans: SacSewer Design Standards and Specifications require minimum 6-inch lower laterals for commercial and industrial buildings. Construction of a manhole on Stockton Blvd. and Dias Ave. are required to connect the public lower laterals to the 6-inch main line.

B96. Prior to the submittal of Building permit improvement plans: All onsite sewer plans and offsite sewer plans must be submitted separately to SacSewer for review and approval.

B97. Prior to the approval of Building permit improvement plans. If any proposed garbage enclosure will contain a drain to the sewer, the enclosure must have a roof.

B98. Prior to the issuance of a building permit: The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to

determine if Regional San or SacSewer impact fees are due. Fees are to be paid prior to the issuance of building permits.

B99. Prior to district sign-off of the tentative parcel map: the existing and/or proposed sewer lines must be shown on a utility plan or the improvement plans.

Advisory Notes:

B100. City of Sacramento permits must be obtained for private patrol, alarms, and camera systems. (Police)

B101. City of Sacramento records indicate the following: a) 6000 Dias Avenue is being served by a 1-inch domestic service tap and meter b) 6305 Stockton Boulevard is being served by a 2-inch domestic service tap and meter c) 6325 Stockton Boulevard is being served by a 1.5-inch domestic service tap and meter, and a 1-inch irrigation service tap and meter. The property owner is subject to paying the monthly flat and usage rate for all existing water services serving the resultant parcel. (DOU)

B102. Future water services will only be authorized in certain situations, see Section 13.3.5.2 of the DPM for the specific requirements. (DOU)

B103. Water meters shall be located at the point of service, which is back of curb for separated sidewalks or back of walk for connected sidewalks. (DOU)

B104. City of Sacramento indicate there is an existing public 8" City water main and a public 36" City drainage main in Dias Avenue. A public 6" City water main and a public 12" City drainage main in Stockton Boulevard. (DOU)

B105. The applicant may request DOU Field Service Staff to verify location DOU facilities. City of Sacramento Operator may be reached at 311 in the City or (916) 264-5011 outside the City. (DOU)

B106. The subject area is served by the Sacramento Area Sewer District (SASD). Contact the SASD and satisfy their requirements. (DOU)

B107. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof. (DOU)

B108. ONGOING: Contact Regional San's Wastewater Source Control Section to determine if a wastewater discharge permit is needed at [\(916\) 875-6470](mailto:wscs@sacsewer.com) (Sac Sewer)

B109. ONGOING: Public lower laterals must not be smaller than the upper laterals, sized according the California Plumbing Code requirements. (Sac Sewer)

B110. ONGOING: The existing building is currently connected to public sewer. Any required construction and/or modification to the public sewer system must be to the satisfaction of SacSewer prior to the approval of improvement plans. SacSewer Design Standards and Specifications apply to any onsite and offsite public sewer construction. (Sac Sewer)

B111. ONGOING: Construction of a grease trap or a sand oil separator may be required. The applicant must verify with the applicable jurisdiction's building department. (Sac Sewer)

C. **Tree Permit** to remove one private protected tree is subject to the following conditions of approval:

C1. General Tree Protection – The applicant shall include the following Tree Preservation Measures in the General Notes, Grading Plans, Utility Plans, Demolition Plan, Landscape Plan and the offsite plans if the trees will be impacted by work proposed on each sheet:

Required Tree Preservation Measures for City and Private Protected Trees

1. This project shall contract with a project arborist experienced with tree protection and construction that is required to:
 - a. Attend the preconstruction meetings to approve of and inform contractors of all tree protection measures.
 - b. Visit the site before and after demolition, grading and landscaping as well as at least twice each month during construction to ensure that tree protection measures are implemented and maintained.
 - c. Be responsible for correcting any site conditions that may negatively impact the trees and revisit the site to ensure that corrective action was properly implemented.
 - d. The project arborist shall report in writing to Urban Forestry all violations and tree protection failures along with corrective action taken and expected outcomes.
2. All concrete sidewalks and driveways shall be retained throughout construction to protect the roots and soil from the impacts of construction activities.

- a. Existing driveways shall be used as the sole access to the site. Where there are no existing driveways, access shall be limited to a one or two locations outside the dripline of protected trees that have protection from soil compaction with the use of one or more of the following: A 6-inch layer of hardwood chips covered by $\frac{3}{4}$ -inch plywood or trench plates, geotextile fabric covered by a 6-inch layer of hardwood chips or an alternative that is approved by the City Arborist.
3. Right-of-way planters and City trees shall be separated from the construction site with a six-foot-high chain link fence that shall remain throughout the duration of the project to protect trees and to prevent construction traffic from compacting the soil in the planters.
4. Construction trailers and port-a-potties shall be placed on existing hardscape or bridged over the tree protection zone or planter so as not to compact soil.
5. Any Regulated Work within the dripline or Tree Protection Zone of a protected tree shall be separately permitted prior to the start of construction and supervised by a Qualified Arborist. Submit a tree permit application and a tree protection plan created by a Qualified Arborist to UrbanForestry@cityofsacramento.org and refer to the planning project number or off-site project number.
6. All excavation, grading or trenching within the dripline of a protected tree for the purpose of utility installation, constructing foundations, footings, sidewalks, curbs, gutters, or any other reason shall employ one of the following methods: Hydro-excavation, pneumatic excavation or hand digging and shall be directly supervised by a qualified arborist.
7. There shall be no excavation deeper than the existing excavation for sidewalks within the dripline of protected trees.
8. There shall be no grade changes within the dripline of protected trees. All grade changes shall be accommodated onsite.
9. There shall be no soil compaction within the dripline of protected trees.
10. There shall be no non-native soil, non-organic matter or structural soil added to the right-of-way planter.
11. The following is a list of activities that require a tree permit if they are to occur or be used within the right-of-way planter and/or within the tree protection zone of protected trees: any regulated work as defined in SCC 12.56, excavation, grade changes, trenches, root or canopy pruning or boring.

12. The following is a list of activities that are prohibited within the right-of-way planter and/or tree protection zone of protected trees: pedestrian and equipment traffic that could compact the soil or physically damage roots, parking vehicles, equipment and/or port-a-potties, storing of soil, construction materials, petroleum products, water or building refuse, disposing of wash water, paint, cement, fuel or other potentially damaging liquids and any other activities that may have negative impacts on the trees and soil.
13. All trees shall be watered regularly according to the recommendation of the project arborist.
14. The applicant shall be financially responsible for any damage to the city trees associated with the project. Accidental or negligent actions that damage city trees may result in a penalty. The monetary value of any such damage will be appraised by the City Urban Forester or his authorized representative and shall be expressed as the monetary equivalent of all labor and materials required to bring the tree in question to a state of comparable utility with regards to its condition and function prior to the beginning of the project.

TABLE OF CONTENTS:

Exhibit A – Project Plans

Adopted by the City of Sacramento City Council on December 9, 2025, by the following vote:

Ayes: Members Dickinson, Guerra, Jennings, Kaplan, Maple, Pluckebaum, Talamantes, Vang, and Mayor McCarty

Noes: None

Abstain: None

Absent: None

Attest:



01/05/2026

Mindy Cuppy, City Clerk

The presence of an electronic signature certifies that the foregoing is a true and correct copy as approved by the Sacramento City Council.

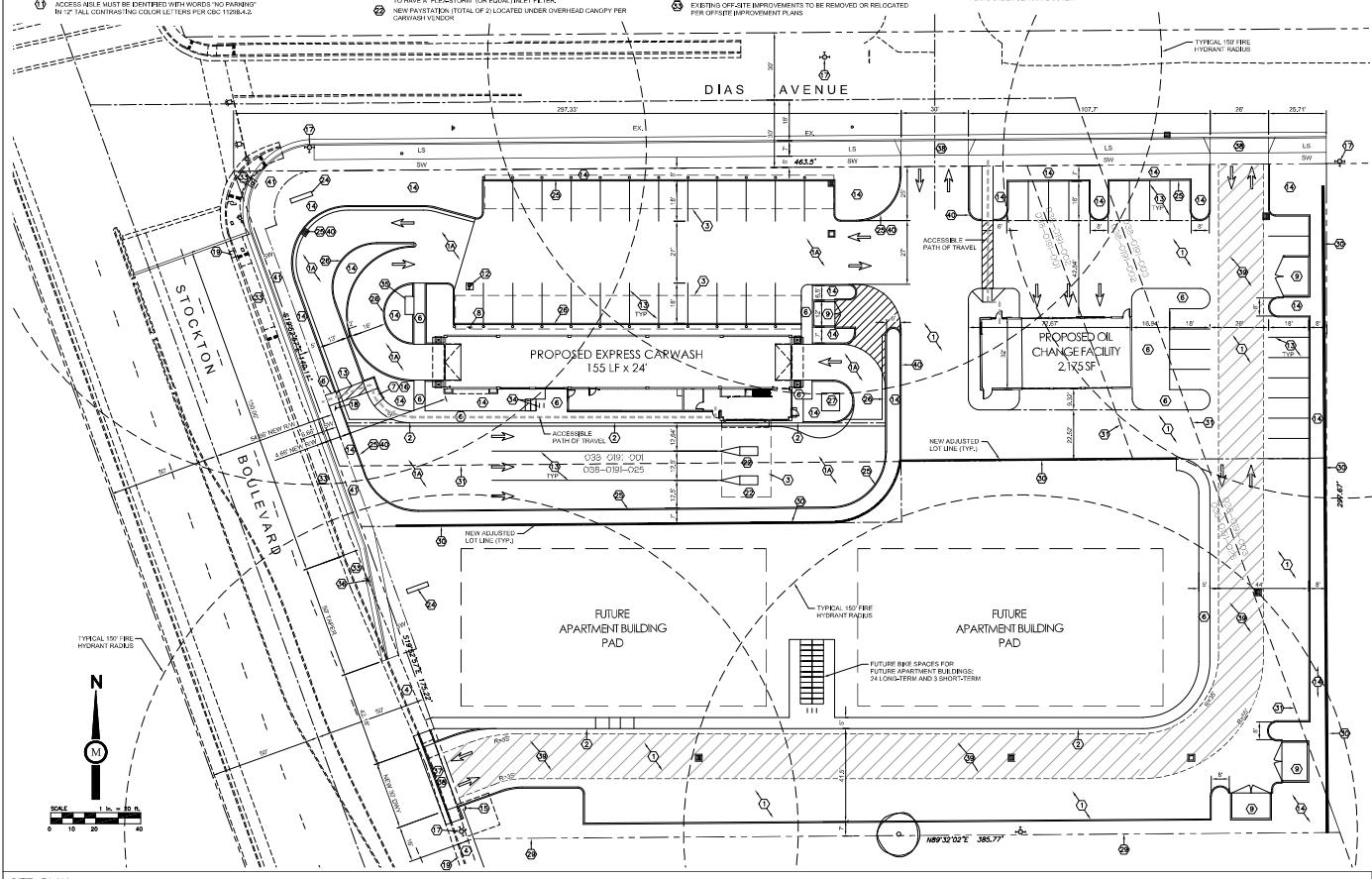
CONSTRUCTION NOTES

- ① PORTLAND CONCRETE PAVING, 2" THICK, OVER 10' x 12' (CLASS B) PER SQ. FT. REPORT
- ② PORTLAND CONCRETE CEMENT PAVING, 1" THICK, OVER 10' x 12' (CLASS B) PER SQ. FT. REPORT
- ③ 10' x 12' CONCRETE PAVING, 2" THICK, OVER 10' x 12' (CLASS B) PER SQ. FT. REPORT
- ④ NEW CONCRETE PAVING, PER CY CEMENT PAVING, 1" THICK, OVER 10' x 12' (CLASS B) PER SQ. FT. REPORT
- ⑤ EXISTING CONCRETE IMPROVEMENTS TO REPAIR, U.O.N.
- CONSTRUCT P.C.C. WALLS PER DETAIL, VOL. 2
- CONSTRUCT C.C. BEAMERS PER DETAIL, VOL. 2
- CONSTRUCT C.C. BEAMERS, 10' x 12' PER DETAIL, 15'CL1, OR 5'CL2, WHERE APPLICABLE
- ACCESIBLE PARKING SIGN PER DETAIL, 5'2" MOUNTED ON BOLLARD OR BUILDING, AS SHOWN
- CONSTRUCT COVERS TRASH ENCLOSURE PER DETAIL ON SHEET 22
- ACCESSIBLE MILE STONES, 10' x 12' PER DETAIL, 15'CL1, OR 5'CL2, WHERE APPLICABLE
- IN 12' TALL CONCRETE CURB, 10' x 12' PER DETAIL, 15'CL1, OR 5'CL2, WHERE APPLICABLE
- ACCESS MILE STONES, 10' x 12' PER DETAIL, 15'CL1, OR 5'CL2, WHERE APPLICABLE
- NO PARKING

- 12 PAINT ACCESSIBILITY SYMBOL - WHITE ON BLUE BACKGROUND FOR DETAIL 10C2
- 13 PAINT WIDE SOLE STRIPE - WHITE
- 14 LANDSCAPE AREA, SEE LANDSCAPE PLANS
- 15 INSTALL TOW AWAY SIGN FOR DETAIL MC2
- 16 INSTALL TRUNCATED DOMES 3 FT. HIGH (MINIMUM) BY WIDTH OF WALK
- 17 EXISTING PARKING SPOTS TO BE RELOCATED FOR OFF-SITE IMPROVEMENT PLANS
- 18 INSTALL ACCESSIBLE PATH OF TRAVEL, DIRECTIONAL SIGN
- 19 EXISTING DRAINAGE INLET NEAR TO BE RELOCATED PER OFF-SITE IMPROVEMENT PLANS
- 20 NEW CENTRAL VACUUM EQUIPMENT ENCLOSURE
- 21 INSTAL DRAINAGE INLET W/ TRAP; RATE GATE PER 16G2.1, ALL NETS TO BE REMOVED FROM DRAINAGE INLET FOR EASY INLET FILTER
- 22 NO PARKING SIGN TOTAL 2 FT LOCATED UNDER OVER-HEAD CANOPY PER CAVIAR HOUSE

- ✓ REMOVE EXISTING DRIVEWAY AND REPLACE WITH NEW CURB, GUTTER, AND SIDEWALK PER STANDARO STANDARD DETAILS
- ✓ NEW MULTILEVEL MONUMENT SIGN (BY OWNERS UNDER SEPARATE PERMIT)
- ✓ CONSTRUCT PCC CURB AND SIDEWALK PER DEPT. 14C2.1
- ✓ CONSTRUCT PCC SIDEWALK PER DEPT. 14C2.1
- ✓ CONSTRUCT ELECTRICAL TRANSFORMER PAD LOCATION. REFER TO UTILITY COMPANY PLANS.
- ✓ INSTAL CONCRETE INFLATABLE PIPER DEPT. 14C2.1
- ✓ EXISTING KITCHEN ENCLO. TO REMOVE
- ✓ CONSTRUCT & FRT. 1/4" CONCRETE WALL WITH P.C.C. CAPSTONE
- ✓ EXISTING STONE TO BE REMOVED WITH A LOT MERGER (UNDER SEPARATE APPROVAL)
- ✓ NEW HYDRANT PER DEPT. 14C2.1
- ✓ EXISTING OFF-SITE IMPROVEMENTS TO BE REMOVED OR RELOCATED
- ✓ PIR OFF-SITE IMPROVEMENT PLANS

- ④ PROVIDE 2 LONG-TERM AND 2 SHORT-TERM PARKING SPACES. CYCLIC FACILITY WITH THE CITY OF SACRAMENTO AND PLACEMENT STANDARDS.
- ⑤ INSTALL VENDING MACHINE CABINETS
- ⑥ EXISTING POWER POLE TO BE REMOVED. UTILITY COMPANY PLANS
- ⑦ SANICUT AND REMOVE EXISTING SIDEWALK AS REQUIRED FOR NEW DRIVEWAY.
- ⑧ NEW DRIVEWAY. REFER TO OFF-SITE PLANS UNDER SEPARATE COVER.



SITE PLAN

1" = 20'

PLAN

PLAN

PROPOSED BEE SHINE EXPRESS
CARWASH & OIL CHANGE FACILITY
6325 STOCKTON BOULEVARD
SAUSALITO, CA 94962-0005
415/362-0005

TTAL DATE

PLANNING DEPT:	10-20-25	
BUILDING DEPT:	10-20-25	
PUBLIC WORKS:	10-20-25	
SURVEY:	10-20-25	
REVISIONS		
No.	Description	Date

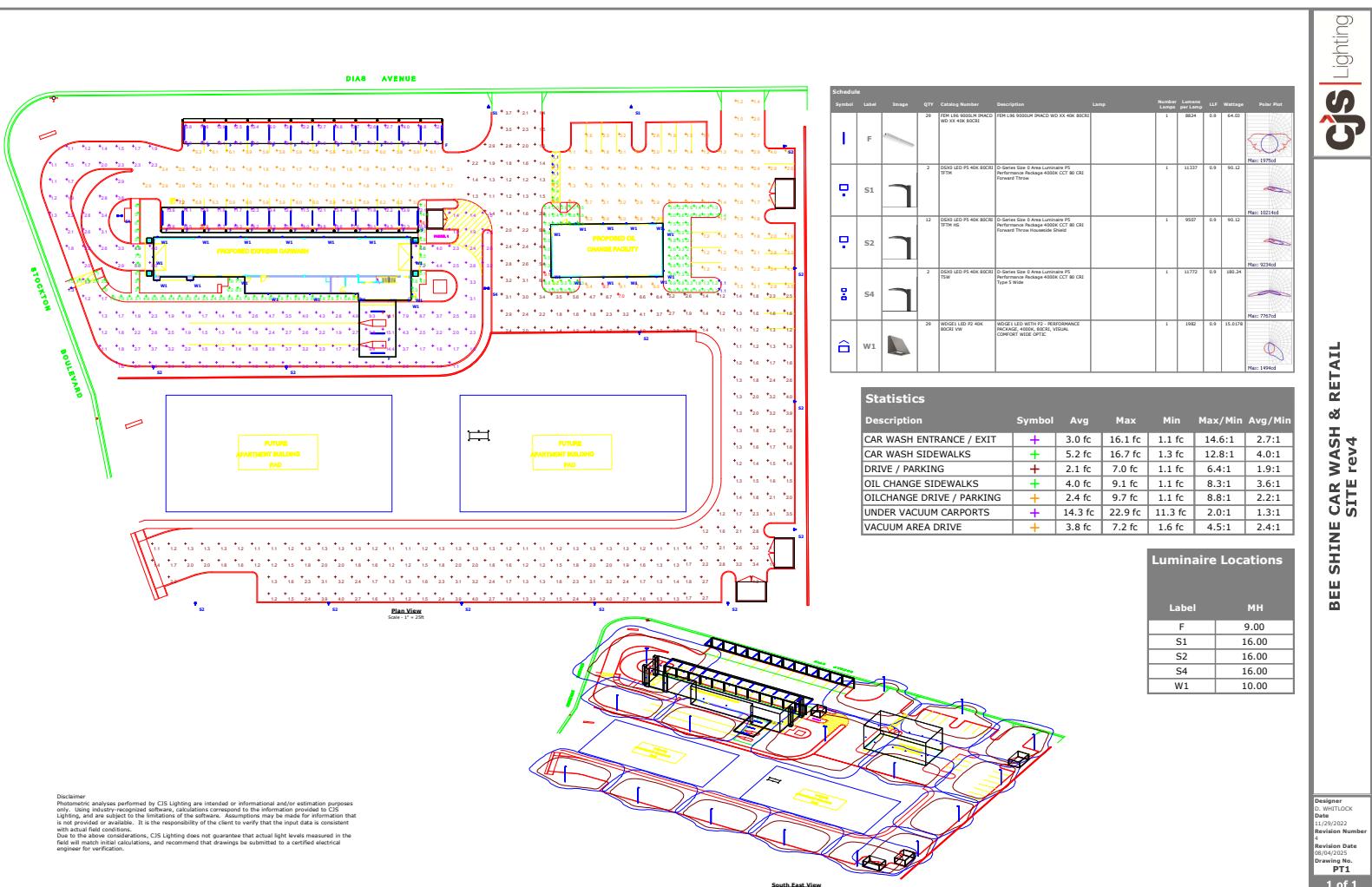
PRESS
FACILITY
RD

SHINE EXP
CHANGE I
N BOULEVA
DA 95824
34-002-002

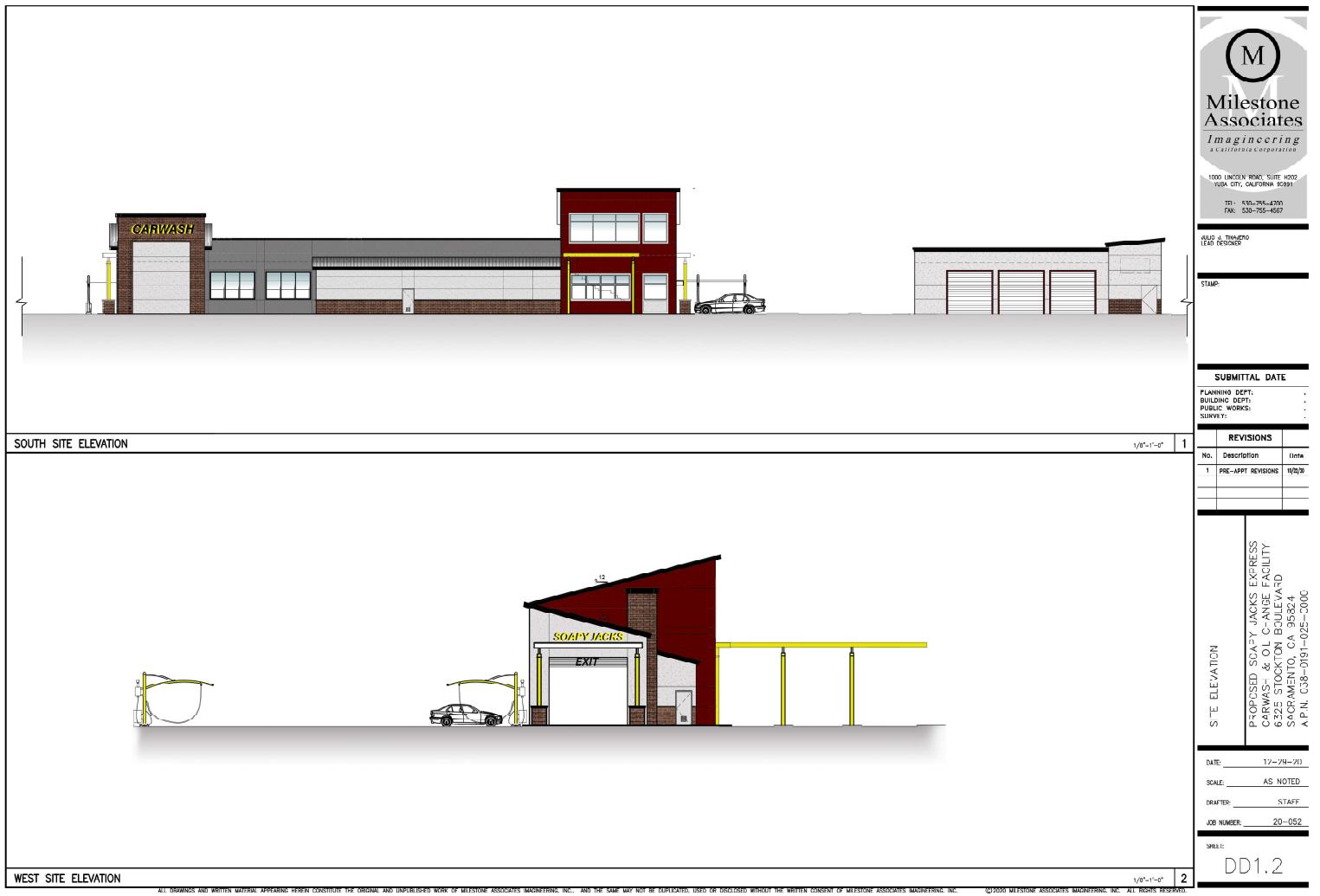
ED BEE
H & OIL
ROCKTON
MENTO, C
- 410-1

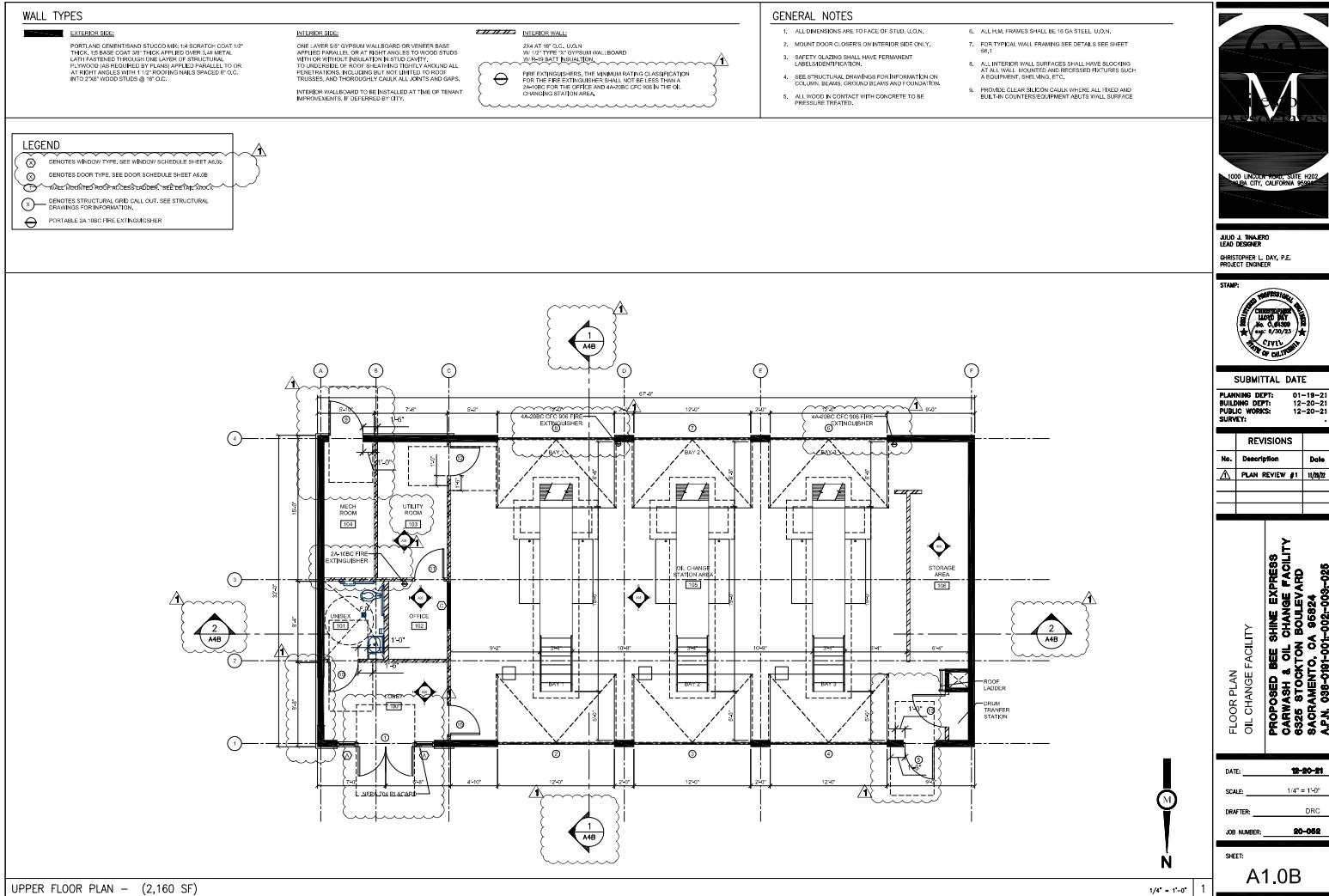
39

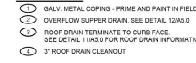
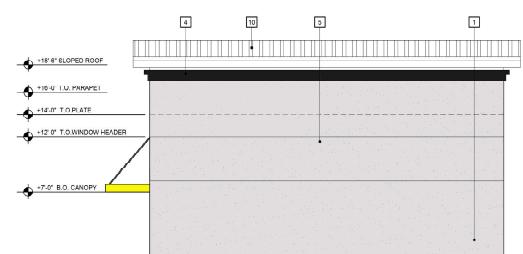
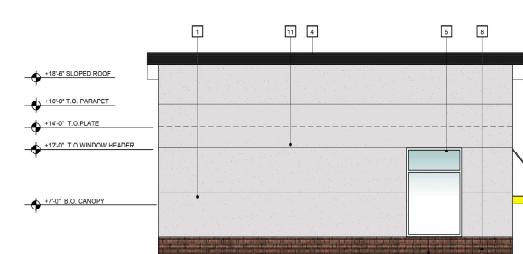
68



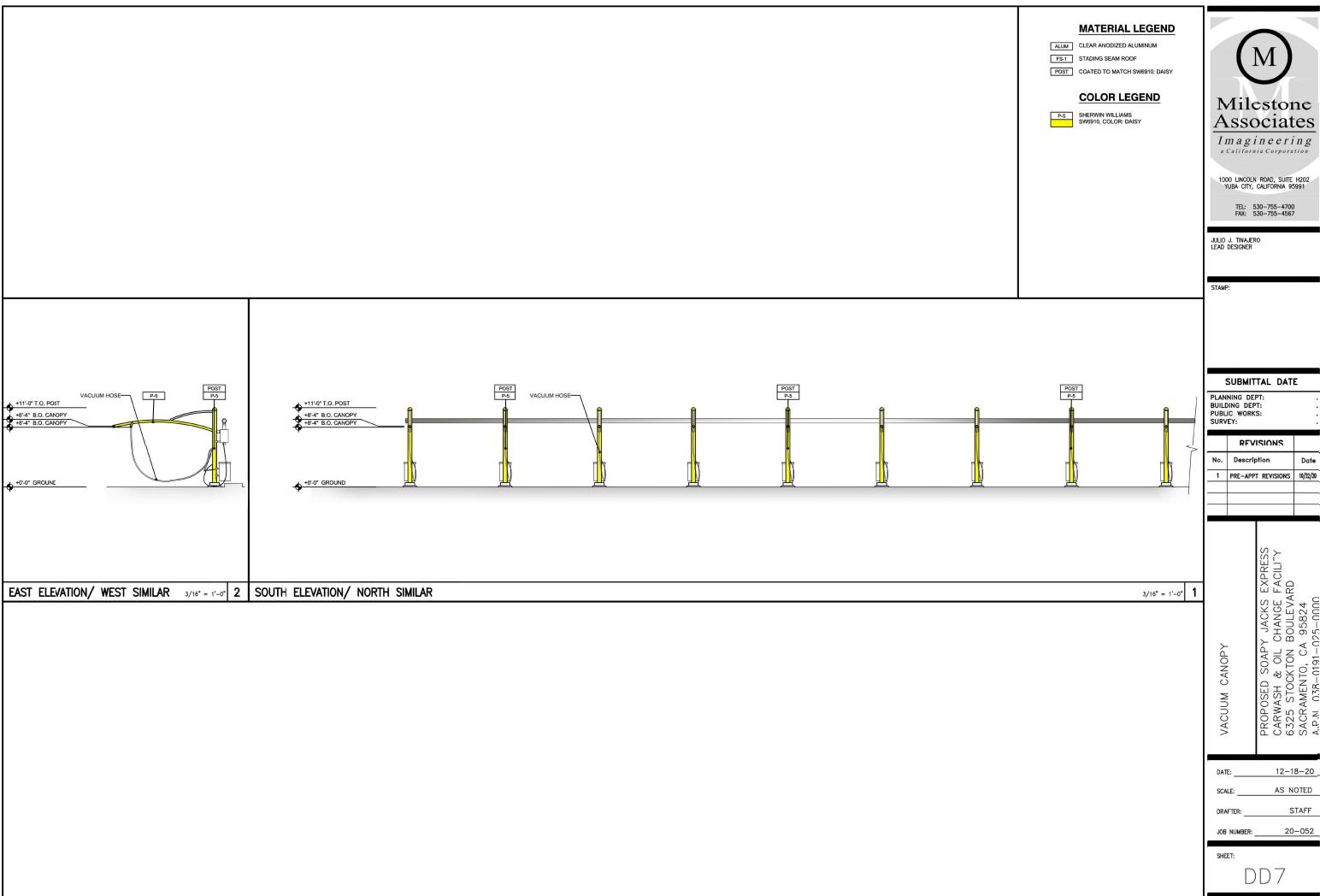






GENERAL NOTES: <ol style="list-style-type: none"> CAULK ALL WALL AND ROOF JOINTS. APPLY ONE COAT OF WATERPROOFING TO ALL HORIZ. STUCCO SURFACES. PAINT DOORS AND DOOR FRAMES AT HEAD, SILL AND JAMB (INTERIOR & EXTERIOR). STUCCO FINISH TO BE "LIGHT LACE" AS SPECIFIED BY THE STUCCO MANUFACTURERS ASSOCIATION ALTERNATE - "MEDIUM DAG" (CP: MEDIUM APPLIED). PROVIDE BUILDING ADDRESS NUMBER ON FRONT WALL AS DIRECTED BY LOCAL. PROVIDE A KNOW-ONE BOX AT THE ENTRANCE TO FIRE ROOM. COORDINATE EXIST. LOCATION WITH DENVER FIRE INSPECTION DEPT. IN CONSTRUCTION. ADDRESS NUMBERS OF ADDRESSEES SHALL BE PLACED ON ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE EASILY READ FROM THE STREET OR ROAD. THE ADDRESS NUMBER SHALL BE PLACED ON THE EXTERIOR OF THE BUILDING WITH A MINIMUM OF 2" CANDLE POWER ON THE FACE OR ADDRESSABLE SURFACE. THE NUMBER SHALL BE PLACED IN A POSITION SO AS TO NOT OBSTRUCT THE EXTERIOR DOOR. IN ADDITION THE ADDRESS NUMBERS SHALL CONTRAST TO THEIR BACKGROUND. PROVIDED THE ADDRESS NUMBER IS PLACED ON THE EXTERIOR OF THE BUILDING, THE MIDDLE TENANT BUILDING ARE SERVICED BY REAR ACCESS, THE INDIVIDUAL BUREAU NUMBER SHALL BE MIN. 4" HIGH. NOTE: ADDRESS NUMBERS SHALL BE A MINIMUM OF 8" IN HEIGHT. 		KEYNOTES:  <p>GALV. METAL CORNERS - PRIME AND PAINT INFIELD OVERFLOW SUPER CROWN, SEE DETAIL SW740.0 ROOF DRAIN TERMINATE TO CURB FLOOR SEE DETAIL L100-04 FOR ROOF DRAIN INFORMATION 3" ROOF DRAIN CLEANOUT</p>	SIGN COLOR NOTES: <p>1. MAIN SIGN WALL HAVE LETTERING AND INLOGY BY SHERWIN WILLIAMS SW981.</p>	EXTERIOR FINISH SCHEDULE <table border="1"> <thead> <tr> <th>MATERIAL</th> <th>PANT COLOR</th> <th>MATERIAL COLOR</th> <th>COLOR</th> </tr> <tr> <th>NAME</th> <th>MF-R</th> <th>INFO.</th> <th></th> </tr> </thead> <tbody> <tr> <td>1 METAL GANDRY</td> <td>1. SNOWY</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW9610</td> </tr> <tr> <td>2 METAL GANDRY</td> <td>2. REFLECTIVE WHITE</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW7757</td> </tr> <tr> <td>3 METAL CORNICE AND TRIM</td> <td>3. REFLECTIVE WHITE</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW7747</td> </tr> <tr> <td>4 METAL CORNICE AND TRIM</td> <td>4. IRON ORE</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW7769</td> </tr> <tr> <td>5 CEMENT PLASTER</td> <td>5. CYPRESS WHITE</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW9233</td> </tr> <tr> <td>6 DOOR FRAME</td> <td>6. POSITIVE RED</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW9601</td> </tr> <tr> <td>7 CEMENT PLASTER</td> <td>7. NETWORK GRAY</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW7703</td> </tr> <tr> <td>8 BRICK</td> <td>8. ANTIQUE RED</td> <td>CULTURED BRICK</td> <td></td> </tr> <tr> <td>9 STANDING SEAM ROOF</td> <td>9. SILVER STRAND</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW7757</td> </tr> <tr> <td>10 STANDING SEAM ROOF</td> <td>10. NETWORK GRAY</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW7703</td> </tr> <tr> <td>11 DOOR & WINDOW FRAMES</td> <td>11. REFLECTIVE WHITE</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW7747</td> </tr> <tr> <td>12 DOOR FRAME</td> <td>12. CYPRESS WHITE</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW9233</td> </tr> <tr> <td>13 WINDOW FRAME</td> <td>13. IRON ORE</td> <td>Q1 SHERWIN WILLIAMS</td> <td>SW7769</td> </tr> <tr> <td>14 OVERHEAD DOOR</td> <td></td> <td></td> <td>TBD</td> </tr> </tbody> </table>	MATERIAL	PANT COLOR	MATERIAL COLOR	COLOR	NAME	MF-R	INFO.		1 METAL GANDRY	1. SNOWY	Q1 SHERWIN WILLIAMS	SW9610	2 METAL GANDRY	2. REFLECTIVE WHITE	Q1 SHERWIN WILLIAMS	SW7757	3 METAL CORNICE AND TRIM	3. REFLECTIVE WHITE	Q1 SHERWIN WILLIAMS	SW7747	4 METAL CORNICE AND TRIM	4. IRON ORE	Q1 SHERWIN WILLIAMS	SW7769	5 CEMENT PLASTER	5. CYPRESS WHITE	Q1 SHERWIN WILLIAMS	SW9233	6 DOOR FRAME	6. POSITIVE RED	Q1 SHERWIN WILLIAMS	SW9601	7 CEMENT PLASTER	7. NETWORK GRAY	Q1 SHERWIN WILLIAMS	SW7703	8 BRICK	8. ANTIQUE RED	CULTURED BRICK		9 STANDING SEAM ROOF	9. SILVER STRAND	Q1 SHERWIN WILLIAMS	SW7757	10 STANDING SEAM ROOF	10. NETWORK GRAY	Q1 SHERWIN WILLIAMS	SW7703	11 DOOR & WINDOW FRAMES	11. REFLECTIVE WHITE	Q1 SHERWIN WILLIAMS	SW7747	12 DOOR FRAME	12. CYPRESS WHITE	Q1 SHERWIN WILLIAMS	SW9233	13 WINDOW FRAME	13. IRON ORE	Q1 SHERWIN WILLIAMS	SW7769	14 OVERHEAD DOOR			TBD
MATERIAL	PANT COLOR	MATERIAL COLOR	COLOR																																																																	
NAME	MF-R	INFO.																																																																		
1 METAL GANDRY	1. SNOWY	Q1 SHERWIN WILLIAMS	SW9610																																																																	
2 METAL GANDRY	2. REFLECTIVE WHITE	Q1 SHERWIN WILLIAMS	SW7757																																																																	
3 METAL CORNICE AND TRIM	3. REFLECTIVE WHITE	Q1 SHERWIN WILLIAMS	SW7747																																																																	
4 METAL CORNICE AND TRIM	4. IRON ORE	Q1 SHERWIN WILLIAMS	SW7769																																																																	
5 CEMENT PLASTER	5. CYPRESS WHITE	Q1 SHERWIN WILLIAMS	SW9233																																																																	
6 DOOR FRAME	6. POSITIVE RED	Q1 SHERWIN WILLIAMS	SW9601																																																																	
7 CEMENT PLASTER	7. NETWORK GRAY	Q1 SHERWIN WILLIAMS	SW7703																																																																	
8 BRICK	8. ANTIQUE RED	CULTURED BRICK																																																																		
9 STANDING SEAM ROOF	9. SILVER STRAND	Q1 SHERWIN WILLIAMS	SW7757																																																																	
10 STANDING SEAM ROOF	10. NETWORK GRAY	Q1 SHERWIN WILLIAMS	SW7703																																																																	
11 DOOR & WINDOW FRAMES	11. REFLECTIVE WHITE	Q1 SHERWIN WILLIAMS	SW7747																																																																	
12 DOOR FRAME	12. CYPRESS WHITE	Q1 SHERWIN WILLIAMS	SW9233																																																																	
13 WINDOW FRAME	13. IRON ORE	Q1 SHERWIN WILLIAMS	SW7769																																																																	
14 OVERHEAD DOOR			TBD																																																																	
 <p>WEST ELEVATION</p>		<p>1. PLANNING DEPT: 2. BUILDING DEPT: 3. PERMIT NO.: 4. SURVEY:</p> <p>REVISIONS</p> <table border="1"> <tr> <td>No.</td> <td>Description</td> <td>Date</td> </tr> <tr> <td>1</td> <td>PRE-APP REVISIONS</td> <td>10/26/20</td> </tr> </table> <p>SUBMITTAL DATE</p> <p>DATE: 12 29 20 SCALE: AS NOTED DRAFTER: STAFF JOB NUMBER: 270-049 SHEET: DD5</p>		No.	Description	Date	1	PRE-APP REVISIONS	10/26/20																																																											
No.	Description	Date																																																																		
1	PRE-APP REVISIONS	10/26/20																																																																		
 <p>EAST ELEVATION</p>		<p>CUL-CHANGE EXTERIOR ELEVATIONS</p> <p>PROPOSED SOIL CATCH FACILITY CARWASH & OIL CHANGE BLDG 6325 STOCKTON BOULEVARD SACRAMENTO, CA 95824 A.F.N. 036-091-225-0200</p>																																																																		

GENERAL NOTES:		KEYNOTES:		SIGN COLOR NOTES:		EXTERIOR FINISH SCHEDULE																																																
<ol style="list-style-type: none"> GRATE ALL WALL AND ROOF PENETRATIONS APPLY ONE COAT OF WATERPROOFING TO ALL HORIZ. STUCCO SURFACES. CAULK ALL WINDOWS AND DOOR FRAMES AT HEAD, SILL AND JAMB (EXTERIOR & INTERIOR). STUCCO FINISH TO BE "LIGHT LACE" AS SPECIFIED BY THE STUCCO MANUFACTURERS ASSOCIATION ALTERNATE - MEDIUM DASHED MACHINE APPLIED PROVIDE BUILDING ADDRESS NUMBER ON FRONT WALL AS UNCL. BLD BY LOCAL MUNICIPAL CODES PROVIDE A KNOX KEY BOX AT THE ENTRANCE TO FIRE ROOM COORDINATE EXACT LOCATION WITH REDDING FIRE DEPARTMENT PRIOR TO CONSTRUCTION APPROPRIATE NUMBERS OF ADDRESSES SHALL BE PLACED ON ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE EASILY READ FROM THE STREET OR ROAD PROVIDED THAT THE ADDRESS NUMBER IS PLACED IN A POSITION THAT IS PLACED WITH A MINIMUM OF 6" OF CLEARANCE PROVIDED IN THE FACE FOR ADDRESS NUMBERS SHALL BE PLACED IN A POSITION THAT IS PLACED WITH A MINIMUM OF 6" OF CLEARANCE PROVIDED IN THE FACE FOR ADDRESS NUMBERS SHALL LAY IN POS. 1 IN THE SKAUKUANI PROVIDED THAT THE ADDRESS NUMBER IS PLACED IN A POSITION THAT IS PLACED WITH A MINIMUM OF 6" OF CLEARANCE PROVIDED IN THE FACE FOR ADDRESS NUMBERS SHALL BE MIN. 4" HIGH. NUMBERS SHALL BE MIN. 4" HIGH. 		<p>1. GALV. METAL COPING - PRIME AND PAINT IN FIELD 2. OVERFLOW GUTTER DRAIN, GCD DETAIL 10/2/0</p> <p>1-2. 100% UHMW IMPLANT FOR 10 LUMPS/HALF GCD DETAIL 11/18/03 FOR ROOF DRAIN INFORMATION</p> <p>3. 1" ROOF DRAIN CLEANSOUT</p>		<p>1. MAIN SIGN WILL HAVE LETTING ATE IN BLDG BY SHERWIN WILLIAMS 04/01/01.</p>		<table border="1"> <thead> <tr> <th rowspan="2">MATERIAL</th> <th colspan="2">COLOR</th> </tr> <tr> <th>PAINT COLOR</th> <th>MATERIAL COLOR</th> </tr> </thead> <tbody> <tr> <td>1. METAL CANOPY</td> <td>■ PAINT NAME</td> <td>■ MFTC</td> </tr> <tr> <td>2. METAL CANOPY</td> <td>■ PAINT NAME</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>3. METAL CORNICE AND TRIM</td> <td>■ REFLECTIVE WHITE</td> <td>■ SW7757</td> </tr> <tr> <td>4. METAL CORNICE AND TRIM</td> <td>■ REFLECTIVE WHITE</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>5. CEMENT PLASTER</td> <td>■ IRON ORE</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>6. DOOR FRAME</td> <td>■ OLYMPUS WHITE</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>7. CEMENT PLASTER</td> <td>■ IRON ORE</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>8. BRICK</td> <td>■ NEUTRAL GRAY</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>9. STANDING SEAM ROOF</td> <td>■ IRON ORE</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>10. STANDING SEAM ROOF</td> <td>■ NEUTRAL GRAY</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>11. DOOR & WINDOW FRAMES</td> <td>■ REFLECTIVE WHITE</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>12. DOOR / FRAME</td> <td>■ OLYMPUS WHITE</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>13. WINDOW FRAME</td> <td>■ IRON ORE</td> <td>■ SHERWIN WILLIAMS</td> </tr> <tr> <td>14. OVERCLAD DOOR</td> <td></td> <td>TBD</td> </tr> </tbody> </table>		MATERIAL	COLOR		PAINT COLOR	MATERIAL COLOR	1. METAL CANOPY	■ PAINT NAME	■ MFTC	2. METAL CANOPY	■ PAINT NAME	■ SHERWIN WILLIAMS	3. METAL CORNICE AND TRIM	■ REFLECTIVE WHITE	■ SW7757	4. METAL CORNICE AND TRIM	■ REFLECTIVE WHITE	■ SHERWIN WILLIAMS	5. CEMENT PLASTER	■ IRON ORE	■ SHERWIN WILLIAMS	6. DOOR FRAME	■ OLYMPUS WHITE	■ SHERWIN WILLIAMS	7. CEMENT PLASTER	■ IRON ORE	■ SHERWIN WILLIAMS	8. BRICK	■ NEUTRAL GRAY	■ SHERWIN WILLIAMS	9. STANDING SEAM ROOF	■ IRON ORE	■ SHERWIN WILLIAMS	10. STANDING SEAM ROOF	■ NEUTRAL GRAY	■ SHERWIN WILLIAMS	11. DOOR & WINDOW FRAMES	■ REFLECTIVE WHITE	■ SHERWIN WILLIAMS	12. DOOR / FRAME	■ OLYMPUS WHITE	■ SHERWIN WILLIAMS	13. WINDOW FRAME	■ IRON ORE	■ SHERWIN WILLIAMS	14. OVERCLAD DOOR		TBD
MATERIAL	COLOR																																																					
	PAINT COLOR	MATERIAL COLOR																																																				
1. METAL CANOPY	■ PAINT NAME	■ MFTC																																																				
2. METAL CANOPY	■ PAINT NAME	■ SHERWIN WILLIAMS																																																				
3. METAL CORNICE AND TRIM	■ REFLECTIVE WHITE	■ SW7757																																																				
4. METAL CORNICE AND TRIM	■ REFLECTIVE WHITE	■ SHERWIN WILLIAMS																																																				
5. CEMENT PLASTER	■ IRON ORE	■ SHERWIN WILLIAMS																																																				
6. DOOR FRAME	■ OLYMPUS WHITE	■ SHERWIN WILLIAMS																																																				
7. CEMENT PLASTER	■ IRON ORE	■ SHERWIN WILLIAMS																																																				
8. BRICK	■ NEUTRAL GRAY	■ SHERWIN WILLIAMS																																																				
9. STANDING SEAM ROOF	■ IRON ORE	■ SHERWIN WILLIAMS																																																				
10. STANDING SEAM ROOF	■ NEUTRAL GRAY	■ SHERWIN WILLIAMS																																																				
11. DOOR & WINDOW FRAMES	■ REFLECTIVE WHITE	■ SHERWIN WILLIAMS																																																				
12. DOOR / FRAME	■ OLYMPUS WHITE	■ SHERWIN WILLIAMS																																																				
13. WINDOW FRAME	■ IRON ORE	■ SHERWIN WILLIAMS																																																				
14. OVERCLAD DOOR		TBD																																																				
				<p>JULIO J. THAI/CDG LEAD DESIGNER</p> <p>STAMP:</p>		<p>SUBMITTAL DATE</p> <p>PLANNING DEPT. BUILDING DEPT. PUBLIC WORKS SURVEY:</p> <table border="1"> <thead> <tr> <th colspan="3">REVIEWS</th> </tr> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PRE-APP/ REVISIONS</td> <td>10/2/02</td> </tr> </tbody> </table> <p>OL C-ANGE EXTERIOR ELEVATIONS</p> <p>PROPOSED SWAY JACKS EX-CESS CARWAS- & OL C-ANGE HEAD FACILITY 6325 STOCKTON BOULEVARD SACRAMENTO, CA 95824 A.P.N. C38-091-025-2000</p> <p>DATE: 1/29/2003 SCALE: AS NOTED DRAFTER: STAFF JOB NUMBER: 20-052 SHEET: 1</p> <p>DD6</p>		REVIEWS			No.	Description	Date	1	PRE-APP/ REVISIONS	10/2/02																																						
REVIEWS																																																						
No.	Description	Date																																																				
1	PRE-APP/ REVISIONS	10/2/02																																																				





M
Milestone
Associates
Imaginering
a California Corporation

1001 MILLER KIRK, SUITE 1000
 YUBA CITY, CALIFORNIA 95991
 TEL: 530-785-4700
 FAX: 530-785-9201

ALDO J. TAPIERO
 LEED DESIGNER



SUBMITTAL DATE
 PLANNING DEPT: . . .
 BUILDING DEPT: . . .
 PUBLIC WORKS: . . .
 SURVEY: . . .

REVISIONS

No.	Description	Date
1	PRE-APPT REVISIONS	10/20/20

CONTEXTUAL MAP
 PROPOSED SOAPY JACKS EXPRESS
 CARWASH & OIL CHANGE FACILITY
 6325 STOCKTON BOULEVARD
 SACRAMENTO, CA 95824
 A.P.N. 038-091-225-000C

DATE: 12-14-20
 SCALE: AS NOTED
 DRAFTER: STAFF
 JHR. NUMBER: 20-1052
 SHEET: 1
 DD8

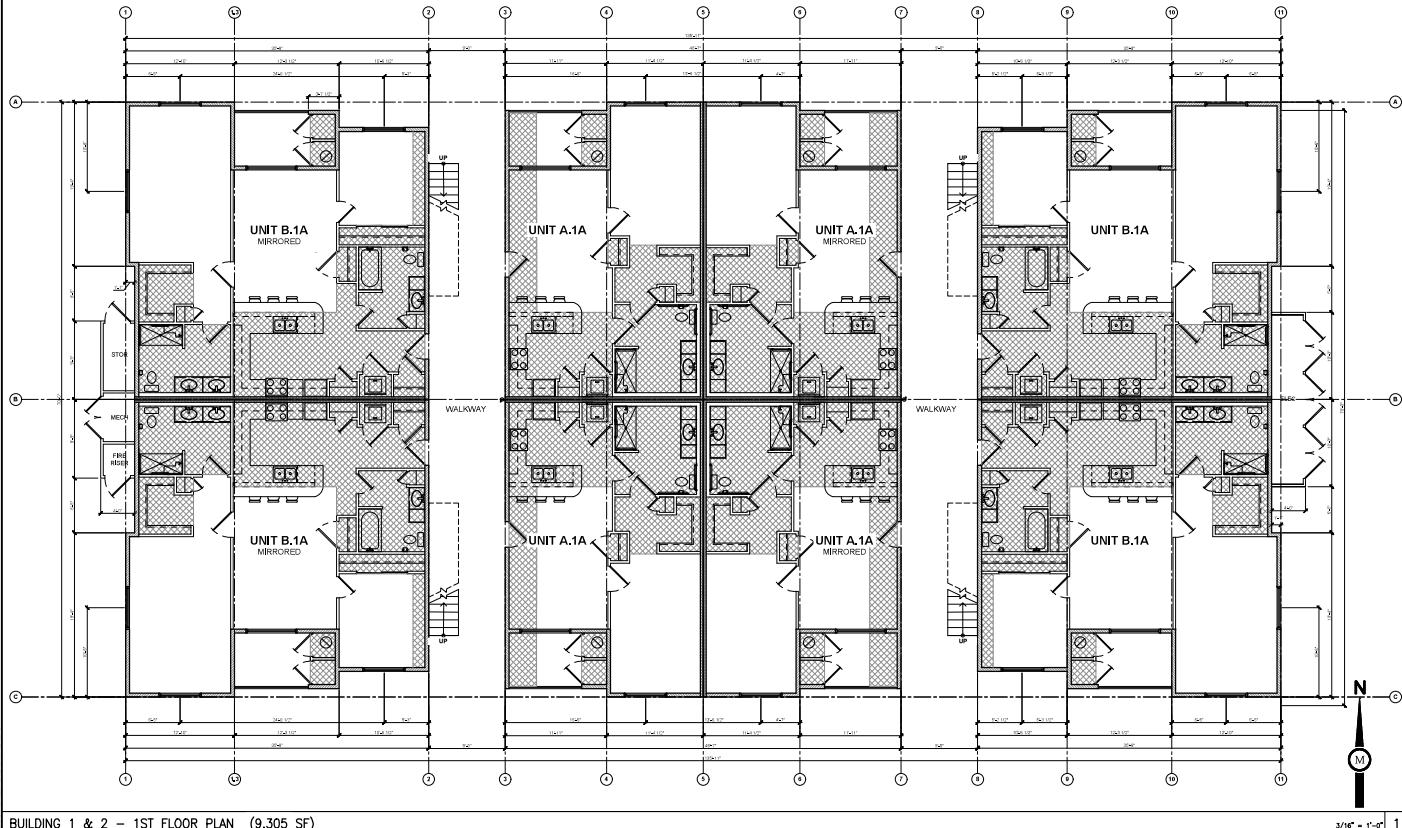
CONTEXTUAL MAP

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF MILESTONE ASSOCIATES IMAGINERING, INC. AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF MILESTONE ASSOCIATES IMAGINERING, INC.

©2020 MILESTONE ASSOCIATES IMAGINERING, INC. ALL RIGHTS RESERVED.

BUILDING 1 & 2 - 1ST FLOOR PLAN - BUILDING DATA

	SQ. FT.	# OF UNITS PER FLOOR	TOTAL SF PER FLOOR
1 BEDROOM UNIT	801 SF	4	3,204 SF
2 BEDROOM UNIT	1,186 SF	4	4,744 SF



1000 LINCOLN ROAD, SUITE H202
YUCAIPA, CALIFORNIA 92399-2602
TEL: 530-755-4700
FAX: 530-755-4567

JULIO J. THALERO
LEADER
CHRISTOPHER L. BAY, P.E.
PROJECT DRAFTER



SUBMITTAL DATE
PLANNING DEPT: 05-22-24
BUILDING: 05-22-24
PUBLIC WORKS:
SURVEY:

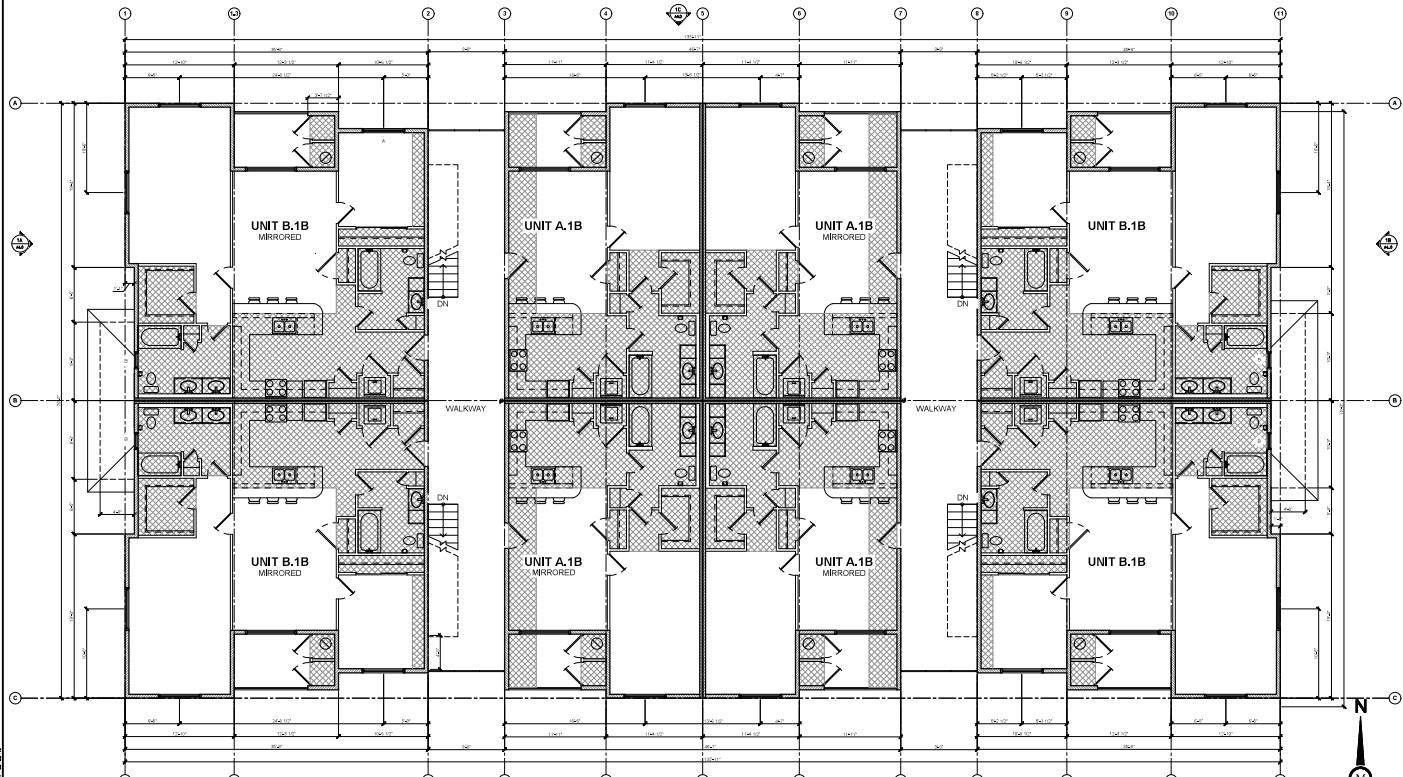
REVISIONS
No. Description Date
A PLAN REVIEW #1 6/2/24

BUILDING 1 & 2
1ST FLOOR PLAN
PROPOSED BEE SHINE EXPRESS
CARWASH & OIL CHANGE FACILITY
6395 STOCKTON BOULEVARD
SACRAMENTO, CA 95824
A.P.M. 036-01H-001-002-003-025

DATE: 06/22/24
SCALE: 3/16" = 1'-0"
DRAFTER: DA
JOB NUMBER: 20-068
SHEET: DD9.0
P23-014

BUILDING 1 & 2 - 2ND & 3RD FLOOR PLAN - BUILDING DATA

	SQ. FT.	# OF UNITS PER FLOOR	TOTAL SF PER FLOOR
1 BEDROOM UNIT	801 SF	4	3,204 SF
2 BEDROOM UNIT	1,186 SF	4	4,744 SF



BUILDING 1 & 2 - 2ND & 3RD FLOOR PLAN (9,305 SF)

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF MILESTONE ASSOCIATES IMAGINEERING, INC., AND THE SAME MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF MILESTONE ASSOCIATES IMAGINEERING, INC.

© 2024 MILESTONE ASSOCIATES IMAGINEERING, INC. ALL RIGHTS RESERVED.

3/16" = 1'-0"

1

DD9.1

P23-014



1000 LINCOLN ROAD, SUITE H202
YUCAIPA, CALIFORNIA 92399

TEL: 530-755-4700

FAX: 530-755-4567

JULIO J. THAIERO
LEADER
CHRISTOPHER L. BAY, P.E.
PROJECT ENGINEER

STAMP:



SUBMITTAL DATE
PLANNING DEPT: 05-22-24
BUILDING: 05-22-24
PUBLIC WORKS:
SURVEY:

REVISIONS

No. Description Date

1 PLAN REVIEW #1 6/22/24

2

3

4

5

6

7

8

9

10

11

12

13

14

15

16

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

36

37

38

39

40

41

42

43

44

45

46

47

48

49

50

51

52

53

54

55

56

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

