



CITY OF SACRAMENTO

CITY PLANNING DEPARTMENT  
927 TENTH STREET SACRAMENTO, CA 95814  
SUITE 300 TELEPHONE (916) 449-5804

MARTY VAN DUYN  
PLANNING DIRECTOR

January 9, 1984

City Council  
Sacramento, California

Honorable Members in Session:

SUBJECT: 1. Environmental Determination  
2. Tentative Map (P83-385) (APN: 274-320-26)

LOCATION: West side of Gateway Oaks Drive, north of Garden Highway

SUMMARY

This is a request for entitlements necessary to divide 31.6 vacant acres into 6 parcels for residential condominium development. The Commission also approved a Special Permit for the first phase (parcels 1 through 5) of development which consists of 224 units on 16.3+ acres.

BACKGROUND INFORMATION

The South Natomas Community Plan designates the subject site as residential with a density range of 4-21 du/acre with a minimum density of 9.7 du/acre. The proposed project, at 13.7 du/acre, is consistent with this designation.

The subject condominium complex is the first new residential development to be proposed west of the I-5 freeway. The project will provide for residential units adjacent to and within walking distance of the future office buildings in the Gateway Oaks and Natomas Eastside business parks.

The subject site has three large mature Oak trees. The applicant's site plan indicates the retention of these trees. Both the Special Permit and Tentative Map have been conditioned to insure the preservation of these trees.

The Environmental Coordinator has determined that the proposed project will not have a significant adverse effect on the environment and has filed a Negative Declaration.

APPROVED  
BY THE CITY COUNCIL

JAN 17 1984

OFFICE OF THE  
CITY CLERK

City Council

-2-

January 9, 1984

VOTE OF THE PLANNING COMMISSION

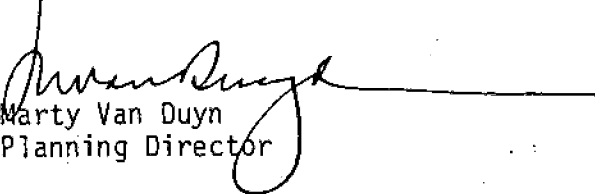
On December 15, 1983, the Planning Commission, by a vote of five ayes and four absent, recommended approval of the project subject to conditions.

RECOMMENDATION

The staff and Planning Commission recommend that the City Council approve the project by:

1. Ratifying the Negative Declaration; and
2. Adopting the attached Resolution adopting Findings of Fact, approving the Tentative Map with Conditions.

Respectfully submitted,

  
 Marty Van Duyn  
 Planning Director

FOR CITY COUNCIL INFORMATION  
 WALTER J. SLIPE  
 CITY MANAGER

TM:lao  
 attachments  
 P83-385

January 17, 1984  
 District No. 1



**RESOLUTION No. 84-048**

**Adopted by The Sacramento City Council on date of**

A RESOLUTION ADOPTING FINDINGS OF FACT AND APPROVING  
A TENTATIVE MAP FOR PROPERTY LOCATED ON THE WEST SIDE OF GATEWAY OAKS DRIVE, NORTH OF GARDEN HIGHWAY  
(P-83-385)(APN: 274-320-26)

APPROVED BY THE CITY COUNCIL  
JAN 17 1984  
OFFICE OF THE CITY CLERK

WHEREAS, the City Council, on January 17, 1984, held a public hearing on the request for approval of a tentative map for property located on the west side of Gateway Oaks Drive, north of Garden Highway;

WHEREAS, all governmental and utility agencies affected by the development of the proposed subdivision have been notified and given the opportunity to respond;

WHEREAS, the City Environmental Coordinator has determined that the proposed project will not have a significant effect on the environment, and has provided notice to the public of the preparation of a Negative Declaration;

WHEREAS, the City Planning Commission has submitted to the City Council its report and recommendations on the proposed subdivision;

WHEREAS, the City Council has considered the design of the proposed subdivision in relation to feasible future passive or natural heating and cooling opportunities; and

WHEREAS, the City Council has considered the effects that approval of the proposed subdivision would have on the housing needs of the Sacramento Metropolitan area and balances these needs against the public service needs of City residents and available fiscal and environmental resources.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

1. The Negative Declaration has been prepared in compliance with CEQA, State and City Guidelines, and the Council has reviewed and considered the information contained therein.
2. None of the conditions described in Government Code Section 66474, subsections (a) through (g) inclusive, exist with respect to the proposed subdivision.
3. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan, and Chapter 40 of the City Code, which is a Specific Plan of the City. Both the City General Plan and the 1978 South Natomas Community Plan designate the subject site for residential use(s).

4. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Quality Control Board, Central Valley Region in that existing treatment plants have a design capacity adequate to service the proposed subdivision.
5. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.
6. The tentative map for the proposed subdivision is hereby approved, subject to the following conditions which must be satisfied prior to the filing of the final map unless a different time for compliance is specifically noted:
  - a. Provide standard subdivision improvements on all boundry streets as per existing Natomas Oaks 1A plans or file with the City, pursuant to Section 40.811 of the City Code;
  - b. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
  - c. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
  - d. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required eighty percent (80%) north/south orientation (including solar access) to the satisfaction of the Planning Director or comply with Title 24 energy requirements of the Uniform Building Code.
  - e. Proposed on-site bridges shall comply with City specifications;
  - f. Construct driveways to City specifications;
  - g. The lake area shall be privately maintained. Water supply shall be from private wells. Design of the system shall be approved by the City/County Health Department. A note outlining these conditions shall be placed on the final map;

- h. A Homeowner's Association shall be formed and C.C.R.'s developed assigning responsibility of maintenance of the lake area to the Homeowner's Association. C.C. & R.'s shall be approved by the Public Works Director and City Attorney. A note referencing lake maintenance responsibility shall be placed on the final map;
- i. Show reciprocal sewer, drainage, water and access easements;
- j. Pay off existing assessments;

\_\_\_\_\_  
MAYOR

ATTEST:

\_\_\_\_\_  
CITY CLERK

P83-385

LOT A

PARCEL No. 1  
LOT B, 75 P.M.S. 34

RIVER RIDGE  
(FUTURE DEVELOPMENT)

GARDEN HIGHWAY

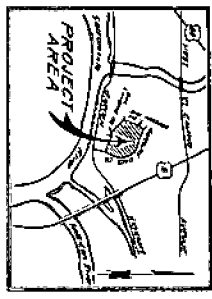
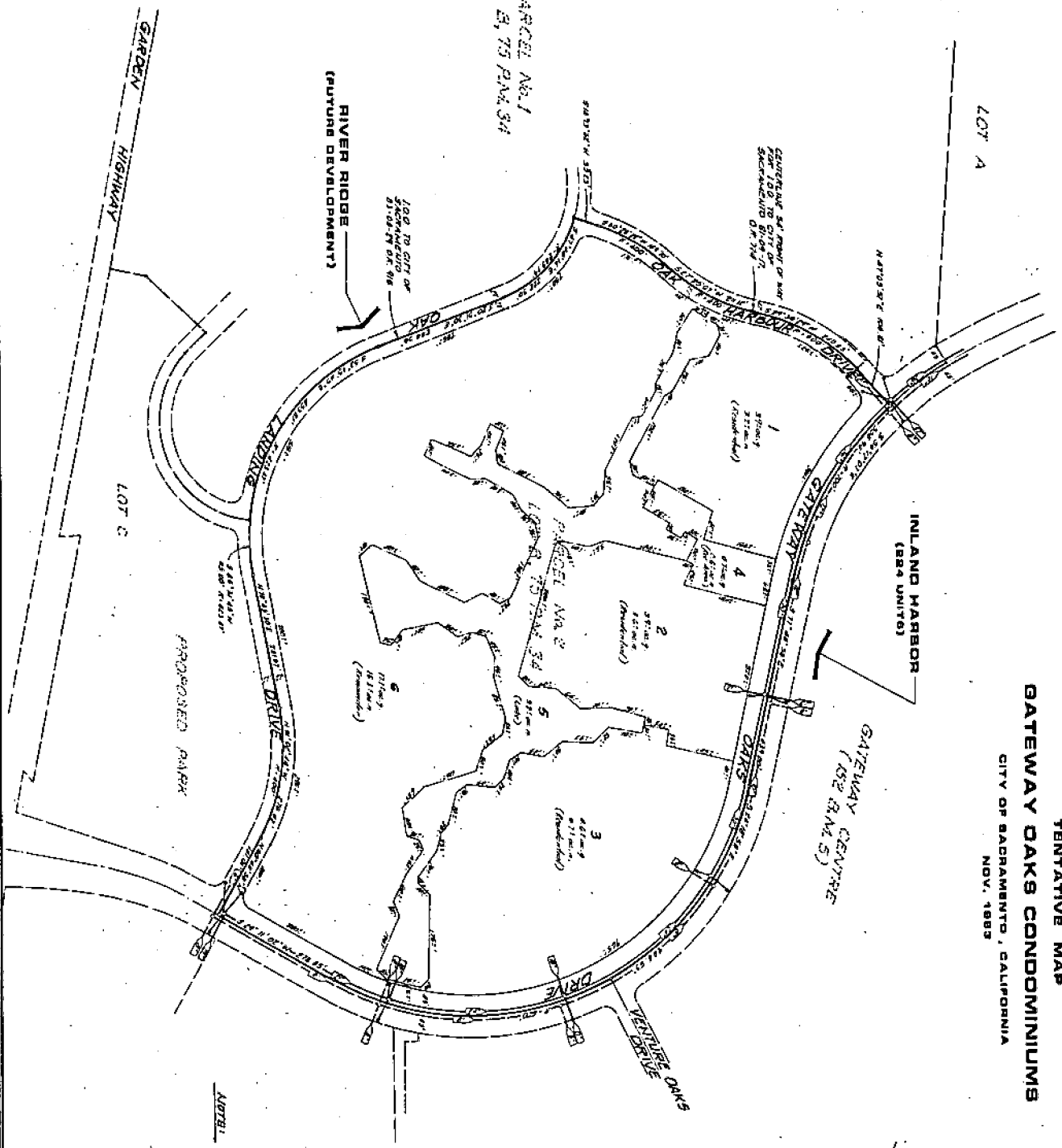
LOT C

PROPOSED PARK

INLAND HARBOR  
(1824 UNITS)

GATEWAY CENTRE  
(152 B.M.S.)

**TENTATIVE MAP**  
**GATEWAY OAKS CONDOMINIUMS**  
CITY OF SACRAMENTO, CALIFORNIA  
NOV. 1983



VICINITY MAP  
AS SHOWN

**RECORD OWNER SUBMITTER:**

GRUPE CONSULTANTS, INC.  
1701 N. MARKET LANE  
STOCKTON, CALIF. 95207

**ENGINEER:**

THE SPINK CORP.  
5000 17th ST.  
SACRAMENTO, CALIF. 95811

**PRESERVE USE & ZONE:**

UNCLASSIFIED (UNRESERVED)  
6.12 (RESERVED) 60A  
LOT 1: 66 UNITS  
LOT 2: 72 UNITS  
LOT 3: 72 UNITS  
LOT 4: 72 UNITS  
LOT 5: 72 UNITS  
LOT C: 1800 UNITS  
(PROPOSED DEVELOPMENT)

**WATER DISPOSAL:**

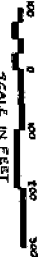
TO BE DETERMINED

**SEWAGE DISPOSAL:**

TO BE DETERMINED

**ACREAGE:**

5.12 AC. TOTAL  
A.P.N.: 12-35-20



SCALE IN FEET

NO.	DATE	DESCRIPTION	BY	APP.

APPROVALS	

**THE SPINK CORPORATION**  
ENVIRONMENTAL PLANNING - ENGINEERING  
ARCHITECTURE - SURVEYING - MAPPING - SYSTEMS  
310 F STREET, SACRAMENTO, CALIFORNIA 95811 PHONE (916) 441-6170

NO. 1  
SHEET 1  
DATE 11/17/83  
BY [Signature]

STAFF REPORT AMENDED BY STAFF 12-15-83  
CITY PLANNING COMMISSION

33

927 10TH STREET, SUITE 300 - SACRAMENTO, CALIFORNIA 95814

APPLICANT	The Spink Corp. P.O. Box 2511, Sacramento, CA 95811		
OWNER	Grupe Communities, Inc. - 2291 W. Marsh Lane, Stockton, CA		
PLANS BY			
FILING DATE	11-10-83	50 DAY CPC ACTION DATE	REPORT BY: GM:sg
NEGATIVE DEC.	12-5-83	EIR	ASSESSOR'S PCL. NO. 274-320-26

- APPLICATION:
1. Negative Declaration
  2. Tentative Map to divide 31.6± acres into six parcels
  3. Special Permit to develop 224 condominium units known as Gateway Oaks in the Townhouse (R-1A) zone (Zoning Ordinance Section 8-B-3)

LOCATION: West side of Gateway Oaks Drive, north of Garden Highway

PROPOSAL: The applicant is requesting the necessary entitlements to develop 224 condominium units on 14.4 net vacant acres known as Gateway Oaks.

PROJECT INFORMATION:

1974 General Plan Designation: Residential  
1978 South Natomas Community  
Plan Designation: Residential (4-21 du/ac., min. 9.7 du/ac.)  
Existing Zoning of Site: R-1A  
Existing Land Use of Site: Vacant

Surrounding Land Use and Zoning:

North: Vacant; OB-PUD  
South: Vacant; R-1(PUD)  
East: Vacant; OB(PUD)  
West: Vacant; R-1(PUD)

Parking Required: 336 (1.5:1)  
Parking Provided: 448 (2:1)  
Property Dimensions: Irregular  
Property Area: 31.6± acres  
Density of Development: 12.7 du/net acre  
Square Footage of Dwelling Units: 785, 978, 1,057 sq. ft.  
Height of Structures: 28' (two story)  
Topography: Flat  
Street Improvements: To be provided  
Utilities: To be provided  
Exterior Building Colors: Driftwood grey, white trim  
Exterior Building Materials: Wood lap siding & composition shingle roof  
North/South Lot/Structure Orientation: 43%



BACKGROUND INFORMATION: The subject site is a 31.6± acre vacant parcel located on the west side of the existing Gateway Oaks Drive and east of the future Oak Landing Drive. The applicant proposes to divide the site into six parcels with the first phase development occurring on parcels one through five. Development on parcel six will occur at a later time. The applicant proposes to develop 224 condominium units on 14.4 net acres along with a large man-made lake approximately 3.2 acres in size located in the middle of subject site. The residential units will be constructed around the perimeter of the lake which spreads out in six directions from the center of the site.

SUBDIVISION REVIEW COMMITTEE RECOMMENDATION: On November 30, 1983, by a vote of seven ayes, two absent, the Subdivision Review Committee recommended approval of the tentative map subject to conditions. The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted:

1. Provide standard subdivision improvements on all boundary streets as per existing Natomas Oaks 1A plans on file with the City, pursuant to Section 40.811 of the City Code;
2. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;
3. Pursuant to City Code Section 40.319-1, the applicant shall indicate easements on the final map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the City Engineer after consultation with the U.S. Postal Service;
4. The applicant/developer shall designate and place on the final map those structures and/or lots which will meet the required eighty percent (80%) south orientation (including solar access) to the satisfaction of the Planning Director;
5. Proposed on-site bridges shall comply with City specifications;
6. Construct driveways to City specifications;
7. The lake area shall be privately maintained. Water supply shall be from private wells. Design of the system shall be approved by the City/County Health Department. A note outlining these conditions shall be placed on the final map;
8. A Homeowner's Association shall be formed and C.C.R.'s developed assigning responsibility of maintenance of the lake area to the Homeowner's Association. C.C. & R.'s shall be approved by the Public Works Director and City Attorney. A note referencing lake maintenance responsibility shall be placed on the final map;
9. Show reciprocal sewer, drainage, water and access easements;
10. Pay off existing assessments;

STAFF EVALUATION: Staff has the following comments regarding this project:

1. The South Natomas Community Plan designates the subject site residential with a density range of 4-21 du/acre and specifies a minimum density of 9.7 du/acre.

The applicant proposes 224 condominium units on 17.6 net acres (includes the lake) computes to a density of 12.7 du/net acre. The proposed project is consistent with the designated density of the community plan and the site's R-1A zoning classification.

- 2. The applicant proposes 224 dwelling units consisting of three model types with the following specifications:

<u>Model Type</u>	<u>Size</u>	<u>Bedroom/Bathrooms</u>
A	728 sq. ft.	1 bedroom 1 bathroom
B	978 Sq. ft.	2 bedrooms, 1-1/4 bathrooms
C	1,057 sq. ft.	2 bedrooms, 2 bathrooms

The units are two-story in height, constructed of wood lap siding, composition shingle roofs with the buildings proposed to be painted driftwood grey and white trim. Recreational facilities consist of a 2,000± square foot recreation building and 20' x 45' swimming pool. The applicant is also proposing to develop a man-made lake located in the middle of the site approximately 3.2± acres in size. The residential units are to be constructed around the fingers of the lake which spread out in six different directions from the center of the subject site.

The City's Engineering Department and Water Division have no objections to the proposed lake. The major stipulation is that the water for the lake shall be pumped from private wells (not City water) and that the homeowners' association be responsible for maintainance of the lake.

The proposed project provides a landscaped setback area 25' to 40' in width along Gateway Oaks Drive. The project provides off-street parking with a ratio of two spaces per unit. Approximately one-half of the parking spaces are covered carport parking. Surplus/guest parking is uncovered.

To insure consistency in landscape development throughout the project as well as to insure the incorporation of energy savings design elements and building design and orientation in the site design, staff recommends that Exhibit A be adopted as a condition of approval.

- 3. The site plan indicates a 2,000 square foot recreation building and approximately 900± square foot swimming pool for recreational amenities for the residents of the complex. Staff requests that the applicant incorporate some tot lot recreation facilities into the complex to provide a recreation area for young children.
- 4. The staff has no objections to the applicant's project. The subject condominium complex is the first new residential development to be constructed west of the I-5 freeway. The project will provide high quality residential units adjacent to and within walking distance of many of the future office buildings in the Gateway Oaks and Natomas Eastside business parks.
- 5. The Planning and Community Services Departments have determined that 4.23 acres of land are required for parkland dedication purposes and that fees

are to be charged in lieu of the required parkland dedication. The subdivi-der shall submit to the City an appraisal of the land to be subdivided. The appraisal shall be dated and submitted no more than 90 days prior to the filing of the final map. Staff notes that, based upon the recreational facilities proposed in the condominium portion of the project, it appears that the applicant is eligible for 40% credit of parkland fees. To substantiate the precise credit, staff suggests the applicant submit detailed plans of the proposed recreation facilities to the Community Services Department prior to filing the final map.

6. The subject site is developed with three large mature Oak trees. The applicant's site plan indicates the location of the subject trees and is intended to be incorporated into the project's overall landscape plan. To insure the retention of the three Oak trees, staff recommends that the final map and building permit plans clearly indicate their locations and the necessary notes and conditions be placed on the final map and building plans as a condition of approval.
7. The overall project achieves a 43% north/south orientation of condominium units. In order to achieve the 80% goal of north/south lot orientation and/or unit orientation of the General Plan, the applicant should design as many units with south wall solar access to meet the 80% target. The tentative map is conditioned so that the individual building structures will be reviewed at the time of building permit issuance for compliance with the 80% target of north/south structure or unit orientation.
8. The project was routed to the South Natomas Advisory Committee for review and comment. As of the writing of this report, no comments have been received by the Planning Department from the Citizens' Committee.

STAFF RECOMMENDATION: The staff recommends the following actions:

1. Ratification of the negative declaration;
2. Approval of the tentative map subject to conditions which follow;
3. Approval of the special permit per the submitted plans subject to conditions and based upon the findings of fact which follow:

Conditions - Tentative Map

The applicant shall satisfy each of the following conditions prior to filing the final map unless a different time for compliance is specifically noted.

- a. Provide standard subdivision improvements on all boundry streets as per existing Natomas Oaks 1A plans or file with the City, pursuant to Section 40.811 of the City Code;
- b. Pursuant to City Code Section 40.1302 (Parkland Dedication), the applicant shall submit to the City an appraisal of the property to be subdivided and pay the required parkland dedication in-lieu fees. The appraisal shall be dated not more than 90 days prior to the filing of the final map;



- b. The special permit, as conditioned, will not be detrimental to the public health, safety or welfare, nor result in the creation of a nuisance in that substantial setbacks, landscaping, recreation facilities, and off-street parking are provided.
- c. The special permit is consistent with the General Plan policies to:
  - Recognize new concepts for residential land use, design and technology, and consider their appropriate use with existing forms of residential development; and
  - Encourage more privately owned recreational and open space facilities as well as other amenities in residential projects.
- d. The proposal is consistent with the 1974 General Plan and the 1978 South Natomas Community Plan in that the site is designated for residential uses.

P.83-385

VICINITY MAP

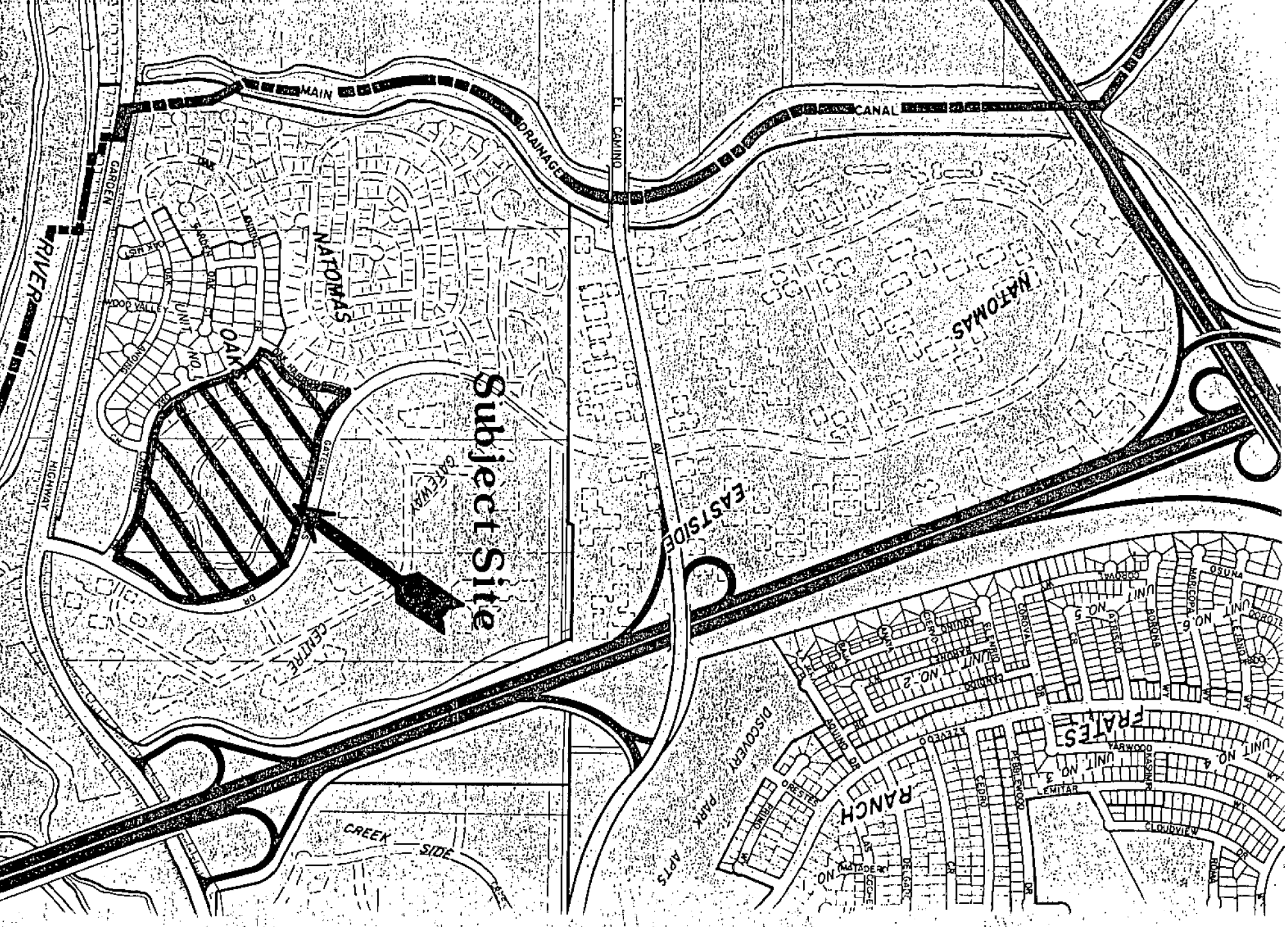


EXHIBIT A

33

Residential Design Criteria

A. GENERAL BUILDING DESIGN AND ORIENTATION

1. The monotony of straight building lines of all units shall be remedied through limiting the size of individual buildings or units, staggering of units, variation of exterior building materials on adjacent units, use of intensive landscaping, or other methods.
2. All mechanical equipment (including public utility boxes and particularly exterior wall mounted air conditioning units) shall be attractively screened.
3. Buildings shall be designed and oriented to reduce overview of private areas and windows from second story units.
4. Accessory structures shall be compatible in design and materials with main buildings.
5. Communal facilities shall be centrally located.
6. Recreational facilities shall be located and/or designed so as not to impact adjacent properties.
7. Solar heating and cooling of units should be considered.
8. Site planning shall take into account optimum solar orientation of structures.
9. Site planning shall minimize the incidences of one building shading another.
10. Private garden areas shall be oriented to the south as much as possible.
11. Roofing materials shall be medium wood shake or equivalent aluminum, concrete, or other imitation shakes or tile, subject to Planning Director approval.
12. The location of second story end unit windows shall be varied from the typical plan when appropriate to reduce the incidence of overview into private first floor open space and parking areas, and to provide variety in exterior unit detailing.

B. MULTIPLE FAMILY DESIGN CRITERIA

1. OFFSTREET PARKING - Offstreet parking shall be provided at a ratio that adequately serves the needs of tenants and guests. The minimum ratio shall be 1.5 to 1 (this ratio may be reduced for projects designed strictly for the elderly). Six foot masonry walls are required on interim property lines between parking lot areas and existing or proposed residential development.
2. For the convenience of tenants and guests, and to encourage use of off-street rather than curbside parking and parking along private drives, parking spaces shall be located as close as possible to the unit or communal facility it is intended to serve.

3. To discourage parking on the street and along private on-site drives, physical barriers such as landscaping, berming, or wall segments shall be incorporated into the project design.
4. Off-street parking shall be screened from the street by undulating landscaped berming with a minimum four foot height (as measured from either the parking surface or street sidewalk, whichever is higher).
5. Parking shall be screened from second story units by trees or lattice work.
6. The project shall comply with the 50% shading of surfaced areas requirement of the Zoning Ordinance.
7. The setback from interior side and rear property lines shall be 10 feet for open stalls and 15 feet for carports.
8. Evergreen trees shall be used for screening purposes along the perimeter of the parking areas.
9. Particularly within large open lots, deciduous trees should be utilized to provide summer shading and winter sun.
10. Within open parking areas, there shall be at least one tree for every five parking spaces.
11. To visually break up the long rows of parking, a landscaped planter with evergreen trees and a minimum width of five feet shall also be located after every tenth parking stall.
12. In PUD projects parking stall depth shall be reduced by two feet.
  - a. The two feet gained shall be incorporated into adjacent landscaping or walkways.
  - b. For angled parking the triangular space at the head of each stall shall be landscaped (as a planter when abutting a sidewalk or incorporated into adjacent landscaped strips).
13. The more efficient 90 degree parking arrangement shall be utilized when possible so as to minimize parking lot size.
14. For the most part, double-loading of parking aisles should be utilized to minimize surfacing devoted to maneuvering area.
15. A minimum setback of 50 feet shall be utilized on multiple family projects from interior property lines abutting existing developments where two story structures are proposed. A minimum setback of 20 feet shall be required where single story structures in multiple family projects abut existing developments.



C. ON-SITE CIRCULATION

- 1. Minimum pedestrian/vehicle conflict should be sought in driveway/walkway system design.
- 2. A display and unit location map shall be installed at each major driveway entrance and any major walkway entrance to the project as an aid to emergency personnel and a convenience to visitors.
- 3. Walkway location shall assure convenient access between parking and dwelling units.
- 4. Central pedestrian/bikepaths shall provide convenient access to bus stops, green belts and public facilities.
- 5. Pedestrian crossings shall be provided at appropriate locations along main drives and shall be accentuated by a change in surface texture.

D. BICYCLE STORAGE

Bicycle racks and lockers shall be provided throughout the development.

E. LANDSCAPING AND OPEN SPACE

- 1. Landscape materials selected shall be:
  - a. Compatible with one another and with existing material on the adjacent site.
  - b. Complimentary to building design and architectural theme.
  - c. Varied in size (one and five gallon shrubs, five and 15 gallon, and 24 inch box trees).
- 2. Landscape treatment shall include:
  - a. Lawn areas shall be established by sodding or hydromulching when conditions such as excessive gradient, anticipated seasonal rain, etc., may result in erosion or other problems.
  - b. Larger specimens of shrubs and trees along the site periphery.
  - c. Greater intensity of landscaping at the end of buildings when those elevations lack window and door openings or other details that provide adequate visual interest. This is especially significant at the street frontage and interior side and rear property lines and for two story structures.
  - d. Consistency with energy conservation efforts.

- e. Trees located so as to screen parking areas and private first floor areas and windows from second story units.
- f. Undulating landscaped berms located along street frontage and achieving a minimum height of four feet measured off of the street sidewalk or the adjacent building pad or parking lot, whichever is higher.
- g. Deciduous trees shall be utilized along the south and west facing building walls to allow solar access during the winter.

3. Landscaping of parking areas is discussed in Section B.

F. TRASH ENCLOSURES

- 1. Sturdy enclosure walls shall be constructed to reduce maintenance.
- 2. Design and materials shall match or complement the residential structures.
- 3. Metal plate doors, if used, shall have wood veneer and/or wood battens.
- 4. Walls shall be a minimum six feet in height; more if necessary for adequate screening.
- 5. The enclosures shall be screened with landscaping.
- 6. The enclosures shall be adequate in capacity, number, and distribution.



# GATEWAY OAKS

## SACRAMENTO CALIFORNIA

**DEVELOPER**  
 GROPE COMMUNITIES, INC.  
 2231 WEST MARCH LANE  
 STOCKTON, CALIFORNIA

**LAND PLANNER**  
 ANTHONY M. GUZZARDO  
 AND ASSOCIATES, INC.  
 938 MONTGOMERY STREET  
 SAN FRANCISCO, CALIFORNIA

### SITE INFORMATION

NET SITE ACRES - 14.41  
 NET SITE DENSITY (DPA) 1666  
 DWELLING UNITS 244

UNIT TYPE A THAF 48 - 015  
 UNIT TYPE B 2BAC 48 - 015  
 UNIT TYPE C 2BAC 152 - 015

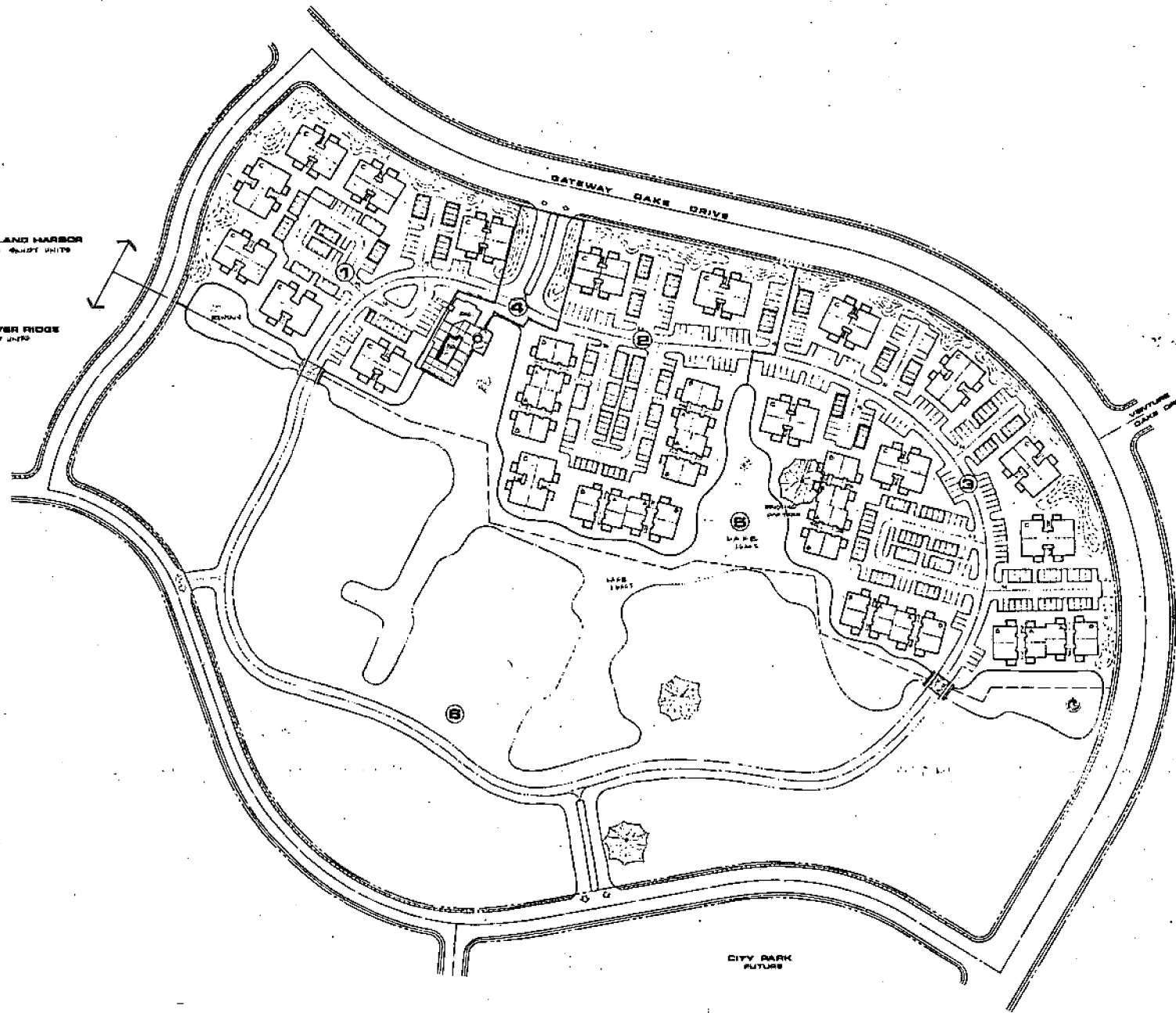
PARKING 448 (1:1)  
 CARSPOTS 224  
 OPEN STALLS 224

NET AREA INCLUDES THE LAKE 19.24

### SITE PLAN



SCALE IN FEET  
 0 20 40 60 80 100  
 DATE NOVEMBER 2, 1989



EX.C

33



ELEVATION UNIT C



ELEVATION UNIT A&B  
SCALE: 1/8" = 1'-0"

EX. D

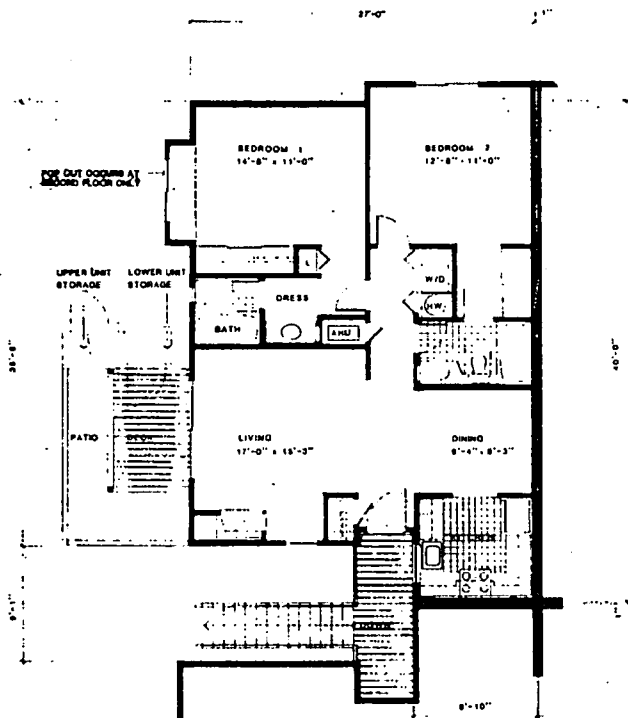
INLAND HARBOR  
SACRAMENTO, CALIFORNIA

Developer: Grupe Communities, Inc.

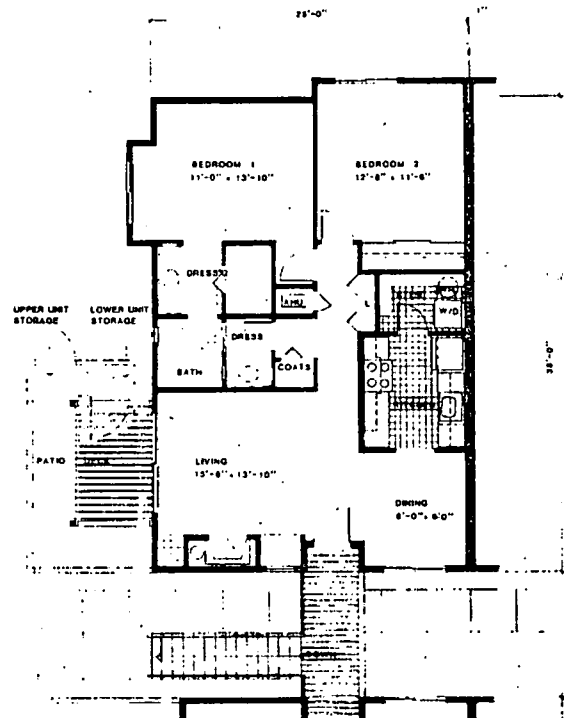
ELEVATIONS

DATE: 20 SEPT, 1983  
PROJECT NUMBER: 8249  
DRAWN BY: [illegible]  
CHECKED BY: [illegible]

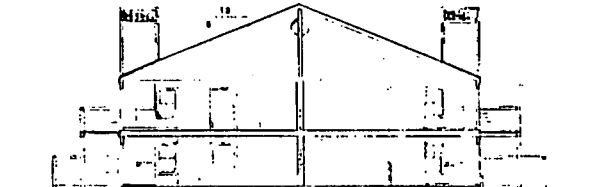
APPROVED BY PLANNING  
 1500 GARDEN STREET  
 SACRAMENTO, CALIF. 95834  
 916/441-5700



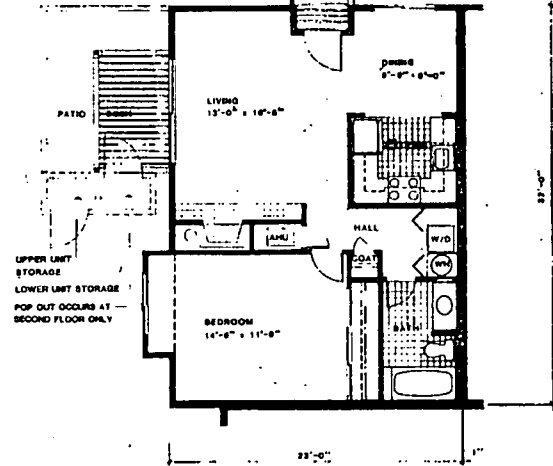
**UNIT TYPE C**  
 2 BEDROOM / 2 BATH  
 1057 SF.



**UNIT TYPE B**  
 2 BEDROOM / 1 1/4 BATH  
 978 SF.

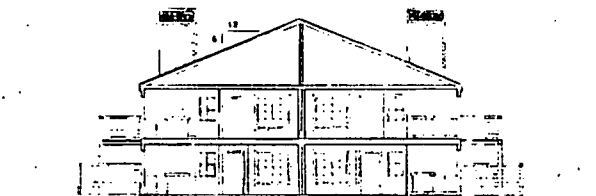


**SECTION - UNIT C (UNIT A SIMILAR)**



**UNIT TYPE A**  
 1 BEDROOM / 1 BATH  
 728 SF.

SCALE: 1/4" = 1'-0"



**SECTION - UNIT B**

**INLAND HARBOR  
 SACRAMENTO, CALIFORNIA**

Developer: Croupe Communities, Inc.

DATE: 30 SEPT. 1983  
 PROJECT NUMBER: 8349  
 DRAWN BY: [blank]  
 REVISION: [blank] DATE: [blank]

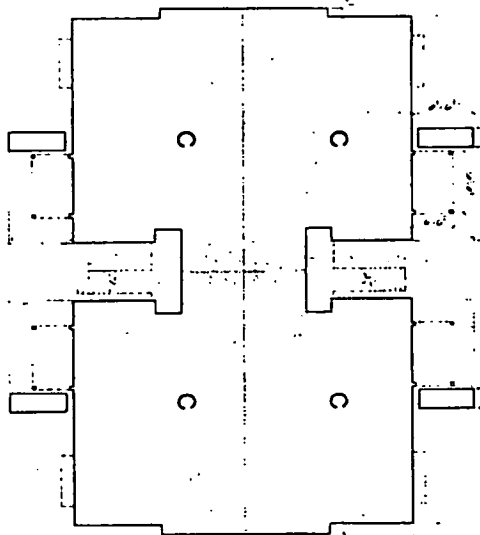
SHEET NUMBER

**1**

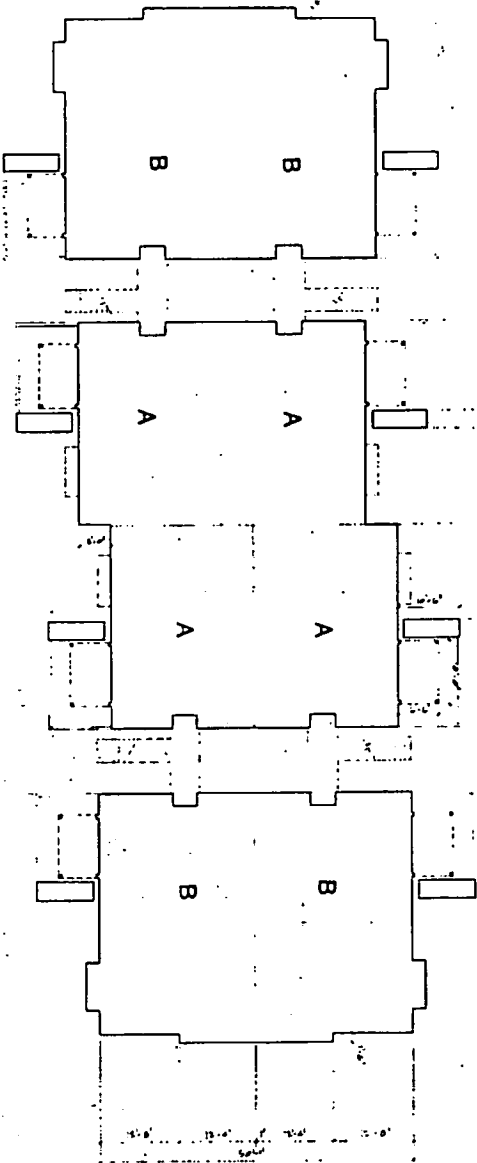
EX.E

33

PK #



GROUND FLOOR PLAN - BUILDING TYPE 2



GROUND FLOOR PLAN - BUILDING TYPE 1  
SCALE 1/8"=1'-0"

**SANDY &  
BARCOCK**

ARCHITECTS  
1000 MARKET STREET  
SAN FRANCISCO, CA 94102  
(415) 774-1100

**INLAND HARBOR  
SACRAMENTO, CALIFORNIA**

Developer: Grupe Communities, Inc.

DATE: 30 APRIL 1988  
PROJECT NUMBER: 8318  
DRAWING: 0111

3

33

January 23, 1984

Grupe Communities, Inc.  
2291 W. Marsh Lane  
Stockton, California

Dear Sir or Madam:

On January 17, 1984, the Sacramento City Council took the following action(s) for property located on the west side of Gateway Oaks Drive, north of Garden Highway (P-83385):

Adopted a Resolution adopting Findings of Fact and approving a Tentative Map to divide 31.6± acres into six parcels.

Enclosed, for your records, is a fully certified copy of above-referenced resolution.

Sincerely,

Lorraine Magana  
City Clerk

LM/sml/33

Enclosure: **CC84-048**

cc: Planning Department

The Spink Corporation, P. O. Box 2511, Sacramento, CA 95811