



CITY OF SACRAMENTO

22

CITY PLANNING DEPARTMENT  
927 TENTH STREET  
SUITE 300  
SACRAMENTO, CA 95814  
TELEPHONE (916) 449-5604

CITY MANAGER'S OFFICE  
**RECEIVED**  
MAY 9 1984

MARTY VAN DUYN  
PLANNING DIRECTOR

May 9, 1984

City Council  
Sacramento, California

Honorable Members in Session:

SUBJECT: Tentative Map Time Extension for an industrial condominium subdivision known as Forest Hill Number 7. (P82-064) (APN: 041-100-33 and 34)

LOCATION: 6890-6910 Luther Drive

BACKGROUND INFORMATION

The subject tentative map was approved by the City Council on May 18, 1982 and is therefore scheduled to lapse on May 18, 1984. The applicant is requesting a twelve-month extension in order to allow additional time to complete the final map.

The subdivision consists of 2.5+ developed acres in the M-1(S) zone. The purpose of the division is to allow ownership of individual units within the two existing warehouse structures. The staff has no objection to the map extension.

RECOMMENDATION

The staff recommends that the Council grant a one-time, one-year time extension for the tentative map. Said extension will lapse on May 18, 1985.

Respectfully submitted,

*Marty Van Duyn*  
Marty Van Duyn  
Planning Director

RECOMMENDATION APPROVED:

*Walter J. Slife, Jr.*  
for: Walter J. Slife, Jr., City Manager

TM:lao  
attachments  
P82-064

APPROVED  
BY THE CITY COUNCIL

MAY 15 1984

OFFICE OF THE  
CITY CLERK

May 15, 1984  
District No. 7

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FORESTHILL DEVELOPMENT COMPANY

48 FAIR DRIVE  
SAN RAFAEL, CALIFORNIA 94901

(415) 453-7085

April 17, 1984

Tom Miller  
City of Sacramento Planning Department  
927 10th Street, Suite 300  
Sacramento, CA 95814

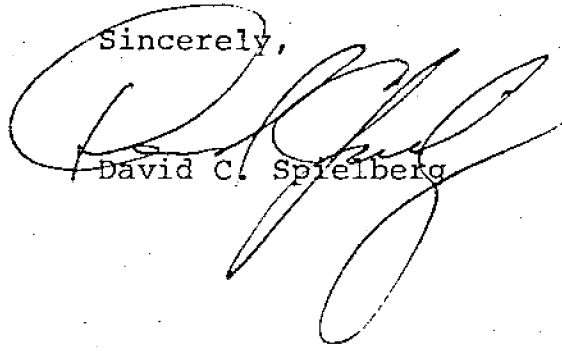
Re: Foresthill Number 7, 6890-6910  
Luther Drive, Sacramento  
APN: 041-100-33 & 34  
P82-064 (Resolution No. 82-348)

Dear Tom:

Per our conversation, this letter will constitute a formal request of an extension, for a period of one (1) year, of the City's approval of the above tentative map establishing 16 warehouse condominium units at the above location, approved May 25, 1982. Enclosed herewith is our check in the amount of \$100 and a revised property ownership list and map showing property owners within 100 feet of the property.

If you need anything further to complete our application for an extension. Please call me at (415) 392-1122. Since I understand that these extensions are routinely granted, unless I hear from you, I will assume that everything is in satisfactory order.

Sincerely,



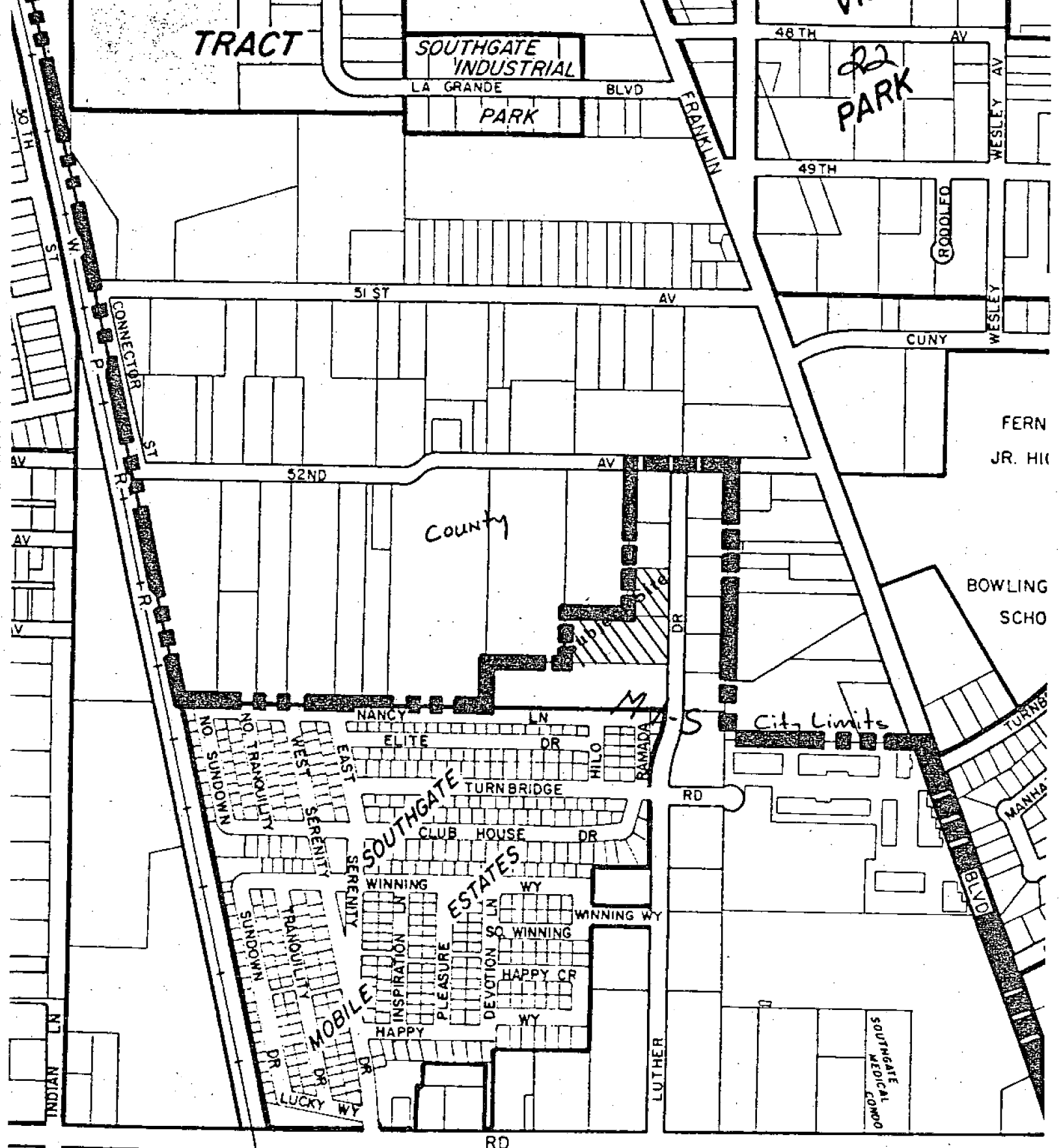
David C. Spielberg

DCS:jsk

enclosure

cc: John E. McNellis

(2)



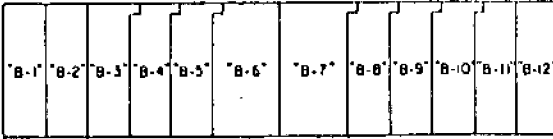
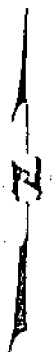
Location Map

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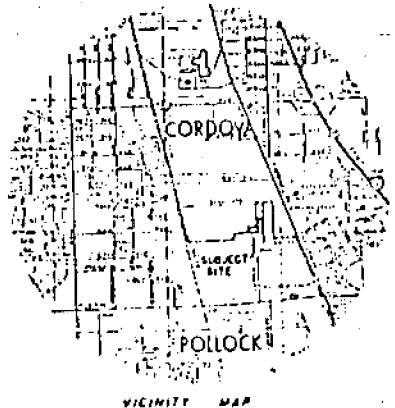
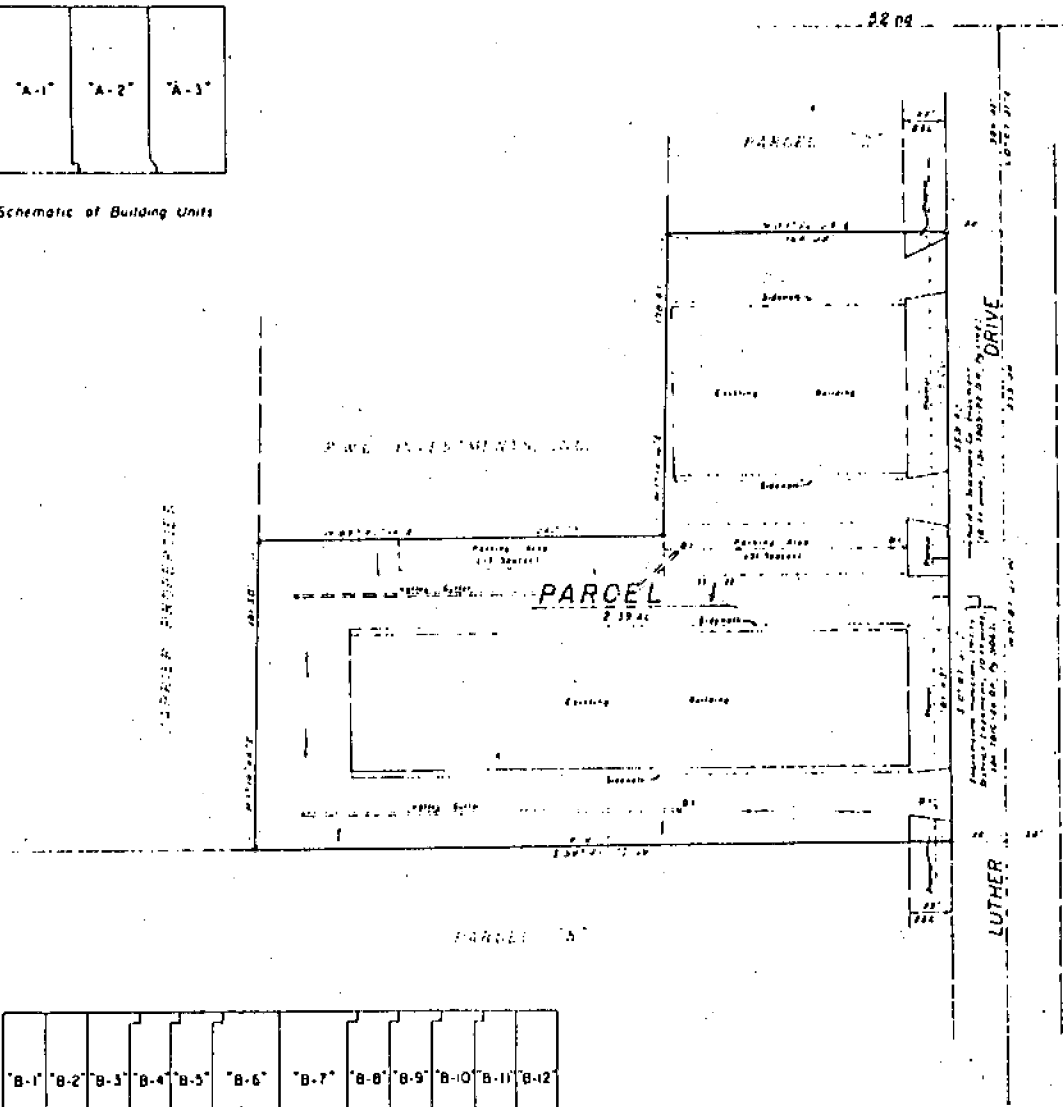
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Schematic of Building Units



Schematic of Building Units



VICINITY MAP

Record Owner and Supervisor  
 Foresthill Number 7  
 The Foresthill Development Co  
 48 Fair Drive  
 San Rafael, California 94901  
 Ph. (415) 452-7065.

Engineer/Supervisor  
 Laugenour and Mearle  
 Civil Engineers  
 PO Box 828  
 Woodland, California 95693  
 Ph. (916) 662-7735.

APN: 81-100-22, 24.  
 Present Zoning: M 1-S  
 Present Use: light industry.  
 Number of Proposed Lots: 1  
 Area: 2.39 Ac ± (Gr)  
 Water: City of Sacramento.  
 Sewer: County of Sacramento.

TENTATIVE PARCEL MAP  
 ONE LOT AIR SPACE SUBDIVISION  
 WAREHOUSE CONDOMINIUM CONVERSION  
 for  
 FORESTHILL NUMBER 7  
 All of Parcel "3" and "4" of Bk. 4 of Parcel Maps, Pg. 25,  
 Sacramento County Records, and being a portion of  
 the Southeast-Quarter of Section 31,  
 Township 8 North, Range 5 East, Mount Diablo Meridian.  
 City of Sacramento, Sacramento County, California.

LAUGENOUR AND MEARLE  
 CIVIL ENGINEERS  
 WOODLAND, CALIFORNIA

Scale: 1" = 50'

Map

A handwritten signature or initials in the bottom right corner of the page.

# RESOLUTION No. 82-348

Adopted by The Sacramento City Council on date of  
MAY 25 1982

CERTIFIED AS TRUE COPY  
of Resolution No. 82-348  
DATE CERTIFIED 11/11/1982  
Assistant City Clerk, CITY OF SACRAMENTO

A RESOLUTION ADOPTING FINDINGS OF FACT APPROVED  
APPROVING A REQUEST FOR TENTATIVE MAP BY THE CITY COUNCIL  
FOR PROPERTY LOCATED AT 6890-6910 LUTHER DRIVE  
(APN: 041-100-33 & 34)(P82-064) MAY 15 1984

OFFICE OF THE  
CITY CLERK

WHEREAS, the Parcel Map Advisory Agency has submitted to the City Council its report and recommendations concerning the Tentative Map for property located at 6890-6910 Luther Drive,

(hereinafter referred to as the proposed subdivision).

WHEREAS, the Council of the City of Sacramento, based on testimony submitted at public hearing(s) conducted on May 25, 1982, hereby finds and determines as follows:

- A. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City General Plan and the Southgate Community Plan in that the plans designate the subject site for industrial uses.
- B. The site is physically suitable for the type and proposed density of development in that the subject site is flat with no significant erosional, soil expansion, or other similar problems.
- C. The design of the subdivision or proposed improvements are not likely to cause substantial environmental damage and will not substantially and avoidably injure fish or wildlife or their habitat. The proposed project has been reviewed and assessed by the Environmental Coordinator who has filed a Negative Declaration with the City Clerk. By virtue of the Negative Declaration, the proposed project will not cause individual or cumulative adverse effects on the natural and social-physical environment nor substantially and avoidably injure fish, wildlife, or their habitat.
- D. The design of the subdivision or the type of improvements are not likely to cause serious public health problems in that community water and sewer systems exist at the site. The site is not within an established floodplain or over a known seismic fault.
- E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public for access through, or use of, the property within the proposed subdivision in that there are no access easements for use by the public at large on the subject site.

#14  
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- F. The discharge of waste from the proposed subdivision into the community sewer system servicing the proposed subdivision will not result in or add to a violation of the waste discharge requirements applicable to said sewer system which were prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that the existing City of Sacramento treatment plants have a design capacity of 75 mgd and that actual treated discharge averages 56 mgd. The discharge from the proposed project will not create a condition exceeding the design capacity.
- G. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the proposed subdivision, taking into consideration the local climate, the contour and configuration of the parcel to be divided, and such other design and improvement requirements applicable to the proposed subdivision.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sacramento as follows:

- A. The Negative Declaration be ratified;
- B. The Tentative Map be approved subject to the following conditions:
  - 1. File the necessary segregation requests and fees to segregate existing assessments;
  - 2. Indicate access and utility easements for the review and approval of the City Engineer.

PHILLIP L. ISENBERG  
MAYOR

ATTEST:

LORRAINE MAGANA  
CITY CLERK

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May 16, 1984

Foresthill Development Co.  
48 Fair Drive  
San Rafael, CA 94901

Dear Gentlemen:

On May 15, 1984, the Sacramento City Council granted a time extension request on the Tentative Map for property located at 6890-6910 Luther Drive (P-82064).

The extension is granted one-time only, and will lapse on May 18, 1985.

Sincerely,

Anne Mason  
Assistant City Clerk

AM/rr/22

cc: Planning Department