



**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & BUILDING
1231 I Street, Sacramento, CA 95814**

ACTION OF THE PLANNING DIRECTOR

On September 26, 2002, the Planning Director approved with conditions a special permit for four (4) house plans on 146 single-family lots (50' x 105') for the project known as Northpointe Park/Regency Park II (P02-093). Findings of Fact and conditions of approval for the project are listed on pages 4-7.

Request: **A. Planning Director's Special Permit** for four (4) house plans on 146 lots in the Northpointe Park/Regency Park II - 50' x 105' lots

Location: North of Club Center Drive, South of Elkhorn Boulevard, East of Natomas Boulevard, and West of the City Limits
APN: 201-0310-017, 201-0320-022, and 201-0320-023
North Natomas Community Plan Area
Grant Joint Unified School District
Natomas Unified School District
Council District 1

APPLICANT:	Stan Samiec, Beazer Homes, (916) 773-3888 3009 Douglas Boulevard, Suite 150, Roseville, CA 95661
OWNER:	Northpointe North LLC, a California Limited Liability Company 2240 Douglas Boulevard, Suite 200, Roseville, CA 95661
APPLICATION FILED:	June 20, 2002
APPLICATION COMPLETED:	July 22, 2002
STAFF CONTACT:	Arwen Wacht, (916) 264-1964

PROJECT INFORMATION

General Plan Designation: Low Density Residential (4-15 du/na)
 Community Plan Designation: Low Density Residential (3-10 du/na)
 Existing Land Use of Site: Vacant
 Existing Zoning of Site: Standard Single Family (R-1) Planned Unit Development (PUD) Zone and Single Family Alternative (R-1A) Planned Unit Development (PUD)

Required Setbacks:

Porch: On streets without split sidewalk: 14' minimum from property line.
 On streets with split sidewalk: the setback may be reduced by 5'-0" consistent with the public utility easement.

Front: On streets without split sidewalk: 16' minimum from property line (excluding porch)
 On streets with split sidewalk: 12'-6" minimum from property line.
 Deeper front yard setbacks may be required for cul-de-sac lots.

Side: 5'-0" minimum on each side (with the exception of zero-lot line conditions, which shall be 5'-0" and 0")
 Detached garages and/or attached garages which are recessed a minimum of 50'-0" from the front property line, may have a 0'-0" side yard setback, and must comply with building code.

Side Street: 12'-6"

Rear: 15'-0" minimum
 Zero for detached garages and accessory dwelling units ("granny flats"), and must comply with Building Code.

Garage: For front drives, the minimum setback is 20' from property line. For alley conditions, the recommended minimum setback is 16'-0" from the center of the alley.

Lot Coverage: The lot coverage for a single story home shall not exceed 45 percent or the lot coverage of a two story home shall not exceed 40 percent, given the allowances / incentives described in the Northpointe Park PUD Guidelines.

Subdivision & Village: Northpointe Park PUD (Regency Park II): Village 24 - Lots 16-25; Village 25 - Lots 2-4, 8-40, 42-48, 52-59, 61-72, and 74-76; Village 26 - Lots 22-24, 26-57 and 85-111; and Village 29 - Lots 22-29

Property Area: 43.4± gross acres, 32.1± net acres

Square Footage of House Plans:

House Plan	Square Footage
Plan 1 (1397)	1,397
Plan 2 (1572)	1,572
Plan 3 (1725)	1,725
Plan 4 (1910)	1,910

Height of Building: 1 story, 15 to 19 feet
 Exterior Building Materials: Stucco, wood, stone, and/or brick
 Roof Materials: Concrete Tile

Previous Files: P98-058, P98-133, P99-022

Project Plans: See Exhibit A

Additional Information: The applicant is requesting a Planning Director's special permit to develop four house plans on 146 lots within the Northpointe Park Planned Unit Development (Regency Park II).

Project Evaluation:

House Plan	Level of Compliance	Comments
Plan 1 (1397)	Non-Compliant	Garage is forward of all living space and front porch
Plan 2 (1572)	Mitigated	Porch is forward of the garage and living space
Plan 3 (1725)	Compliant	Dining room is forward of the garage
Plan 4 (1910)	Compliant	Living room and front entry are forward of the garage

Staff finds that the proposed house plans comply with all applicable General Plan, Community Plan, Zoning Ordinance requirements, and they are generally consistent with the Single Family Residential Design Guidelines and the Northpointe Park PUD Guidelines.

Environmental Determination: On February 4, 1997, the Planning Commission ratified a Negative Declaration for the originally proposed project (P96-058). Potentially significant environmental issues regarding Animal Life, Noise, Land Use, and Cultural Resources were

discussed and mitigated in this document. The proposed project was analyzed in this previous environmental document. No new issues or new information is known that would trigger additional environmental analysis. Section 15162 of the Guidelines for Implementation of the California Environmental Quality Act Public Resources Code provides that an additional Negative Declaration (or Environmental Impact Report) need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. A Mitigation Monitoring Plan has been prepared for the mitigation measures that were identified in the previous Negative Declaration (or Environmental Impact Report) that are applicable to the proposed project.

Neighborhood/Agency Comments: The following comments were received from the Natomas Community Association (NCA):

1. Landscape setback and bike trail south of Elkhorn should be accessible to residents - break up sound walls to provide access to this important amenity. Sound walls should not separate neighborhoods and access to bike trails, parks, etc...
2. Site maps going to the Planning Commission should include adjacent bike trails, etc. (difficult to review without vicinity maps showing adjacent uses)
3. Park in the center of Village 26 should have front facing homes ONLY to promote "eyes on" the park and provide more parking/access to the park.
4. Park should be a turnkey park - developer to complete by 50% buildout.
5. Color schemes are monotonous. Recommend allowing option of using trim as base color so not all homes are boring beige.
6. Allow option of mixing warm and cool color combinations for doors, etc. To give more variety to the streetscape.
7. Provide more than one standard garage door style and offer variation of color for garage doors other than base house color.
8. Landscaping guidelines should require 2 - 15 gallon shade trees per house - near street to provide street canopy.
9. Provide corner lot option of side facing garages.
10. Mix housing sizes on different size lots to provide more variety in each village.
11. No support for more sound walls separating neighborhoods. Note no other great neighborhoods in the City (Fab 40's, Curtis Park, Land Park) have similar sound walls. Planning Commissioner routinely criticize the canyon-like look of North Natomas.

Conditions of Approval -

- A1. Plans shall be consistent with the elevations shown on Exhibits 4 thru 7.
- A2. All of the house plans submitted and approved with this PDSP application shall be actively marketed and offered for sale within the subdivision/village(s) covered by this approval (P02-098).
- A3. Any change in the design, materials, or colors shall be submitted to the Planning Director for review and approval.

- A4. Two plot plans shall be submitted to Building Division demonstrating compliance with setbacks, and lot coverage (including the use of allowances/incentives as specified in the PUD Guidelines), as specified in the Northpointe Park PUD Guidelines, for all lots included in this approval. All building elevations submitted to the Planning and Building Department shall demonstrate compliance with roof pitch and enhancement requirements of the Northpointe Park PUD Guidelines.

Setbacks shall be as follows:

- Porch: On streets without split sidewalk: 14' minimum from property line.
On streets with split sidewalk: the setback may be reduced by 5'-0" consistent with the public utility easement.
- Front: On streets without split sidewalk: 16' minimum from property line (excluding porch)
On streets with split sidewalk: 12'-6" minimum from property line.
Deeper front yard setbacks may be required for cul-de-sac lots.
- Side: 5'-0" minimum on each side (with the exception of zero-lot line conditions, which shall be 5'-0" and 0")
Detached garages and/or attached garages which are recessed a minimum of 50'-0" from the front property line, may have a 0'-0" side yard setback, and must comply with building code.
- Side Street: 12'-6"
- Rear: 15'-0" minimum
Zero for detached garages and accessory dwelling units ("granny flats"), and must comply with Building Code.
- Garage: For front drives, the minimum setback is 20' from property line. For alley conditions, the recommended minimum setback is 16'-0" from the center of the alley.

Lot Coverage shall be as follows:

- The lot coverage for a single story home does not exceed 45 percent of the lot coverage or a two story home does not exceed 40 percent, given the following allowances/incentives:

Allowances / Incentives: The following shall count towards the maximum lot coverage as described:

- Covered porches in the front or street side do not count toward the maximum lot coverage;

- Attached or detached garages that are recessed a minimum of four feet from the living area of the home (not the porch) count 50 percent toward the maximum lot coverage; and/or
 - At the homeowner's discretion, an additional 100 square feet of accessory structure(s) may be built on the lot.
- A maximum of 50 percent of the lots within the PDSP area (i.e., subdivision, village) may exceed 40 percent lot coverage.
 - A maximum of 10 percent of the lots within the PDSP area may have a lot coverage for single story homes not exceeding 48 percent within the applicable allowances for covered porch, recessed garage, and accessory structures.
 - No more than 2 home exceeding the lot coverage shall be located in a row along the street.
 - Findings: Staff must be able to make the following findings regarding the proposed subdivision:
 - higher quality building materials and design are provided;
 - high quality, enhanced landscaping materials are provided; and
 - each lot that exceeds the 40 percent lot coverage shall be within 880 feet of open space.
- A5. Enhanced side and rear elevations shall be required whenever either of those elevations face a public street, school, park, canal, or other public space. This includes the street side elevation on all corner lots in the subdivision. Enhanced elevations shall include, at a minimum, "pop-outs" around windows and doors consisting of stucco over foam trim, finished with a texture that is different from the texture of the house, or other appropriate door and window trim features; and a four foot return of materials on the side or rear elevations, as appropriate. On enhanced side and rear elevations, window treatments, roof lines, and materials shall match front facade in appearance and quality. All enhanced elevation treatments shall be shown on the plans submitted for building permit.
- A6. None of the same house plans may be placed on more than two adjacent/consecutive lots, and shall be different elevations when adjacent. The applicant shall provide to the Building Division a map that indicates plan and elevation on adjacent lots.
- A7. On corner lots, the driveway shall be located away from the intersections of streets.
- A8. On corner lots, fencing shall start at or near the rear corner of the house.
- A9. Roofing shall be as shown on plans.
- A10. Prior to building permit issuance for lots with zero lot lines, the applicant shall enter into and record an Agreement for Conveyance of Easements with the City stating that a five

(5) foot private access and maintenance easement shall be conveyed to and reserved for the lot adjacent to the zero lot line, at no cost, at the time of sale or other conveyance of either parcel.

- A11. The applicant shall comply with the Regency Park TSMAQ Plan for residential development.
- A12. Install two 15-gallon trees per lot frontage, with the average spacing of 30' on center, as measured along the entire length of the street.
- A13. Front landscaping and irrigation system shall be provided and consistent with the PUD Guidelines.
- A14. On corner lots, the builder shall provide special landscaping treatments by providing accent trees and shrubs along the side yard fence.
- A15. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.
- A16. Walls and fences shall be consistent with the PUD Guidelines and shall conform to City standards for sight line requirements at intersections and driveways.
- A17. Driveways shall comply with maximum paved area as permitted in the PUD Guidelines and Title 17 of the City Code.
- A18. Garages: Each house shall provide at least one garage space with minimum inside dimensions of 10 wide by 20 feet long, as required by Title 17 of the City Code.
- A19. Prior to development of any model homes, the applicant shall obtain a Zoning Administrator's Model Home Complex Special Permit.
- A20. The applicant shall comply with the originally approved Mitigation Monitoring Plan (P96-058) on file at the Planning Division.
- A21. This approval is for 146 lots within Northpointe Park/Regency Park II. The house plans are proposed for the following lots: Village 24 - Lots 16-25; Village 25 - Lots 2-4, 8-40, 42-48, 52-59, 61-72, and 74-76; Village 26 - Lots 22-24, 26-57 and 85-111; and Village 29 - Lots 22-29. Any increase in the number of lots or any modification to the location of the lots specified for these house plans shall be reviewed by the Planning Director and may require additional entitlements.
- A22. The applicant shall obtain all necessary building permits prior to commencement of construction and building permits shall not be issued unless the Final Map has been approved.

A23. Prior to the issuance of the 150th building permit for the project known as Beazer Homes in Northpointe Park/Regency Park II - 50' x 105' lots (P02-093), or the first certificate of occupancy or final building permit for the project known as Beazer Homes in Northpointe Park/Regency Park II - 50' x 105' lots (P02-093), whichever comes first, the applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project to an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood parks maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the costs will be spread based upon a hearing report which specifies the tax rate and method of apportionment.

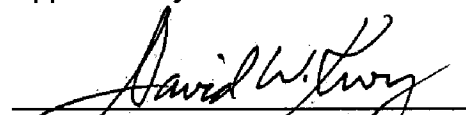
Findings of Fact:

1. The project is based upon sound principles of land use in that the site is designated single family residential and the project to be developed are single family homes.
2. The proposed development will not be detrimental to the public health, safety or welfare in that the residential development is consistent with the adopted PUD Guidelines and Schematic Plans for Northpointe Park PUD and will comply with the required setbacks, height and lot coverage.
3. The proposed residential development is consistent with the objectives of the General Plan and the 1994 North Natomas Community Plan in that:
 - a. The project complies with the land use designations;
 - b. The project complies with density and open space proximity requirements of the North Natomas Community Plan;
 - c. The project continues to fulfil the North Natomas Community plan of providing neighborhoods that are focused on an elementary school, provides for a variety of housing densities and types with commercial, civic, transit and park uses in close proximity.
 - d. The project advances transportation and air quality goals.

Prepared By:


Arwen Wacht, Associate Planner

Approved By:

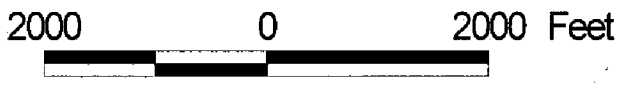
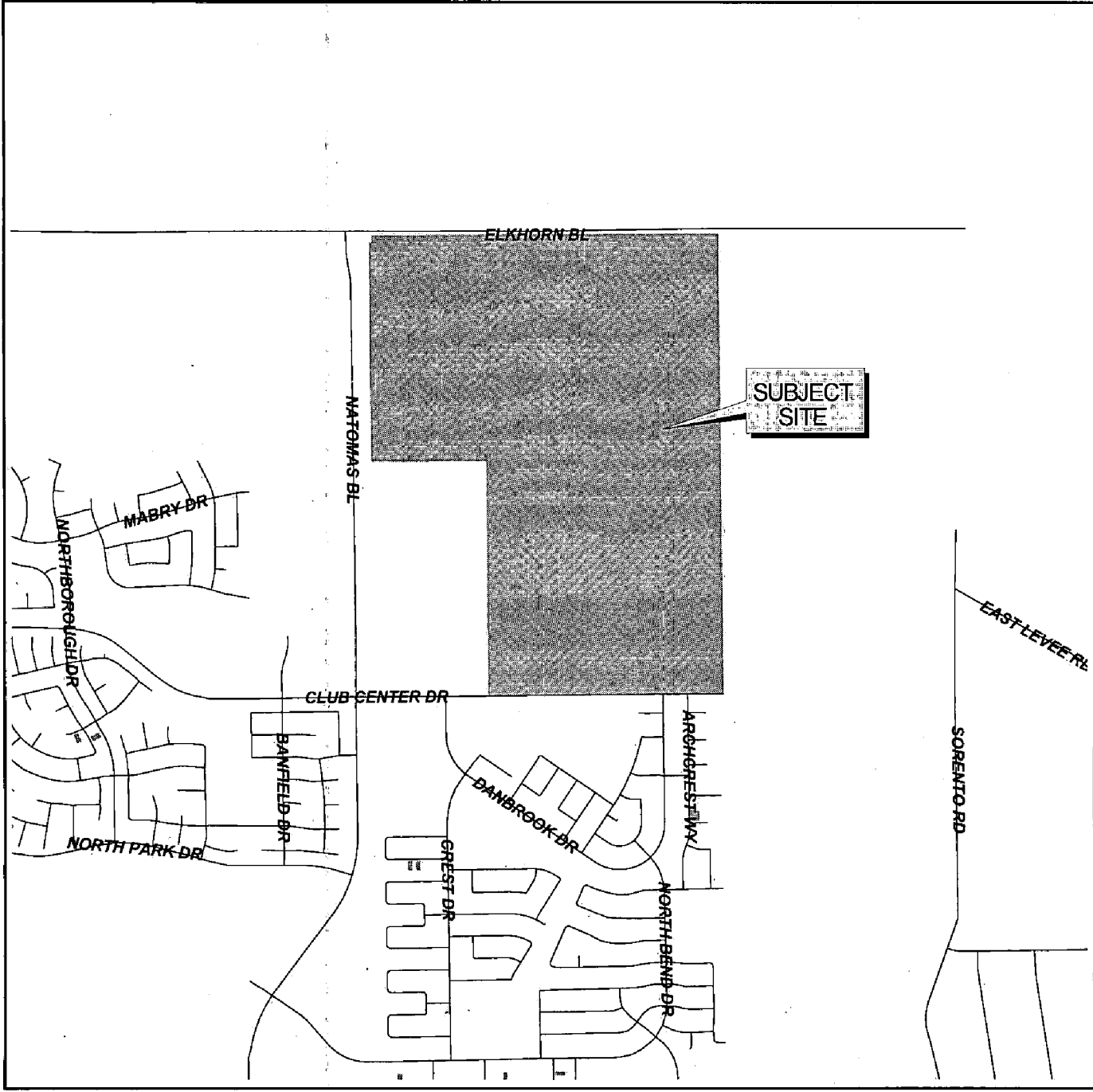

David Kwong, Senior Planner

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required, the use shall be deemed established when the activity permitted has been commenced.

The decision of the Planning Director may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Planning Director's decision. If an appeal is not filed, the action of the Planning Director's decision is final.

- Attachments:
- ~~Location Map~~
 - Vicinity Map
 - Exhibit 1: Site Plan
 - Exhibit 2: Setback Exhibits (a) Typical Interior Lot; (b) Typical Corner Lot
 - Exhibit 3: Landscaping Plan - Typical Interior and Corner Lots
 - Exhibit 4: Plan 1 (a) thru (c) Elevations; and (d) Floor Plan
 - Exhibit 5: Plan 2 (a) thru (c) Elevations; and (d) Floor Plan
 - Exhibit 6: Plan 3 (a) thru (c) Elevations; and (d) Floor Plan
 - Exhibit 7: Plan 4 (a) thru (c) Elevations; and (d) Floor Plan
 - Exhibit 8: Regency Park DRC Approval Letter
 - Exhibit 9: Letter of Agreement

- File: Original
- cc: City Council (Member)
Applicant
Development Services - Building Division (2)
PUD Binder



Planning & Building
Department

Geographic
Information
Systems

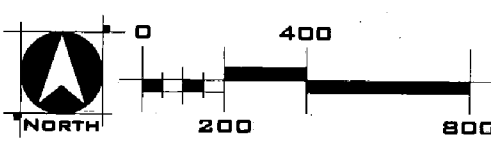
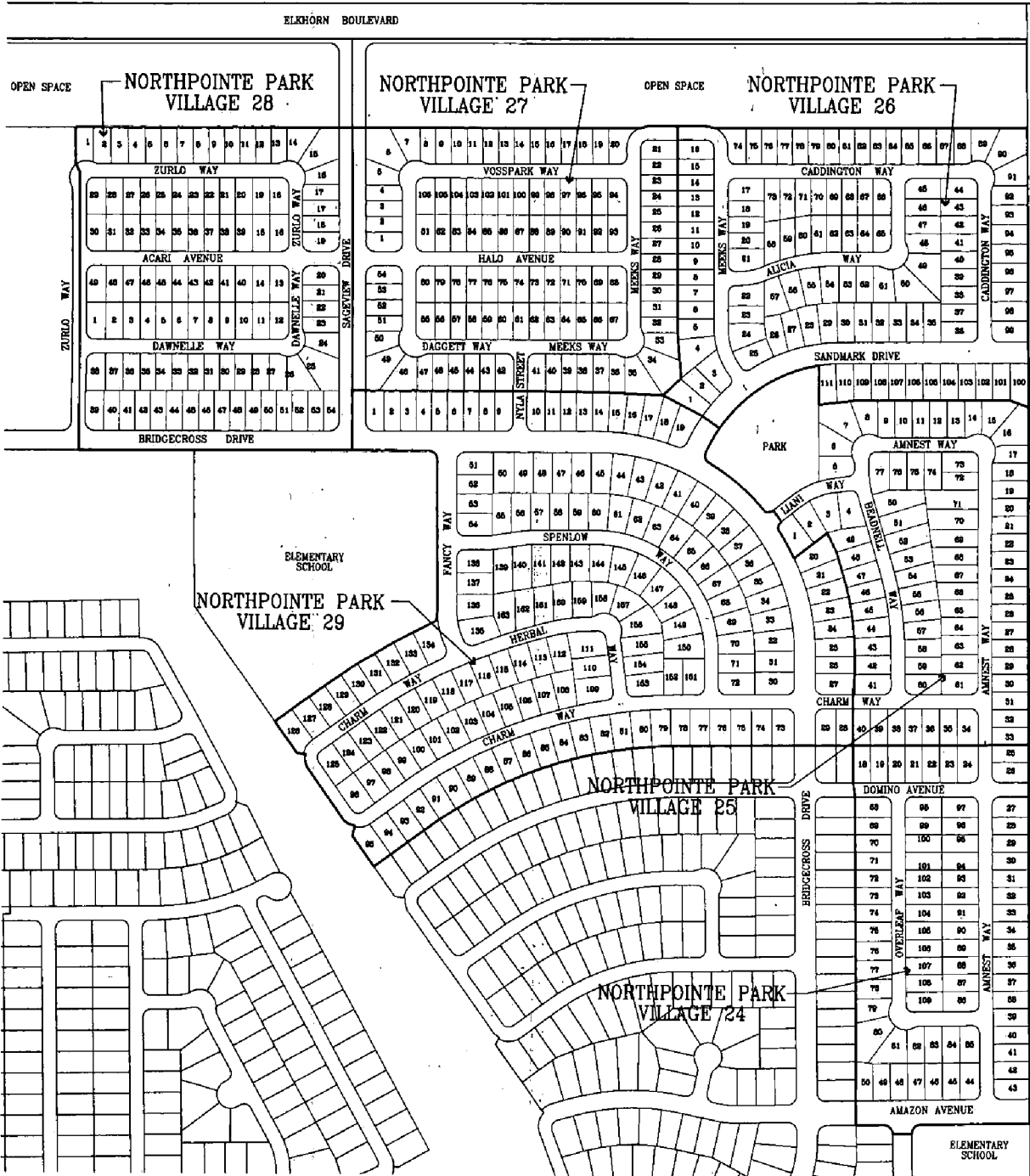
Vicinity Map P02-093



SITE PLAN EXHIBIT

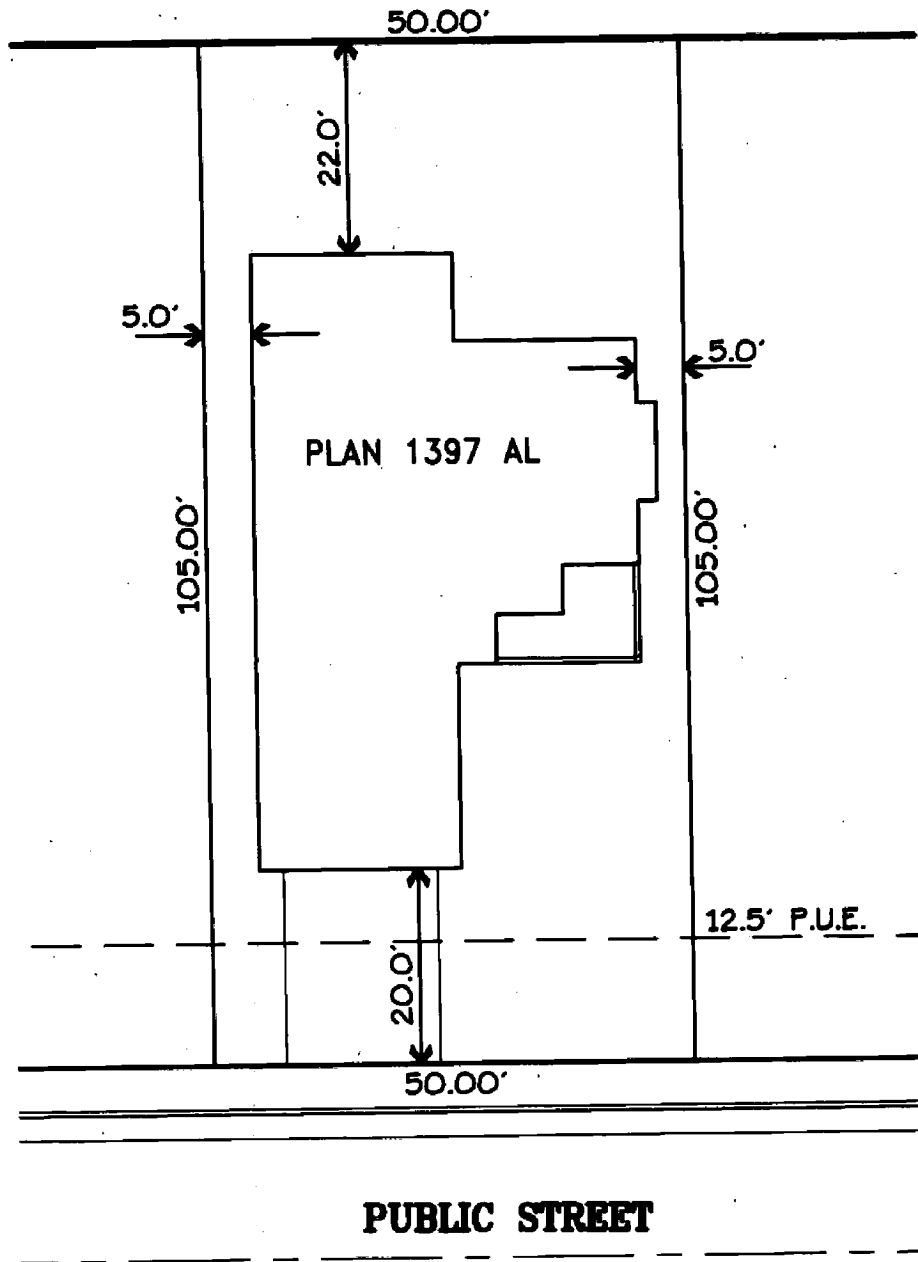
NORTHPOINTE PARK

SACRAMENTO COUNTY, CALIFORNIA
MAY 2002




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REGENCY PARK-VILLAGES 24, 25 & 26 (PTN.)
 TYPICAL PLOT PLAN - HOUSE PLAN 1397
 50'x105' INTERIOR LOT - 5250 SQ. FT.

CITY OF SACRAMENTO,

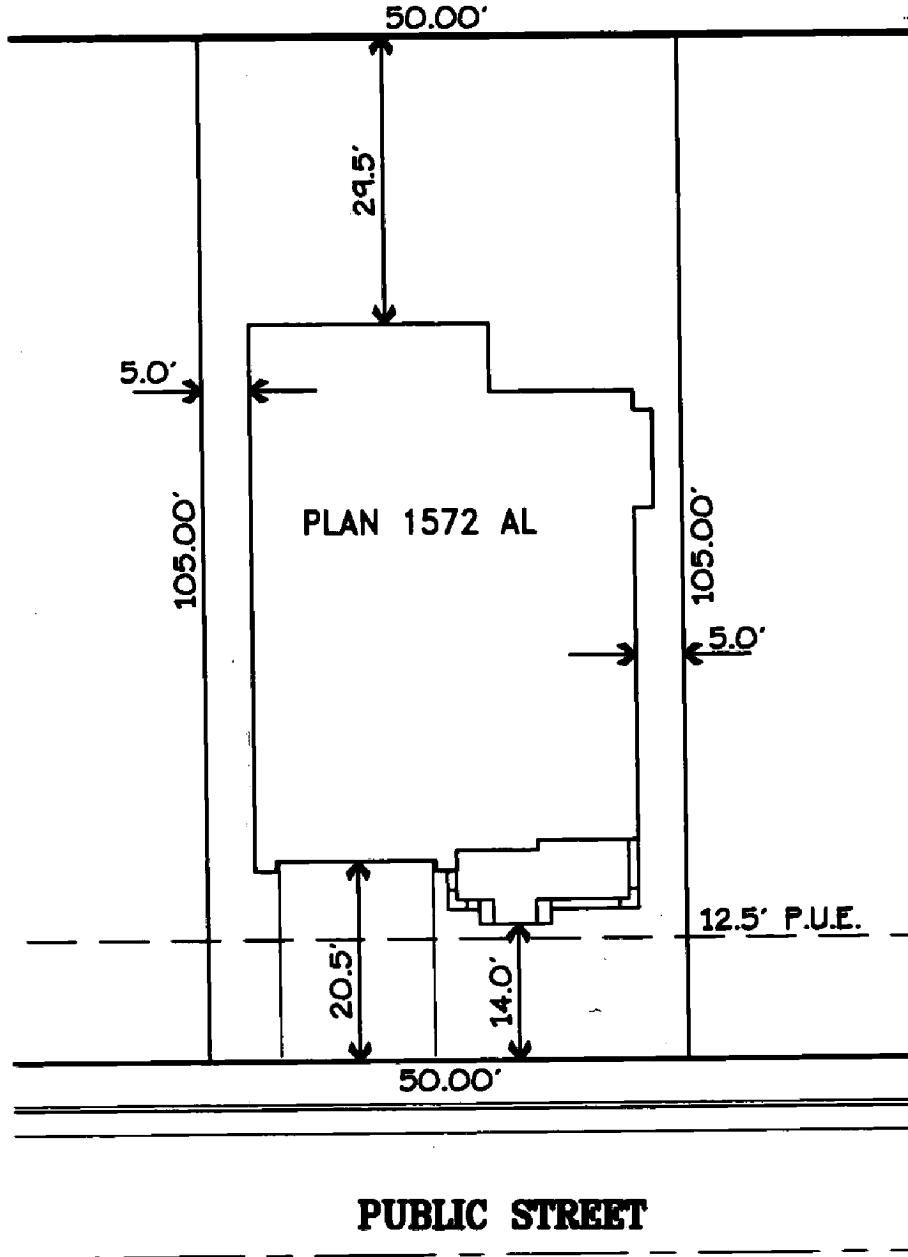
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APR. 2002

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REGENCY PARK-VILLAGES 24, 25 & 26 (PTN.)
 TYPICAL PLOT PLAN - HOUSE PLAN 1572
 50'x105' INTERIOR LOT - 5250 SQ. FT.

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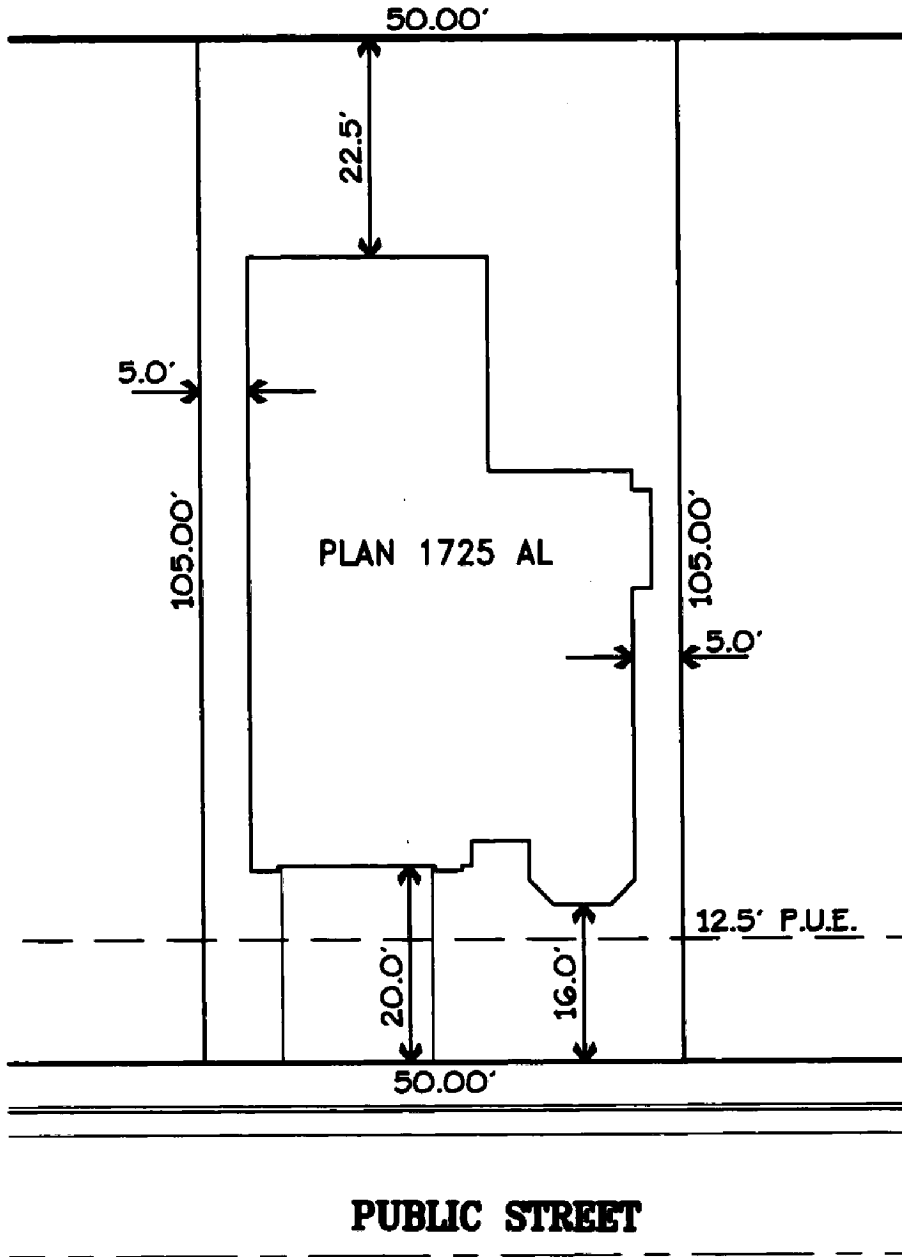
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REGENCY PARK-VILLAGES 24, 25 & 26 (PTN.)
TYPICAL PLOT PLAN - HOUSE PLAN 1725
50'x105' INTERIOR LOT - 5250 SQ. FT.

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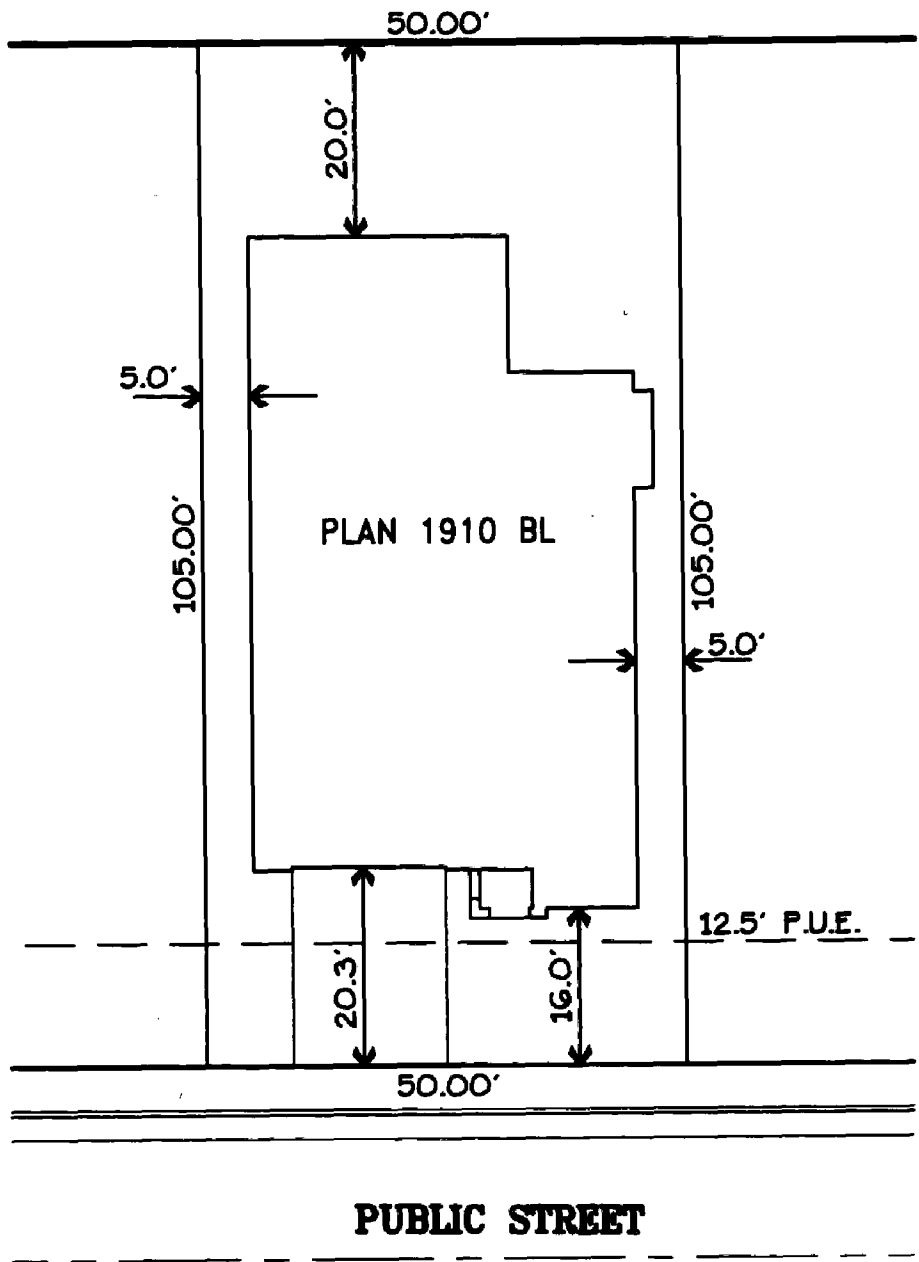
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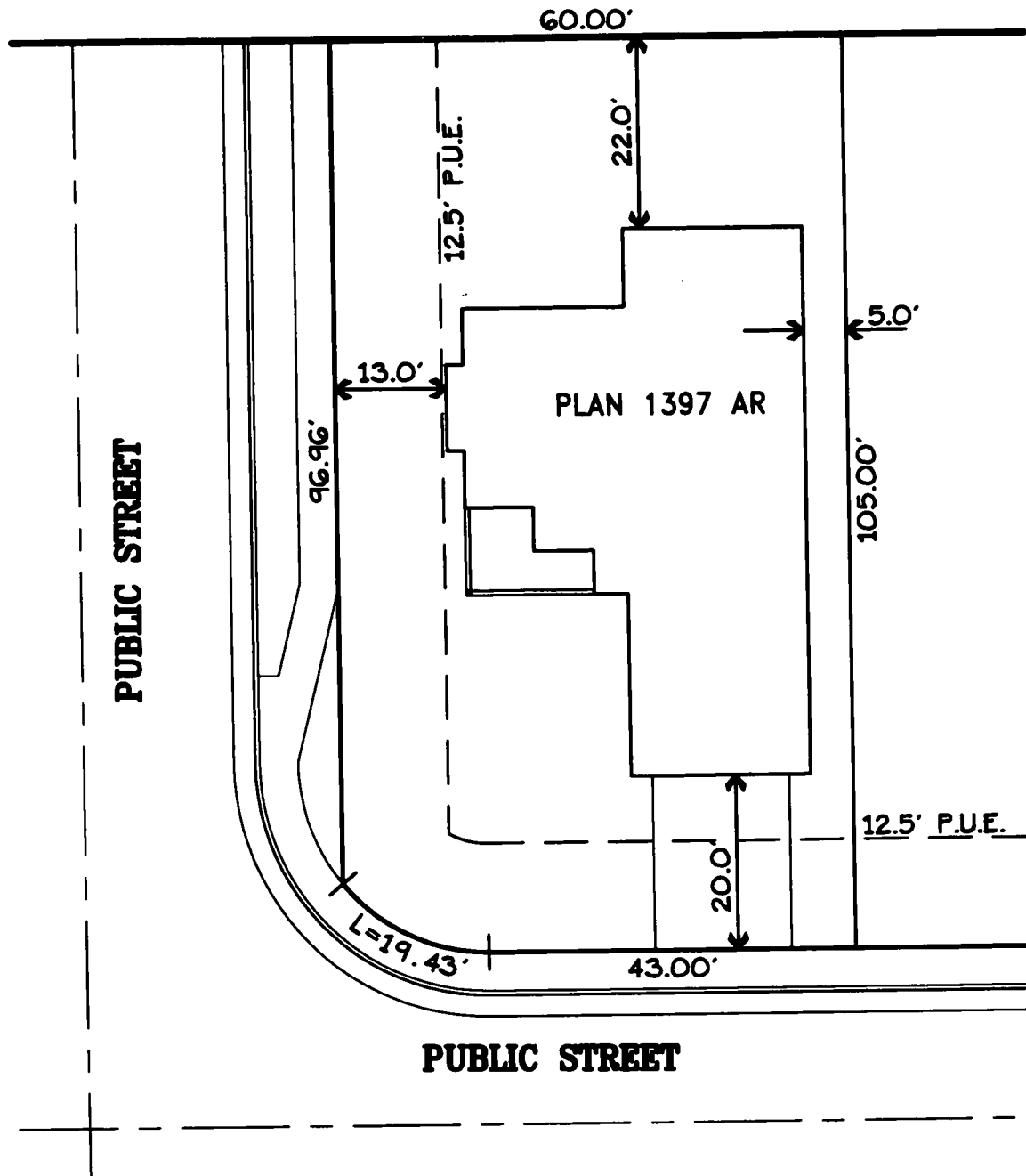
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50'x105' CORNER LOT - 6258 SQ. FT.

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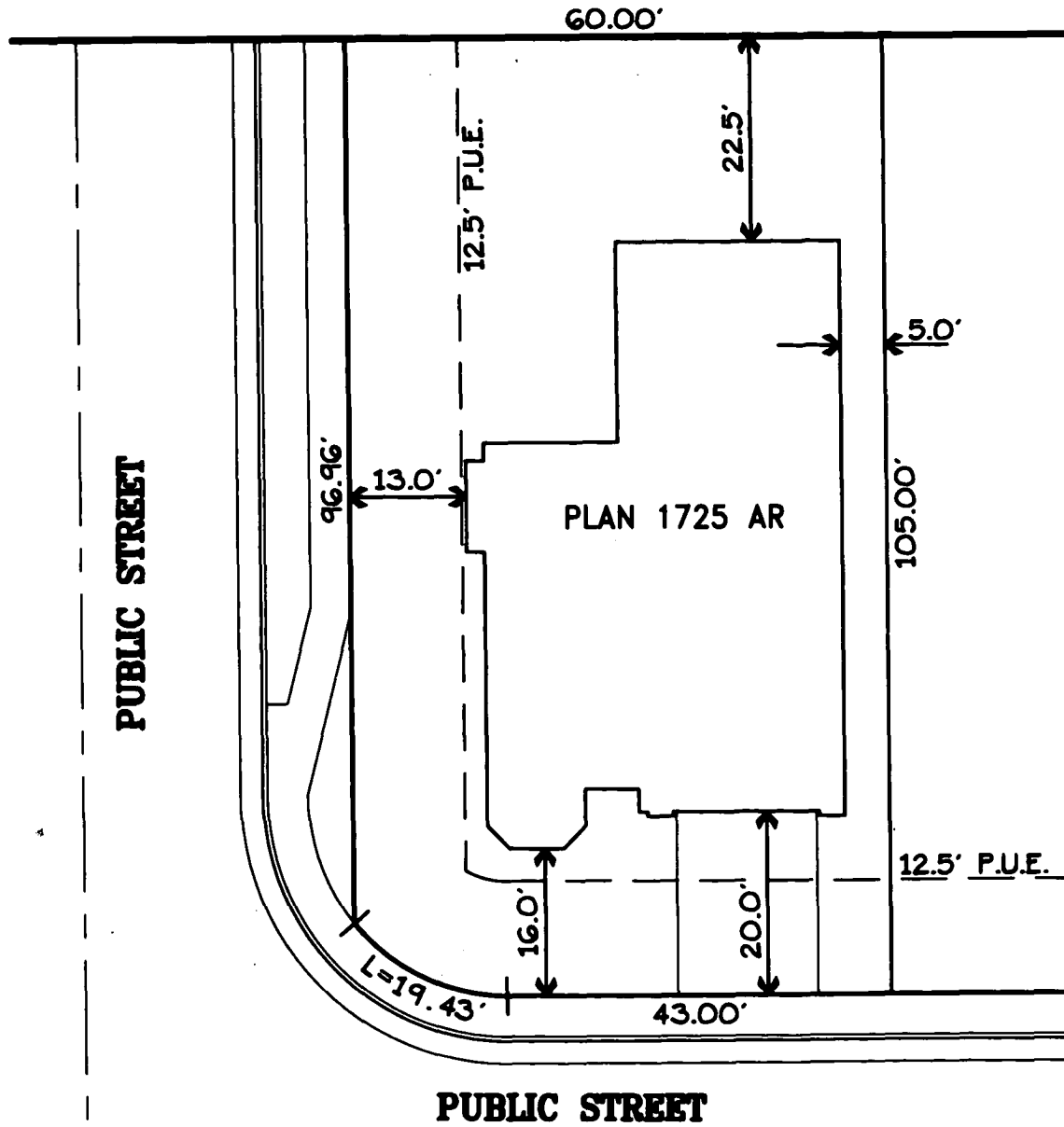
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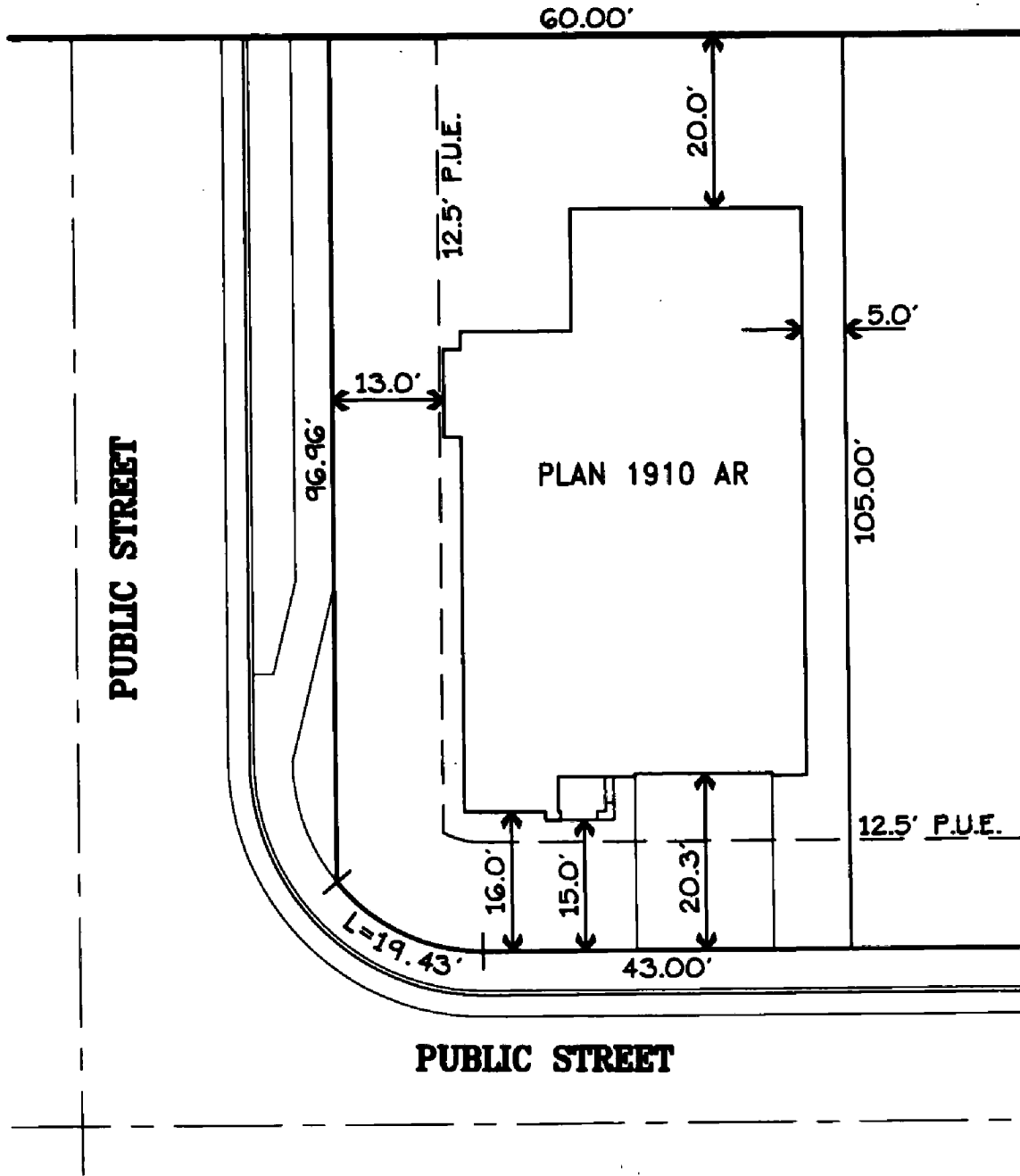
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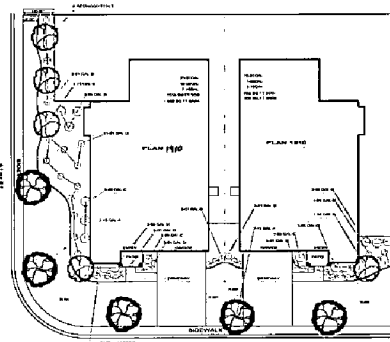
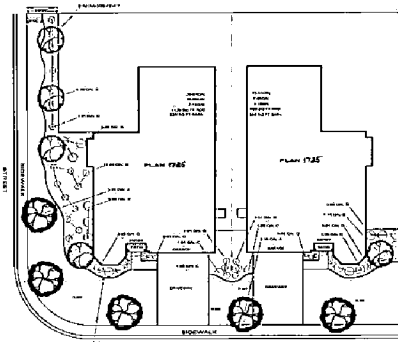
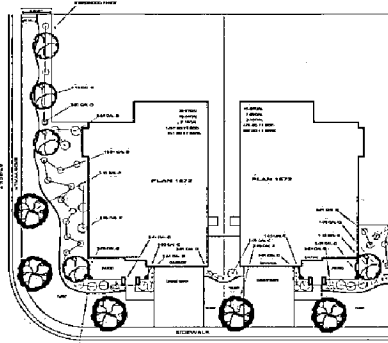
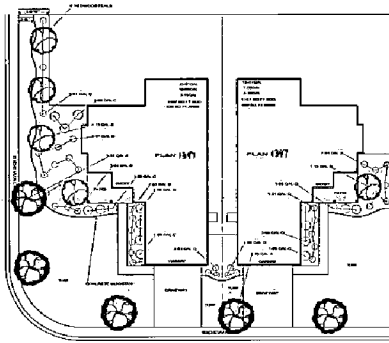
REGENCY PARK-VILLAGES 24, 25 & 26 (PTN.)
TYPICAL PLOT PLAN - HOUSE PLAN 1910
50'x105' CORNER LOT - 6258 SQ. FT.

CITY OF SACRAMENTO, CALIFORNIA

APR. 2002 | SCALE: 1"=20' | CHECKED: | 1145.069

NORTHPOINTE PARK II TYPICAL LANDSCAPING FOR PRODUCTION

SCALE: 1" = 20'
FILE: R2NF2PRO.DWG, 9.14.02...



PLANTING LEGEND

A = STREET TREE (SEE SPEC PAGE)
 B = ACCENT TREE
 C = BIFORCATE SHRUB
 D = FOUNDATION OR ACCENT SHRUB

SYMBOL	COMMON NAME	SUB	WATER	EVERGREEN/DECIDUOUS	REMARKS
1	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
2	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
3	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
4	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
5	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
6	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
7	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
8	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
9	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
10	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
11	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
12	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
13	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
14	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
15	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
16	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
17	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
18	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
19	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
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23	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
24	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
25	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
26	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
27	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
28	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
29	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
30	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
31	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
32	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
33	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
34	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
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36	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
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40	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
41	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
42	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
43	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
44	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
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99	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern
100	Asplenium Platyneuron	Asplenium	W	Evergreen	Small fern

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PROJECT:
NORTHPOINTE
PARK II
TYPICAL
LANDSCAPING
 CITY OF
 SACRAMENTO, CA.

LANDSCAPE
PLAN

DATA BASE NAME:
 R2NF2PRO.DWG...

DESIGNED BY:
 BRADON ELROD

SCALE: 1" = 20'

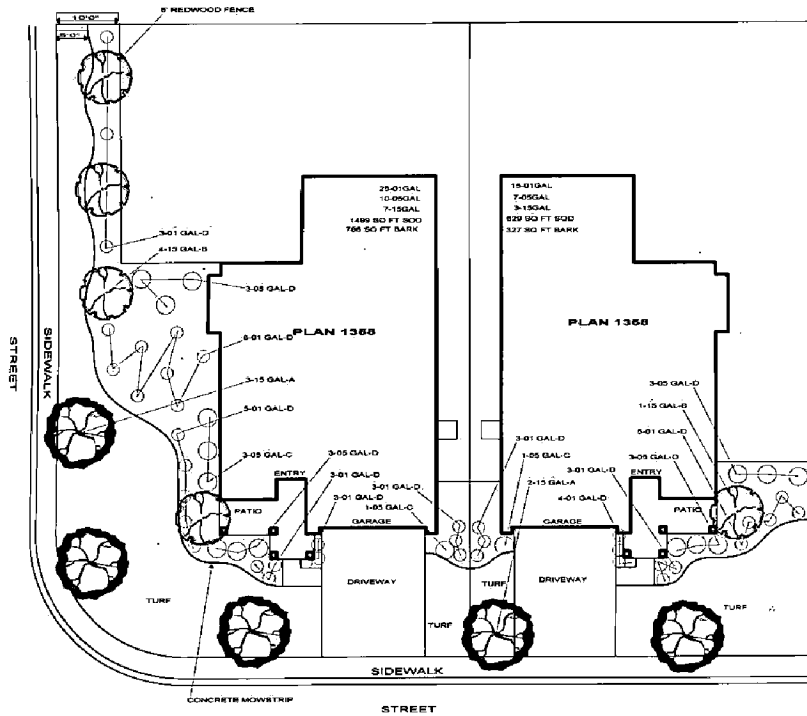
DRAWING DATE:
 APRIL 17, 2001

REVISION DATE:
 MAY 14, 2002

PAGE 1 OF 3

NORTHPOINTE PARK II TYPICAL LANDSCAPING FOR PRODUCTION

SCALE: 1" = 10'



PLANTING LEGEND

- A = STREET TREE (SEE SPEC PAGE)
- B = ACCENT TREE
- C = SPECIMEN SHRUB
- D = FOUNDATION OR ACCENT SHRUB

DESIGNED BY:

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PROJECT:

**NORTHPOINTE
PARK II
TYPICAL
LANDSCAPE**

CITY OF
SACRAMENTO, CA.

**LANDSCAPE
PLAN**

DATA BASE NAME:
K2PPRO.DRW...

DESIGNED BY:
BRADY ELROD

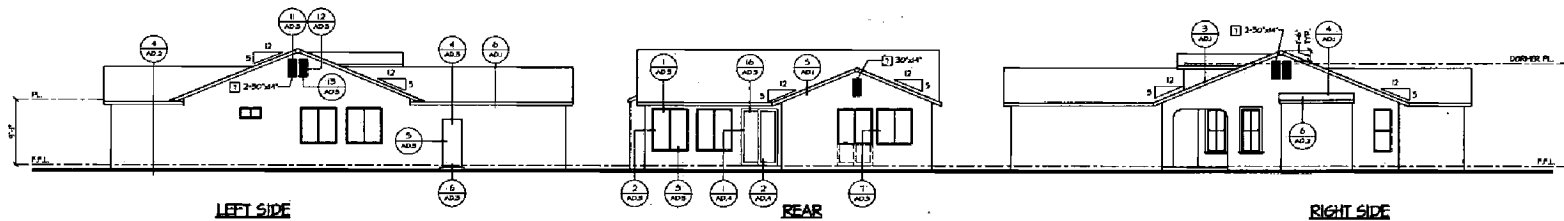
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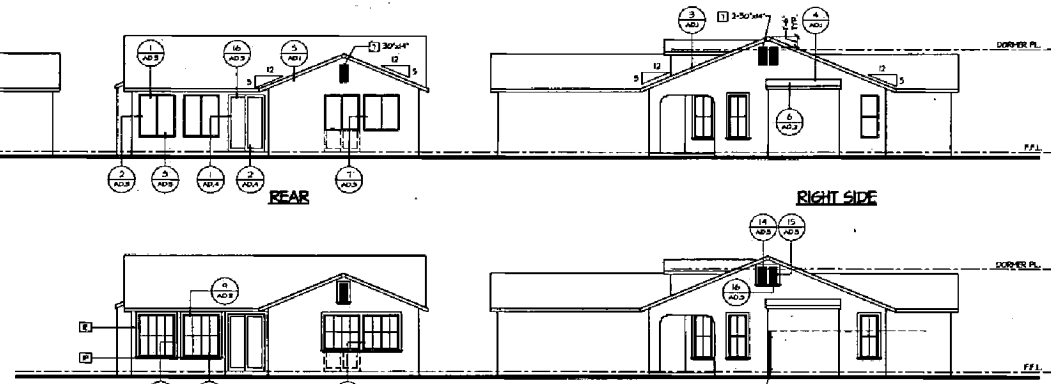
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ADDENDUM

PAGE 1A OF 3

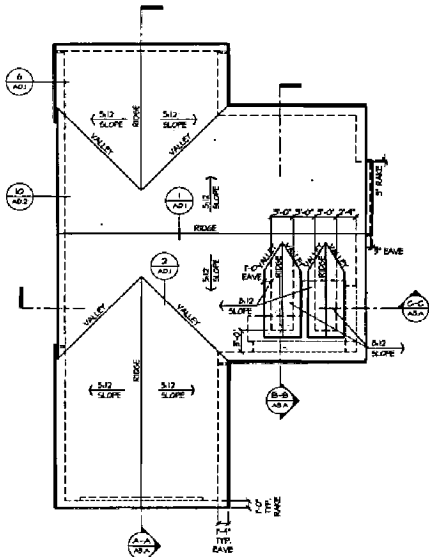


LEFT SIDE Exterior Elevations
SCALE: 1/8"=1'-0" 03/07/02



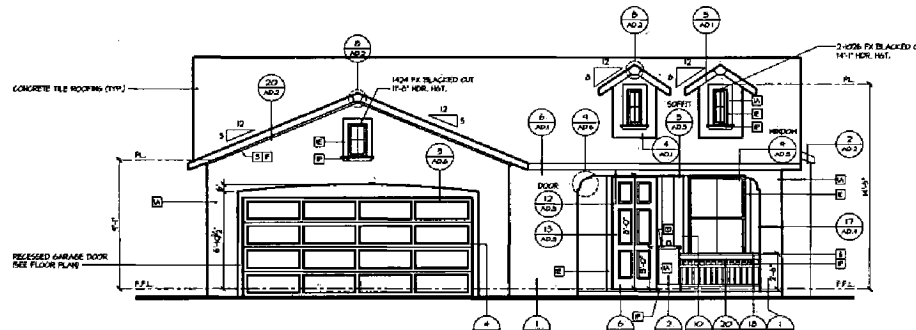
REAR W/ ENHANCEMENTS
SCALE: 1/8"=1'-0" 03/07/02

RIGHT SIDE W/ ENHANCEMENTS

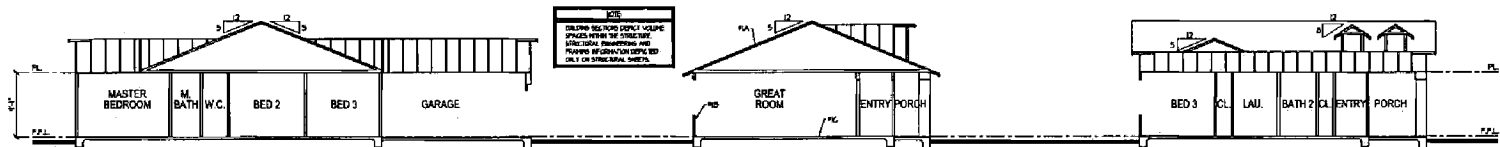


Roof Plan
SCALE: 1/8"=1'-0" 03/07/02

NOTE: REAR AND RIGHT SIDE ENHANCEMENTS FOR SPECIAL LOTS ONLY AS REQUIRED BY THE PLANNING DEPARTMENT. BUILDING TO VERIFY IN FIELD WITH PERMITS LOCATION.



Front Elevation
SCALE: 1/8"=1'-0" 03/07/02

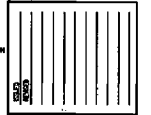


Building Sections
SCALE: 1/8"=1'-0" 03/07/02

EXTERIOR ELEVATION NOTES

- 1. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
- 2. WINDOW HEAD HEIGHTS: -1ST FLOOR + 8'-0" BRDG. ON EXT. ELEVATIONS; -2ND FLOOR + 8'-0" BRDG. ON EXT. ELEVATIONS; -3RD FLOOR AS NOTED ON PLANS (SLASH AND X-CROSS HATCH HEADS RESIST WITH DOOR HEADERS).
- 3. EXTERIOR WALLS: -STEEG SYSTEM OVER 1" FOAM INSULATION FOR GENERAL NOTES CORROSION RESISTANT HEEP SKEED AT BASE.
- 4. EXTERIOR CORNERS: -STEEG OVER 1" FOAM INSULATION.
- 5. ROOFING: -CLAS-X FIRE-RETARDANT CONCRETE TILE; -ELEVATION (A) LOWER CONCRETE TILE PER GENERAL NOTES SEE ROOFING DETAILS FOR FLASHING; -ELEVATION (B) VELLA CONCRETE TILE PER GENERAL NOTES SEE ROOFING DETAILS FOR FLASHING; -ELEVATION (C) SLATE CONCRETE TILE PER GENERAL NOTES SEE ROOFING DETAILS FOR FLASHING.

- 6. STEEG OVER FOAM TRIM: A. STEEG 1/2" TYP; B. 1/2" FOAM IN STEEG OVER; C. 1/2" FOAM IN STEEG OVER; D. 1/2" FOAM IN STEEG OVER; E. 1/2" FOAM IN STEEG OVER; F. 1/2" FOAM IN STEEG OVER; G. 1/2" FOAM IN STEEG OVER; H. 1/2" FOAM IN STEEG OVER; I. 1/2" FOAM IN STEEG OVER; J. 1/2" FOAM IN STEEG OVER; K. 1/2" FOAM IN STEEG OVER; L. 1/2" FOAM IN STEEG OVER; M. 1/2" FOAM IN STEEG OVER; N. 1/2" FOAM IN STEEG OVER; O. SHIPPED FOAM IN STEEG OVER SEE DETAIL (A) AND (B).
- 7. STEEG PRESLS: ROOFING SIZE AS NOTED SEE DETAIL (A) AND (B) DECORATIVE: PROTECT WITH WIRE BRUSH.
- 8. STEEG FINISH: TYP SEE DETAIL (A) FOR FINISH.
- 9. ADHERED STONE VENER AS SELECTED BY BUILDER. HEIGHT AS NOTED. SEE DETAILS.
- 10. DECORATIVE FRONT PORCH: SEE DETAILS.
- 11. CORROSION RESISTANT SCREENS: LOWERED VENT. SEE ELEVATION FOR LOCATION AND SIZE.
- 12. FALSE HOOD SHUTTERS: 1" PINE AS SHOWN SEE DETAILS (A) AND (B) AND (C) AND (D).
- 13. CORROSION RESISTANT ROOF TO HALL: 1" VENEER. SEE SOFFIT DETAILS.
- 14. 2x2 HOOD TRIM; 2x4 HOOD TRIM; 2x6 HOOD TRIM.
- 15. 4" LAP SIDING PER BUILDER.
- 16. REPAIR FASCIA BOARD 2x6 TYP. BRDG.



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SHEFFIELD GARDENS AT REGENCY PARK
SACRAMENTO, CALIFORNIA

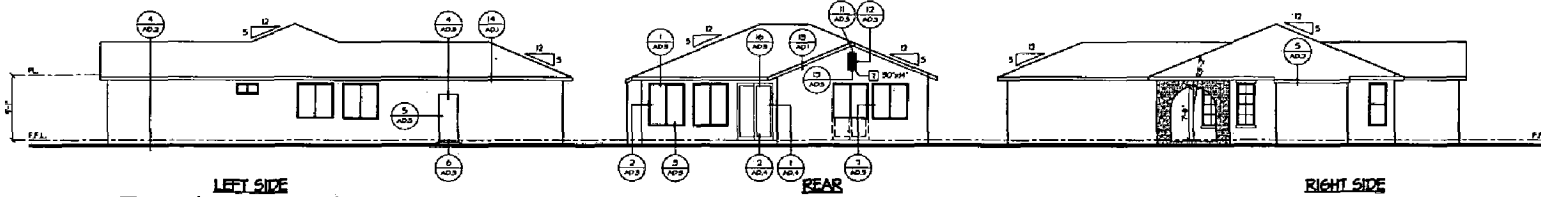
OFFICE LOCATION:
1117 Broadway, Suite 105
Sacramento, CA 95811-1000
Phone: (916) 311-1000
Fax: (916) 311-1000

DESIGN DEVELOPMENT

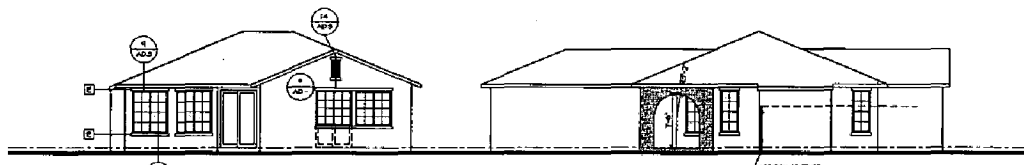
DATE: 03/07/02
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PLAN 1397
SCALE: 1/8"=1'-0"
A3.A

P02-093

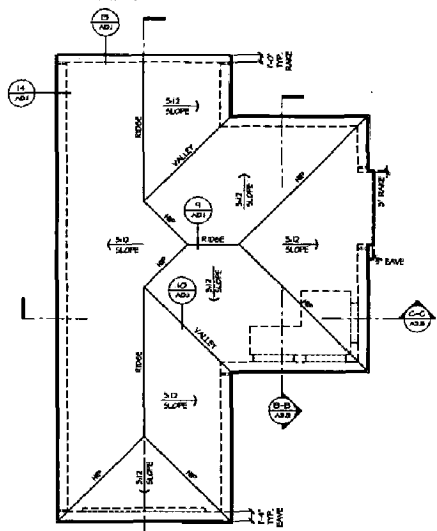
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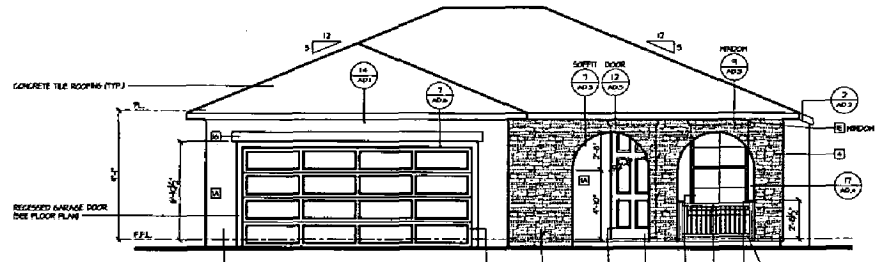
LEFT SIDE
Exterior Elevations
SCALE: 1/8"=1'-0"



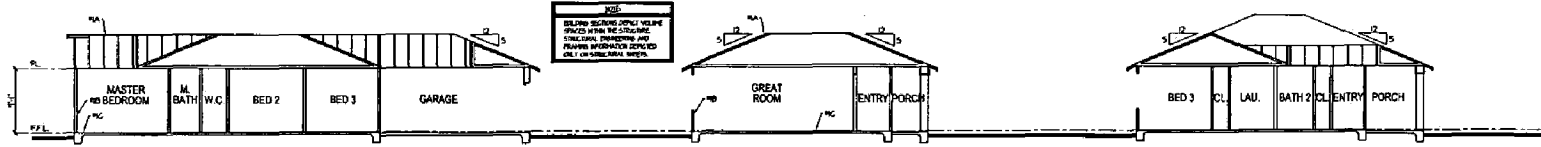
REAR w/ ENHANCEMENTS
Alternate Elevations
SCALE: 1/8"=1'-0"



Roof Plan
SCALE: 1/8"=1'-0"



ELEVATION B - ITALIAN VILLA
Front Elevation
SCALE: 1/8"=1'-0"



A-A
Building Sections
SCALE: 1/8"=1'-0"

EXTERIOR ELEVATION NOTES

- NOTE: ELEVATION B - ITALIAN VILLA**
- REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTIONS OF MATERIALS.
 - FINISH HEAD HEIGHTS:
-1ST FLOOR = 8'-0" UNLS ON EXT. ELEVATIONS
-2ND FLOOR = 8'-0" UNLS ON EXT. ELEVATIONS
-DOOR HEIGHTS AS NOTED ON PLANS. DIMENSIONS AS NOTED. HEADROOM: HEIGHT WITH DOOR HEADERS.
 - EXTERIOR WALLS:
-INSULATION OVER 1" FOAM INSULATION PER GENERAL NOTES. CORROSION RESISTANT KEYS SCURED AT BASE.
 - EXTERIOR ROOFS:
-STRUGG OVER 1" FOAM INSULATION.
 - ROOFING:
-GLASS W/ PBR-REINFORCED CONCRETE TILES. ELEVATION A, SLATE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FINISHES.
-ELEVATION B, VILLA CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FINISHES.
-ELEVATION C, SLATE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FINISHES.
- ELEVATION KEY NOTES**
- STRUGG OVER FOAM TRIM:
A. 1/2" FOAM W/ STRUGG OVER
B. 1/2" FOAM W/ STRUGG OVER
C. 1/2" FOAM W/ STRUGG OVER
D. 1/2" FOAM W/ STRUGG OVER
E. 1/2" FOAM W/ STRUGG OVER
F. 1/2" FOAM W/ STRUGG OVER
G. 1/2" FOAM W/ STRUGG OVER
H. 1/2" FOAM W/ STRUGG OVER
I. 1/2" FOAM W/ STRUGG OVER
J. 1/2" FOAM W/ STRUGG OVER
K. 1/2" FOAM W/ STRUGG OVER
L. 1/2" FOAM W/ STRUGG OVER
M. 1/2" FOAM W/ STRUGG OVER
N. 1/2" FOAM W/ STRUGG OVER
P. SHAVED FOAM W/ STRUGG OVER. SEE DETAIL AN-001X.
 - STRUGG TRIM:
ROOF SIZE AS NOTED. SEE DETAIL H-001X. DECORATIVE FINISH PER NOTE SHOWN.
 - STRUGG TRIM: SEE DETAIL FOR FINISHES.
 - ADVERSED STORE VENEER AS SELECTED BY BUILDER. HEIGHT AS NOTED. SEE DETAILS.
 - DECORATIVE FINISH PER NOTE. SEE DETAILS.
 - DECORATIVE HOOD RAILING: SEE DETAILS.
 - CORROSION RESISTANT SCREWS: LOWERED VENT. SEE ELEVATION FOR LOCATION AND SIZE.
 - FALSE HOOD SALTERS: TYPE AS SHOWN. SEE DETAILS B-001X AND J-001X.
 - CORROSION RESISTANT ROOF TO HALL FLASHING: SEE ROOF DETAILS.
 - A. 3/4" HOOD TRIM
B. 3/4" HOOD TRIM
C. 3/4" HOOD TRIM
 - 1" LAP SIDING FOR BUILDER.
 - RESAWN PASCIA BOVED 206 TYP. END.

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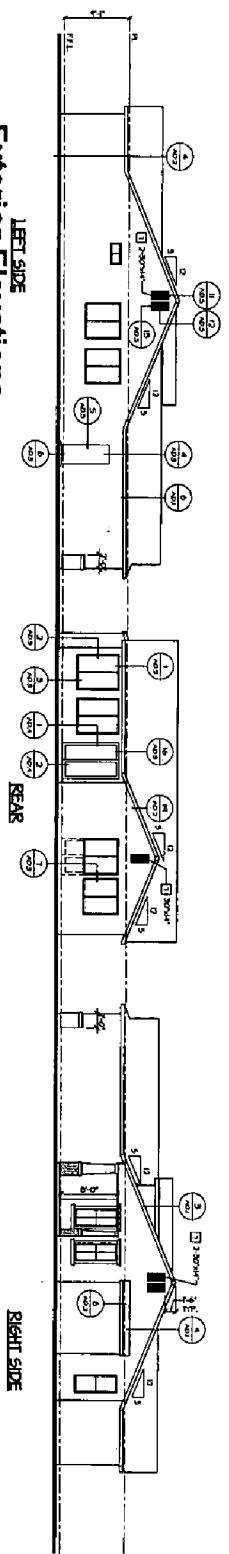
Blodgood Sharp Buster
DESIGN DEVELOPMENT

03.12.2002

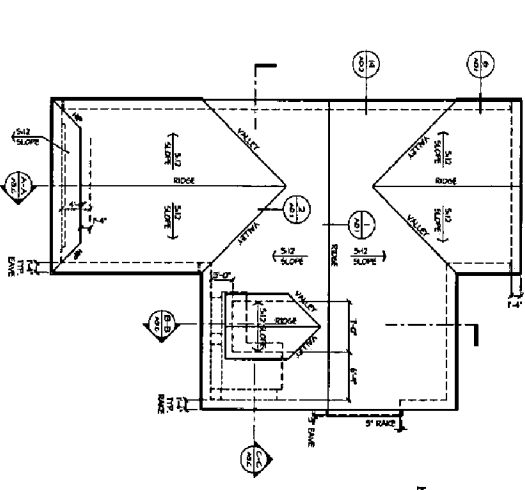
PLAN 1397
SHEET TITLE: EXTERIOR ELEVATIONS, ROOF PLAN, BUILDING SECTIONS
A3 B

REC'D JUN 20 2002

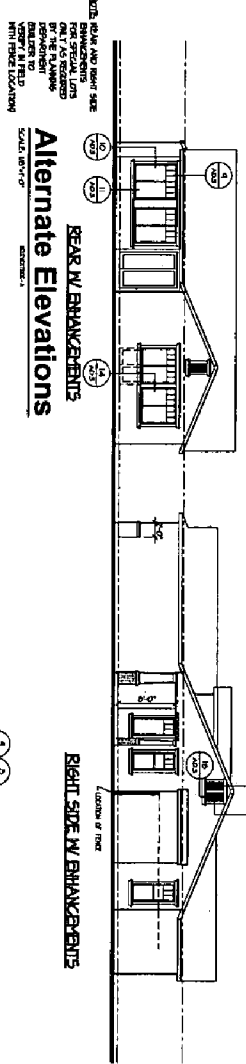
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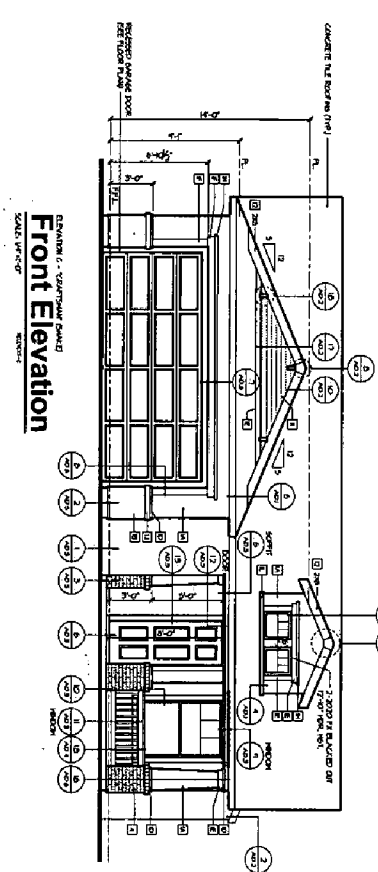
LEFT SIDE Exterior Elevations
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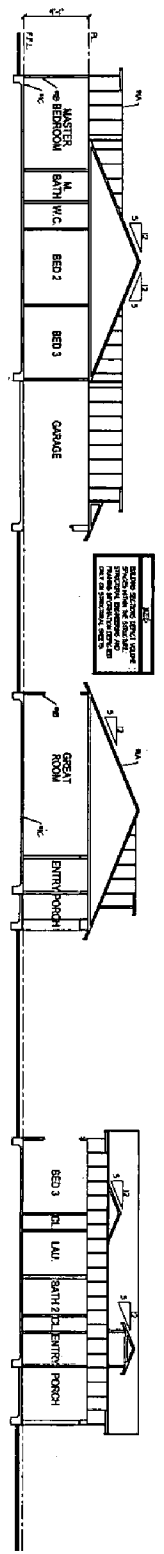
Roof Plan
SCALE: 1/8" = 1'-0"



REAR W/ BREAKERENTS
RIGHT SIDE W/ BREAKERENTS
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



AA Building Sections
SCALE: 1/8" = 1'-0"

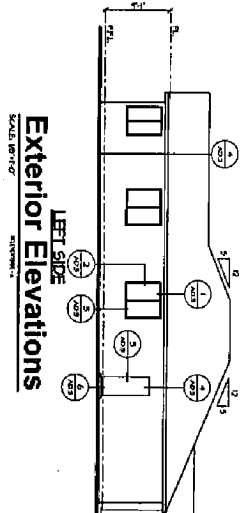
BB

EXTERIOR ELEVATION NOTES
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
3. MATERIALS TO BE DETERMINED BY THE ARCHITECT.
4. SEE NOTES ON SHEET 10 FOR FINISHES AND MATERIALS.
5. SEE NOTES ON SHEET 10 FOR WINDOW AND DOOR SIZES.
6. SEE NOTES ON SHEET 10 FOR ROOF PITCHES AND MATERIALS.
7. SEE NOTES ON SHEET 10 FOR GROUND LEVEL AND FINISH FLOOR LEVELS.
8. SEE NOTES ON SHEET 10 FOR FOUNDATION AND RETENTION WALLS.
9. SEE NOTES ON SHEET 10 FOR MECHANICAL AND ELECTRICAL LOCATIONS.
10. SEE NOTES ON SHEET 10 FOR PLUMBING AND SANITARY LOCATIONS.
11. SEE NOTES ON SHEET 10 FOR STRUCTURAL REQUIREMENTS.
12. SEE NOTES ON SHEET 10 FOR SPECIAL LIGHTING REQUIREMENTS.
13. SEE NOTES ON SHEET 10 FOR SPECIAL PAINT REQUIREMENTS.
14. SEE NOTES ON SHEET 10 FOR SPECIAL FINISH REQUIREMENTS.
15. SEE NOTES ON SHEET 10 FOR SPECIAL ACCESSIBILITY REQUIREMENTS.
16. SEE NOTES ON SHEET 10 FOR SPECIAL SAFETY REQUIREMENTS.
17. SEE NOTES ON SHEET 10 FOR SPECIAL SECURITY REQUIREMENTS.
18. SEE NOTES ON SHEET 10 FOR SPECIAL ENVIRONMENTAL REQUIREMENTS.
19. SEE NOTES ON SHEET 10 FOR SPECIAL HISTORIC PRESERVATION REQUIREMENTS.
20. SEE NOTES ON SHEET 10 FOR SPECIAL LANDSCAPE REQUIREMENTS.

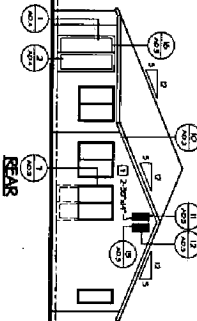
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P02-093

<p>SHEFFIELD GARDENS AT REGENCY PARK SACRAMENTO, CALIFORNIA</p>		<p>BEAZER 3009 Douglas Blvd., Ste. 150 Riverside, CA 92504 (916) 773-8826 • Fax (916) 773-0425</p>	
<p>Architect: Bloodgood Sharp Buxter 1117 Woodland Way, Suite 110 Sacramento, CA 95825 Phone: 916-441-0292</p>		<p>Office Locations • San Francisco, CA • Tampa, FL • Sacramento, CA • Chicago, IL • Phoenix, AZ • Dallas, TX • Newport Beach, CA • Jacksonville, FL • Orlando, FL</p>	
<p>DATE: 03.12.2002 PLAN: 1397 SHEET: A3C</p>	<p>03.12.2002 DESIGN DEVELOPMENT</p>		

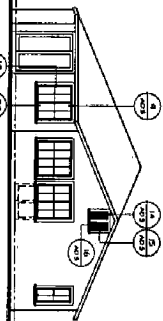


LEFT SIDE
Exterior Elevations
SCALE: 3/8" = 1'-0"

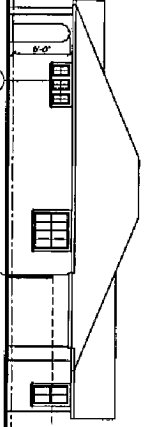


REAR

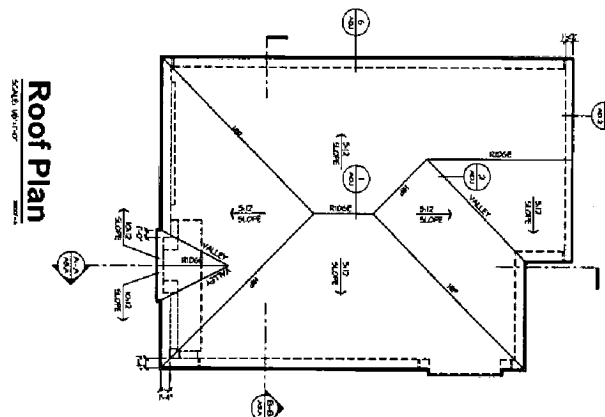
RIGHT SIDE



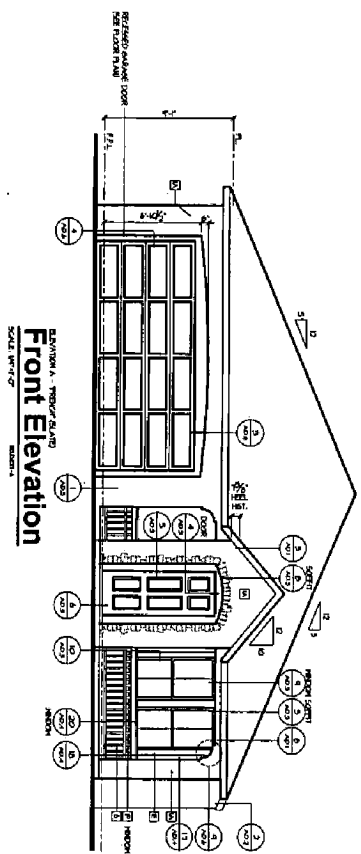
REAR w/ BREAKERS
Alternate Elevations
SCALE: 3/8" = 1'-0"



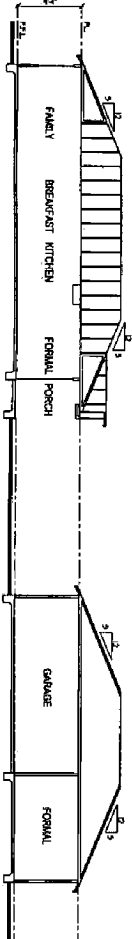
RIGHT SIDE w/ BREAKERS



Roof Plan
SCALE: 3/8" = 1'-0"



FRONT ELEVATION
SCALE: 3/8" = 1'-0"



Building Sections
SCALE: 3/8" = 1'-0"

- EXTERIOR ELEVATION NOTES**
1. MATERIALS TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 2. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 3. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 4. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 5. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 6. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 7. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 8. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 9. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 10. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 11. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
 12. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.

1. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
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8. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
9. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
10. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
11. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.
12. FINISHES TO BE USED AS SHOWN ON THESE ELEVATIONS UNLESS OTHERWISE NOTED.

DATE	12/10/02
PROJECT	PLAN 157Z
SCALE	AS SHOWN
DESIGNER	Bloodgood Sharp Buster
DATE	12/10/02
PROJECT	PLAN 157Z
SCALE	AS SHOWN
DESIGNER	Bloodgood Sharp Buster
DATE	12/10/02
PROJECT	PLAN 157Z
SCALE	AS SHOWN
DESIGNER	Bloodgood Sharp Buster

SHEFFIELD GARDENS AT REGENCY PARK
SACRAMENTO, CALIFORNIA

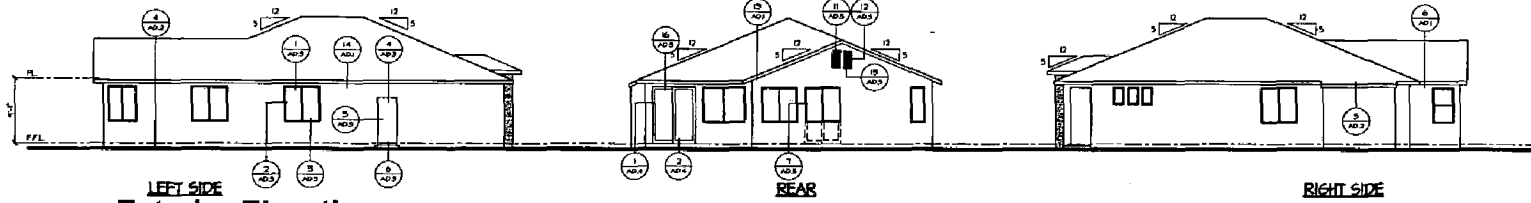
BEAZER
3000 Douglas Blvd, Ste. 150
Roseville, CA 95661
(916) 772-3888 • Fax (916) 772-6425

Office Locations
• Denver, CO • Dallas, TX • Houston, TX • Phoenix, AZ • San Diego, CA • Sacramento, CA • San Francisco, CA • Seattle, WA • Tampa, FL • Washington, DC

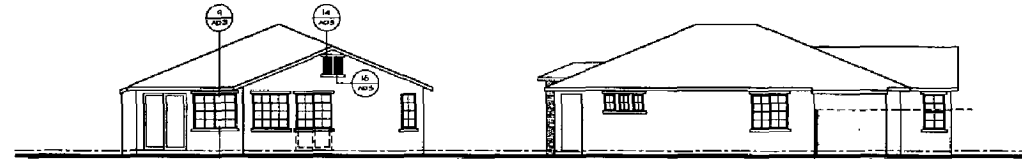
Bloodgood Sharp Buster
1117 Highland Way, Suite 110
Sacramento, CA 95826
Phone: 916-941-0290

REC'D JUN 20 2002

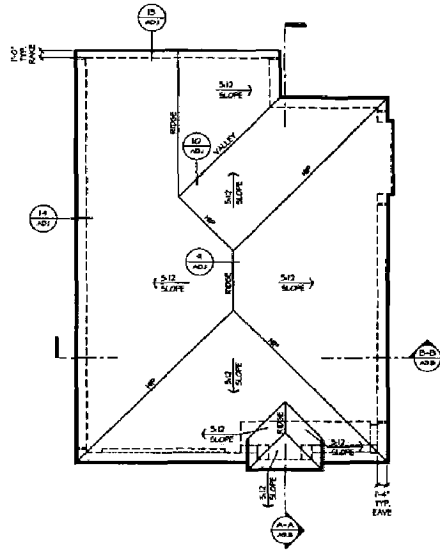
P02-093



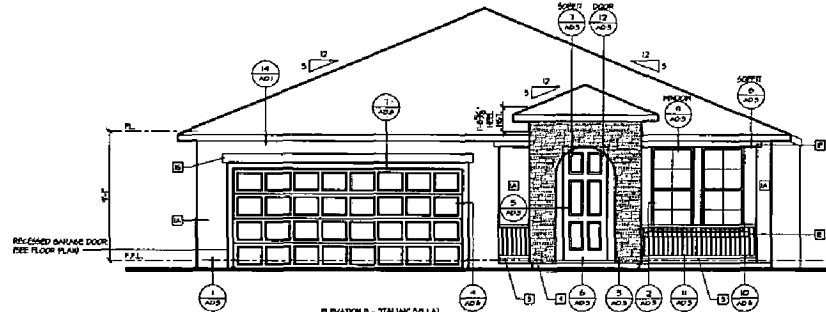
LEFT SIDE
Exterior Elevations
SCALE: 1/8"=1'-0"



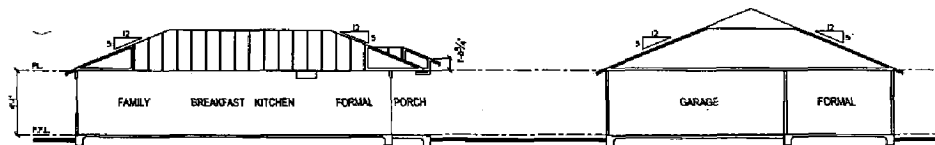
REAR W/ ENHANCEMENTS
Alternate Elevations
SCALE: 1/8"=1'-0"



Roof Plan
SCALE: 1/8"=1'-0"



ELEVATION B - ITALIAN DALLA
Front Elevation
SCALE: 1/8"=1'-0"



A-A
Building Sections
SCALE: 1/8"=1'-0"

EXTERIOR ELEVATION NOTES

- GENERAL NOTES:**
- REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
 - WINDOW HEAD HEIGHTS:
 - 1ST FLOOR - 8'-0" UNCL ON EXT.
 - ELEVATIONS
 - 2ND FLOOR - 8'-0" UNCL ON EXT.
 - ELEVATIONS
 - DOOR HEIGHTS AS NOTED ON PLANS (UNLESS OTHERWISE NOTED WINDOW HEADERS HEIGHT WITH DOOR HEADERS)
 - EXTERIOR WALLS:
 - STRUCCO SYSTEM OVER 1" FOAM INSULATION FOR GENERAL NOTES CORROSION RESISTANT KEEP SCREENED AT BASE.
 - EXTERIOR SCOFFS:
 - STRUCCO OVER 1" FOAM INSULATION.
 - ROOFING:
 - GLASS AT FIRE-RESISTANT LOCATIONS (ELEVATION 11): SLATE CONCRETE TILE AND GENERAL NOTES SEE ROOFING DETAILS FOR FASCIA.
 - ELEVATION 11: VILLA CONCRETE TILE FOR GENERAL NOTES SEE ROOFING DETAILS FOR FASCIA.
 - ELEVATION 11: SLATE CONCRETE TILE FOR GENERAL NOTES SEE ROOFING DETAILS FOR FASCIA.
- ELEVATION KEY NOTES:**
- STRUCCO OVER FOAM TRIM:
 - A. STRUCCO 1/2" TRIM
 - B. 1/2" FOAM IN STRUCCO OVER
 - C. 1/2" FOAM IN STRUCCO OVER
 - D. 1/2" FOAM IN STRUCCO OVER
 - E. 1/2" FOAM IN STRUCCO OVER
 - F. 1/2" FOAM IN STRUCCO OVER
 - G. 1/2" FOAM IN STRUCCO OVER
 - H. 1/2" FOAM IN STRUCCO OVER
 - I. 1/2" FOAM IN STRUCCO OVER
 - J. 1/2" FOAM IN STRUCCO OVER
 - K. 1/2" FOAM IN STRUCCO OVER
 - L. 1/2" FOAM IN STRUCCO OVER
 - M. 1/2" FOAM IN STRUCCO OVER
 - N. 1/2" FOAM IN STRUCCO OVER
 - O. 1/2" FOAM IN STRUCCO OVER
 - P. 1/2" FOAM IN STRUCCO OVER
 - SEE DETAIL, ABOVE.
 - STRUCCO FINISH:
 - ROOFING SIZE AS NOTED; SEE DETAIL AND DECORATIVE FINISH FOR MORE SPECIFIC.
 - STRUCCO FINISH TRIM: SEE DETAIL FOR DIMENSIONS.
 - ADHESIVE STONE VENEER AS SELECTED BY BUILDER; HEIGHT AS NOTED; SEE DETAILS.
 - DECORATIVE HOOD FINISH: SEE DETAILS.
 - DECORATIVE HOOD RAILING: SEE DETAILS.
 - CORROSION RESISTANT SCREEN (CONCRETE VENT); SEE ELEVATION FOR LOCATION AND SIZE.
 - FALSE HOOD SHUTTERS: TYPE AS SHOWN; SEE DETAILS BOND # AND JOINTS.
 - CORROSION RESISTANT ROOF TO HULL FLASHING: SEE ROOF DETAILS.
 - 2" HD HOOD TRIM
 - 2" HD HOOD TRIM
 - 2" HD HOOD TRIM
 - 4" LAP SIDING PER BUILDER
 - RESAWN FASCIA BOARD 2x6 TYP. EAG.

DATE	DESCRIPTION

BEAZER
3000
Sacramento, CA 95811
(916) 773-3888 • Fax (916) 773-4123

SHEFFIELD GARDENS AT REGENCY PARK
SACRAMENTO, CALIFORNIA

Office Locations
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1711 Alameda Blvd., #100, Sacramento, CA 95811
1711 Alameda Blvd., #100, Sacramento, CA 95811
1711 Alameda Blvd., #100, Sacramento, CA 95811

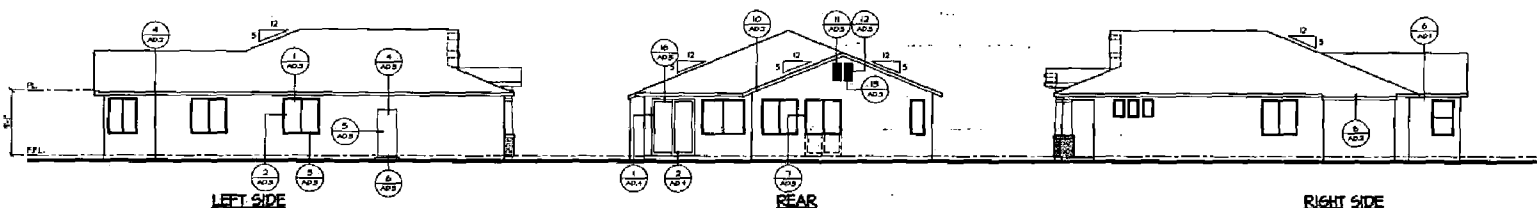
Architects and Planners for
Bloodgood Sharp Beazer

ASB NO.	2000-00
PROJ. NO.	1572
DATE	03.12.2002
PLAN	1572
RECD FILE	EXTERIOR ELEVATION, ROOF PLAN & BUILDING SECTIONS
DATE	A3.B

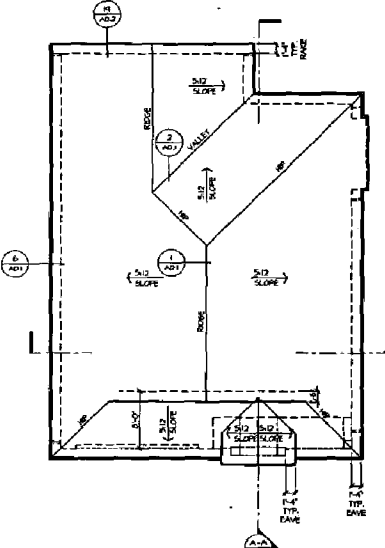
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03.12.2002 DESIGN DEVELOPMENT



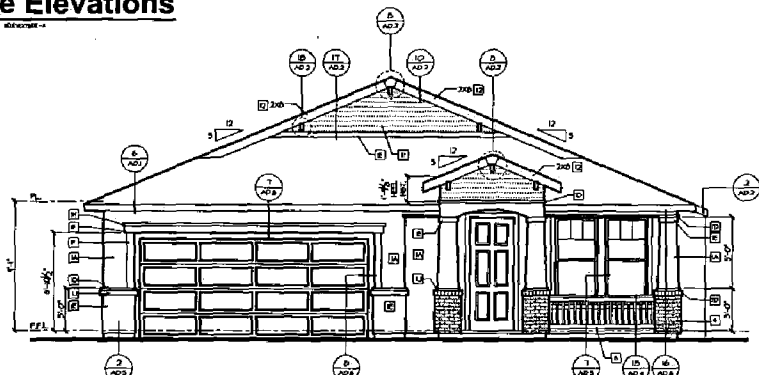
Exterior Elevations
SCALE: 1/8"=1'-0"



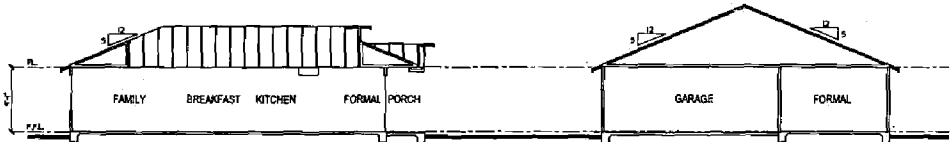
Roof Plan
SCALE: 1/8"=1'-0"



Alternate Elevations
SCALE: 1/8"=1'-0"



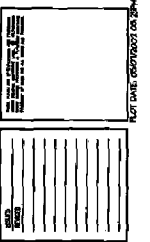
Front Elevation
SCALE: 1/8"=1'-0"



Building Sections
SCALE: 1/8"=1'-0"

EXTERIOR ELEVATION NOTES

- NOTE: EXAMINE SH-02-02
- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
 - B. FINISH HEAD HEIGHTS: 1st FLOOR: 8'-0" BKG. ON ENT. ELEVATIONS; 2nd FLOOR: 8'-0" BKG. ON EXT. ELEVATIONS; DOOR HEIGHTS AS NOTED ON PLANS (MIN. ALLOWED FINISH HEADLINE HEIGHT WITH DOOR HEADERS).
 - C. EXTERIOR WALLS: 1/2" GYPSUM OVER 1" FOAM INSULATION PER GENERAL NOTES, CORROSION RESISTANT HEEP SCREEN AT BASE.
 - D. EXTERIOR SETTLES: 1/2" GYPSUM OVER 1" FOAM INSULATION.
 - E. ROOFING: CLASS A FIRE RESISTANT CONCRETE TILE; EXTERIOR W/ 1" GYPSUM CONCRETE TILE PER GENERAL NOTES, SEE ROOFING DETAILS FOR FLASHING; ELEVATION 10: VILLA CONCRETE TILE PER GENERAL NOTES, SEE ROOFING DETAILS FOR FLASHING; ELEVATION 11: SLATE CONCRETE TILE PER GENERAL NOTES, SEE ROOFING DETAILS FOR FLASHING.
- ELEVATION KEY NOTES:**
1. STUCCO OVER FOAM INSUL.
 - A. STUCCO 1/2" (TYPE)
 - B. 1" FOAM INSUL OVER STUCCO OVER
 - C. 1/2" FOAM INSUL OVER STUCCO OVER
 - D. 1/2" FOAM INSUL OVER STUCCO OVER
 - E. 1/2" FOAM INSUL OVER STUCCO OVER
 - F. 1/2" FOAM INSUL OVER STUCCO OVER
 - G. 1/2" FOAM INSUL OVER STUCCO OVER
 - H. 1/2" FOAM INSUL OVER STUCCO OVER
 - I. 1/2" FOAM INSUL OVER STUCCO OVER
 - J. 1/2" FOAM INSUL OVER STUCCO OVER
 - K. 1/2" FOAM INSUL OVER STUCCO OVER
 - L. 1/2" FOAM INSUL OVER STUCCO OVER
 - M. 1/2" FOAM INSUL OVER STUCCO OVER
 - N. 1/2" FOAM INSUL OVER STUCCO OVER
 - O. 1/2" FOAM INSUL OVER STUCCO OVER
 - P. SHAVED FOAM INSUL OVER STUCCO OVER SEE DETAIL 20A00X.
 2. STUCCO RESIN.
 - ROSH SEE AS NOTED, SEE DETAIL 11A00 EXCLUSIVE. PROVIDE BUSH HERE WHERE NECESSARY.
 3. STUCCO FREEZE TRIM SEE DETAIL FOR FINISHING.
 4. ADHERED STONE VENEER AS SELECTED BY BUILDER, HEIGHT AS NOTED, SEE DETAILS.
 5. DECORATIVE MOUNTING BRON SEE DETAILS.
 6. DECORATIVE WOOD RAILING SEE DETAILS.
 7. CORROSION RESISTANT SCREEN LEVERED VENT, SEE ELEVATION FOR LOCATION AND SIZE.
 8. FALSE WOOD SHUTTERS, TYPE AS SHOWN, SEE DETAILS W/ARCH AND JOINTS.
 9. CORROSION RESISTANT ROOF TO WALL FLASHING, SEE ROOF DETAILS.
 10. A. 3/4" WOOD TRIM
 - B. 3/4" WOOD TRIM
 - C. 3/4" WOOD TRIM
 11. 4" LAP SIDING PER BUILDER.
 12. RESAWN FACIA BOARD 2x6 TYP. END.



BEAZER HOMES
3008 Bluebonnet Blvd., Ste. 100
Rockville, CA 95861
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1100 S. Street, # 200, Rockville, CA 95861
1100 S. Street, # 200, Rockville, CA 95861

SHEFFIELD GARDENS AT REGENCY PARK
SACRAMENTO, CALIFORNIA

Bloungood Sharp Builder

DATE PLOTTED: 06/11/02	DATE: 06/11/02
PROJECT: SHEFFIELD GARDENS AT REGENCY PARK	PLAN: 1572
SHEET TITLE: EXTERIOR ELEVATIONS, ROOF PLAN, BUILDING SECTIONS	SHEET: A3.C

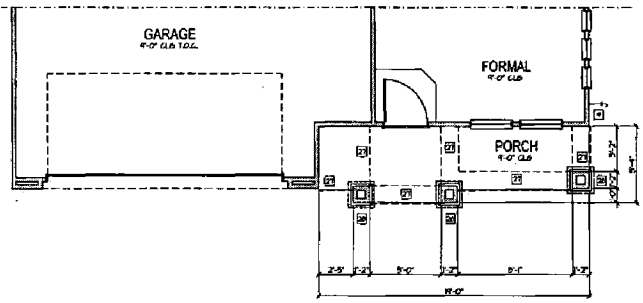
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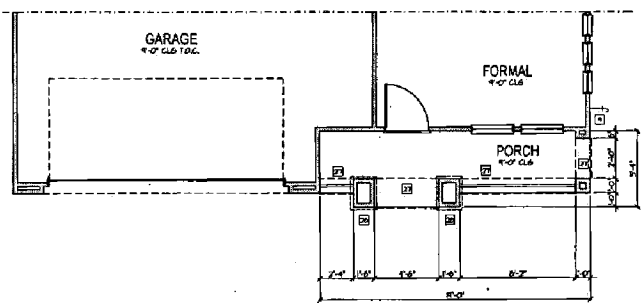
03.12.2002 DESIGN DEVELOPMENT

MAIN FLOOR NOTES
 (NOT FLOOR PLAN NOTES)

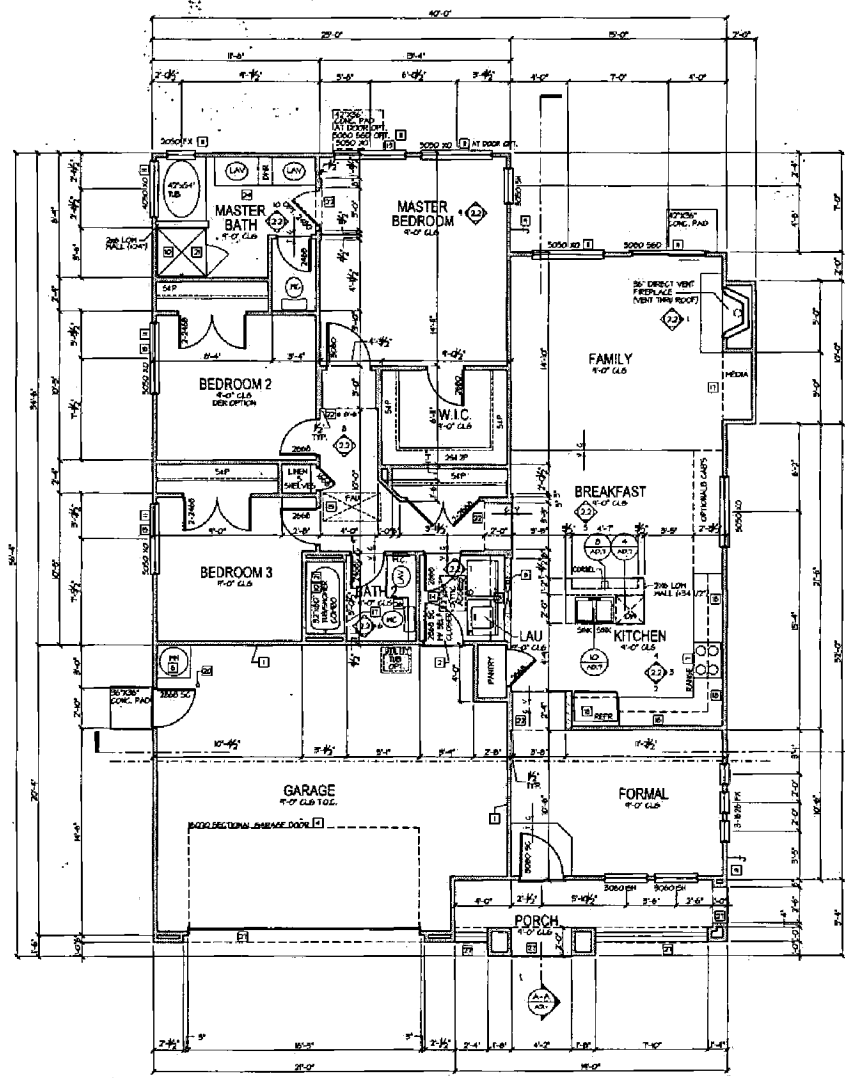
- 1. ALL CONSTRUCTION MATERIALS
- 2. ROOF CONSTRUCTION
- 3. EXTERIOR WALL CONSTRUCTION
- 4. FLOOR CONSTRUCTION
- 5. WALL CONSTRUCTION
- 6. CEILING CONSTRUCTION
- 7. MECHANICAL SYSTEMS
- 8. ELECTRICAL SYSTEMS
- 9. PLUMBING SYSTEMS
- 10. FINISHES
- 11. SPECIAL NOTES
- 12. ACCESSIBILITY
- 13. EROSION CONTROL
- 14. LANDSCAPE
- 15. UTILITIES
- 16. OTHER



ELEVATION C
Partial Floor Plan
 SCALE: 1/4" = 1'-0"



ELEVATION B
Partial Floor Plan
 SCALE: 1/4" = 1'-0"



ELEVATION A
Main Floor Plan
 SCALE: 1/4" = 1'-0"

SQUARE FOOTAGES	
BASE FLOOR	2522
UPPER FLOOR	100
MECHANICAL	100
LANDSCAPE	100
TOTAL	2822
OFFICE	...
OFFICE	...
OFFICE	...
OFFICE	...

NO. 1	...
NO. 2	...
NO. 3	...
NO. 4	...
NO. 5	...
NO. 6	...
NO. 7	...
NO. 8	...
NO. 9	...
NO. 10	...

BEAZER
 SHEFFIELD GARDENS AT REGENCY PARK
 SACRAMENTO, CALIFORNIA

Office Locations
 Sacramento, CA
 (916) 771-3888

DESIGNED BY
Beazer
 1175 Broadway, Suite 110
 Sacramento, CA 95811
 Phone: 916-441-0000
 Fax: 916-441-0000

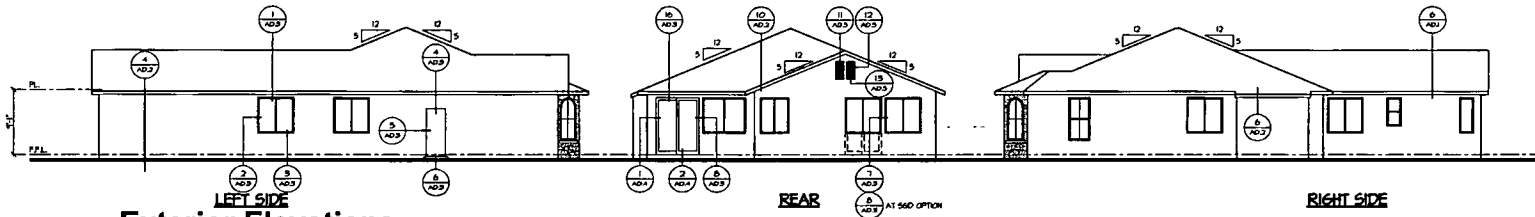
DATE: 03.12.2002

NO. 1	...
NO. 2	...
NO. 3	...
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NO. 10	...

REC'D JUN 20 2002

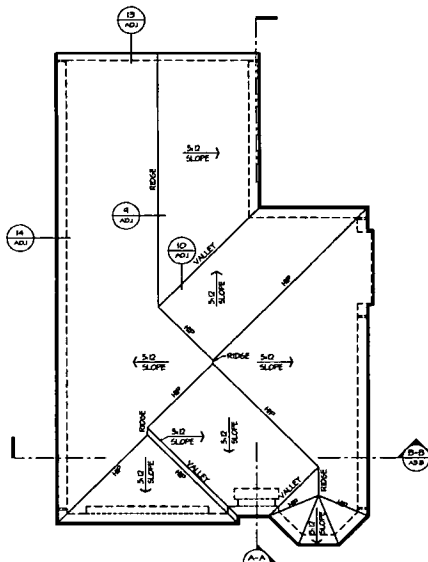
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03.12.2002 DESIGN DEVELOPMENT



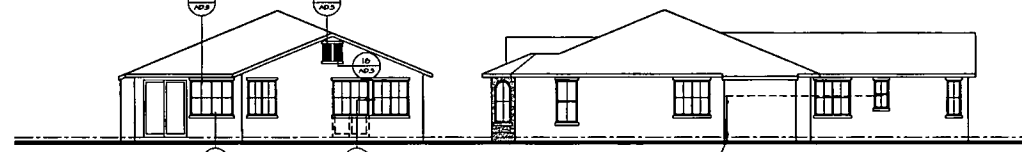
Exterior Elevations

SCALE: 1/8"=1'-0" R0001-4



Roof Plan

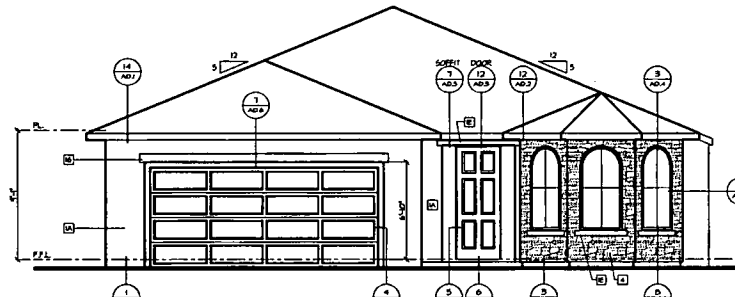
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Alternate Elevations

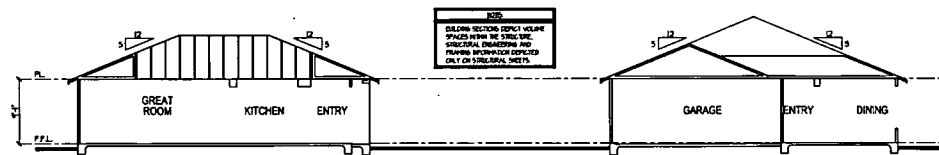
SCALE: 1/8"=1'-0" R0003-4

NOTE: REAR AND RIGHT SIDE ENHANCEMENTS FOR SPECIAL LOTS ONLY AS REQUIRED BY THE PLANNING DEPARTMENT. BUILDER TO VERIFY IN FIELD WITH FENCE LOCATION.



Front Elevation

SCALE: 1/4"=1'-0" R0004-4



Building Sections

SCALE: 1/8"=1'-0" R0005-4

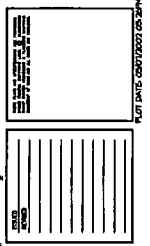
EXTERIOR ELEVATION NOTES

NOTE: ELEVATION 104-Q-01

- A. REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
- B. WINDOW HEAD HEIGHTS:
 - 1ST FLOOR = 8'-0" W/O ON EXT. ELEVATIONS
 - 2ND FLOOR = 8'-0" W/O ON EXT. ELEVATIONS
 - DOOR HEIGHTS AS NOTED ON PLANS. (ALSO ADJACENT WINDOW HEADER HEIGHT WITH DOOR HEADERS.)
- C. EXTERIOR WALLS:
 - STUCCO SYSTEM OVER F FOAM INSULATION PER GENERAL NOTES, CORROSION RESISTANT SCREEN LAMINATED VENT. SEE ELEVATION FOR LOCATION AND SIZE.
 - CORROSION RESISTANT SCREEN LAMINATED VENT. SEE ELEVATION FOR LOCATION AND SIZE.
- D. EXTERIOR SCFFITS:
 - STUCCO OVER F FOAM INSULATION.
- E. ROOFING:
 - CLASS II FIRE-RETARDANT CONCRETE TILES ELEVATION A1: SHAKE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FASCIAS.
 - ELEVATION B1: VILLA CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FASCIAS.
 - ELEVATION C1: SLATE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FASCIAS.

ELEVATION KEY NOTES

- 1 STUCCO OVER FOAM TRIM
 - A. 1/2" STUCCO (177)
 - B. 1/2" FOAM W/ STUCCO OVER
 - C. 1/2" FOAM W/ STUCCO OVER
 - D. 1/2" FOAM W/ STUCCO OVER
 - E. 1/2" FOAM W/ STUCCO OVER
 - F. 1/2" FOAM W/ STUCCO OVER
 - G. 1/2" FOAM W/ STUCCO OVER
 - H. 1/2" FOAM W/ STUCCO OVER
 - I. 1/2" FOAM W/ STUCCO OVER
 - J. 1/2" FOAM W/ STUCCO OVER
 - K. 1/2" FOAM W/ STUCCO OVER
 - L. 1/2" FOAM W/ STUCCO OVER
 - M. 1/2" FOAM W/ STUCCO OVER
 - N. 1/2" FOAM W/ STUCCO OVER
 - O. 1/2" FOAM W/ STUCCO OVER
 - P. SHAPED FOAM W/ STUCCO OVER
 - SEE DETAIL, R0004-X.
- 2 STUCCO RECESS:
 - ROOM SIZE AS NOTED. SEE DETAIL 104D DECORATIVE HEIGHT ROOM WHERE SHOWN.
- 3 STUCCO PICTURE TRIM SEE DETAIL FOR DETAILING.
- 4 ADHERED STONE VENEER AS SELECTED BY BUILDER. HEIGHT AS NOTED. SEE DETAILS DECORATIVE HEIGHT ROOM. SEE DETAILS.
- 5 DECORATIVE WOOD RAILING SEE DETAILS.
- 6 CORROSION RESISTANT SCREEN LAMINATED VENT. SEE ELEVATION FOR LOCATION AND SIZE.
- 7 FALSE WOOD SHUTTERS. TYPE AS SHOWN. SEE DETAILS R0004-X AND R0004-Y.
- 8 CORROSION RESISTANT ROOF TO HALL FLASHING. SEE ROOF DETAILS.
- 9 A. 2x2 HOOD TRIM
B. 2x4 HOOD TRIM
C. 2x6 HOOD TRIM
- 10 4" LAP SIDING PER BUILDER.
- 11 RESAWN FASCIA BOARD 2x6 TYP. E.G.D.



BEAZER
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SHEFFIELD GARDENS AT REGENCY PARK
SACRAMENTO, CALIFORNIA

1117 Woodland Ave., Suite 110
Sacramento, CA 95821
Phone: 916-441-0201

Developed and built by
Bloodgood Sharp Buster

Offices Locations
• San Francisco, CA • Sacramento, CA • Chicago, IL • Phoenix, AZ • Denver, CO • San Antonio, TX • Dallas, TX • Houston, TX • Atlanta, GA • New York, NY • Los Angeles, CA • San Diego, CA • San Jose, CA • San Francisco, CA

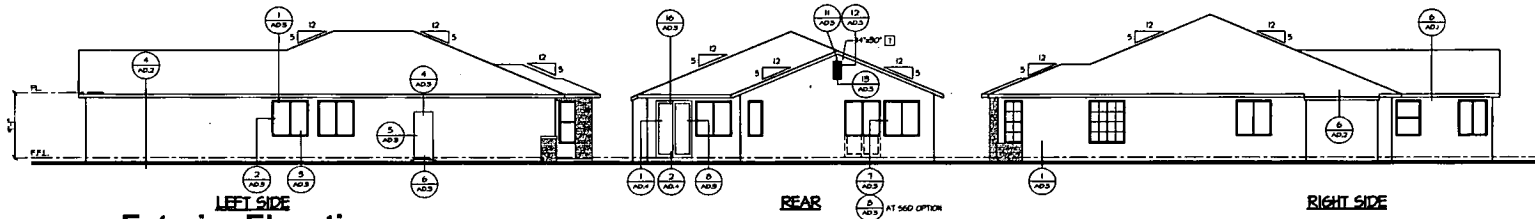
DATE	10/20/00
DESIGNED BY	172
CHECKED BY	172
PROJECT NO.	1725
SCALE	AS SHOWN
DATE	03/12/2002
BY	A3.B

REC'D JUN 20 2002

P02-093

DATE: 03/12/2002 09:24

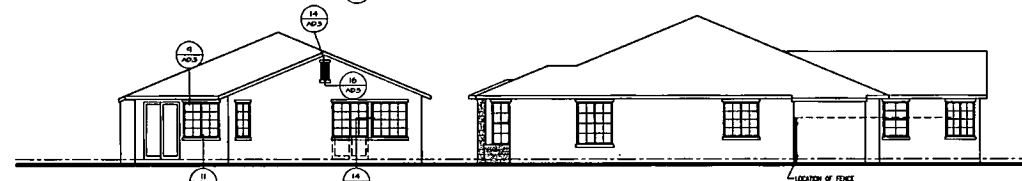
03.12.2002 DESIGN DEVELOPMENT



LEFT SIDE
Exterior Elevations

REAR

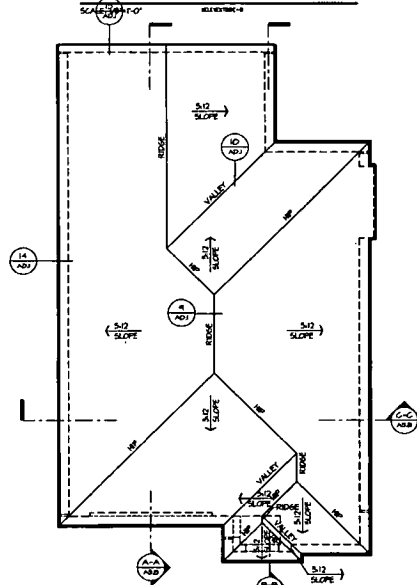
RIGHT SIDE



REAR W/ ENHANCEMENTS
Alternate Elevations

RIGHT SIDE W/ ENHANCEMENTS

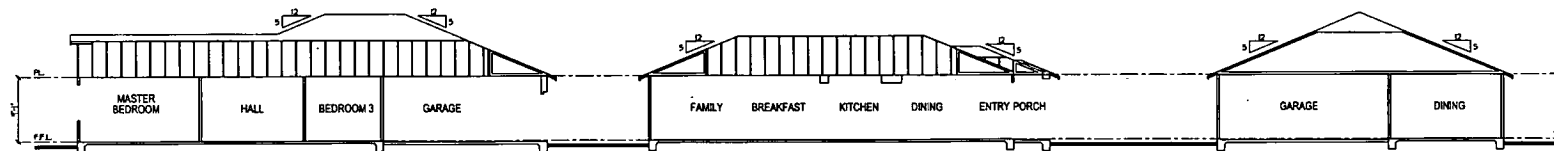
NOTE: REAR AND RIGHT SIDE ENHANCEMENTS FOR SPECIAL LOTS ONLY AS REQUIRED BY THE PLANNING DEPARTMENT. BUILDER TO VERIFY IN FIELD WITH FENCE LOCATION.



Roof Plan
SCALE: 1/8"=1'-0"



ELEVATION B - TITANIUM BELLA
Front Elevation
SCALE: 1/8"=1'-0"



A-A
Building Sections
SCALE: 1/8"=1'-0"

B-B

C-C

EXTERIOR ELEVATION NOTES

- NOTE: EXTERIOR ELEVATION SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
- REFER TO GENERAL NOTE SHEETS FOR TYPICAL REQUIREMENTS AND SPECIFIC DESCRIPTION OF MATERIALS.
 - WINDOW HEAD HEIGHTS:
 - 8" FLOOR + 8'-0" HEAD, ON EXT. ELEVATIONS
 - 9" FLOOR + 8'-0" HEAD, ON EXT. ELEVATIONS
 - DOOR HEIGHTS AS NOTED ON PLANS. (ALUM. AND WOOD HEADS: WINDOW HEADS HEIGHT WITH DOOR HEADERS.)
 - EXTERIOR WALLS:
 - STUCCO SYSTEM OVER 1" FOAM INSULATION PER GENERAL NOTES, CORROSION RESISTANT KEEL SCAFFED AT BASE.
 - EXTERIOR SOFFITS:
 - STUCCO OVER 1" FOAM INSULATION.
 - ROOFING:
 - GLASS OR PBR-RETARDANT CONCRETE TILE. ELEVATION A1: SLATE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FASCIA.
 - ELEVATION B1: VILLA CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FASCIA.
 - ELEVATION C1: SLATE CONCRETE TILE PER GENERAL NOTES. SEE ROOFING DETAILS FOR FASCIA.

- ELEVATION KEY NOTES**
- STUCCO OVER FOAM IRSA:
 - A. STUCCO - 1/2" (TYPE)
 - B. 1" FOAM W/ STUCCO OVER
 - C. 3" FOAM W/ STUCCO OVER
 - D. 1" FIBER FOAM W/ STUCCO OVER
 - E. 1" FIBER FOAM W/ STUCCO OVER
 - F. 1" FIBER FOAM W/ STUCCO OVER
 - G. 1" FIBER FOAM W/ STUCCO OVER
 - H. 2" FIBER FOAM W/ STUCCO OVER
 - I. 2" FIBER FOAM W/ STUCCO OVER
 - J. 2" FIBER FOAM W/ STUCCO OVER
 - K. 2" FIBER FOAM W/ STUCCO OVER
 - L. 2" FIBER FOAM W/ STUCCO OVER
 - M. 2" FIBER FOAM W/ STUCCO OVER
 - N. 2" FIBER FOAM W/ STUCCO OVER
 - O. SHAVED FOAM W/ STUCCO OVER. SEE DETAIL, 200403.
 - STUCCO RESINA:
 - ROUGH SIZE AS NOTED. SEE DETAIL, 14000.
 - DECORATIVE: HEIGHT FROM HERE SHOWN.
 - STUCCO FREEZE TRIM: SEE DETAIL FOR DIMENSIONS.
 - ADHERED STONE VENER: AS SELECTED BY BUILDER. HEIGHT AS NOTED. SEE DETAILS.
 - CORROSION RESISTANT SCREEN: LOWERED VENT. SEE ELEVATION FOR LOCATION AND SIZE.
 - FALSE WEED GRATES: TYPE AS SHOWN. SEE DETAILS 200404 AND 200404-A.
 - CORROSION RESISTANT ROOF TO HALL FLASHING: SEE ROOF DETAILS.
 - 3/4" MOOD TRIM
 - 2" MOOD TRIM
 - 3" MOOD TRIM
 - 4" LAP SIDING PER BUILDER
 - RESAWN FASCIA BOARD 2X6 TYP. ENCL.

BEAZER
3000 RIVERVIEW BLVD
SACRAMENTO, CA 95831
(916) 773-3888 • Fax (916) 773-9435

SHEFFIELD GARDENS AT REGENCY PARK
SACRAMENTO, CALIFORNIA

1117 Broadway Way, Suite 110
Sacramento, CA 95811
Phone: 916-481-0280

Developed and designed by
Bloodgood Sharp Beizer

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JOB NO. 132910
DATE: 03/12/2002
CHECKED BY: [Signature]
DESIGNED BY: [Signature]
PLAN 1910
SHEET NO. A3.B

REC'D JUN 20 2002

PA 2-293

03.12.2002 DESIGN DEVELOPMENT

**PLANNING DIRECTOR'S SPECIAL PERMIT
FOR SINGLE FAMILY RESIDENTIAL IN A PUD
LETTER OF AGREEMENT**

P02-093: - BEAZER HOMES IN NORTHPOINTE PARK/REGENCY PARK II - 50' X 105' LOTS

PROJECT NAME/FILE #: Northpointe Park/Regency Park II - 50' x 105' Lots
(146 Units total), P02-093

PROJECT LOCATION: North of Club Center Drive, South of Elkhorn
Boulevard, East of Natomas Boulevard, and West
of the City Limits

ASSESSOR'S PARCEL NUMBER(S): 201-0310-017, 201-0320-022, and 201-0320-023

ZONING: R-1-PUD and R-1A-PUD

APPLICANT'S NAME/ADDRESS: Beazer Homes (Stan Samiec)
3009 Douglas Boulevard, Suite 150
Roseville, CA 95661
(916) 773-3888; fax (916) 773-4971

I, Anthony R. Tonso (please print and include title),
agree to amend the project application, P02-093, to incorporate the attached Conditions of
Approval into the requested Planning Director's Special Permit (PDSP).

I acknowledge that this project, P02-093, is subject to these PDSP Conditions of Approval.
These PDSP Conditions of Approval will establish responsibilities for the monitoring of my
project by various City Departments, and by other public agencies under the terms agreed upon
in the PDSP Conditions of Approval. I understand that the PDSP Conditions of Approval for
my project may require the expenditure of owner/developer funds where necessary to comply
with the provisions of said PDSP Conditions of Approval.


Signature

President
Title

9-26-02
Date

P02-093