

**ADDENDUM TO STAFF REPORT
P04-103 – Paranjpe Rimmer Avenue**

BACKGROUND:

At the December 8, 2005 Planning Commission meeting, after the hearing was closed and after the deliberations of the Commission, the Planning Commission voted to continue the project to the January 12, 2006 meeting and directed staff to take the following actions:

1. Require applicant to submit a Design Review application to the City for comments on the proposed house plans.
2. Require applicant to submit documentations (Title Report, etc.) regarding the legality of the parcel.
3. Send a bilingual Public Notice in English and Spanish to notify property owners within 500-ft radius of the next Commission meeting.

The applicant is currently working with Design Review staff to incorporate comments (Attachment 2) into the house plan designs and alternate elevations have been submitted for review by Design Review (Attachments 3, 4, 5, 6 and 7). The applicant has submitted a chain of Titles (Attachment 8, 9 and 10) to staff as evidence of the legality of the parcel apart from the neighboring property with the same address. Additionally, County Property Tax Bills for the subject property during the past two years (Attachment 11) and a Metroscan Property Profile (Attachment 12) for the subject property (APN 250-0160-021) have been attached for reference. Staff has attached the bilingual Public Notice (Attachment 13) and the mailing list (Attachment 14) for reference. Staff has conducted an informal neighborhood meeting on January 5, 2006 between the applicant and interested neighbors to discuss the neighborhood's opposition as described on the petition (Attachment 15); neighbors who opposed and supported the project attended the meeting. A Weed Abatement Notice for the Neighboring Property (Attachment 16) was submitted by the adjacent property owners for inclusion in the staff report.

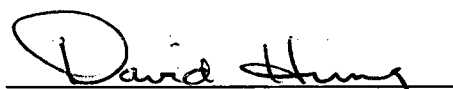
At the January 12, 2006 Planning Commission meeting, the project was continued to January 26, 2006 to allow time for more community input. On January 12, 2006, the Gardenland Northgate Neighborhood Association heard testimonies from proponents and opponents of the project and voted to not support the proposed rezone from R-1 zone to R-1A zone and that no more than 3 homes should be built on the site.

RECOMMENDATION:

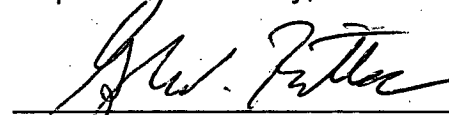
Staff recommends the Planning Commission take the following actions:

- A. Adopt the attached Notice of Decision and Findings of Fact which finds that the project is Exempt pursuant to CEQA Section 15332;
- B. Adopt the attached Notice of Decision and Findings of Fact recommending approval of the Rezone of 0.5± acre from Standard Single-Family (R-1) zone to Single-Family Alternative (R-1A) zone;
- C. Adopt the attached Notice of Decision and Findings of Fact approving the Tentative Map to subdivide a 0.5± acre vacant parcel into six parcels in the Single-Family Alternative (R-1A) zone;
- D. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to develop single-family dwellings on five parcels in the Single-Family Alternative (R-1A) zone; and
- E. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to allow issuance of building permits for buildings with less than twenty (20) feet of public street or approved private street frontage.

Report Prepared By,


David Hung, Associate Planner

Report Reviewed By,


Gregory Bitter, Senior Planner

Attachments

Attachment 1	December 8, 2005 Staff Report
Attachment 2	Design Review Correction Notice
Attachment 3A	Alternate Elevations (Lots 1 and 5)
Attachment 3B	Alternate Elevations (Lots 1 and 5)
Attachment 4A	Alternate Elevations: Hip (Lots 2, 3 and 4)
Attachment 4B	Alternate Elevations: Hip (Lots 2, 3 and 4)
Attachment 5A	Alternate Elevations: Gable (Lots 2, 3 and 4)
Attachment 5B	Alternate Elevations: Gable (Lots 2, 3 and 4)
Attachment 6A	Alternate Elevations: Dutch (Lots 2, 3 and 4)
Attachment 6B	Alternate Elevations: Dutch (Lots 2, 3 and 4)
Attachment 7A	Alternate Elevations: Bullnose (Lots 2, 3 and 4)
Attachment 7B	Alternate Elevations: Bullnose (Lots 2, 3 and 4)
Attachment 8	Grant Deed (Chain of Titles) for Subject Property
Attachment 9	Preliminary Report for Subject Property
Attachment 10	Grant Deed for Neighboring Property
Attachment 11	County Property Tax Bills for Subject Property
Attachment 12	Metroscan Property Profile for Subject Property
Attachment 13	Bilingual Public Notice
Attachment 14	Mailing List
Attachment 15	Neighborhood Petition
Attachment 16	Weed Abatement Notice for Neighboring Property

ATTACHMENT 1 – DECEMBER 8, 2005 STAFF REPORT

P04-103 – Paranjpe Rimmer Avenue

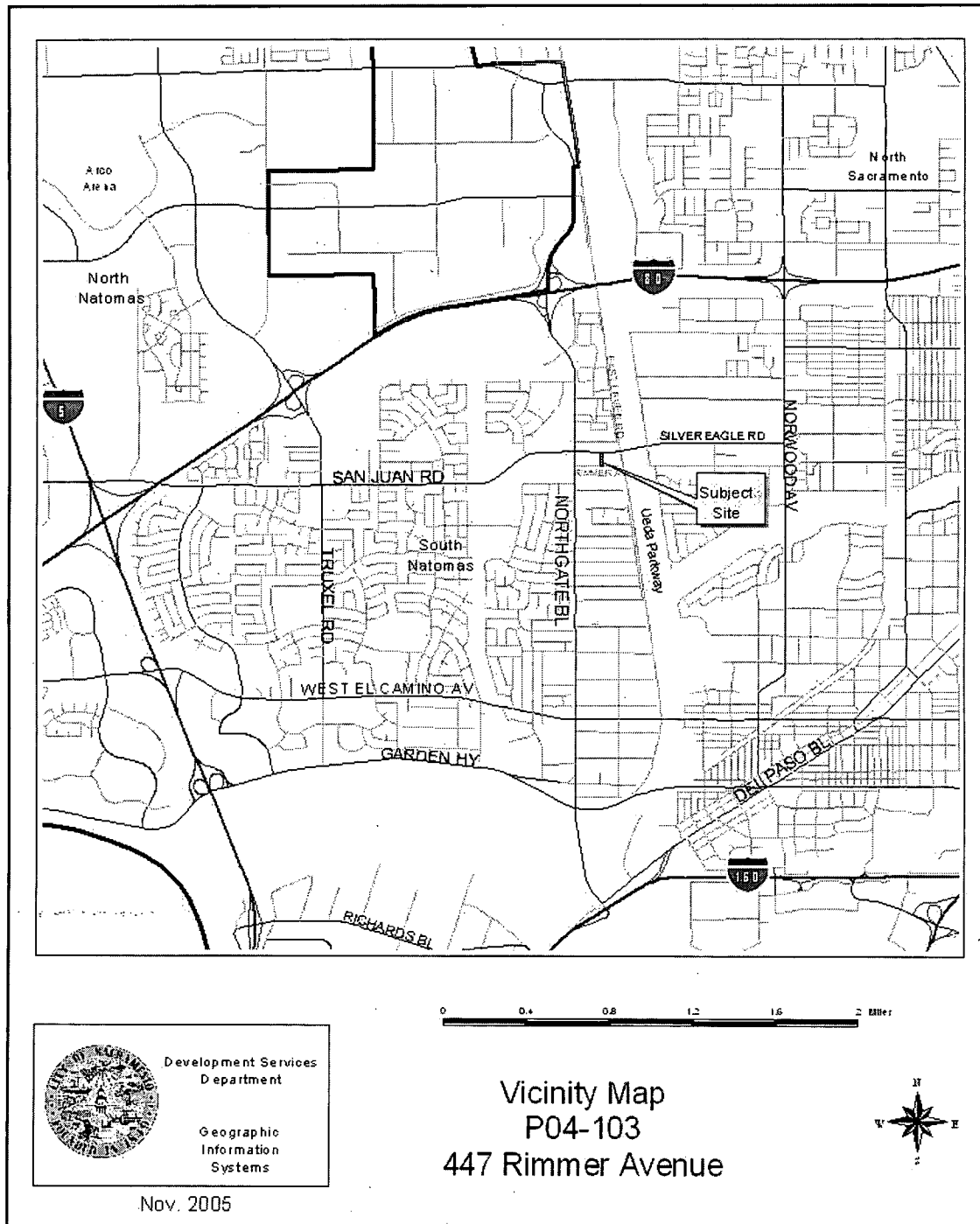
- REQUEST:
- A. **Environmental Determination:** Exempt (CEQA Section 15332);
 - B. **Rezone** 0.5± acre from Standard Single-Family (R-1) zone to Single-Family Alternative (R-1A) zone;
 - C. **Tentative Map** to subdivide a 0.5± acre vacant parcel into six parcels in the Single-Family Alternative (R-1A) zone;
 - D. **Special Permit** to develop single-family dwellings on five parcels in the Single-Family Alternative (R-1A) zone;
 - E. **Variance** to allow issuance of building permits for buildings with less than twenty (20) feet of public street or approved private street frontage.

LOCATION: 447 Rimmer Avenue
APN: 250-0160-021
South Natomas Community Plan
Del Paso Height Elementary School District
Council District 1

APPLICANT:	Bailey & Associates, (916) 444-3137 20 Business Parkway, Suite 300, Sacramento, CA 95828
OWNER:	Suresh C. Paranjpe (503) 579-6557 14100 Wagoner Place, Tigard, OR 97224
APPLICATION FILED:	May 26, 2004
STAFF CONTACT:	David Hung, (916) 808-5530

SUMMARY:

The applicant is requesting entitlements to subdivide a vacant 0.5± acre parcel into six parcels in the proposed Single-Family Alternative (R-1A) zone that would create five single-family lots and one private street lot; the subdivision will also create lots with less than 20 feet of public street or approved private street frontage. The current proposal will create ownership opportunities for each of the five single-family parcels within allowed density within the existing Community Plan designation.



Development Services
Department

Geographic
Information
Systems

Nov. 2005

Vicinity Map
P04-103
447 Rimmer Avenue



RECOMMENDATION:

Staff recommends approval of the project, subject to conditions. This recommendation is based on consistency with the land use policies and designations of the General Plan and the South Natomas Community Plan designations and the zoning designation. The project proposes to offer individual home ownership on five parcels and will provide housing opportunities for the community.

PROJECT INFORMATION:

General Plan Designation: Low Density Residential (4-15 du/na)
 Community Plan Designation: Medium Density Residential (7-15 du/na)
 Existing Land Use of Site: Vacant
 Existing Zoning of Site: Standard Single-Family (R-1) zone
 Proposed Zoning of Site: Single-Family Alternative (R-1A) zone

Surrounding Land Use and Zoning:

North: Residential Single-Family; Standard Single-Family (R-1) zone
 South: Residential Single-Family; Standard Single-Family (R-1) zone
 East: Residential Single-Family; Standard Single-Family (R-1) zone
 West: Residential Single-Family; Standard Single-Family (R-1) zone

Property Dimensions (Overall): 71.0 feet by 307.0 feet
 Property Area: 0.5± acre or 21,797 square feet
 Density of Development: 10 du/na
 Number of Units Proposed: 5
 Building Height: 2 stories
 Parking Required: 1 parking space per unit
 Parking Provided: 2 covered parking per unit
 Lot Sizes:

Lot 1	51.0' x 72.5' (3,697.5 sq. ft.)
Lot 2	51.0' x 54.0' (2,754.0 sq. ft.)
Lot 3	51.0' x 54.0' (2,754.0 sq. ft.)
Lot 4	51.0' x 54.0' (2,754.0 sq. ft.)
Lot 5	51.0' x 72.5' (3,697.5 sq. ft.)
Lot 6	20.0' x 307.0' (6,140.0 sq. ft.)

Topography: Flat
 Street Improvements: To be constructed
 Utilities: To be constructed

OTHER APPROVALS REQUIRED: In addition to the entitlements requested, the applicant will also need to obtain the following permits or approvals, including, but not limited to:

<u>Permit</u>	<u>Agency</u>
Building Permit	Building Division
Design Review	Planning Division
Off-Site Improvement Plan Check	Development Engineering
Final Map	Development Engineering
Driveway Permit	Development Engineering

BACKGROUND INFORMATION:

The subject site is currently vacant and a records search indicated that no entitlements were issued for the subject site previously. The applicant is now requesting entitlements to subdivide the 0.5± acre parcel into six parcels in the proposed Single-Family Alternative (R-1A) zone that would create five single-family lots and one private street lot.

STAFF EVALUATION: Staff has the following comments:

A. Policy Considerations

The General Plan designates the subject parcel as Low Density Residential (4-15 du/na) and the South Natomas Community Plan designates the subject parcel as Medium Density Residential (7-15 du/na). Following is a discussion on whether the project complies with the General Plan and the South Natomas Community Plan.

General Plan Goals and Policies:

The General Plan designates the subject parcel as Low Density Residential (4-15 du/na). Development under this designation will consist of single-family detached units, duplexes, halfplexes, townhouses, condominiums, zero lot line units and cluster houses. The project, which proposes single-family detached units, is within the General Plan's Low Density Residential range. The project is consistent with the following General Plan goals and policies:

General Plan Element, Policy 2, Sec 1-30

It is the policy of the City that adequate housing opportunities be provided for all income households and that projected housing needs are accommodated.

Residential Land Use Element, Goal C, Sec 2-15

Develop residential land uses in a manner which is efficient and utilizes existing and planned urban resources.

Housing Element, Goal 1, Sec 3-10.2

Provide adequate housing sites and opportunities for all households.

South Natomas Community Plan:

The South Natomas Community Plan (SNCP) designates subject parcel as Medium Density Residential (7-15 du/na). The maximum average density is ten units per net acre. Detached single-family, zero lot line, patio home, duplex, halfplex, townhouse, and condominium development are allowed within this designation. The density of the proposed project is ten units per net acre and is consistent with the community plan designation.

The project is consistent with the following goals and policies of the South Natomas Community Plan:

Population and Housing Guiding Policies, page 7

- A. Provide housing of varied types, densities and prices, arranged to enhance neighborhood identity, to create and maintain family-oriented environments, and to avoid visual monotony.
- C. Maintain single-family housing type residential dominance east of Interstate 5.

Population and Housing Implementing Policies, page 8

- I. Preserve the low density character of Gardenland but encourage use of deep-lot regulations or infill incentives on large parcels in order to use the land more efficiently.

The project will provide additional ownership housing for the Gardenland area and yet still retains the low density character desired for the neighborhood.

Smart Growth:

"Smart Growth" is a term coined by the United States Environmental Protection Agency (USEPA) as an umbrella term for the many initiatives intended to address some of the negative consequences of urban sprawl. Smart Growth generally occurs when development patterns are sustainable and balanced in terms of economic objective, social goals, and use of environmental/natural resources. The following Smart Growth principles apply to the proposed project:

- Create a range of housing opportunities and choices
- Multi-modal transportation and land use patterns that support walking, cycling and public transit.
- Encourage citizen & stakeholder participation in development decisions.

The proposed project has been designed to incorporate Smart Growth Principles listed above by creating a development that fosters walkable community and promote cycling and public transit.

B. Rezone

The project is proposing to rezone the subject property, with an area of 0.5± acre or 21,797 square feet, from Standard Single-Family (R-1) zone to Single-Family Alternative (R-1A) zone. The approximate density for the R-1 zone is six to eight dwelling units per acre on lots that are a minimum of 52 feet by 100 feet in size. The project, which proposes ten dwelling units per acre and non-standard lot dimensions and sizes, does not conform with requirements of the R-1 zone. Therefore, the applicant is proposing to rezone the property from Standard Single-Family (R-1) zone to Single-Family Alternative (R-1A) zone. The R-1A zone permits the establishment of single-family, individually owned, attached or detached residences where lot sizes, height, area and/or setback requirements vary from standard single-family. This zone is intended to accommodate alternative single-family designs which are determined to be compatible with standard single-family areas and which might include single-family attached or detached units, townhouses, cluster housing, condominiums, cooperatives or other similar projects. Approximate density for the R-1A zone is ten (10) dwelling units per acre, and maximum density in this zone is fifteen (15) dwelling units per net acre.

Staff is supportive of the rezone since the proposed density of the project is 10 units per acre and is consistent with the community plan designation of Medium Density Residential (7 to 15 dwelling units per net acre) where the maximum average density is ten units per net acre. The rezone will result in more housing opportunities in the area.

C. Tentative Map

Map Design: The subject tentative map (Exhibit 1A) proposes to subdivide a through lot, 0.5± acre parcel in size, into six parcels as detailed below on Table 1:

Table 1
Tentative Map Components

Lot No.:	Lot Size:	Lot Dimensions:	Description:
1	3,697.5 sq. ft.	51.0' x 72.5'	Proposed SFR
2	2,754.0 sq. ft.	51.0' x 54.0'	Proposed SFR
3	2,754.0 sq. ft.	51.0' x 54.0'	Proposed SFR
4	2,754.0 sq. ft.	51.0' x 54.0'	Proposed SFR
5	3,697.5 sq. ft.	51.0' x 72.5'	Proposed SFR
6	6,140.0 sq. ft.	20.0' x 307.0'	Private Street Lot

The proposed R-1A zone permits the establishment of single-family, individually owned, attached or detached residences where lot sizes, height, area and/or setback requirements vary from standard single-family; see Special Permit section for further discussion on lot sizes, area and setbacks. City services are available to serve all of the proposed parcels and all improvements shall be designed and constructed to the satisfaction of the Development Engineering Division.

Vehicular Circulation: The project site is adjacent to San Juan Road to the north and Rimmer Avenue to the south and contains a 20.0' private street (Lot 6) on the east side of the site with vehicular access from Rimmer Avenue; the private street will be gated at San Juan Road and used for ingress and egress of emergency vehicles. The private street accesses driveways for lots 1, 2, 3, 4 and 5.

Pedestrian Circulation: Existing rolled curb, gutter and sidewalk exists on Rimmer Avenue and existing vertical curb, gutter and sidewalk exists on San Juan Road. There is no proposed sidewalk in the interior of the site. The project is subject to the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk per City standards to the satisfaction of the Development Engineering Division. Lot 1 has street frontage on Rimmer Avenue and Lot 5 has street frontage on San Juan Road and the units on each parcel will have its front entry face the street.

Walls, Fencing & Trees: No fencing or gate is shown abutting Rimmer Avenue while a gate will be installed at the private street next to San Juan Road. Any new fencing or gates not shown on the plans shall be subject to Planning Division approval. There are no identified heritage trees on the subject site that would have required City Arborist approval prior to removal.

Staff recommends approval of the Tentative Map with conditions as it is consistent with the policies of the General Plan, the South Natomas Community Plan and requirements of the Development Engineering Division.

D. Special Permit

A planning commission special permit is required for development of single-family dwellings within the R-1A zone, except as provided below in subsection 17.24.050(17)(b). In granting the special permit, the commission may modify any of the provisions of Title 16 of the City Code and any of the development standards in footnote 26 of the land use charts in Title 17 of the City Code. The project site consists of subdividing 0.5± acre in the proposed Single-Family Alternative (R-1A) zone to construct five single-family homes (Exhibits 1B to 1K). A private street is provided within the site to serve the dwelling units.

1. Setbacks & Orientation

Table 2
Proposed Setbacks and Lot Coverage Summary

Lot #:	North:	East:	South:	West:	Lot Coverage:
Lot 1	20.0'	11.0'	10.0'	10.0'	28%
Lot 2	8.3'	7.0'	8.3'	10.0'	38%
Lot 3	8.3'	7.0'	8.3'	10.0'	38%
Lot 4	8.3'	7.0'	8.3'	10.0'	38%
Lot 5	10.0'	11.0'	20.0'	10.0'	28%

As noted in the above Special Permit section, Planning Commission has the authority to vary the setbacks and lot coverage proposed for the project. The project maintains 20 feet building setback adjacent to public right of ways, on the north side of Lot 1 and on the south side of Lot 5. Each parcel maintains a minimum of 11 feet building setback from the private street (Lot 6) to the east and 10 feet building setback to the property to the west which can be considered the rear yard space. Even though the rear yard setbacks are less than the required 15 feet rear yard setback for standard single-family lots, each parcel is compensated by a minimum of 8.3 feet interior side yard space, compared with 5 feet side setback for standard single-family lots. The maximum lot coverage for Standard Single-Family (R-1) zone is 40% and none of the proposed single family parcels exceeds that.

Table 3
Recommended Minimum Setbacks and Maximum Lot Coverage

	Lots 1 and 5	Lots 2, 3 and 4
Front Porch	Min. 20'	Min. 7'
Front (Living)	Min. 25'	Min. 11'
Interior Side	Min. 10'	Min. 8'
Rear	Min. 10'	Min. 10'
Garage	Min. 18'	Min. 18'
Lot Coverage	Maximum 40%	Maximum 40%

2. Parking/Circulation

Per the Zoning Ordinance, each single-family residence needs to provide one parking space. The project proposes 2-car garages for each of the five single-family homes. A private street (Lot 6), is located on the east side of the site to access the driveways of each parcel. Vehicular ingress and egress is at the driveway at Rimmer Avenue and a gated emergency access is provided adjacent to San Juan Road. Each parcel has driveway depth of 18 feet in front of the garage.

3. Landscaping & Fencing

Landscaping plans shall be submitted to the Building Division - Site Conditions Unit for review and approval by the Site Conditions Unit and the Landscape Architecture Section. The scope of the review shall include plant species selection, landscape materials and irrigation system. All landscaping and planting shall conform to City standards for sight line requirements at intersections and driveways.

Wood fencing will be provided at the south property lines of lots 1 to 4 for separation. No fencing or gate is shown abutting Rimmer Avenue while an emergency access gate will be installed at the private street next to San

Juan Road. Any new fencing or gates not shown on the plans shall be subject to Planning Division approval.

4. Building Design

The proposed buildings will have stucco exterior walls and laminated dimensional composition shingles for roofing. Each residence has covered front porch that extends from the front wall of the house and garages that are slightly recessed from the living area. A portion of the second story cantilevers over the garage. A separate Design Review application shall be submitted for the units considered in this application (P04-103). Design Review approval is required prior to the issuance of the building permits for all the units.

Conclusion: Staff recommends approval of the special permit, based on the substantial conformance to the Zoning Ordinance in setback, lot coverage and parking and that adequate infrastructure will be provided. The proposal will provide new housing units for the neighborhood as a vacant residentially zoned parcel is developed.

E. Variance

The subject proposal requires a Variance to allow building permits to be issued for lots with less than 20 feet of public street or approved private street frontage.

The subject tentative map proposes to create landlocked parcels as described below on Table 3:

Table 4
Landlocked Parcels Summary

Lot No.:	Lot Size:	Lot Dimensions:	Description:
2	2,754.0 sq. ft.	51.0' x 54.0'	Does not have 20 feet street frontage
3	2,754.0 sq. ft.	51.0' x 54.0'	Does not have 20 feet street frontage
4	2,754.0 sq. ft.	51.0' x 54.0'	Does not have 20 feet street frontage

Lots 2 to 4, though landlocked, will be accessed by the 20-foot private street on the east side of the site (Lot 6) and each lot will have its own driveway. Staff supports the Variance request because of the infill nature of this project.

Conclusion: Staff recommends approval of the requested entitlements based on consistency with the South Natomas Community Plan and substantial conformance to the Subdivisions Ordinance and the Zoning Ordinance. Staff believes that the overall project complements the surrounding neighborhood.

PROJECT REVIEW PROCESS:A. Environmental Determination

The proposed project is exempt from environmental review pursuant to CEQA Guidelines (CEQA Section 15332) for in-fill development projects. The project is characterized as in-fill development meeting the following conditions:

- a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- c) The project site has no value as habitat for endangered, rare or threatened species.
- d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- e) The site can be adequately served by all required utilities and public services.

B. Public/Neighborhood/Business Association Comments

The proposed project was routed to various neighborhood associations and agencies for comments.

From Mr. Don Ediger (owner of 508 Rimmer Avenue): I am strongly IN FAVOR of this subdivision, as it would upgrade the quality of the homes on the street.

The Gardenland-Northgate Neighborhood Association (GNNA) has no comments regarding the proposal.

C. Summary of Agency Comments

The project has been reviewed by various City departments and other agencies. The following summarizes the comments received:

1. Development Engineering Division: Comments are incorporated into Notice of Decision.
2. Utilities Department: Comments are incorporated into Notice of Decision.
3. Fire Department: Comments are incorporated into Notice of Decision.
4. Parks Planning: Comments are incorporated into Notice of Decision.
5. Building Division: Comments are incorporated into Notice of Decision.

6. Solid Waste Division: Comments are incorporated into Notice of Decision.
7. Transportation Department, Electrical Section:
This project does not require street lighting. There is an existing street lighting system in this project area. Improvements of right-of-way may require modification to the existing system. Electrical equipment shall be protected and remain functional during construction.
8. CSD-1 – Comments are incorporated into Notice of Decision.
9. SMUD – Comments are incorporated into Notice of Decision.

D. Subdivision Review Committee Recommendation

On October 19, 2005, the Subdivision Review Committee, with all ayes, voted to recommend approval of the proposed Tentative Map subject to the conditions of approval in the attached Notice of Decision.

PROJECT APPROVAL PROCESS: Of the entitlements below, Planning Commission has the authority to approve or deny (A) CEQA Exemption, (C) Tentative Map, (D) Special Permit and (E) Variance. The Planning Commission action may be appealed to the City Council. The appeal must occur within 10 days of the Planning Commission action. Item (B), Rezone, requires City Council approval.

RECOMMENDATION:

Staff recommends approval of the proposed development for the following reasons:

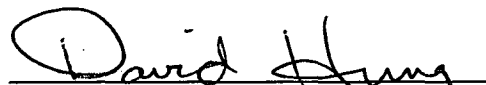
- o Consistency with policies per General Plan, South Natomas Community Plan, Zoning Ordinance

Staff recommends the Planning Commission take the following actions:

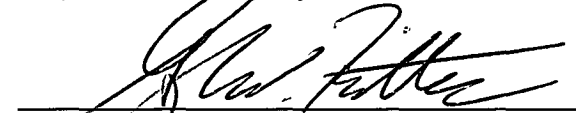
- C. Adopt the attached Notice of Decision and Findings of Fact which finds that the project is Exempt pursuant to CEQA Section 15332;
- D. Adopt the attached Notice of Decision and Findings of Fact recommending approval of the Rezone of 0.5± acre from Standard Single-Family (R-1) zone to Single-Family Alternative (R-1A) zone;
- F. Adopt the attached Notice of Decision and Findings of Fact approving the Tentative Map to subdivide a 0.5± acre vacant parcel into six parcels in the Single-Family Alternative (R-1A) zone;

- G. Adopt the attached Notice of Decision and Findings of Fact approving the Special Permit to develop single-family dwellings on five parcels in the Single-Family Alternative (R-1A) zone; and
- H. Adopt the attached Notice of Decision and Findings of Fact approving the Variance to allow issuance of building permits for buildings with less than twenty (20) feet of public street or approved private street frontage.

Report Prepared By,


David Hung, Associate Planner

Report Reviewed By,


Gregory Bitter, Senior PlannerAttachments

Attachment 1	Notice of Decision & Findings of Fact
Exhibit 1A	Tentative Map
Exhibit 1B	Site Plan
Exhibit 1C	Enlarged Site Plan
Exhibit 1D	Elevations (Lots 1 and 5)
Exhibit 1E	Elevations (Lots 1 and 5)
Exhibit 1F	1 st Floor Plan (Lots 1 and 5)
Exhibit 1G	2 nd Floor Plan (Lots 1 and 5)
Exhibit 1H	Elevations (Lots 2, 3 and 4)
Exhibit 1I	Elevations (Lots 2, 3 and 4)
Exhibit 1J	1 st Floor Plan (Lots 2, 3 and 4)
Exhibit 1K	2 nd Floor Plan (Lots 2, 3 and 4)
Attachment 2	Location & Zoning Map

Attachment 1
NOTICE OF DECISION AND FINDINGS OF FACT FOR
PARANJPE RIMMER AVENUE, LOCATED AT 447 RIMMER AVENUE,
SACRAMENTO, CALIFORNIA (P04-103)

At the regular meeting of December 8, 2005, the City Planning Commission heard and considered evidence in the above-entitled matter. Based on verbal and documentary evidence at said hearing, the Planning Commission took the following actions for the location listed above:

- A. **Environmental Determination: Exempt (CEQA Section 15332);**
- B. **Recommended approval of the Rezone of 0.5± acre from Standard Single-Family (R-1) zone to Single-Family Alternative (R-1A) zone;**
- C. **Approved the Tentative Map to subdivide a 0.5± acre vacant parcel into six parcels in the Single-Family Alternative (R-1A) zone;**
- D. **Approved the Special Permit to develop single-family dwellings on five parcels in the Single-Family Alternative (R-1A) zone; and**
- E. **Approved the Variance to allow issuance of building permits for buildings with less than twenty (20) feet of public street or approved private street frontage.**

These actions were made based upon the following findings of fact and subject to the following conditions:

FINDINGS OF FACT

- A. Categorical Exemption: The City Planning Commission finds and determines that the proposed project is exempt from environmental review pursuant to Section #15332 of the CEQA Guidelines.
- C. Tentative Map: The Tentative Map to subdivide a 0.5± acre vacant parcel into six parcels in the Single-Family Alternative (R-1A) zone is **approved** based on the following findings of fact subject to the conditions of approval:
 - 1. None of the conditions described in Government Code Section 66474, subsection (a) through (g), inclusive, exist with respect to the proposed subdivision;
 - 2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the City's General Plan, the South Natomas Community Plan, and Chapter 16 of the City Code, which is a Specific Plan of the City. The City's General Plan designates the subject site as Low Density

Residential and the South Natomas Community Plan land use designation is Medium Density Residential;

3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Control Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision; and
4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

D. Special Permit: The Special Permit to develop single-family dwellings on five parcels in the Single-Family Alternative (R-1A) zone is **approved** based on the following findings of fact subject to the conditions of approval:

1. The project, as conditioned, is based upon sound principles of land use in that:
 - a. The proposed use will not adversely affect the peace and general welfare of the surrounding neighborhood;
 - b. The proposed project will improve an underused piece of vacant land designated for residential development;
2. The project, as conditioned, will not be detrimental to the public welfare nor result in the creation of a public nuisance in that the proposed single-family homes will be built to quality standards in conformance to Building codes and will contribute to the housing supply in the community;
3. The project is consistent with the General Plan Quality of Life Policies to enhance and maintain the quality of life in providing detached single-family dwellings; and
4. The project is primarily consistent with the proposed South Natomas Community Plan which designates the site medium density in providing detached single-family dwellings.

E. Variance: The Variance to allow issuance of building permits for buildings with less than twenty (20) feet of public street or approved private street frontage is **approved** based on the following findings of fact subject to the conditions of approval:

1. Granting the variance does not constitute a special privilege extended to an individual property owner in that variances would be granted to other property owners facing similar circumstances;
2. Granting the variance would not be detrimental to the public welfare and not result in the creation of a public nuisance in that the subject lots are served by a private road; and

3. Granting the variance is in accord with the intent and purposes of these regulations and is consistent with the General Plan and with all other applicable specific plans of the City.

CONDITIONS OF APPROVAL

- C. The Tentative Map to subdivide a 0.5± acre vacant parcel into six parcels in the Single-Family Alternative (R-1A) zone.**

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map. The design of any improvement not covered by these conditions shall be to City standard.

The applicant shall satisfy each of the following conditions prior to filing the Final Map unless a different time for compliance is specifically stated in these conditions. Any condition requiring an improvement that has already been designed and secured under a City Approved improvement agreement may be considered satisfied:

GENERAL: All Projects

- C1. Pay off existing assessments, or file the necessary segregation requests and fees to segregate existing assessments;
- C2. Pursuant to City Code Section 16.40.190, indicate easements on the Final Map to allow for the placement of centralized mail delivery units. The specific locations for such easements shall be subject to review and approval of the Development Engineering & Finance Division after consultation with the U.S. Postal Service.
- C3. Private reciprocal ingress, egress, maneuvering and parking easements are required for future development of the area covered by this Tentative Map. The applicant shall enter into and record an Agreement For Conveyance of Easements with the City stating that a private reciprocal ingress/egress, maneuvering, and parking easement shall be conveyed to Parcels 1, 2, 3, 4, & 5, and reserved from Parcel 6, at no cost, at the time of sale or other conveyance of either parcel;
- C4. Show all continuing and proposed/required easements on the Final Map;
- C5. If unusual amounts of bone, stone, or artifacts are uncovered, work within 50 meters of the area will cease immediately and a qualified archaeologist shall be consulted to develop, if necessary, further mitigation measures to reduce any archaeological impact to a less than significant effect before construction resumes. A note shall be placed on the final improvement plans referencing this condition;

DEVELOPMENT SERVICES: Streets

- C6. Repair or replace/reconstruct any existing deteriorated curb, gutter and sidewalk per City standards to the satisfaction of the Development Engineering & Finance Division;
- C7. The proposed 20' private drive aisle / driveway shall be privately maintained in perpetuity by the owner(s) / future owner(s) of the project site. This may require that a Maintenance Agreement or Homeowners Association be in place to ensure the future maintenance of the private driveway.
- C8. The design and placement of walls, fences, signs and Landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height. The area of exclusion shall be determined by the Development Engineering & Finance Division;

SMUD

- C9. Dedicate a 12.5-foot public utility easement (PUE) for underground facilities and appurtenances adjacent to all public street rights-of-ways.
- C10. Dedicate any private drive, ingress and egress easement, or Irrevocable Offer of Dedication as a public utility easement for underground facilities and appurtenances.

CSD-1/SRCSD

- C11. Connection to the District's sewer system shall be required to the satisfaction of CSD-1. Sacramento County Improvement Standards apply to sewer construction.
- C12. Each lot and each building with a sewage source shall have a separate connection to the CSD-1 sewer system.
- C13. In order to obtain sewer service, construction of CSD-1 sewer infrastructure is expected to be required.
- C14. Sewer easements will be required. All sewer easements shall be dedicated to CSD-1, in a form approved by the District Engineer. All CSD-1 sewer easements shall be at least 20 feet in width and ensure continuous access for installation and maintenance.
- C15. Gates across CSD-1 easements shall meet CSD-1 standards for accessibility.

- C16. The Homeowners Association By-Laws of the subject project shall include a provision to repair and/or replace all non-asphalt and/or enhanced surface treatments of streets and driveways damaged by CSD-1 maintenance and repair operations.
- C17. CSD-1 requires their sewers to be located 10 feet from other parallel utilities (water, drain, electrical, etc.). Prior to recording the Final Map or issuance of Building Permits, whichever is first. Applicant shall prepare a utility plan that will demonstrate that this condition is met.

CITY UTILITIES

- C18. Prior to or concurrent with the submittal of improvement plans, a project specific drainage study as described in section 11.7 of the City Design and Procedures Manual shall be approved by the Department of Utilities (DOU). The storm drain system shall be sized per the latest design standards for infill areas. Contact the Department of Utilities for the latest infill design criteria. Residential building pad elevations shall be approved by the DOU and shall be a minimum of 1.2 feet above the 100-year HGL and 1.5 feet above the controlling overland release, whichever is higher. All drainage lines shall be placed within the asphalt section of public-right-of-ways as per the City's Design and Procedures Manual, unless otherwise approved by the DOU. The drainage study shall include sufficient off-site topography to determine all off-site runoff from adjoining property which crosses the project. An onsite private drainage system connecting to the public system in Rimmer Avenue is required for this project.
- C19. Per City Code, the Subdivider may not develop the subdivision in any way that obstructs, impedes, or interferes with the natural flow of the drainage across the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the Department of Utilities. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
- C20. Prior to the submittal of improvement plans, the applicant shall obtain a water supply test to determine if the existing 6-inch water line in Rimmer Avenue can provide the required fire flow for the project. If the 6-inch line does not have capacity, the applicant shall construct an 8-inch water line extension from Northgate Boulevard to the project site.
- C21. Any new domestic water services shall be metered. Only one domestic water service is allowed per parcel. Excess services shall be abandoned to the satisfaction of the Department of Utilities.
- C22. Per Sacramento City Code, water meters shall be located at the point of service which is the back of curb for separated sidewalks or the back of walk for connected sidewalks.

- C23. Residential water taps shall be sized per the City's Building Department onsite plumbing requirements (water taps may need to be larger than the 1-inch depending on the length of the house service, number of fixtures units, fire sprinkler requirements, etc.).
- C24. All water connections shall comply with the City of Sacramento's Cross Connection Control Policy.
- C25. Properly abandon under permit, from the County Environmental Health Division, any well or septic system located on the property.
- C26. Surface and subsurface drainage facilities, sanitary sewer facilities and water facilities located within the private driveway (proposed 20-foot paved private road) shall be private facilities maintained by the homeowners. Private easements shall be dedicated for these facilities.
- C27. Per Sacramento City Code, section 16.28.100, no final map shall be certified (by the Director of Public Works) until the required improvements have been installed or agreed to be installed in accordance with Chapter 16.48 (Subdivision Improvements).
- C28. Paragraphs (A), (B), (C), (D), (F), (N) and (Q) of Section 16.48.110 of the City Code shall be required for this development. Off-site water, sewer and drainage main extensions may be required.
- C29. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. At a minimum, one foot off-site contours within 100' of the project boundary are required (per Plate 2, page 3-7 of the City Design and Procedures Manual). No grading shall occur until the grading plan has been reviewed and approved by the Department of Utilities.
- C30. The project is required to comply with the State "NPDES General Permit for Stormwater Discharges Associated with Construction Activity" (State Permit). To comply with the State Permit, the applicant will need to file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) prior to construction. A copy of the State Permit and NOI may be obtained from www.swrcb.ca.gov/stormstr/construction.html. The SWPPP will be reviewed by the Department of Utilities prior to issuing a grading permit. The following items shall be included in the SWPPP: (1) vicinity map, (2) site map, (3) list of potential pollutant sources, (4) type and location of erosion and sediment BMP's, (5) name and phone number of person responsible for SWPPP and (6) certification by property owner or authorized representative.
- C31. All lots shall be graded so that drainage does not cross property lines or private drainage easements shall be dedicated.

- C32. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance will require the applicant to prepare erosion and sediment control plans for both during and after construction of the proposed project, prepare preliminary and final grading plans, and prepare plans to control urban runoff pollution from the project site during construction.
- C33. Post construction, stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. Since the project is less than 20 acres, only source control measures are required. Storm drain message is required at all drain inlets. Improvement plans must include the source controls measures selected for the site. Refer to the latest edition of the "Guidance Manual for On Site Stormwater Quality Control Measures", for appropriate source control measures.
- C34. The applicant shall enter into and record an Agreement for Conveyance of Easements with the City, in a form acceptable to the City Attorney, stating that each lot shall grant to the adjacent lot private reciprocal drainage, water and sanitary sewer easements at no cost at the time of sale or other conveyance of any lot. A note stating the following shall be placed on the Final Map: "The lots created by this map shall be developed in accordance with recorded agreement for conveyance of easements # (Book____, Page____)."
- C35. If required by the DOU, the applicant shall enter into and record a Hold Harmless Agreement, in a form acceptable to the City Attorney, for all lots within the subdivision regarding the placement of water meters within driveways, walkways, hardscape and concrete or asphalt concrete (AC) flat work.

PPDD: Parks

- C36. The Applicant shall comply with City Code 16.64 (Parkland Dedication) and dedicate a park site at a location deemed acceptable to the City's PPDD; **and/or**, as determined by PPDD, request the City have prepared, at the applicants expense, a fair market value appraisal of the property to be subdivided and pay the required parkland dedication in lieu fees or, as an alternative to the appraisal process, pay the required parkland dedication in lieu fees based on the Community Planning Area "fixed market value " per acre of land as adopted by Sacramento City Council.
- C37. The applicant must provide proof they have initiated and completed the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annexed the project to an existing parks maintenance district prior to recording a Final Map. The applicant shall pay all city fees for formation of or annexation to special districts. The purpose of the district is to equitably spread the cost of neighborhood park maintenance on the basis of special benefit, in the case of an assessment district. In the case of a special tax district, the cost will be spread based upon the hearing report, which specifies the tax rate and

method of apportionment. (Contact Development Services Department, Special Districts, Project Manager)

ADVISORY NOTES:

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

- C38. Vehicular access to lot 6 shall be restricted to Rimmer Avenue only. Access to the project site from San Juan Road shall be restricted to Emergency Access only. This shall include the placement of gates & fencing to the satisfaction of the Development Services & Fire Departments. This will be included as a condition on the Special Permit for this project.
- C39. Developing this property will require the payment of additional sewer impact fees. Impact fees for CSD-1 shall be paid prior to filing and recording the Final Map or issuance of Building Permits, whichever is first. Applicant should contact the Fee Quote Desk at 876-6100 for sewer impact fee information.
- C40. Existing Sacramento Regional County Sanitation District (SRCSD) facilities serving this proposed project are capacity constrained. Ultimate capacity will be provided by construction of the Lower Northwest and Upper Northwest Interceptors, currently scheduled for completion in 2010. SRCSD is working to identify potential interim projects to provide additional capacity. SRCSD and County Sanitation District 1 (CSD-1) will issue sewer permits to connect to the system if it is determined that capacity is available and the property has met all other requirements for service. This process is "first come, first served". There is no guarantee that capacity will be available when actual requests for sewer service are made. Once connected, the property has the entitlement to use the system. However, its entitlement is limited to the capacity accounted for by the payment of the appropriate SRCSD fees.
- D/E. Special Permit to develop single-family dwellings on five parcels in the Single-Family Alternative (R-1A) zone and the Variance to allow issuance of building permits for buildings with less than twenty (20) feet of public street or approved private street frontage.**

PLANNING

- D/E1. Plans shall be consistent with Exhibits 1B to 1K. Any increase in the number of lots or any modifications to setbacks and lot coverage shall be reviewed by the Planning Director and may require additional entitlements.
- D/E2. Two plot plans shall be submitted to Building Division demonstrating compliance with setbacks, and lot coverage for all lots included in this approval.

Required Setbacks (Lots 1 and 5):

Front Porch: Facing public streets: 20' minimum from property line
Front (Living): Facing public streets: 25' minimum from property line
Interior Side: 10'-0" minimum
Rear: 10'-0" minimum
Garage: At private street, the minimum setback is 18' or more from property line

Required Setbacks (Lots 2, 3 and 4):

Front Porch: Facing private street: 7' minimum from property line
Front (Living): Facing private street: 11' minimum from property line
Interior Side: 8'-0" minimum
Rear: 10'-0" minimum
Garage: At private street, the minimum setback is 18' or more from property line

Lot Coverage: The lot coverage shall not exceed 40 percent.

- D/E3. A separate Design Review application shall be submitted for the units considered in this application (P04-103). Design Review approval is required prior to the issuance of the building permits for all the units. The scope of Design Review shall include, but not limited to, building facades, building materials, roof pitch, fencing and decorative elements.
- D/E4. Landscaping plans shall be submitted to the Building Division - Site Conditions Unit for review and approval by the Site Conditions Unit and the Landscape Architecture Section. All landscaping and planting shall conform to City standards for sight line requirements at driveways.
- D/E5. Walls and fences shall conform to City standards for sight line requirements at driveways.
- D/E6. Driveways shall comply with maximum paved area as permitted in Title 17 of the City Code.
- D/E7. Garages: Each house shall provide at least one garage space with minimum inside dimensions of 10 wide by 20 feet long, as required by Title 17 of the City Code.
- D/E8. The applicant shall obtain all necessary building permits prior to commencement of construction; and building permits shall not be issued unless the Final Map has been approved.
- D/E9. Provide an ownership association responsible for the care and maintenance of all common improvements and any other interest common to homeowners.
- D/E10. Prior to issuance of a Building Permit, the applicant shall have entered into a written agreement with the City, satisfactory to the City Attorney, which sets

forth an unconditional obligation on the part of the applicant to pay, prior to the issuance of any building permit, South Natomas Community Infrastructure Fund (SNCIF) fees in the amount of \$2,230 or the rate adopted by City Council per residential unit as payment in lieu of a requirement that the applicant annex into the South Natomas Facilities Benefit Assessment District.

FIRE DEPARTMENT

- D/E11. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.
- D/E12. Provide a water flow test. (Contact Department of Utilities at 916-808-5371.)
- D/E13. Provide the required fire hydrants in accordance with CFC 903.4.2 and Appendix III-B, Section 5.
- D/E14. Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.
- D/E15. Provide appropriate Knox access for site.

DEVELOPMENT ENGINEERING

- D/E16. Repair or replace/reconstruct any existing deteriorated curb, gutter and sidewalk per City standards to the satisfaction of the Development Engineering and Finance Division.
- D/E17. All new driveways shall be designed and constructed to City Standards to the satisfaction of the Development Engineering and Finance Division. Any existing site driveways shall be redesigned and reconstructed, if necessary, to City Standards to the satisfaction of the Development Engineering and Finance Division.
- D/E18. The driveway on San Juan Road shall be restricted to Emergency Access only. A gate shall be placed at said driveway to prohibit restricted access. The design of said driveway and placement of the required gate shall be per City Standards to the satisfaction of the Development Engineering & Finance Division. This may require that a sign be posted at the entrance driveway located on Rimmer Avenue to alert residents that access to San Juan Road is restricted (i.e. – No Outlet, No Access to San Juan Rd, etc), if deemed necessary by the City.
- D/E19. The minimum throat distance for all site driveways shall be 25' (throat distance is that distance a vehicle can move from the public right-of-way into a given site before encountering a conflict with parking stalls, aisles, etc).

D/E20. The site plan shall conform to A.D.A. requirements in all respects.

D/E21. The design of walls, fences, signage, and landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Development Engineering and Finance Division.

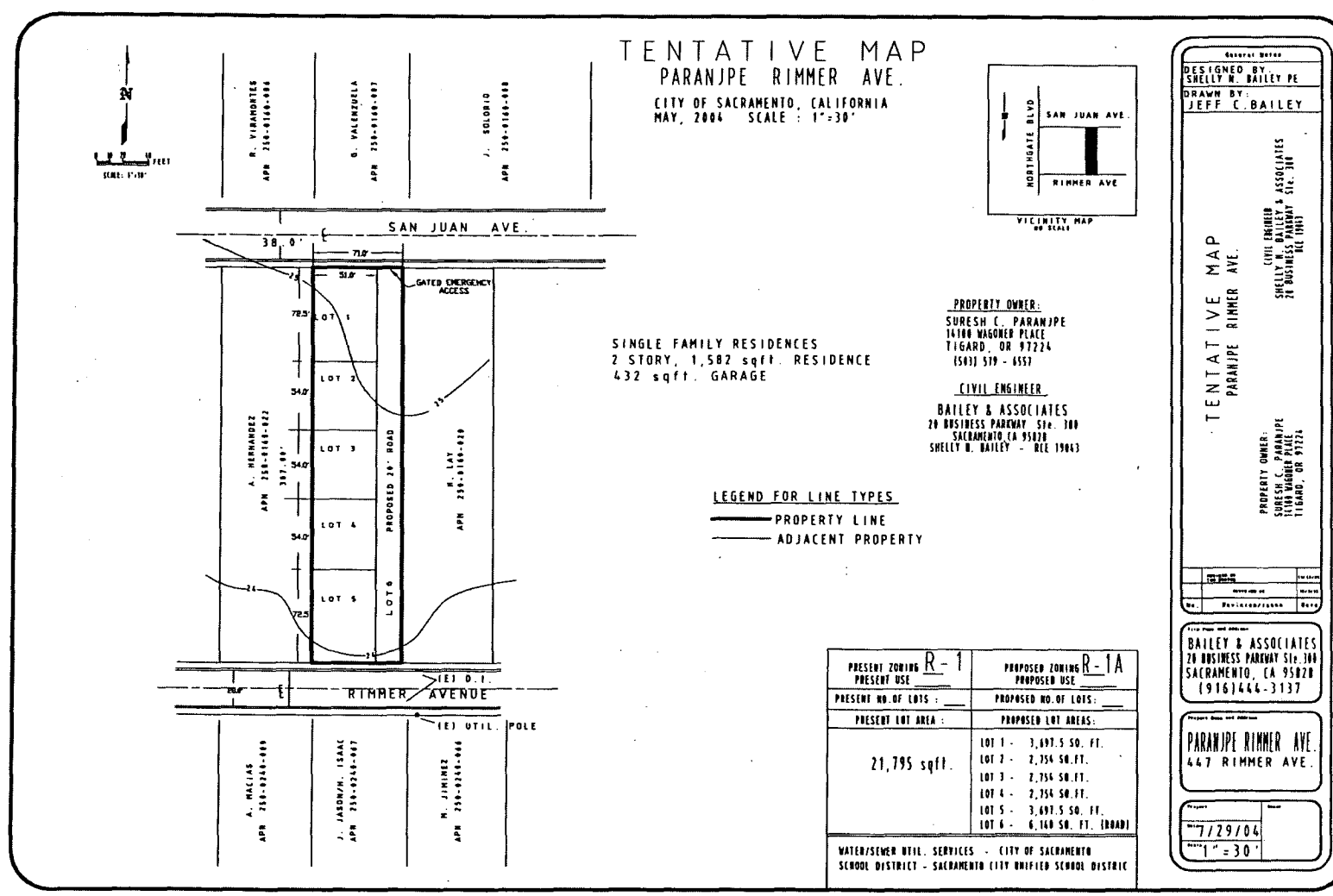
CHAIRPERSON

ATTEST:

SECRETARY TO CITY PLANNING COMMISSION

DATE (P04-103)

Exhibit 1A	Tentative Map
Exhibit 1B	Site Plan
Exhibit 1C	Enlarged Site Plan
Exhibit 1D	Elevations (Lots 1 and 5)
Exhibit 1E	Elevations (Lots 1 and 5)
Exhibit 1F	1 st Floor Plan (Lots 1 and 5)
Exhibit 1G	2 nd Floor Plan (Lots 1 and 5)
Exhibit 1H	Elevations (Lots 2, 3 and 4)
Exhibit 1I	Elevations (Lots 2, 3 and 4)
Exhibit 1J	1 st Floor Plan (Lots 2, 3 and 4)
Exhibit 1K	2 nd Floor Plan (Lots 2, 3 and 4)



P04-103

JANUARY 26, 2006

Exhibit 1A - Tentative Map

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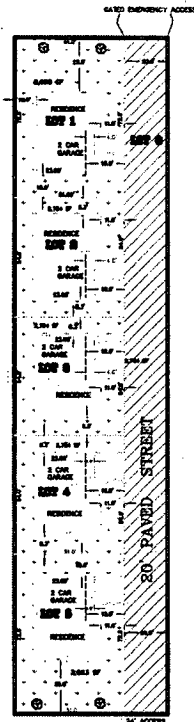
Exhibit 1B - Site Plan

SITE PLAN

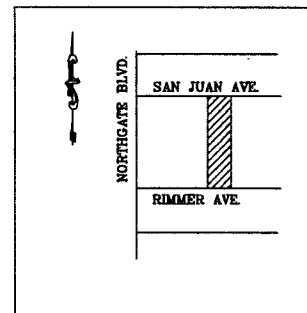
SINGLE FAMILY RESIDENCE
1,582 SQ. FT. RESIDENCE
422 SQ. FT. GARAGE

PROPERTY OWNER
SURESH C. PARANJPE
14100 WAGONEER PLACE
TIGARD, OREGON 97224

PARANJPE RIMMER AVE.
CITY OF SACRAMENTO, CALIFORNIA
SEPTEMBER 1, 2005



SCALE 1"=20'



VICINITY MAP
NOT TO SCALE

NOTES:

SINGLE FAMILY RESIDENCE
1,582 SQ. FT. RESIDENCE
422 SQ. FT. GARAGE

LEGEND

- ⊙ WIRE
- ▭ GRASS LANDSCAPE
- ▨ A.C. PAVED STREET
- PROPERTY BOUNDARY
- - - LOT BOUNDARY

PRESIDENT ZONING R-1 PRESENT USE _____	PROPOSED ZONING R-1A PROPOSED USE _____
PRESIDENT NO. OF LOTS _____	PROPOSED NO. OF LOTS 5
PRESIDENT LOT AREA 21,797 SQ. FT.	PROPOSED LOT AREA LOT 1 2,876 SQ. FT. LOT 2 2,774 SQ. FT. LOT 3 2,774 SQ. FT. LOT 4 2,774 SQ. FT. LOT 5 2,774 SQ. FT. 422 SQ. FT. PAVED STREET
WATER/SEWER SERVICES - CITY OF SACRAMENTO SCHOOL DISTRICT - SACRAMENTO CITY UNIFIED SCHOOL DISTRICT	

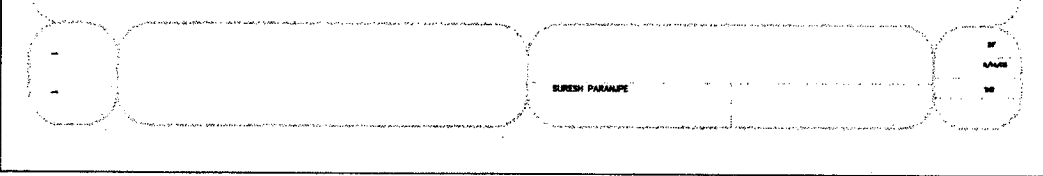
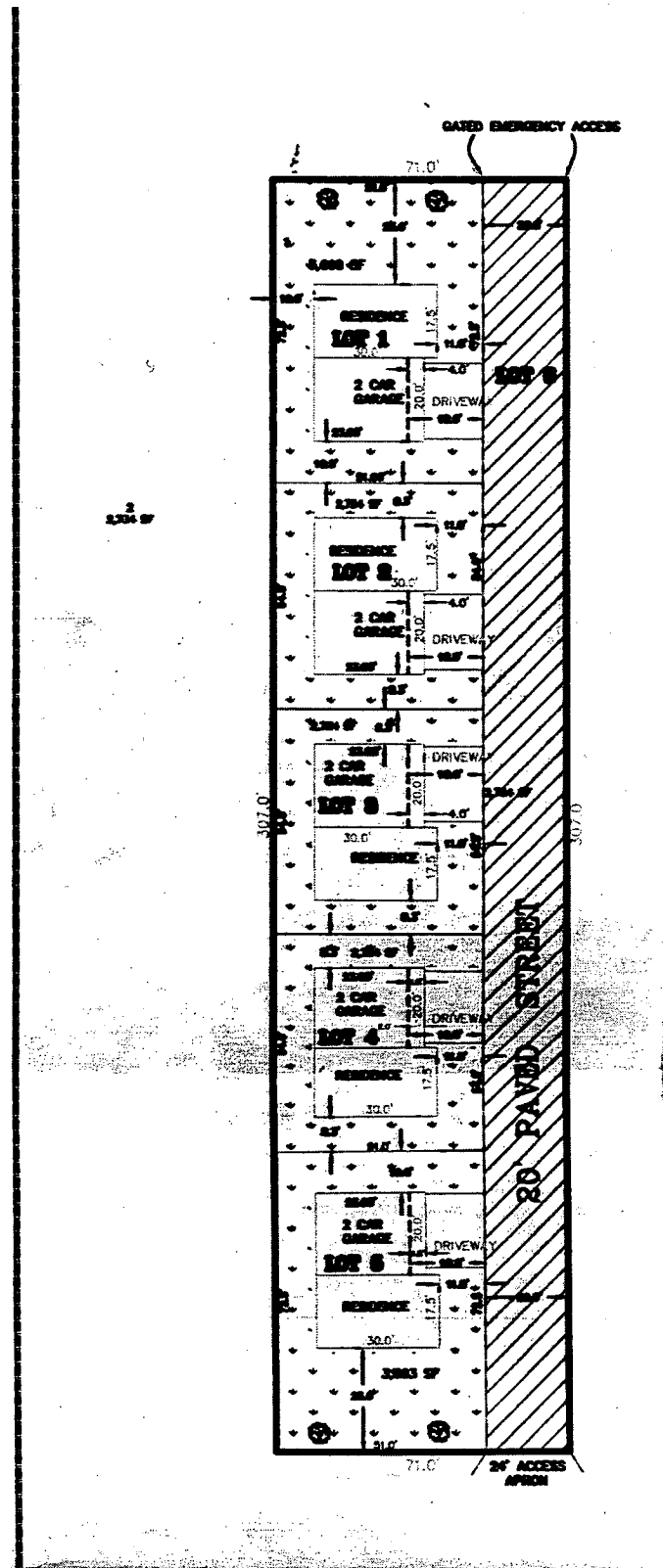


Exhibit 1C - Enlarged Site Plan



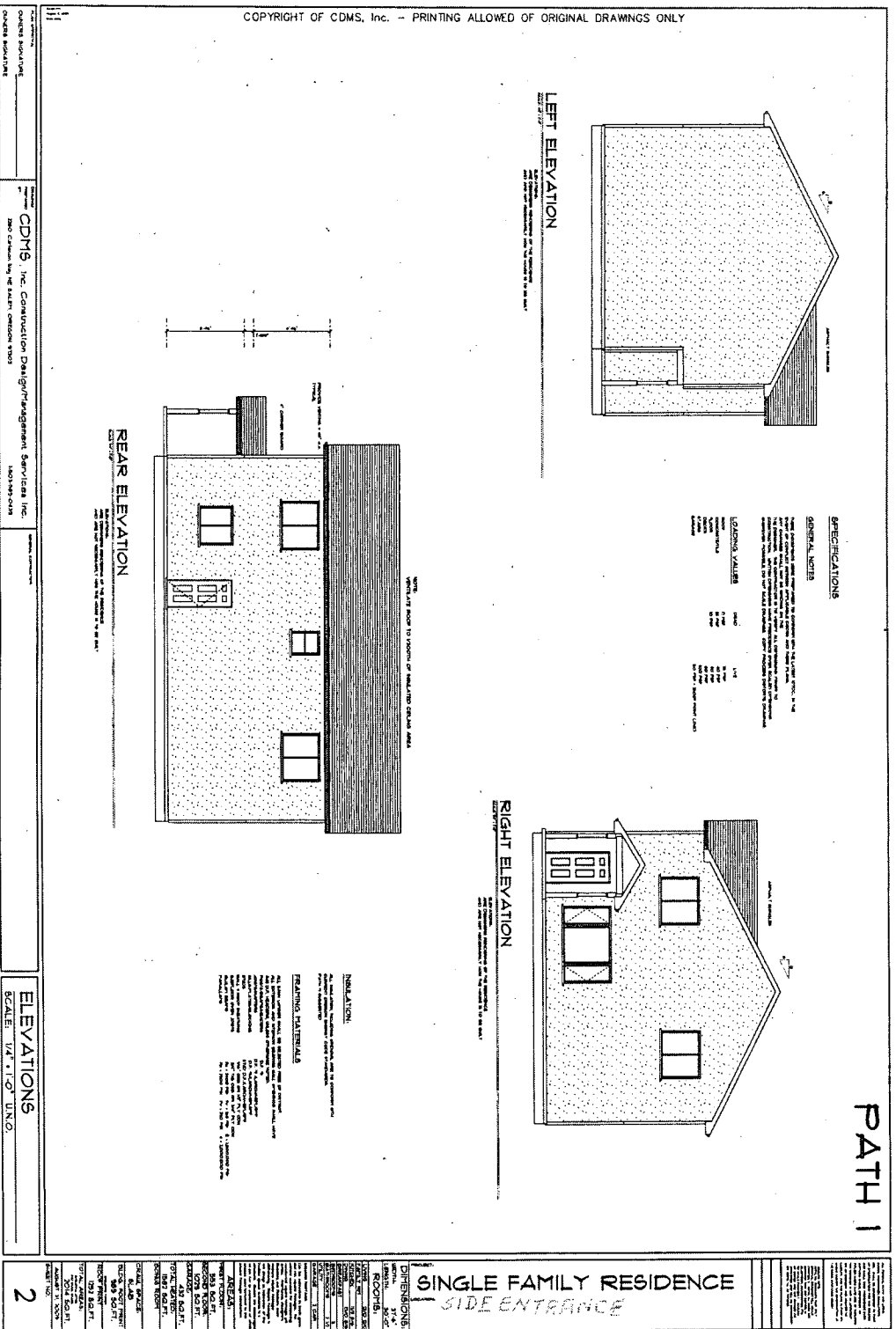
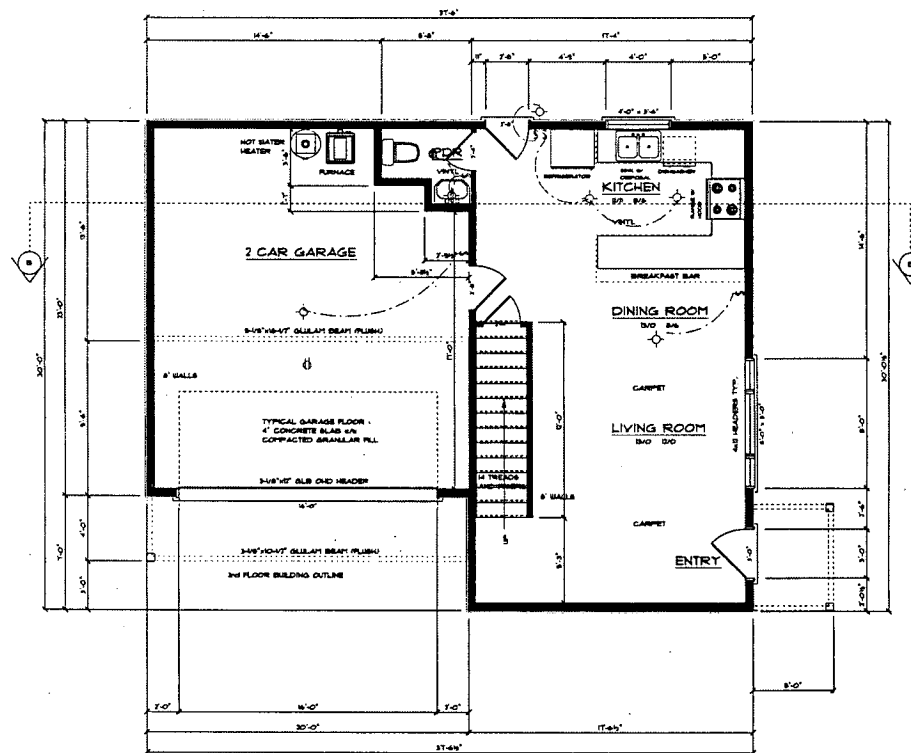


Exhibit 1E - Elevations (Lots 1 and 5)

ITEM # 5
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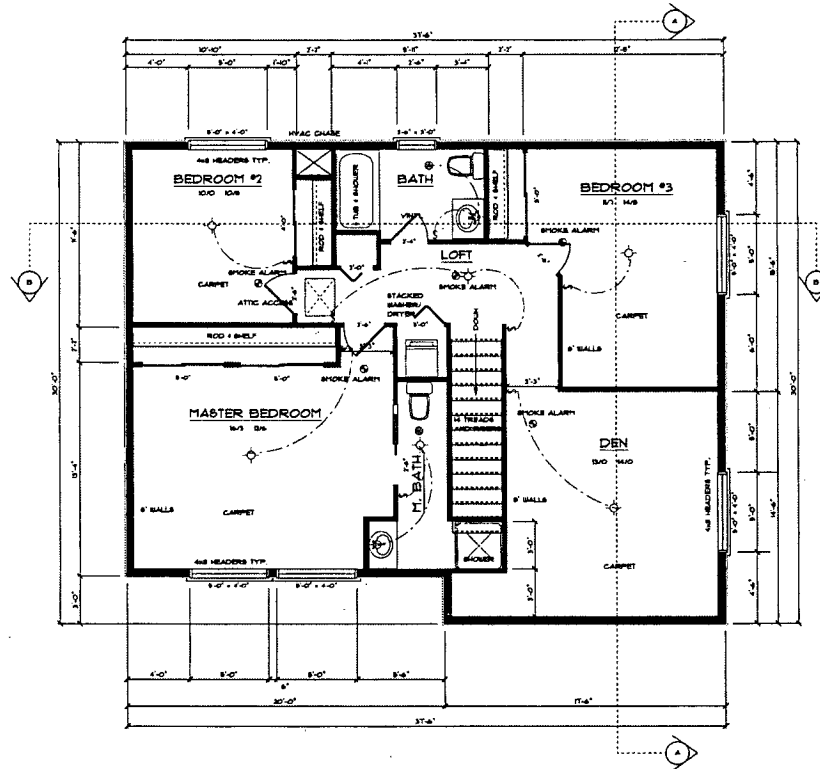
JANUARY 26, 2006

P04-103

Exhibit 1F - 1st Floor Plan (Lots 1 and 5)

1st FLOOR PLAN

DRAWING PREPARED BY:	CDMS, Inc. Construction Design/Management Services Inc. 7280 Carleton Way NE SALEM, OREGON 97305	GENERAL CONTRACTOR:
	1-503-565-0435	

Exhibit 1G - 2nd Floor Plan (Lots 1 and 5)

2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

DRAWING PREPARED BY:	CDMS, Inc. Construction Design/Management Services Inc. 7780 Carleton Way NE SALEM, OREGON 97303	GENERAL CONTRACTOR:
	1-503-585-0435	

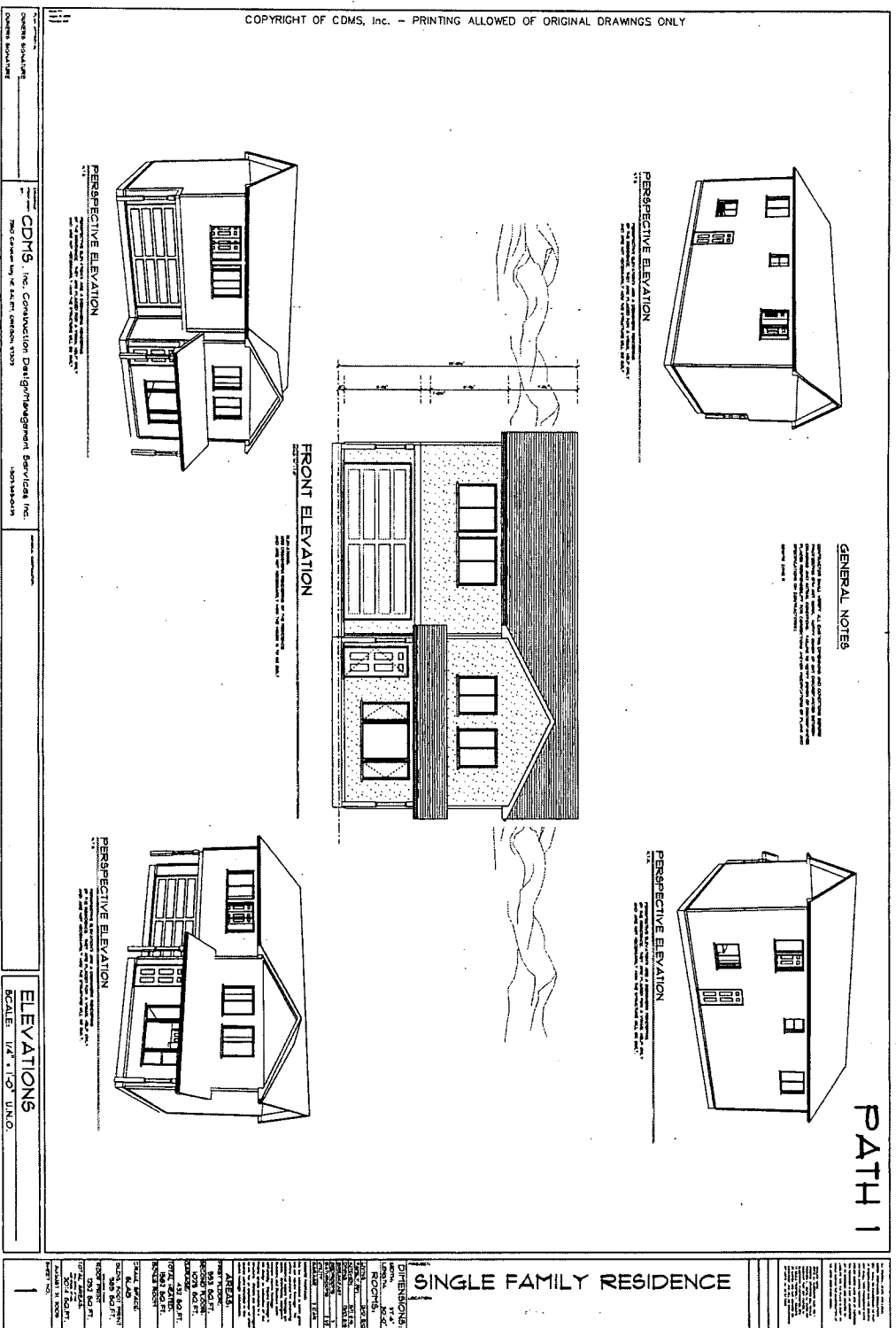
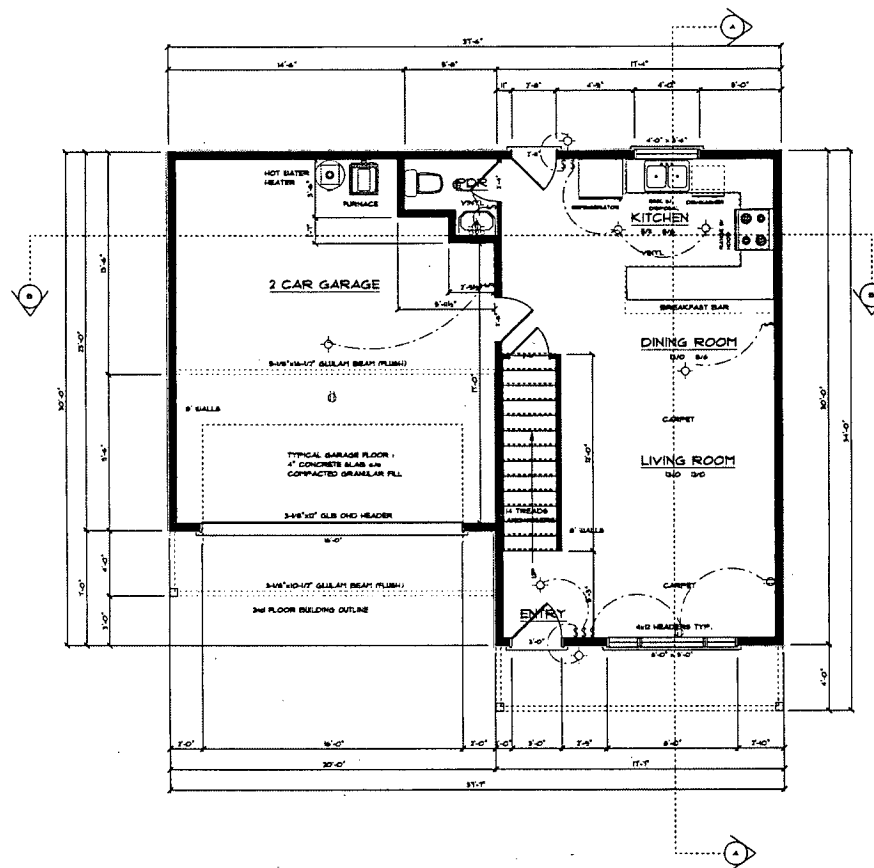


Exhibit 1H - Elevations (Lots 2, 3 and 4)

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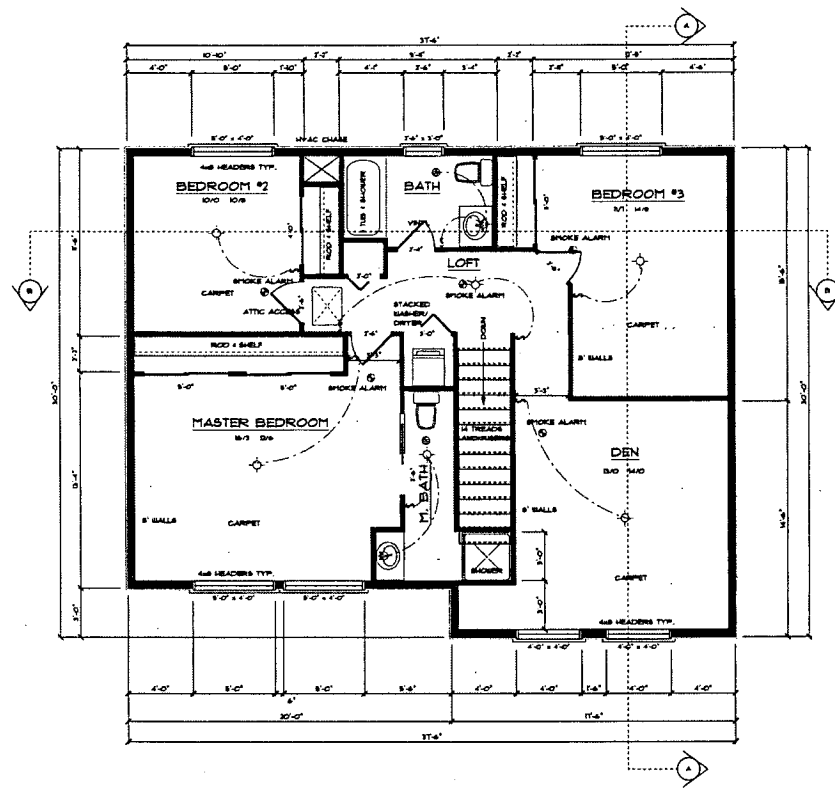
JANUARY 26, 2006

P04-103

Exhibit 1J - 1st Floor Plan (Lots 2, 3 and 4)

1st FLOOR PLAN

DRAWING PREPARED BY:	CDMS , Inc. Construction Design/Management Services Inc. 7280 Carleton Way NE SALEM, OREGON 97303	GENERAL CONTRACTOR:
	1-503-565-0435	

Exhibit 1K - 2nd Floor Plan (Lots 2, 3 and 4)2nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

DRAWING PREPARED BY:	CDMS, Inc. Construction Design/Management Services, Inc. 2280 Carleton Way NE SALEM, OREGON 97303	GENERAL CONTRACTOR:
	1-503-565-0435	

Attachment 3 – Draft Rezone Ordinance

ORDINANCE NO. 2005-XXXX

Adopted by the Sacramento City Council

Date

AN ORDINANCE AMENDING THE DISTRICTS ESTABLISHED BY THE COMPREHENSIVE ZONING ORDINANCE TITLE 17 OF THE SACRAMENTO CITY CODE, BY REMOVING 0.5± ACRE OF STANDARD SINGLE-FAMILY (R-1) ZONE TO 0.5± ACRE OF SINGLE FAMILY ALTERNATIVE (R-1A) ZONE, FOR THE PROPERTY LOCATED AT 447 RIMMER AVENUE. (APN: 250-0160-021) (P04-103)

BE IT ENACTED BY THE COUNCIL OF THE CITY OF SACRAMENTO THAT:

SECTION 1

The property generally described, known and referred to as Paranjpe Rimmer Avenue (APN: 250-0160-021) which is shown on Exhibit A, consists of 0.5± acre currently in the Standard Single-Family (R-1) zone, established by the Comprehensive Zoning Ordinance (Title 17 of the City Code). Said property, totaling 0.5± acres, is hereby removed from the said zone and placed in the Single Family Alternative (R-1A) zone.

SECTION 2

Rezoning of the property described in the attached Exhibit A by the adoption of this Ordinance shall be deemed to be in compliance with the procedures for the rezoning of property described in the Comprehensive Zoning Ordinance, Title 17 of the City Code, as amended, as said procedures have been affected by recent court decisions.

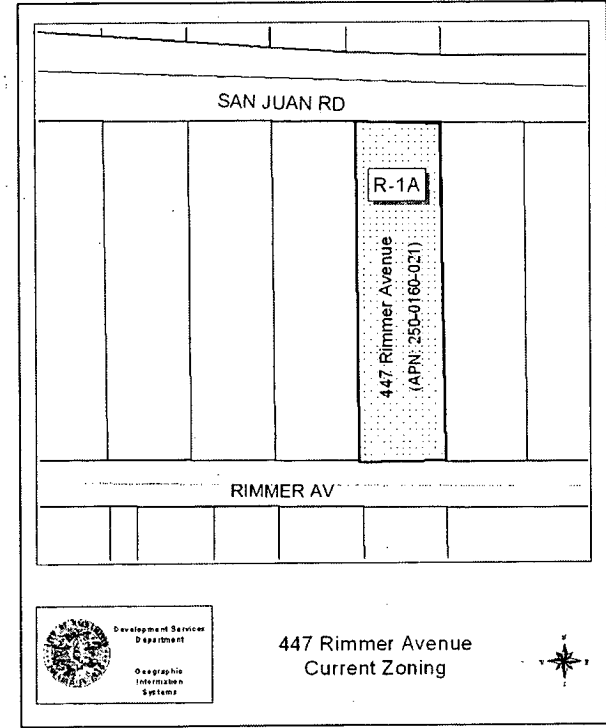
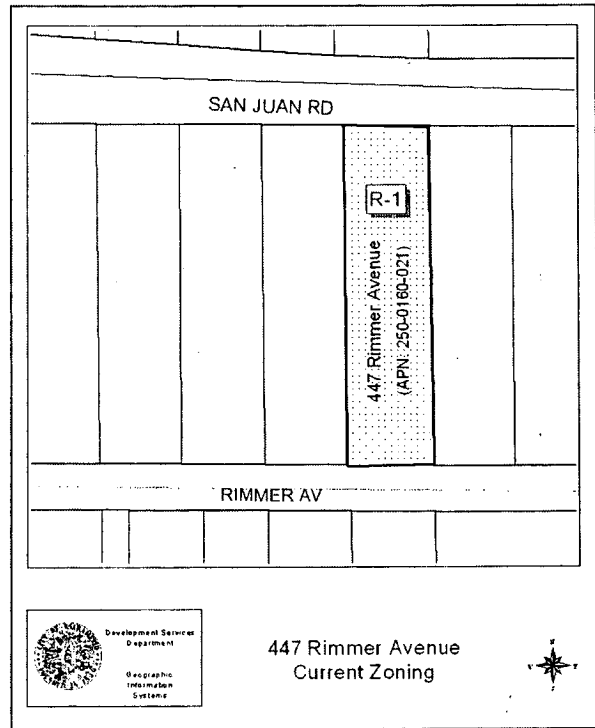
SECTION 3

The City Clerk of the City of Sacramento is hereby directed to amend the official zoning map, which is a part of said Comprehensive Zoning Ordinance, Title 17 of the City Code, to conform to the provisions of this Ordinance.

Table of Contents:

Exhibit A: Rezone Exhibit – 1 page

Exhibit A: Rezone Exhibit



ATTACHMENT 2 – DESIGN REVIEW CORRECTION NOTICE

PLANNING AND
BUILDING
DEPARTMENT
PHONE 916-808-5381

CITY OF SACRAMENTO
CALIFORNIA

915 I STREET, 3rd Floor
SACRAMENTO, CA
95814-2998
FAX 916-808-7046

DESIGN REVIEW CORRECTION NOTICE

Address: 447 Rimmer Avenue
File Number: P04-103
Description: New Subdivision

Applicant: Suresh Paranjpe
Date of Notice: December 16, 2005
Staff Contact: Andrea Di Matteo, 808-1928

Revise All Submittal Documents To Comply With The Following Comments. A Complete Design Review Will Not Be Done Without The Information Requested.

REVISIONS REQUIRED FOR REVIEW AND APPROVAL

Staff has reviewed the proposed project, and requires the applicant to make the following changes prior to any further review:

1. The applicant shall ensure that repetition of house models and color schemes does not occur within the subdivision by providing an adequate mix of models and colors within each release of homes.
Revise Elevations on Plan 1
 1. Vary roof forms including: gable ends, clipped gables, hip roofs, while still keeping a linear pattern of roofs.
 2. Provide smooth finish horizontal lap siding at the gable ends and provide clipped gable ends at the Right and Left sides with decorative vents.
 3. Provide single/double hung windows at all four sides of the building, with decorative wood trim and sills. Provide decorative shutters at the windows for the master bedroom on the second story facing the street.
 4. Provide three decorative wood posts with built out bases and railing at the front porch.
 5. Provide decorative lights at all entry doors and garage door.Revise Elevations on Plan 2
 1. Provide a second gable end at the front elevation next to the existing gable. Provide decorative arched vents with trim and sills at all gable ends.
 2. Provide three single/double hung windows at the front elevation for the master bedroom. Provide wood trim and sills at all windows.
 3. Provide two windows with three sliding panes each, at the Right elevation on the second story. Provide decorative plant shelves under each window.
 4. Provide a separate covered porch element with a gable end at the front elevation. Provide stone on the columns and gable end. Provide a transom above the new entry door.
2. Roofing shall be at minimum 30 year laminated dimensional composition shingle.
3. Any other changes are subject to Design Review staff approval.

NOTICE: IF PLANS HAVE BEEN SUBMITTED CONCURRENTLY TO THE BUILDING DEPARTMENT THEY MUST BE REVISED TO REFLECT THESE CHANGES

Andrea Di Matteo
Planning Technician
Design Review

ATTACHMENT 4A - ALTERNATE ELEVATIONS: HIP (LOTS 2, 3 AND 4)

COPYRIGHT OF CDMS, INC. - PRINTING ALLOWED OF ORIGINAL DRAWINGS ONLY

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.

3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA BUILDING CODE.

4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODE.

5. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA FIRE AND SAFETY CODE.

6. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA ENERGY CODE.

7. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA GREEN BUILDING CODE.

8. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA SMOKE AND ALARM CODE.

9. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA SEISMIC RETROFIT CODE.

10. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA SOIL NAIL WALL CODE.

11. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA TOWER CRANES CODE.

12. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WIND RESISTANCE CODE.

13. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD PRESERVATION CODE.

14. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD STRUCTURAL MEMBERS CODE.

15. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD JOINTS AND CONNECTIONS CODE.

16. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD PRESERVATION CODE.

17. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD STRUCTURAL MEMBERS CODE.

18. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD JOINTS AND CONNECTIONS CODE.

19. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD PRESERVATION CODE.

20. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD STRUCTURAL MEMBERS CODE.

21. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD JOINTS AND CONNECTIONS CODE.

22. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD PRESERVATION CODE.

23. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD STRUCTURAL MEMBERS CODE.

24. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD JOINTS AND CONNECTIONS CODE.

25. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD PRESERVATION CODE.

26. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD STRUCTURAL MEMBERS CODE.

27. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD JOINTS AND CONNECTIONS CODE.

28. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD PRESERVATION CODE.

29. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD STRUCTURAL MEMBERS CODE.

30. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2004 CALIFORNIA WOOD JOINTS AND CONNECTIONS CODE.

PATH 1

FRONT ELEVATION

ELEVATIONS
SCALE: 1/4" = 1'-0" UNO.

DATE: 1/26/06
DRAWN BY: [Name]
CHECKED BY: [Name]
CDMS, Inc. Construction Design/Management Services, Inc.
2800 Central Expressway, Suite 1100, San Jose, CA 95128
TEL: 408.253.8000
WWW.CDMS.COM

SINGLE FAMILY RESIDENCE
SACRAMENTO, CALIFORNIA

NO.	DESCRIPTION	AREA (SQ. FT.)
1	1ST FLOOR	1,200.00
2	2ND FLOOR	1,200.00
3	3RD FLOOR	1,200.00
4	4TH FLOOR	1,200.00
5	5TH FLOOR	1,200.00
6	6TH FLOOR	1,200.00
7	7TH FLOOR	1,200.00
8	8TH FLOOR	1,200.00
9	9TH FLOOR	1,200.00
10	10TH FLOOR	1,200.00
11	11TH FLOOR	1,200.00
12	12TH FLOOR	1,200.00
13	13TH FLOOR	1,200.00
14	14TH FLOOR	1,200.00
15	15TH FLOOR	1,200.00
16	16TH FLOOR	1,200.00
17	17TH FLOOR	1,200.00
18	18TH FLOOR	1,200.00
19	19TH FLOOR	1,200.00
20	20TH FLOOR	1,200.00
21	21TH FLOOR	1,200.00
22	22TH FLOOR	1,200.00
23	23TH FLOOR	1,200.00
24	24TH FLOOR	1,200.00
25	25TH FLOOR	1,200.00
26	26TH FLOOR	1,200.00
27	27TH FLOOR	1,200.00
28	28TH FLOOR	1,200.00
29	29TH FLOOR	1,200.00
30	30TH FLOOR	1,200.00
31	31TH FLOOR	1,200.00
32	32TH FLOOR	1,200.00
33	33TH FLOOR	1,200.00
34	34TH FLOOR	1,200.00
35	35TH FLOOR	1,200.00
36	36TH FLOOR	1,200.00
37	37TH FLOOR	1,200.00
38	38TH FLOOR	1,200.00
39	39TH FLOOR	1,200.00
40	40TH FLOOR	1,200.00
41	41TH FLOOR	1,200.00
42	42TH FLOOR	1,200.00
43	43TH FLOOR	1,200.00
44	44TH FLOOR	1,200.00
45	45TH FLOOR	1,200.00
46	46TH FLOOR	1,200.00
47	47TH FLOOR	1,200.00
48	48TH FLOOR	1,200.00
49	49TH FLOOR	1,200.00
50	50TH FLOOR	1,200.00
51	51TH FLOOR	1,200.00
52	52TH FLOOR	1,200.00
53	53TH FLOOR	1,200.00
54	54TH FLOOR	1,200.00
55	55TH FLOOR	1,200.00
56	56TH FLOOR	1,200.00
57	57TH FLOOR	1,200.00
58	58TH FLOOR	1,200.00
59	59TH FLOOR	1,200.00
60	60TH FLOOR	1,200.00
61	61TH FLOOR	1,200.00
62	62TH FLOOR	1,200.00
63	63TH FLOOR	1,200.00
64	64TH FLOOR	1,200.00
65	65TH FLOOR	1,200.00
66	66TH FLOOR	1,200.00
67	67TH FLOOR	1,200.00
68	68TH FLOOR	1,200.00
69	69TH FLOOR	1,200.00
70	70TH FLOOR	1,200.00
71	71TH FLOOR	1,200.00
72	72TH FLOOR	1,200.00
73	73TH FLOOR	1,200.00
74	74TH FLOOR	1,200.00
75	75TH FLOOR	1,200.00
76	76TH FLOOR	1,200.00
77	77TH FLOOR	1,200.00
78	78TH FLOOR	1,200.00
79	79TH FLOOR	1,200.00
80	80TH FLOOR	1,200.00
81	81TH FLOOR	1,200.00
82	82TH FLOOR	1,200.00
83	83TH FLOOR	1,200.00
84	84TH FLOOR	1,200.00
85	85TH FLOOR	1,200.00
86	86TH FLOOR	1,200.00
87	87TH FLOOR	1,200.00
88	88TH FLOOR	1,200.00
89	89TH FLOOR	1,200.00
90	90TH FLOOR	1,200.00
91	91TH FLOOR	1,200.00
92	92TH FLOOR	1,200.00
93	93TH FLOOR	1,200.00
94	94TH FLOOR	1,200.00
95	95TH FLOOR	1,200.00
96	96TH FLOOR	1,200.00
97	97TH FLOOR	1,200.00
98	98TH FLOOR	1,200.00
99	99TH FLOOR	1,200.00
100	100TH FLOOR	1,200.00

ATTACHMENT 7B - ALTERNATE ELEVATIONS: BULLNOSE (LOTS 2, 3 AND 4)

SACRAMENTO, CALIFORNIA

SINGLE FAMILY RESIDENCE

DIMENSIONS:
 LAND: 42'-0" x 32'-0"
 COVERED PORCH: 12'-0" x 12'-0"
 GARAGE: 12'-0" x 12'-0"
 MAIN FLOOR: 32'-0" x 32'-0"
 SECOND FLOOR: 32'-0" x 32'-0"
 TOTAL FLOOR AREA: 1,280 SQ. FT.
 TOTAL GARAGE AREA: 144 SQ. FT.
 TOTAL COVERED AREA: 1,424 SQ. FT.
 PERMIT NO. 05057
 SHEET NO. 2

PATH 1

LEFT ELEVATION

NOTE: SEE PLAN FOR LOCATION OF PORCH AND GARAGE.

RIGHT ELEVATION

NOTE: SEE PLAN FOR LOCATION OF PORCH AND GARAGE.

REAR ELEVATION

NOTE: SEE PLAN FOR LOCATION OF PORCH AND GARAGE.

INSULATION

ROOF: R-19
 WALLS: R-13
 FLOORS: R-9

DRAINING MATERIALS

ALL INTERIORS SHALL BE FINISHED TO MEET THE REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS.

SPECIFICATIONS

GENERAL NOTE:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2003 CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

6. ALL FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.

8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

9. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

LEGEND

1. 1/4" = 1'-0"

2. 1/8" = 1'-0"

3. 1/16" = 1'-0"

4. 1/32" = 1'-0"

5. 1/64" = 1'-0"

CDMS, Inc. Construction Design/Management Services, Inc.
 1400 N. 20TH ST., SUITE 100
 SACRAMENTO, CA 95833
 (916) 441-1000

ELEVATIONS
SCALE: 1/4" = 1'-0" U.N.C.

COPYRIGHT OF CDMS, Inc. - PRINTING ALLOWED OF ORIGINAL DRAWINGS ONLY

ATTACHMENT 8 - GRANT DEED (CHAIN OF TITLES) FOR SUBJECT PROPERTY

01/03/2006 12:32

5833729341

PARANJE

PAGE 02

Order No.
Escrow No. 242271MS
Loan No.BOOK PAGE
91 08-5 1499 2

WHEN RECORDED MAIL TO:

Hazel A. Lay
437 Rimmer Avenue
Sacramento, CA 95834

RECORDS RECORDS

91 AUG -5 PM 3:01

SPACE ABOVE THIS LINE FOR RECORDERS USE

MAIL TAX STATEMENTS TO:

Same as above

DOCUMENTARY TRANSFER TAX \$22.50

X Computed on the consideration or value of property conveyed; OR
Computed on the consideration or value less liens or encumbrances
existing at time of sale.The undersigned Grantor declares
Signature of Declaration or Agent determining tax - Firm Name

GRANT DEED

250-0160-021-0000

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Fermin Delgadillo and Maria D. Delgadillo, husband and wife

hereby GRANT(S) to

Hazel A. Lay, a single woman

the real property in the City of
County of
asSacramento
Sacramento

State of California, described:

The East 1/2 of Lot 13, as shown on the "Plat of Homeland Acres", recorded in Book 19 of Maps, Map
No. 10, records of said County.

FIRST AMERICAN TITLE INSURANCE COMPANY

Dated July 18, 1991

STATE OF CALIFORNIA
COUNTY OF SacramentoOn July 24, 1991
me, the undersigned
personally appeared Fermin Delgadillopersonally known to me (or proved to me on the basis of satisfactory
evidence) to be the person(s) whose name(s) is/are subscribed to the
within instrument and acknowledged to me that he/she/they executed the
same in his/her/their authorized capacity(ies), and that by his/her/their
signature(s) on the instrument the person(s) or the entity upon behalf of
which the person(s) acted, executed the instrument.
WITNESS my hand and official seal.

Fermin Delgadillo
Fermin Delgadillo

Maria D. Delgadillo by
Maria D. Delgadillo

Fermin Delgadillo
her attorney in fact



5
FEE
\$5
B
1

ATTACHMENT 8 - GRANT DEED (CHAIN OF TITLES) FOR SUBJECT PROPERTY


01/03/2006 12:25 5033729341

PARANJPE

PAGE 15

RECORDING REQUESTED BY
Alliance Title Company
AND WHEN RECORDED MAIL TO:

Name: Suresh C. Paranjpe
Street Address: 14100 Southwest Wagoner Place
City, State, Zip: Tigard, OR 97224
Order No. 12193659-810-PLG


Sacramento County Recording
Mark Norris, Clerk/Recorder
BOOK **20031119** PAGE **0929**
Wednesday, NOV 19, 2003 9:34:12 AM
Ttl Pd \$7.00 Nbr-0002438340
000-Sacramento Cy DTT PRD/39/1-1

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S) Documentary Transfer Tax is \$72.00
City of Sacramento computed on full value of interest or property conveyed, or
Conveyance Tax is \$192.50 full value less value of liens or encumbrances remaining at
Parcel No. 250-0160-021-0000 the time of sale.
Declarant or Agent Determining Tax The Undersigned

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Hazel A. Lay, a single woman

hereby GRANT(s) to

Suresh C. Paranjpe, ~~1991/11/11/11/11/11/11~~ a married man as his sole and separate property
the following real property in the city of Sacramento
county of Sacramento, state of California:

All that certain real property situate in the City of Sacramento, County of Sacramento, State of California, described as follows:

The East 1/2 of Lot 13, as shown on the "Plat of Homeland Acres", recorded in Book 19 of Maps, Map No. 10, records of said County.

Dated: October 22, 2003STATE OF CALIFORNIA
COUNTY OF SacramentoS.S. Hazel A. LayOn Nov. 12, 2003 before me,

a Notary Public in and for said County and State, personally appeared

HAZEL A. LAY
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature: Ray Anthony Barnett

(This area for official notarial seal)

MAIL TAX STATEMENTS TO PARTY SHOWN ON THE FOLLOWING LINE; IF NO PARTY SHOWN, MAIL AS DIRECTED ABOVE

Name: _____ Street Address: _____ City & State: _____
Description: Sacramento, CA Document-Book, Page 20031119.929 Page: 1 of 1
Order: 910058 Comment:

P04-103

JANUARY 26, 2006

ITEM # 5
PAGE 54

ATTACHMENT 8 - GRANT DEED (CHAIN OF TITLES) FOR SUBJECT PROPERTY

01/03/2006 12:25 5033729341

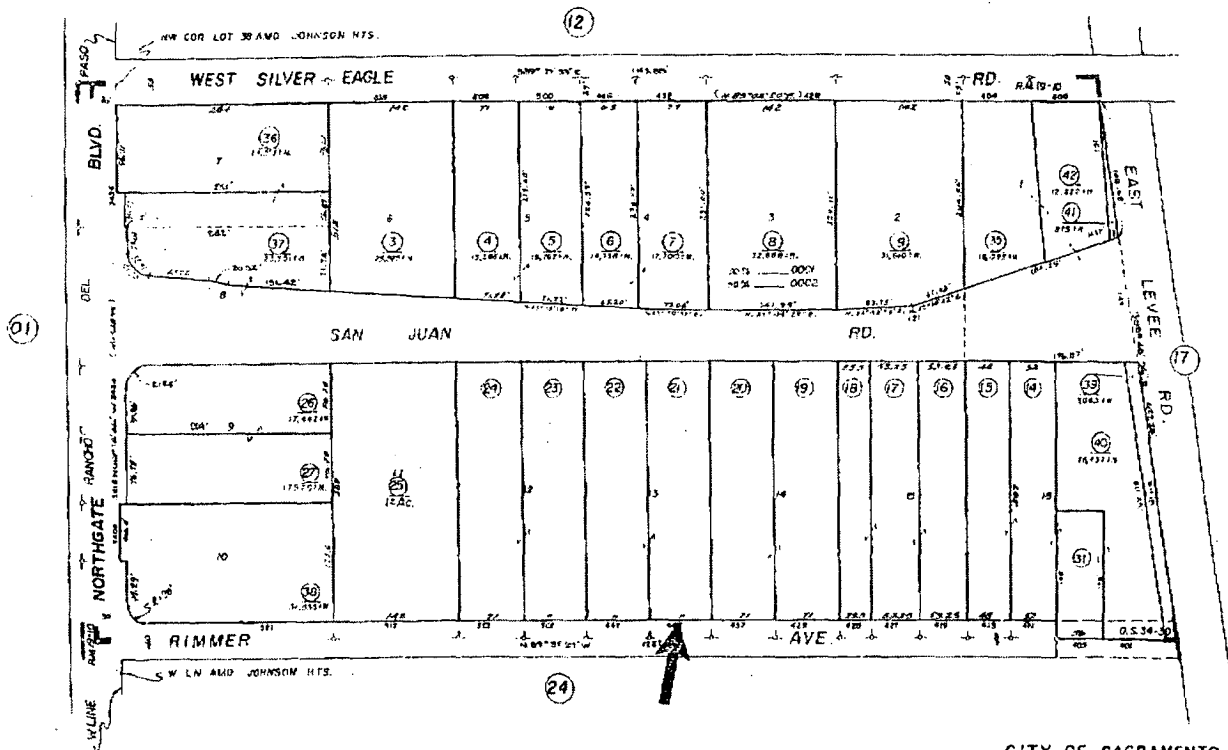
PARAMJPE

PAGE 18

POR. SEC. 3, RANCHO DEL PASO

Tax Area Code

250-16



D.S., Bk. 34 Pg. 30
Homeland Acres, R.M. Fr. 19, Pg 10

NOTE: Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

CITY OF SACRAMENTO
Assessor's Map Bk. 250-Pg. 16
County of Sacramento, Calif.

ATTACHMENT 9 – PRELIMINARY REPORT FOR SUBJECT PROPERTY



CHICAGO TITLE COMPANY _____

PRELIMINARY REPORT

*In response to the application for a policy of title insurance referenced herein, **Chicago Title Company** hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception herein or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said Policy forms.*

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said Policy or Policies are set forth in Attachment One. Limitations on Covered Risks applicable to the CLTA and ALTA Homeowner's Policies of Title Insurance which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Attachment One. Copies of the Policy forms should be read. They are available from the office which issued this report.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

The Policy(s) of title insurance to be issued hereunder will be policy(s) of Chicago Title Insurance Company, a Missouri corporation.

Please read the exceptions shown or referred to herein and the exceptions and exclusions set forth in Attachment One of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects and encumbrances affecting title to the land.



Chicago Title Company

BY

 President

ATTEST

 Secretary

ATTACHMENT 9 – PRELIMINARY REPORT FOR SUBJECT PROPERTY

Visit Us on our Website: www.ctic.com



Chicago Title Company

902 B Florin Road • Sacramento, CA 95831
916 399-0791 • FAX 916 399-0797

PRELIMINARY REPORT

Title Officer: Marilee A. Durocher
Escrow Officer: Pleshette Adkins
Escrow No.: 05-31600713-PA

Title No.: 05-31600713-MAD
Locate No.: CACTI7734-7734-2316-0031600713

TO: For Sale By Owner

SHORT TERM RATE: No

PROPERTY ADDRESS: 447 Rimmer Avenue, Sacramento, California

EFFECTIVE DATE: December 9, 2005, 07:30 A.M.

The form of Policy or Policies of title insurance contemplated by this report is:

CLTA Standard Coverage Policy - 1990
ALTA Loan Policy (10/17/92) with ALTA Endorsement-Form 1 Coverage

1. THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

A Fee
2. TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

Suresh C. Paranjpe, a married man as his sole and separate property
3. THE LAND REFERRED TO IN THIS REPORT IS DESCRIBED AS FOLLOWS:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

CS\MB 01/03/2006

ATTACHMENT 9 – PRELIMINARY REPORT FOR SUBJECT PROPERTY

Title No. 05-31600713-MAD
Locate No. CACTI7734-7734-2316-0031600713

LEGAL DESCRIPTION

EXHIBIT "A"

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SACRAMENTO, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

The East 1/2 of Lot 13, as shown on the "Plat of Homeland Acres", recorded in Book 19 of Maps, Map No. 10, records of said County.

APN: 250-0160-021-0000

ATTACHMENT 9 – PRELIMINARY REPORT FOR SUBJECT PROPERTY

Title No. 05-31600713-MAD
Locate No. CACTI7734-7734-2316-0031600713

AT THE DATE HEREOF, ITEMS TO BE CONSIDERED AND EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM WOULD BE AS FOLLOWS:

1. **The lien of supplemental taxes**, if any, assessed pursuant to the provisions of Chapter 3.5 (Commencing with Section 75) of the Revenue and Taxation code of the State of California.
2. **Any unpaid amounts now owing for utilities**, of record or not, due the County of Sacramento and/or including the following cities: Amounts may be ascertained by contacting:

County of Sacramento at (916) 875-5555
City of Sacramento at (916) 808-5454.
City of Folsom at (916) 355-7200.
City of Galt at (209) 366-7150.
City of Elk Grove at (916) 478-3642
City of Rancho Cordova (916) 638-9000
City of Isleton (916) 777-7770
3. **Rights of the public** as to any portion of the land lying within the area commonly known as Rimmer Avenue.
4. **The community interest** of the spouse of the vestee named below.

Vestee: Suresh C. Paranjpe
5. **If a work of improvement** is contemplated, in progress or recently completed. To assist the Company in determining if it can give the priority coverage contained within the policy contemplated by this report, please provide the following:
 - (a) Current Financial Statement and/or Current Loan Application.
 - (b) Project Cost Breakdown.
 - (c) Completed Loss of Priority Questionnaire. (This form furnished by the Company).
 - (d) A fully executed Indemnity Agreement. (This form furnished by the Company).
 - (e) If work* has commenced prior to the recordation of the Construction Deed of Trust there will be further requirements and the closing of the transaction could be delayed.

*"Work" may include, among other things, any preparation of the site for the planned construction, delivery of construction materials or equipment and any labor furnished.

The Company reserves the right to add additional items or make further requirements after review of the requested documentation.

END OF ITEMS

ATTACHMENT 9 – PRELIMINARY REPORT FOR SUBJECT PROPERTY

Title No. 05-31600713-MAD
Locate No. CACTI7734-7734-2316-0031600713

Note 1. Property taxes for the fiscal year shown below are PAID. For proration purposes the amounts are:

APN:	250-0160-021-0000
Fiscal year	2005-2006
1st Installment:	\$436.51 PAID
2nd Installment:	\$436.51 PAID
Exemption:	\$0.00
Land:	\$76,500.00
Improvements:	\$0.00
Personal Property:	\$0.00
Code Area:	03-137
Bill No.:	05423086

The above taxes include:

\$10.46 for SAFCA Capital Assessment #2
\$4.98 for City Library Services AD #96-02
\$42.20 for Reclamation District #1000 M & O
\$24.76 for SAFCA O & M Assessment #1

Note 2. The only deeds affecting said land, which recorded within twenty-four (24) months of the date of this report, as are follows:

Grantor:	Hazel A. Lay, a single woman
Grantee:	Suresh C. Paranjpe, a married man as his sole and separate property
Recorded:	November 19, 2003, Book 20031119, Page 0929, of Official Records

Note 3. **Your application** for title insurance was placed by reference to a street address only. Based on our records, we believe that the description in this report covers the parcel that you requested.

To prevent errors and to be certain that the proper parcel of land will appear on the documents and on the policy of title insurance, we require written approval of the legal description in this report be sent to this Company, signed by the parties to the transaction.

ATTACHMENT 9 – PRELIMINARY REPORT FOR SUBJECT PROPERTY

NOTES: (continued)

Title No. 05-31600713-MAD
Locate No. CACT17734-7734-2316-0031600713**Note 4.** Wiring instructions for Chicago Title Company, Sacramento, CA, are as follows:

Receiving Bank: Bank of America
275 Valencia Blvd, 2nd Floor
Brea, CA 92823-6340

ABA Routing No.: 121000358
Credit Account Name: Greenhaven
Credit Account No.: 12351-55362
Escrow No.: 05-31600713-PA

These wiring instructions are for this specific transaction involving the Title Department of the Sacramento office of Chicago Title Company. These instructions therefore should not be used in other transactions without first verifying the information with our accounting department. It is imperative that the wire text be exactly as indicated. Any extraneous information may cause unnecessary delays in confirming the receipt of funds.

Note 5. Section 12413.1, California Insurance Code became effective January 1, 1990. This legislation deals with the disbursement of funds deposited with any title entity acting in an escrow or subescrow capacity. The law requires that all funds be deposited and collected by the title entity's escrow and/or subescrow account prior to disbursement of any funds. Some methods of funding may subject funds to a holding period which must expire before any funds may be disbursed. In order to avoid any such delays, all funding should be done through wire transfer, certified check or checks drawn on California financial institutions.

Note 6. The charge where an order is canceled after the issuance of the report of title, will be that amount which in the opinion of the Company is proper compensation for the services rendered or the purpose for which the report is used, but in no event shall said charge be less than the minimum amount required under Section 12404.1 of the Insurance Code of the State of California. If the report cannot be canceled "no fee" pursuant to the provisions of said Insurance Code, then the minimum cancellation fee shall be that permitted by law.

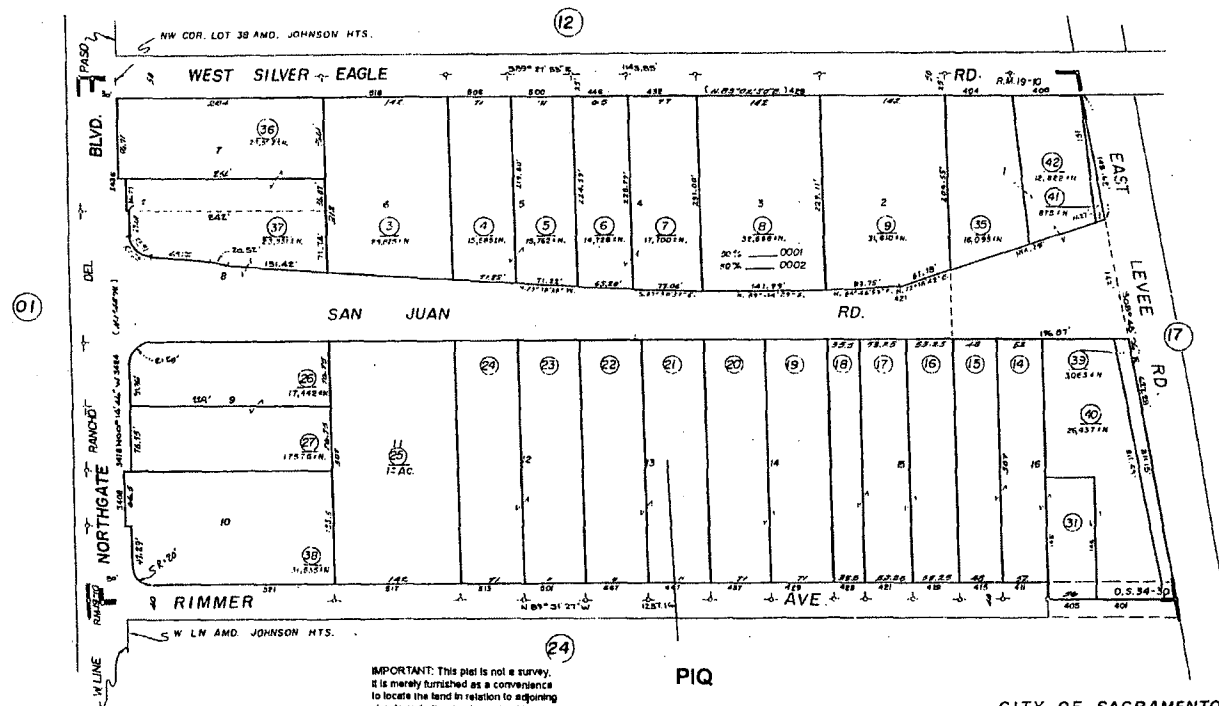
Note 7. California Revenue and Taxation Code Section 18662, effective January 1, 1994 and by amendment effective January 1, 2003, provides that the buyer in all sales of California Real Estate may be required to withhold 3 and 1/3% of the total sales price as California State Income Tax, subject to the various provisions of the law as therein contained.

Note 8. The current owner does NOT qualify for the \$20.00 discount pursuant to the coordinated stipulated judgments entered in actions filed by both the Attorney General and private class action plaintiffs for the herein described property.

POR. SEC. 3, RANCHO DEL PASO

Tax Area Code

250-16



IMPORTANT: This plat is not a survey.
It is merely furnished as a convenience
to locate the land in relation to adjoining
streets and other lands, and not to
guarantee dimensions, distances,
bearings or acreage.

O.S., Bk. 34 Pg. 30
Homeland Acres, R.M. Pl. 19, Pg. 10

NOTE: Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

CITY OF SACRAMENTO
Assessor's Map Bk. 250-Pg. 16
County of Sacramento, Calif.

P04-103
JANUARY 26, 2006
ATTACHMENT 9 - PRELIMINARY REPORT FOR SUBJECT PROPERTY

ITEM # 5
PAGE 61



ATTACHMENT 10 - GRANT DEED FOR NEIGHBORING PROPERTY

01/03/2006 12:25 5833729341

PARANJE

PAGE 23

Lot #22

RECORDING REQUESTED BOOK PAGE
 FIRST AMERICAN TITLE INS. CO. 93 06 10 1470
 AND WHEN RECORDED MAIL THIS DEED AND UNLESS OTHERWISE SHOWN BELOW, MAIL TAX STATEMENTS TO OFFICIAL RECORDS
 93 JUN 10 PM 1:02
 NAME ARTURO E. HERNANDEZ
 ADDRESS MAGDALENA S. HERNANDEZ
 CITY & STATE 447 RIMMER AVENUE SACRAMENTO, CA 95834
 Title Order No. 316577BR Escrow No.  

GRANT DEED

The undersigned declares that the documentary transfer tax is \$ 100.65 and is
 computed on the full value of the interest or property conveyed, or is
 computed on the full value less the value of liens or encumbrances remaining thereon at the time of sale. The land,
 tenements or realty is located in _____ and
 unincorporated area City of SACRAMENTO

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,
 ROLLIN R. OKERBERG and ANITA F. OKERBERG husband and wife as Joint Tenants

hereby GRANT(S) to

ARTURO E. HERNANDEZ AND MAGDALENA S. HERNANDEZ, HUSBAND AND WIFE AS JOINT TENANTS

the following described real property in the CITY OF SACRAMENTO
 county of Sacramento state of California:

THE WEST 1/2 OF LOT 11, AS SHOWN ON THE "PLAT OF HIGHLAND ACRES", RECORDED IN BOOK
 19 OF MAPS, MAP NO. 10, RECORDS OF SAID COUNTY.

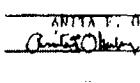
FIRST AMERICAN TITLE INSURANCE COMPANY

This is my neighbour's property.

Dated JANUARY 20, 1993


 ROLLIN R. OKERBERG

STATE OF CALIFORNIA }
 COUNTY OF Sacramento } ss.

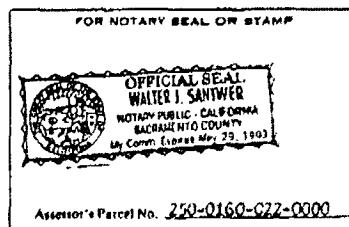
ANITA F. OKERBERG


On 23 January 1993 before me,
WALTER J. SANTWER Notary Public,
 personally appeared ROLLIN R. OKERBERG and
ANITA F. OKERBERG

personally known to me (or proved to me on the basis of satisfactory
 evidence) to be the person(s) whose name(s) is/are subscribed to the within
 instrument and acknowledged to me that he/she/they executed the same in
 his/her/their authorized capacity(ies), and that by his/her/their signature(s)
 on the instrument the person(s), or the entity upon behalf of which the
 person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Walter J. Santwer



MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE: IF NO PARTY(S) SHOWN, MAIL AS DIRECTED ABOVE

Name _____ Street Address _____ City & State _____

ATTACHMENT 11 - COUNTY PROPERTY TAX BILLS FOR SUBJECT PROPERTY

01/03/2006 12:25	5033729341	CODE AREA	PARANJPE	PAGE 08
250-0160-021-0000	04002771	03137	07/20/04	

SACRAMENTO COUNTY MARK NORRIS
SECURED PROPERTY TAX BILL 2004-2005
FOR FISCAL YEAR BEGINNING JULY 1, 2004 AND ENDING JUNE 30, 2005

TAXING AGENCY TAX RATE

COUNTY WIDE 13	1	1.0000
REGIONAL SAN BDS	2	.0070
GRANT JT HIGH GOB	1	.0173
LOS RIOS COLLEGE GOB	1	.0015

SUPPLEMENTAL ASSESSMENT
2003 - 2004PROPERTY LOCATION
RIMMER AV *1325 79 ✓*MAIL TO: PARANJPE SURESH C
14100 SW WAGONER PL
TIGARD CA 97224

ASSESSOR

GENERAL INFORMATION (916) 875-0700	TAX COLLECTOR
HOMEOWNER EXEMPTION (916) 875-0710	CURRENT YEAR PAYMENTS (916) 874-8822
ASSESSED VALUES (916) 875-0700	PRIOR YEAR DELINQUENCIES (916) 874-8822

ATTENTION

FOR FISCAL YEAR 2003 - 2004

Bill pay 300.96 12-1-04 ✓

SUPPLEMENTAL ASSESSMENT DUE TO CHANGE IN OWNERSHIP ON 11/19/03

@ Rimmer

(MONTHLY PRORATION) .58 X (DAYS OWNED FACTOR) 1.00
X \$518.90 (TAX AMT) = \$300.96
PARTIAL YEAR PRORATED ADJUSTED TAX AMOUNT.

* REFER TO ASSESSOR'S NOTICE OF SUPPLEMENTAL ASSESSMENT DATED - 05/28/04.

IMPORTANT INFORMATION ON REVERSE SIDE

PROPERTY DESCRIPTION	NEW APPRAISED VALUES	PRIOR VALUES	DIFFERENCE	TAX RATE	TAX AMOUNT
LAND IMPROVEMENTS FIXTURES PERSONAL PROPERTY	75,000	24,415	50,585	1.0258	518.90
SUBTOTAL	75,000	24,415	50,585		518.90
LESS HOMEOWNERS EXEMPTION OTHER EXEMPTION					
TOTALS	75,000	24,415	50,585		518.90

FIRST INSTALLMENT DUE 12/10/04 → 150.49

SECOND INSTALLMENT DUE 04/10/05 → 150.48

ADJUSTED TAX 300.96

TOTAL DUE → 300.96

FOLD AND DETACH HERE

PARCEL NUMBER	BILL NUMBER	DATE OF ISSUE
250-0160-021-0000	04002771	07/20/04

SACRAMENTO COUNTY SECURED PROPERTY TAX BILL 2004-2005

OWNER'S NAME:
PARANJPE SURESH CSECURED
SUPPLEMENTALPAYMENTS MUST BE RECEIVED IN TAX OFFICE BY 5:00 PM
OR POSTMARKED BY THE DUE DATE SPECIFIED. PAYMENTS
WITH LATE POSTMARKS WILL BE RETURNED FOR PENALTY.

SECOND INSTALLMENT PAYMENT

DUE 04/10/05	150.49
AFTER 04/10/05	
ADD 10% PENALTY + \$10.00 COST <i>pd 12/1/04</i>	25.05
TOTAL DELINQUENT INSTALLMENT DUE	175.53
ADDITIONAL PENALTIES ARE CHARGED IF TAXES ARE NOT PAID BY 06/30/05	

MAKE CHECK PAYABLE TO:
SACRAMENTO COUNTY TAX COLLECTOR
700 H STREET, ROOM 1710
SACRAMENTO, CALIFORNIA 95814-1280

04002771250016002100005 00001504800001755320504103

ATTACHMENT 11 - COUNTY PROPERTY TAX BILLS FOR SUBJECT PROPERTY

01/03/2006 12:25 5033729341 PARANUPE PAGE 09

PARCEL NUMBER 250-0160-021-0000	BILL NUMBER 04398631	AGENT RIMMER AV	BRANCH	PROPERTY LOCATION
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SACRAMENTO COUNTY
SECURED PROPERTY TAX BILL 2004-2005
FOR FISCAL YEAR BEGINNING JULY 1, 2004 AND ENDING JUNE 30, 2005

MARK NORRIS
TAX COLLECTOR

ANNUAL TAX BILL

ATTENTION

PLEASE NOTE
YOU WILL NOT RECEIVE A
SEPARATE BILL OR REMINDER
NOTICE FOR THE 2ND INSTALLMENT

IMPORTANT INFORMATION ON REVERSE SIDE

MAIL TO:
PARANUPE SURESH C
14100 SW WAGONER PL
TIGARD CA 97224

JANUARY 1, 2004, LIEN DATE ASSESSED VALUES				
LAND IMPROVEMENTS	75,000	FIXTURES		PERSONAL PROPERTY
ASSESSED VALUES SUBTOTAL		75,000		
LESS: HOMEOWNERS EXEMPTION		OTHER EXEMPTION		
NET ASSESSED VALUES		75,000		
TAX RATE AREA CODE 03137				
AD VALOREM TAXING AGENCY	TAX BASE	TAX RATE	TAX AMOUNT	
COUNTY WIDE 1%	1	1.00000	750.00	
GRANT JT HIGH GOB	1	.02220	16.65	
LOS RIOS COLLEGE GOB	1	.00600	4.50	
REGIONAL SAN BDS	2	.00670	5.03	
AD VALOREM TAXING AGENCY TOTAL		776.18		

LEVY #	STATUTORY	DIRECT LEVY NAME	PHONE NUMBER	LEVY AMOUNT
0659	CITY CODE 3.136	CITY LIBRARY SERVICES AD #96-02	916-264-2717	4.88
0738	WC 51895.5	RECLAMATION DISTRICT #1000 M & O	800-273-5167	42.20
0195	WC 12670.16	SAFCA CAPITAL ASSESSMENT #2	916-874-7606	10.45
0168	WC 12670.16	SAFCA O & M ASSESSMENT #1	916-874-7606	24.76
DIRECT LEVY TOTAL				82.30
ADJUSTMENT TO MAKE BILL EVEN				

*Rimmer Ave
Billpay
12-1-04
858-48 ✓*

PAY BY CREDIT CARD AT 1-888-877-3575

FIRST INSTALLMENT DUE 11/1/2004 → 429.24 → SECOND INSTALLMENT DUE 2/1/2005 → 429.24 → TOTAL DUE → 858.48

ADDITIONAL PENALTIES ARE CHARGED IF THE TAXES ARE NOT PAID IN FULL BY JUNE 30, 2005. PLEASE SEE PAYMENT INSTRUCTIONS ON THE BACK OF THIS TAX BILL. PARTIAL PAYMENTS CANNOT BE ACCEPTED AND WILL BE RETURNED. LATE PAYMENTS WILL BE RETURNED FOR PENALTY.

PARCEL NUMBER 250-0160-021-0000	BILL NUMBER 04398631	AGENT RIMMER AV	BRANCH
------------------------------------	-------------------------	--------------------	--------

SACRAMENTO COUNTY SECURED PROPERTY TAX BILL 2004-2005

PLEASE CHECK HERE IF YOUR MAILING ADDRESS HAS CHANGED AND COMPLETE THE FORM ON THE REVERSE SIDE.

OWNER'S NAME:
PARANUPE SURESH C

THE 2ND INSTALLMENT CANNOT BE ACCEPTED BEFORE THE 1ST INSTALLMENT

SECOND INSTALLMENT PAYMENT

MAKE CHECK PAYABLE TO SACRAMENTO COUNTY
AND MAIL TO: TAX COLLECTOR'S OFFICE
P O BOX 509, SACRAMENTO, CA 95812-0509

PAY	DUE FEB. 1, 2005 PAY BY APRIL 10, 2005	429.24
	AFTER APRIL 10, 2005 ADD 10% PENALTY + \$10.00 COST	52.92
	TOTAL DELINQUENT INSTALLMENT DUE AFTER APRIL 10, 2005	482.16

04398631250016002100003 0000429240000 21620504106

ATTACHMENT 11 – COUNTY PROPERTY TAX BILLS FOR SUBJECT PROPERTY

01/03/2006 12:25

5033729341

PARANJPE

PAGE 10



COUNTY OF SACRAMENTO
DEPARTMENT OF FINANCE
TAX COLLECTION AND LICENSING

700 H Street, Room 1710, Sacramento, California 95814
 P.O. Box 508, Sacramento, California 95812 - 0508

MARK NORRIS
 Director of Finance
 Tax and License Collector

LINDA S. PITTMAN
 Assistant Tax Collector

February 4, 2004

Suresh & Sheela Paranjpe
 14100 South West Wagoner Place
 Tigard, OR 97224-1796

Subject: **NOTICE OF ERROR IN PAYMENT**
PARCEL NUMBER(S) 250-0160-021-0000
BILL NUMBER(S) 03-397501

Billpay
2-11-04
✓ 166.35
Ken 4587
Rimmer

The enclosed check number(s) 0085716319 in the total amount of \$375.98 is/are being returned to you for the following reason(s):

- The payment submitted is an incorrect payment amount and we cannot accept partial payments for property taxes. Please remit the correct amount due of _____ with the enclosed stub(s) by _____.
- The payment submitted for the referenced tax bill was late and penalties have now been incurred. The envelope in which we received your payment bears a postmark after the pay by date. Pursuant to California Revenue and Taxation Code Section 2512, payments shall be deemed received on the date shown by the post office cancellation mark stamped upon the envelope containing the remittance. Please remit the payment amount of _____ with the enclosed payment stub by _____.
- The payment submitted is more than the amount due for the referenced tax bill. Please remit the correct payment amount of **\$166.35** with the enclosed payment stub(s) by **April 10, 2004**.
- The check sent is incomplete. Please remit the correct amount due of _____ with the enclosed stub(s) by _____.
- Other _____

In addition:

- Please be aware that additional tax bill(s) are owed on the referenced parcel(s) other than the tax bill(s) referenced above. Please contact our Automated Property Tax Information Line at 874-6622 for further information.

If your tax bill is payable in two installments, please be aware that second installment notices are not mailed to property owners. Please be sure to pay the second installment by the due date listed on the property tax bill.

To expedite responses to your written inquiries to the Tax Collector's Office, please be sure to include your daytime telephone number.

If you have any questions regarding the payment of property taxes, please contact one of my staff in the Secured Property Tax Unit at the letterhead address or phone (916) 874-6622.

Sincerely,

Mark Norris
 Director of Finance

By: C. Watson
 Secured Property Tax Unit

Enclosure

ATTACHMENT 11 - COUNTY PROPERTY TAX BILLS FOR SUBJECT PROPERTY

01/03/2006 12:25 5039729341 FARANJPE PAGE 11

PARCEL NUMBER 250-0160-021-0000	BILL NUMBER 05423086	AGENT FARANJPE	BRANCH	PROPERTY LOCATION RIMMER AV
------------------------------------	-------------------------	-------------------	--------	--------------------------------

SACRAMENTO COUNTY
SECURED PROPERTY TAX BILL 2005-2006
FOR FISCAL YEAR BEGINNING JULY 1, 2005 AND ENDING JUNE 30, 2006

ANNUAL TAX BILL

DAVE IRISH
DIRECTOR OF FINANCE
TAX COLLECTOR

ATTENTION

PLEASE NOTE
YOU WILL NOT RECEIVE A
SEPARATE BILL OR REMINDER
NOTICE FOR THE 2ND INSTALLMENT

IMPORTANT INFORMATION ON REVERSE SIDE

MAIL TO:
FARANJPE SURESH C
14100 SW WAGONER PL
TIGARD CA 97224

JANUARY 1, 2005, LIEN DATE ASSESSED VALUES			
LAND IMPROVEMENTS	76,500	FIXTURES	
PERSONAL PROPERTY			
ASSESSED VALUES SUBTOTAL	76,500	LESS HOMEOWNERS EXEMPTION	
OTHER EXEMPTION			
NET ASSESSED VALUES	76,500		

TAX RATE AREA CODE 03137

AD VALOREM TAXING AGENCY	TAX BASE	TAX RATE	TAX AMOUNT
COUNTY WIDE 1%	1	1.00000	765.00
GRANT JT HIGH GOB 2002	1	.02480	18.97
LOS RIOS COLLEGE GOB	1	.00320	2.45
REGIONAL SAN BDS	2	.00550	4.21
AD VALOREM TAXING AGENCY TOTAL			790.63

LEVY #	STATUTORY AUTHORITY	DIRECT LEVY NAME	PHONE NUMBER	LEVY AMOUNT
0659	CITY CODE 3.136.02	CITY LIBRARY SERVICES AD #96-02	925-867-3400	47.98
0738	WC 51895.5	RECLAMATION DISTRICT #1000 M & O	800-273-5167	42.20
0168	WC 12670.16	SAFCA O & M ASSESSMENT #1	916-874-7606	24.78
0195	WC 12670.16	SAFCA CAPITAL ASSESSMENT #2	916-874-7606	10.45

DIRECT LEVY TOTAL 82.40

ADJUSTMENT TO MAKE BILL EVEN .01

PAY BY CREDIT CARD AT 1-888-877-3575
OR BY E-CHECK AND CREDIT CARD AT
WWW.EPROPTAX.SACCOUNTY.NET

FIRST INSTALLMENT DUE 11/1/2005 PAY BY 12/10/2005 436.51

SECOND INSTALLMENT DUE 2/1/2006 PAY BY 4/10/2006 436.51

TOTAL DUE 873.02

ADDITIONAL PENALTIES ARE CHARGED IF THE TAXES ARE NOT PAID IN FULL BY JUNE 30, 2006. PLEASE SEE PAYMENT INSTRUCTIONS ON THE BACK OF THIS TAX BILL. PARTIAL PAYMENTS CANNOT BE ACCEPTED AND WILL BE RETURNED. LATE PAYMENTS WILL BE RETURNED FOR PENALTY.

PARCEL NUMBER 250-0160-021-0000	BILL NUMBER 05423086	AGENT FARANJPE	BRANCH
------------------------------------	-------------------------	-------------------	--------

SACRAMENTO COUNTY SECURED PROPERTY TAX BILL 2005-2006

PLEASE CHECK HERE IF YOUR MAILING ADDRESS HAS CHANGED AND COMPLETE THE FORM ON THE REVERSE SIDE

OWNER'S NAME:
FARANJPE SURESH C

THE 2ND INSTALLMENT CANNOT BE ACCEPTED BEFORE THE 1ST INSTALLMENT.

SECOND INSTALLMENT PAYMENT

MAKE CHECK PAYABLE TO SACRAMENTO COUNTY
AND MAIL TO: TAX COLLECTOR'S OFFICE
P O BOX 508, SACRAMENTO, CA 95812-0508

PAY BY APRIL 10, 2006	436.51
AFTER APRIL 10, 2006 ADD 10% PENALTY + \$10.00 COST	53.65
TOTAL DELINQUENT INSTALLMENT DUE AFTER APRIL 10, 2006	490.16

05423086250016002100006 00004365100004901620604102

ATTACHMENT 12 – METROSCAN PROPERTY PROFILE FOR SUBJECT PROPERTY

01/03/2006 13:25 5933723341

PARANJPE

PAGE 13

= METROSCAN PROPERTY PROFILE =
Sacramento (CA)

OWNERSHIP INFORMATION

Parcel Number : 250 0160 021 0000
 Owner : Paranjpe Suresh C
 CoOwner :
 Site Address : Rimmer Ave Sacramento 95834
 Mail Address : 14100 SW Wagoner Pl Tigard Or 97224
 Telephone : Owner :

SALES AND LOAN INFORMATION

Transferred	: 11/19/2003	Loan Amount	:
Document #	: 929	Lender	:
Sale Price	: \$70,000 Full	Loan Type	:
Deed Type	: Grant Deed	Interest Rate	:
% Owned	: 100	Vesting Type	: Sole And Separ
Refi Amount	:	Refi Lender	:
Refi Date	:	Refinanced	: N

ASSESSMENT AND TAX INFORMATION

Land	: \$76,500	Exempt Type	:
Structure	:	Exempt Amount	:
Other	:	Tax Rate Area	: 03137
Total	: \$76,500	05-06 Taxes	: \$873.02
% Improved	:		

PROPERTY DESCRIPTION

Map Grid	: 277 F4	Recorder's Bk-Pg	:
Census	: Tract : Block :	Sub/Plat	:
Zoning	: R1 City R1... Single Family		
Land Use	: IAEDFA Vacant, Residential <2ac Site		
Legal	: E 1/2 LOT 13 HOMELAND ACRES		

Page 1 of 2

ATTACHMENT 12 – METROSCAN PROPERTY PROFILE FOR SUBJECT PROPERTY

01/03/2006 10:25 5033729341

PARANLPE

PAGE 14

= METROSCAN PROPERTY PROFILE =
*Sacramento (CA)***DISTRICT INFORMATION**

Elem School : Del Paso Heights
High School : Grant Union
Com College : Los Rios

Fire :
Park/Rec :
Water : Co

PROPERTY CHARACTERISTICS

<i>Total Rooms :</i>	<i>Lot Acres :</i>	<i>Appliance :</i>
<i>Bedrooms :</i>	<i>Lot SqFt :</i>	<i>Patio :</i>
<i>Bathrooms :</i>	<i>Bldg SqFt :</i>	<i>Spa/HotTub :</i>
<i>Dining Room :</i>	<i>Additon SF :</i>	<i>Pool :</i>
<i>Family Room :</i>	<i>1st FlrSF :</i>	<i>CntlHt/AC :</i>
<i>Other Rooms :</i>	<i>2nd FlrSF :</i>	<i>Fireplace :</i>
<i>Utility Rooms :</i>	<i>Bsm1TotSF :</i>	<i>Foundation :</i>
<i>Stories :</i>	<i>Garage SF :</i>	<i>Year Built :</i>
<i>Units :</i>	<i>Roof Type :</i>	

Page 2 of 2

Information compiled from various sources. Real Estate Solutions makes no representations or warranties as to the accuracy or completeness of information contained in this report.

ATTACHMENT 13 – PUBLIC NOTICE (ENGLISH)

DEVELOPMENT SERVICES
DEPARTMENTCITY OF SACRAMENTO
CALIFORNIANew City Hall
915 I STREET, 3rd Floor
SACRAMENTO, CA
95814-2998PLANNING
916-808-5656
FAX 916-264-5328

PUBLIC NOTICE

December 20, 2005

Dear Property Owner

The Planning Division is notifying all owners of property within 500' of the proposed project (described below) that the Sacramento City Planning Commission will consider this proposal at a public hearing scheduled to begin at 5:30 P.M. in the Hearing Room, Historic City Hall, 915 I Street, 2nd Floor, Sacramento, California on January 12, 2006.

The proposed project is:

P040103 TITLE: PARANJPE RIMMER AVENUE
LOCATION: 447 RIMMER AVENUE (APN 250-0160-021)

Entitlements to allow the development of five single-family parcels and one common parcel in the proposed Single-Family Alternative (R-1A) zone in the South Natomas Community Plan Area. (District 1) APN: 250-0160-021.

- A. Environmental Determination: Exempt (CEQA Section 15332);
- B. Rezone 0.5± acre from Standard Single-Family (R-1) zone to Single-Family Alternative (R-1A) zone;
- C. Tentative Map to subdivide a 0.5± acre vacant parcel into six parcels in the Single-Family Alternative (R-1A) zone;
- D. Special Permit to develop single-family dwellings on five parcels in the Single-Family Alternative (R-1A) zone;
- E. Variance to allow issuance of building permits for buildings will less than twenty (20) feet of public street or approved private street frontage.

If you challenge the above requested entitlements in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Planning Commission at or prior to the public hearing.

If you have any concerns, questions or objections, or need further information, please contact David Hung at the City Planning Division, 916-808-5530, and please refer to the above 'P' number.

ATTACHMENT 13 – PUBLIC NOTICE (SPANISH)

DEPARTAMENTO DE SERVICIOS
DE URBANIZACIÓNCIUDAD DE SACRAMENTO
CALIFORNIANuevo Ayuntamiento
915 I STREET, 3^{er} Piso
SACRAMENTO, CA
95814-2998PLANEAMIENTO
916-808-5656
FAX 916-264-5328

AVISO PÚBLICO

16 de diciembre de 2005

Estimado propietario

La División de Planeamiento les está notificando a todos los propietarios de inmuebles dentro de los 500' pies del proyecto propuesto (descrito abajo) que la Comisión de Planeamiento de la Ciudad de Sacramento considerará esta propuesta en una audiencia pública programada para comenzar a las 5:30 PM. en el Salón de Audiencias, Ayuntamiento Histórico de la Ciudad, 915 I Street, 2nd Piso, Sacramento, California el 12 de enero de 2006.

El proyecto propuesto es:

P040103 TÍTULO: AVENIDA PARANJPE RIMMER
UBICACIÓN: 447 RIMMER AVENUE (APN 250-0160-021)

Autorización para permitir la urbanización de cinco parcelas de familias individuales y una parcela común en la propuesta zona Alternativa de Familia Individual (R-1A) en el Área del Plan de la Comunidad del Natomas Sur. (Distrito 1) APN: 250-0160-021.

- A. Determinación Ambiental: Exento (CEQA Sección 15332);
- B. Rezonificación de 0.5± acre de zona de Familia Individual Estándar (R-1) a zona Alternativa de Familia Individual (R-1A);
- C. Mapa tentativo para subdividir una parcela vacante de 0.5± acre en seis parcelas en zona Alternativa de Familia Individual (R-1A);
- D. Permiso especial para desarrollar viviendas para familia individual sobre cinco parcelas en la zona Alternativa de Familia Individual (R-1A);
- E. Desacuerdo de permitir la emisión de permisos de construcción para edificios con menos de veinte (20) pies de calle pública o calle privada aprobada en el frente.

Si usted demanda legalmente las autorizaciones requeridas arriba, puede verse limitado/a a plantear solamente aquellos asuntos que usted o alguien más planteó en la audiencia pública descrita en este aviso o en correspondencia escrita enviada a la Comisión de Planeamiento en la audiencia pública o antes de la misma.

Si tiene dudas, preguntas u objeciones, o necesita mayor información, por favor comuníquese con David Hung en la División de Planeamiento de la Ciudad, 916-808-5530, y por favor haga referencia al número 'P' de arriba.

ATTACHMENT 14 - MAILING LIST

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AVERY® 5160®

250-0121-042
PARTNERS ENTERPRISE
PO BOX 539
COLOMA , CA 95613

250-0160-003
SILVER EAGLE PARTNER
930 ALHAMBRA BL 260
SACRAMENTO , CA 95816

250-0160-037
FONG DIANE/EDWARD F/
3430 NORTHGATE BL
SACRAMENTO , CA 95834

250-0121-045
PEP BOYS MANNY MOE/J
3111 W ALLEGHENY AV
PHILADELPHIA , PA 19132

250-0160-004
MARTINEZ JESSE E/MAR
506 SILVER EAGLE RD
SACRAMENTO , CA 95834

250-0160-008-0001, -0002
SOLORIO CARMEN/ETAL
6 E AL CT
SACRAMENTO , CA 95838

250-0121-018
MARTINEZ JESSE E/MAR
501 W SILVER EAGLE RD
SACRAMENTO , CA 95834

250-0160-005
CLARKE FAMILY TRUST
3294 SALIDA WY
CAMERON PARK , CA 95682

250-0160-026
JEFFREY/MARGARET MOY
5 BLUE DUN CT
SACRAMENTO , CA 95831

250-0121-017
MARTINEZ JESSE E/MAR
501 W SILVER EAGLE R
SACRAMENTO , CA 95834

250-0160-006
VIRAMONTES REBECCA H
446 W SILVER EAGLE R
SACRAMENTO , CA 95834

250-0160-025
BRUNING LAURENCE R
555 BOWMAN AV
SACRAMENTO , CA 95833

250-0121-036
RAMON M MAGDALENO FA
449 WEST SILVER EAGLE RD
SACRAMENTO , CA 95834

250-0160-007
VALENZUELA GILBERT A
432 W SILVER EAGLE R
SACRAMENTO , CA 95834

250-0160-024
RODRIGUEZ CARMEN
1138 FAIRWEATHER DR
SACRAMENTO , CA 95833

250-0121-026
FIGUEROA ELISIA/YOLA
431 W SILVER EAGLE R
SACRAMENTO , CA 95834

250-0160-009
BURKS JAMES W/LAVON
421 SAN JUAN RD
SACRAMENTO , CA 95834

250-0160-023
LEASURE COMMUNITIES LLC
11295 SUNRISE GOLD CIR #A
RANCHO CORDOVA , CA 95742

250-0121-027
HOUSING AUTHORITY OF CITY OF SAC
630 I ST
SACRAMENTO , CA 95814

250-0160-035
SMITH GARLAND D/CHER
PO BOX 38925
SACRAMENTO , CA 95838

250-0160-022
HERNANDEZ ARTURO/MAGDALENA
P O BOX 340162
SACRAMENTO , CA 95834

250-0121-016
RAMON M/PETRA E MAGD
449 W SILVER EAGLE R
SACRAMENTO , CA 95834

250-0160-042
SMITH GARLAND D/CHER
3607 NICOLETTE WY
SACRAMENTO , CA 95838

250-0160-021
PARANJPE SURESH C
14100 SO WEST WAGONER PL
TIGARD , CA 97224

250-0121-043
SYSTEM CAPITAL REAL
ONE MCDONALDS PL
OAK BROOK , IL 60523

250-0160-041
SACRAMENTO AREA FLOOD CONTROL
1007 7TH ST 5TH FL
SACRAMENTO , CA 95814

250-0160-016, 017, 018, 019, 020
LAY HAZEL A
437 RIMMER AV
SACRAMENTO , CA 95834

250-0160-036
WEST SILVER EAGLE PA
930 ALHAMBRA BL 260
SACRAMENTO , CA 95816

250-0171-001
RECLAMATION DISTRICT
1633 GARDEN HWY
SACRAMENTO , CA 95833

250-0160-014
REYNOLDS GLEN M/ROBE
11300 COLOMA RD, SUITE A11
GOLD RIVER , CA 95670

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CITY OF SACRAMENTO
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SACRAMENTO , CA 95814

250-0240-016
PADILLA CLAUDIA/MARTINEZ OSCAR
400 RIMMER AV
SACRAMENTO , CA 95834

250-0240-066
JIMINEZ MIGUEL/ANTONIA
440 RIMMER AV
SACRAMENTO , CA 95834

JOE CONTRERAZ
GARDENLAND NORTHGATE N.A.
455 BOWMAN AVE
SACRAMENTO , CA 95833

250-0240-017, -078, -079
CLARK WALTER R/JOAN
340 RIMMER AV
SACRAMENTO , CA 95834

250-0240-067
TORRES RAUL L
436 RIMMER AV
SACRAMENTO , CA 95834

GNNA
450 W EL CAMINO AVE
SACRAMENTO , CA 95833

250-0240-009
MACIAS ANTONIO
428 RIMMER AV
SACRAMENTO , CA 95834

250-0160-015
SONHEIM KENNETH/SHIRLEY
P O BX 852
RIO LINDA , CA 95673

250-0240-064
XIONG MAYXAY
424 RIMMER AV
SACRAMENTO , CA 95834

250-0160-014
REYNOLDS GLEN M/ROBERT
411 RIMMER AV
SACRAMENTO , CA 95834

250-0240-069
PARTNERS PREFERRED Y
P O BX 25025
GLENDALE , CA 91201

250-0240-065
ESPARZA ANDRES/RACHE
420 RIMMER AV
SACRAMENTO , CA 95834

250-0160-040
CLARK WALTER J/JOAN
340 RIMMER AV
SACRAMENTO , CA 95834

250-0240-003
KETCHERSIDE DONALD
8940 DERBY CT
NEWCASTLE, CA 95658

250-0240-055
COMPTON FRANKLIN E
414 RIMMER AV
SACRAMENTO , CA 95834

SHELLY N BAILEY
BAILEY & ASSOCIATES
20 BUSINESS PARKWAY #300
SACRAMENTO , CA 95828

250-0240-004
HAWLEY WARREN/HAWLEY BONITA
2248 ENDEAVOR WY
SACRAMENTO , CA 95834

250-0240-015
FRANCO CECILIA
410 RIMMER AV
SACRAMENTO , CA 95834

250-0160-027
MOHAMMADI MEHDI/SIMI
3418 NORTHGATE BL
SACRAMENTO , CA 95834

250-0240-005
AMOS BOBBIE
512 RIMMER AV
SACRAMENTO , CA 95834

250-0160-038
NORTH RIM ASSOCIATES
8181 PLUMERIA AV
FAIR OAKS , CA 95628

250-0240-006
CAMPOS LUIS M/MARIA
512 RIMMER AV
SACRAMENTO , CA 95834

250-0240-036
NEVEROV PETER
1914 HILL RD
TULELAKE , CA 96134

250-0160-031
MATUATIA ELISAPETA/TEO ASUA
405 RIMMER AV
SACRAMENTO , CA 95834

250-0240-007
EDIGER L DONALD
4617 SHADE TREE WAY
ANTELOPE , CA 95843

250-0240-034
SANTIAGO LILLIAN
515 WINTERHAVEN AV
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Neighbor 518 RIMMER AVE Sacramento, CA 95833	Neighbor 401 RIMMER AVE Sacramento, CA 95833	Neighbor 507 WINTERHAVEN AV SACRAMENTO , CA 95833
Neighbor 501 RIMMER AVE Unit FRONT Sacramento, CA 95833	Neighbor 414 RIMMER AVE Unit A Sacramento, CA 95833	REYES LUIS G/MARIA C 501 WINTERHAVEN AV SACRAMENTO , CA 95833
Neighbor 508 RIMMER AVE Sacramento, CA 95833	Neighbor 414 RIMMER AVE Unit B Sacramento, CA 95833	HERNANDEZ ANTHONY J/ 2872 AQUINO DR SACRAMENTO , CA 95833
Neighbor 512 RIMMER AVE Apt FRNT Sacramento, CA 95833	Neighbor 415 RIMMER AVE Sacramento, CA 95833	LOPEZ VICKY 413 WINTERHAVEN AV SACRAMENTO , CA 95833
Neighbor 512 RIMMER AVE Unit BACK Sacramento, CA 95833	Neighbor 419 RIMMER AVE Sacramento, CA 95833	REYES RAFAEL TAMPAR 704 NORWICH CT SACRAMENTO , CA 95833
Neighbor 513 RIMMER AVE Sacramento, CA 95833	Neighbor 421 RIMMER AVE Sacramento, CA 95833	REYES RAFAEL TAMPAR 704 NORWICH CT SACRAMENTO , CA 95833
Neighbor 514 RIMMER AVE Apt FRNT Sacramento, CA 95833	Mark Walker 425 RIMMER AVE Sacramento, CA 95833	TORRES RUBEN 345 WINTERHAVEN AV SACRAMENTO , CA 95833
Neighbor 514 RIMMER AVE Unit BACK Sacramento, CA 95833	Neighbor 429 RIMMER AVE Sacramento, CA 95833	LOPEZ VICKY 413 WINTERHAVEN AV SACRAMENTO , CA 95833
Neighbor 516 RIMMER AVE Sacramento, CA 95833	Neighbor 437 RIMMER AVE Sacramento, CA 95833	MERINO ANA MARIA 409 WINTERHAVEN AV SACRAMENTO , CA 95833
Neighbor 517 RIMMER AVE Sacramento, CA 95833	Neighbor 447 RIMMER AVE Unit BACK Sacramento, CA 95833	REYES RAFAEL TAMPAR 704 NORWICH CT SACRAMENTO , CA 95833

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ATTACHMENT 15 – NEIGHBORHOOD PETITION**PETITION****RECALL OF PLAN TO BUILD 5 HOMES & STREET @ 447 RIMMER AVE**

1. This petition is to block the development of 5 residential houses being planned of development at 447 Rimmer ave.
2. This petition is to block development of a paved road at the above said address that has any type access to San Juan Ave.
3. The homeowners and residents of Rimmer Ave support this petition.
4. This petition is signed by the owner/residents.
5. Sufficient notice of this hearing was not given to all property owners on Rimmer ave.

**REASON TO DENY BUILDING OF MULTIPLE HOUSES
ON HALF ACRE LOT IN HOMELAND ACRES TRACT
OF SACRAMENTO, CALIFORNIA**

1. This neighborhood consist of single-family homes on quarter, half, and acre lots.
2. There are no more than 2 homes on any of these lots.
3. Rimmer ave. is a dead end street with limited access, which is already congested.
4. The present owner promised the past owner that he would build only a single-family dwelling and park his Boat.
5. Many owners bought homes in this neighborhood because of the limited access, including the new single family dwelling at 428 Rimmer ave. Which sits on a one-acre lot. They chose this block because of the setting upon which

ATTACHMENT 15 – NEIGHBORHOOD PETITION

Five houses on a half-acre with a street would demean the peaceful nature of the small neighborhood.

6. Loss of neighborhood close-knit community.
7. Adding an additional street on said lot will add to congestion under the guise of emergency entrance, may allow future permanent access as a thoroughfare to San Juan therefore once again adding congestion and disturbance of an even shorter dead-end street.
8. Some of the property owners on Rimmer & Silver Eagle Avenues have requested plans for developing the backhalf of there property for commercial use, these plans do not have roads to access Rimmer ave. nor any easements to San Juan. Allowing 447 Rimmer to build five houses would defeat this purpose and deny the city a greater revenue potential.
9. Adding a road is not a safety issue this is a single family neighborhood, fire trucks, garbage and recycling vehicles as well as street clean-up have always had good access and places to turn around in this neighborhood. The street is not justifiable.
10. Though it has been requested the city has not acted on traffic issues arising from congestion at San Juan and Northgate, which Rimmer is one block Southeast. Traffic blocks the intersection, and no enforcement of blocking of the said intersection occurs, thus leaving us without access to leave in a timely manner and in rush hour it is worse.

All of the owners did not receive sufficient notice of this hearing. We should post-poned any decisions to at this time until all owners can be properly notified and respond to this commission. The commission can render a decision not to allow five homes but one or two dwellings consistent with this neighborhood format and not allow this unwanted intrusion of the peacefulness in Homeland Acres tract of Sacramento, California

Supported by

Sandra Bruning

Hazel Lay

JDE 518 Rimmer Ave

ATTACHMENT 15 - NEIGHBORHOOD PETITION

PETITION FOR RECALL OF PLANNED DEVELOPMENT OF
447 RIMMER AVE

Ken and Shirley Sonheim

Claudia Padilla

The Lee's
 Lois MURGO 512 Rimmer Ave
 Maria G MURGO 512 Rimmer Ave
 Antonio Perez 470 Rimmer Ave.
 Arturo Hernandez
 447- Rimmer AV 9
 436 Rimmer AV
 Paul Lopez
 Tony Macias 428 Rimmer Ave Sto ca 95834
 415 Rimmer Ave
 Shirley Sonheim
 Ken Sonheim
 Magdalena Salas R. 447 Rimmer Ave
 Claudia Padilla
 400 Rimmer Ave
 Sacramento Ca 95834
 Debra Rodriguez
 419 Rimmer (resident)
 Angel Lay 437 Rimmer Ave.
 HOTEL

ATTACHMENT 16 - WEED ABATEMENT NOTICE FOR NEIGHBORING PROPERTY**NOTICE TO DESTROY WEEDS AND REMOVE RUBBISH, REFUSE AND/OR DIRT**

Notice is hereby given that on MARCH 04, 1997 the Council of the City of Sacramento passed a resolution declaring that weeds of a seasonal and recurrent nature were growing upon or in front of the parcel(s) designated below. Any weeds, rubbish, refuse and/or dirt upon or in front of the property in Sacramento, California and more particularly described in the resolution, constitute a public nuisance which must be abated. Otherwise, the nuisance(s) will be abated by the City of Sacramento, as authorized by the California Government Code, Section 39500 et. seq., at your expense. Reference is hereby made to said resolution for further particulars. A copy of the resolution is on file in the Office of the City Clerk of the City of Sacramento, City Hall, Sacramento, California.

Resolution Number: 97-103.

NOTE: IF THE CITY DOES THE ABATEMENT WORK ON YOUR LOT, YOU WILL BE CHARGED FOR ACTUAL COST INCURRED PLUS AN ADMINISTRATIVE CHARGE.

All property owners having any objection to the proposed removal of such weeds, rubbish, refuse and/or dirt, may submit a written objection to the City Clerk, 915 "I" Street, Room 304, Sacramento, California 95814, or the Sacramento Fire Department, Weed Abatement Section, 1231 "I" Street, Suite 401, Sacramento, California 95814, and/or attend a meeting of the Council of the City of Sacramento at 915 "I" Street on MARCH 25, 1997 at the hour of 07:00 o'clock p.m. or as soon thereafter as the matter can be heard, when your objections will be heard and given due consideration.

DATED: 03/07/97

VALERIE BURROWES
City Clerk

GARY COSTAMAGNA, Chief
Sacramento Fire Department

CITY OF SACRAMENTO
FIRE DEPARTMENT
Fire Prevention Division
1231 I Street, Suite 401
Sacramento, CA 95814-2979
(Address Correction Requested)

FIRST CLASS MAIL
U.S. POSTAGE
PAID 1 oz.
PERMIT No. 338
Sacramento, CA

ARTURO E/MAGD HERNANDEZ
447 RIMMER AV.
SACRAMENTO CA 95834

-- THIS NOTICE PERTAINS TO THE PARCEL(S) LISTED BELOW --

PARCEL NO. 250-0160-022-0000 LOCATION: 447 RIMMER AV

ATTACHMENT 16 – WEED ABATEMENT NOTICE FOR NEIGHBORING PROPERTY

WEED ABATEMENT NOTICE

We are sending this early notice in order for you to make arrangements to have your property mowed, disced or sprayed, and cleaned up by **April 15th**, weather permitting (refer to the standards for maintenance of lots listed below). After this date, all properties that received an abatement notice will be inspected. Any property not abated of weeds or cleaned at that time will be assigned to a City designated contractor for abatement and clean-up.

Property owners of lots abated by the City will be billed for the cost of the contractor's work in addition to a City administration charge. Charges for abatement of lots are determined by competitive bidding through sealed proposals issued by the City to a certified list of weed abatement contractors. Failure to pay the bill may result in a special assessment lien against the property.

The City of Sacramento is authorized by California Government Code Section 39500, to require you to clean up and remove any weeds and/or junk and debris on your property. However, if you have any objections to the proposed removal of such weeds, please refer to the reverse side of this notice for additional instructions.

You do not have to reply to this notice. Further information may be obtained by calling the Weed Abatement Service Line at (916) 264-5417.

STANDARDS FOR MAINTENANCE OF LOTS

All abatement work must conform to the following standards:

PROPERTIES NEED TO BE KEPT reasonably free of weeds, rubbish, refuse, debris and junk AT ALL TIMES in order to eliminate fire hazards and nuisances.

INITIAL ABATEMENTS MUST BE COMPLETED BY APRIL 15TH, weather permitting. A second abatement will usually be required later in the year to remove regrowth.

PROPERTIES WITH OCCUPIED OR UNOCCUPIED BUILDING(s) shall be disced, sprayed, or mowed as often as necessary to eliminate fire hazards and nuisances.

AGRICULTURAL LAND that abuts buildings, wooden fences, roads, etc. shall maintain a fifty (50) foot fire break. Please inform this office at once if you have a valuable crop planted on this parcel.

MOWED LOTS shall be cut to a height not to exceed two (2) inches and maintained so as to not constitute a fire hazard throughout the calendar year. Dry grass and/or weeds so mowed shall be removed from the premises.

DISCING, CULTIVATING OR ROTOTILLING OF LOTS should be performed with equipment that will cut the sod growth loose and bury under any growth existing at that time. Each discing should leave the property reasonably clean and smooth.

CHEMICAL SPRAYING OF LOTS should be done when the green vegetative growth is no taller than six (6) to eight (8) inches in height. Weeds that are sprayed and become a fire menace will be required to be removed either by mowing, discing, cultivating, and/or rototilling, and remain so throughout the calendar year.

ALL LOTS SHALL BE KEPT CLEAR of any accumulation of refuse, debris, and/or garbage throughout the calendar year. Dry leaves or wood chips hauled onto lots must be disced or turned under. Leaves or wood chips retained for mulch or compost, must be placed in a container so as to not constitute a fire hazard. Dirt hauled onto the property for any purpose shall be spread evenly over the property.

SIDEWALKS, PARKWAYS, AND ALLEYS are the responsibility of the property owner for proper maintenance. Weeds must be removed along sidewalks and fence lines.

ALL PARCELS up to fifteen (15) acres may be required to be totally abated. Parcels over fifteen (15) acres shall have a one hundred fifty (150) foot wide fire break disced or scraped around the perimeter. Scraped material shall be removed or spread evenly over the remaining unscraped property.
