

**CITY OF SACRAMENTO
DEPARTMENT OF PLANNING & DEVELOPMENT
ZONING ADMINISTRATOR
1231 I Street, Sacramento, CA 95814**

ACTION OF THE ZONING ADMINISTRATOR

On Tuesday, October 4, 1994, the Zoning Administrator approved with conditions a special permit to replace an existing garage for a single family residence for the project known as Z94-103. Findings of Fact and conditions of approval for the project are listed on pages 2 and 3.

Project Information

Request: Zoning Administrator Special Permit to replace a 500 square foot garage which is a non-conforming structure with a 200 square foot garage on 0.14± developed acres in the Standard Single Family (R-1) zone.

Location: 1908 42nd Street

Assessor's Parcel Number: 011-0032-012

Applicant:	Leone Kemper 1908 42nd Street Sacramento, CA 95819	Property Owner:	Same as Applicant
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General Plan Designation:	Low Density Residential (4-15 du/na)
Existing Land Use of Site:	Single Family Residence
Existing Zoning of Site:	Standard Single Family (R-1)

Surrounding Land Use and Zoning:

North: R-1; Single Family Residence
South: R-1; Single Family Residence
East: R-1; Single Family Residence
West: R-1; Single Family Residence

Property Dimensions:	50 feet x 120 feet
Property Area:	0.14± acres
Square Footage of Garage:	200 square feet
Height of Building:	One Story, 11 feet
Exterior Building Materials:	Stucco
Roof Materials:	Composition Shingles

Z94-103

October 4, 1994

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Topography: Flat
Street Improvements: Existing
Utilities: Existing

Project Plans: See Exhibits A-C (Photos of existing garage attached as Exhibit D)

Previous Files: None

Additional Information:

The applicant is requesting to replace an existing garage that is in a state of disrepair. The existing 500 square foot garage will be demolished and replaced with a new garage that is the smaller (200 square feet). The existing garage is 20 feet wide and 25 feet deep and located approximately one foot from the rear (west) property line and five feet from the south property line. There are alleys along the south and west property lines. The new garage will also be located one foot from the rear property line and six feet from the south property line (the applicant may decide to place at five feet, the location of the old garage). The existing garage is a non-conforming structure. The garage exceeds the allowed 25 per cent lot coverage for an accessory structure in the rear yard setback area. The lot is substandard in width and the existing location of the residence which sets 59 feet from the front property line prohibits a new garage to be constructed that meets all the Zoning Ordinance requirements. The Zoning Ordinance requires a Special Permit to replace a non-conforming structure.

The applicant has also applied for a building permit to expand the existing single family residence by adding a work room, bathroom and bedroom. This addition meets setback and lot coverage requirements. The Zoning Ordinance does require that all rooms within a dwelling unit must have their principal entrance from inside of the unit (Sec. 2-H-12). Therefore the addition must be constructed as modified on the plans submitted for building permits with an interior connection between the existing kitchen and new workroom. The dwelling continues to remain a single family residence.

Environmental Determination:

This project will not have a significant effect on the environment and is exempt from environmental review pursuant to State EIR Guidelines {California Environmental Quality Act, Section 15303(e)}.

Conditions of Approval:

1. The remaining rear yard shall be left open with no additional structures constructed or located in the area.
2. Size and location of the addition shall conform to the plans submitted. The applicant may reduce the six foot setback for the garage to five feet from the south property line as the old garage was five feet from the property line.

3. The applicant shall obtain all necessary building permits prior to commencing construction.

Findings of Fact:

1. The proposed project, as conditioned, is based upon sound principles of land use in that the existing garage is a nonconforming structure in an extreme state of disrepair and the proposed garage replacement will not substantially alter the characteristics of the site or the surrounding neighborhood.
2. The project will not be detrimental to the public health, safety, or welfare nor result in a nuisance in that:
 - a. the proposed garage replacement is compatible in size and style with the adjacent residential properties;
 - b. the existing garage that is in a state of disrepair will be replaced; and
 - c. the location of the existing residence is such that a new garage could not be located on the site that would meet all current Zoning Ordinance requirements.
3. The project is consistent with the General Plan which designates the subject site as Low Density Residential (4-15 du/na).

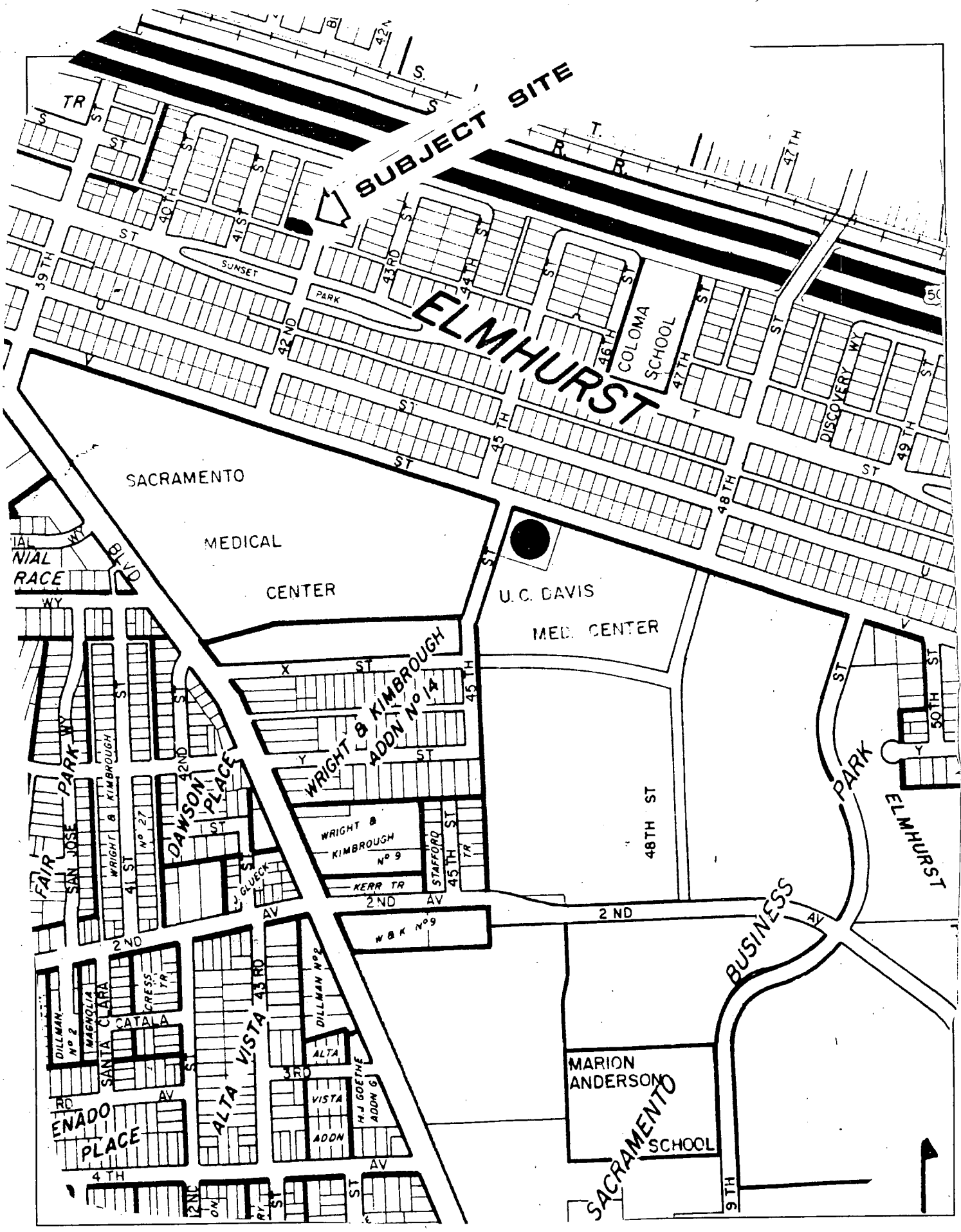


Joy D. Patterson
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building is required, the use shall be deemed established when the activity permitted has been commenced.

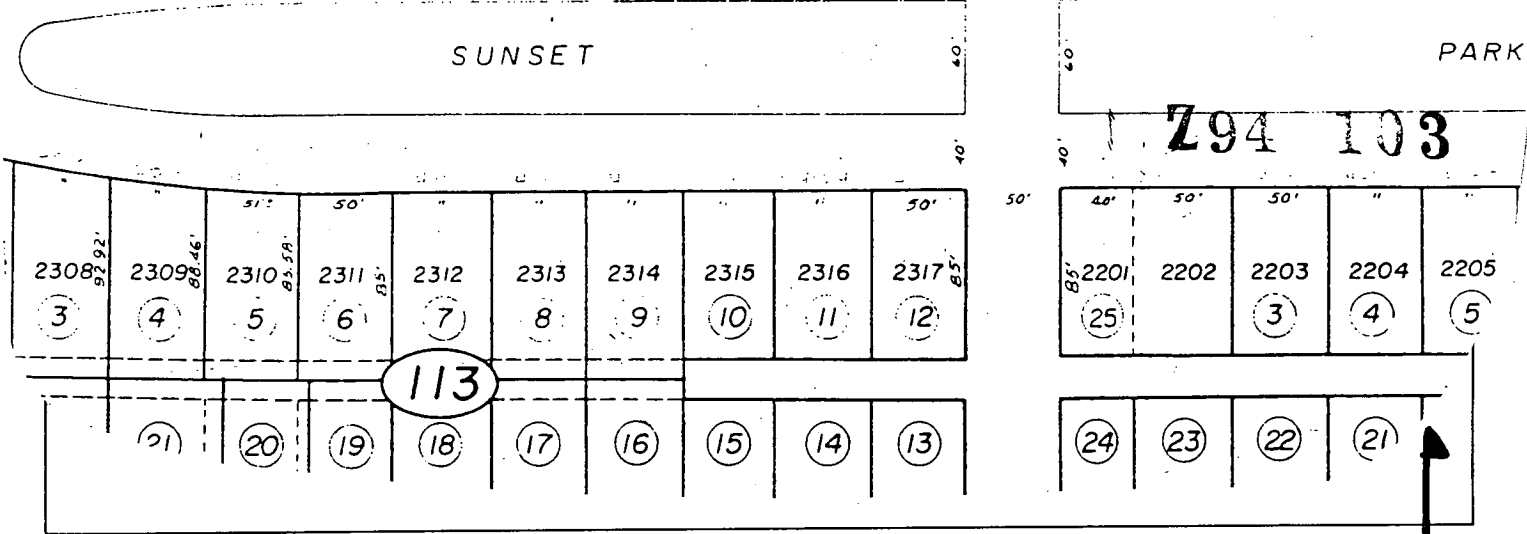
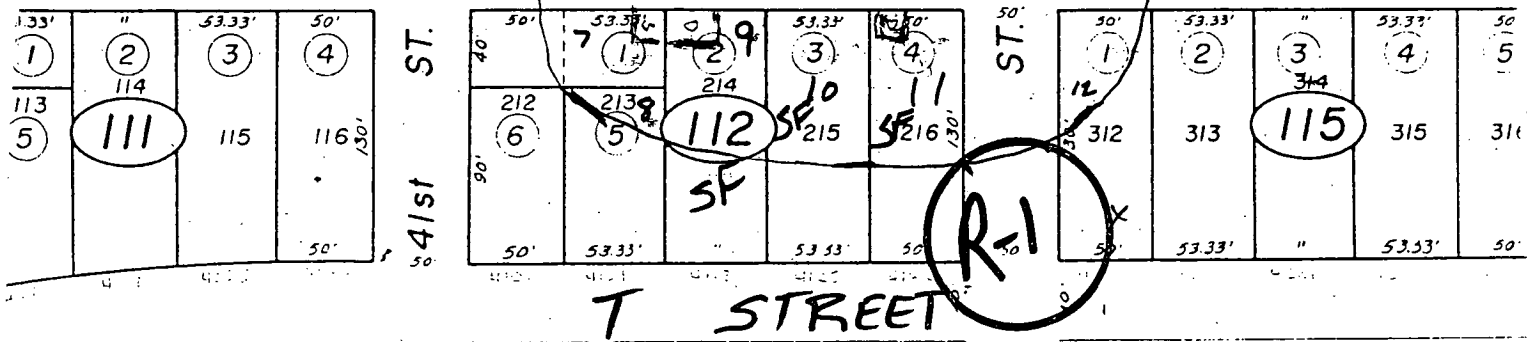
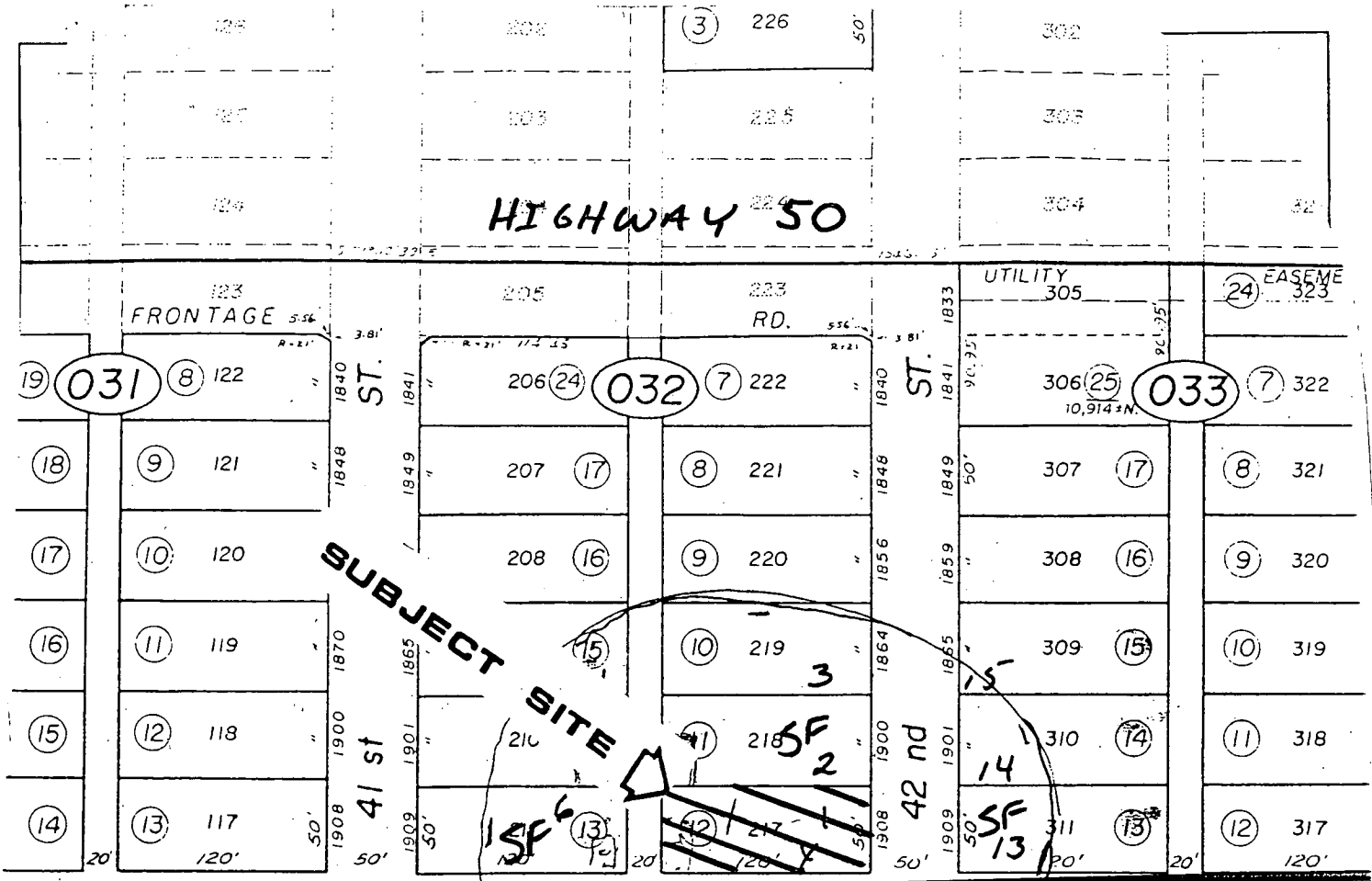
The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File
Applicant
ZA Log Book
Building Permit File



VICINITY MAP

HIGHWAY 50

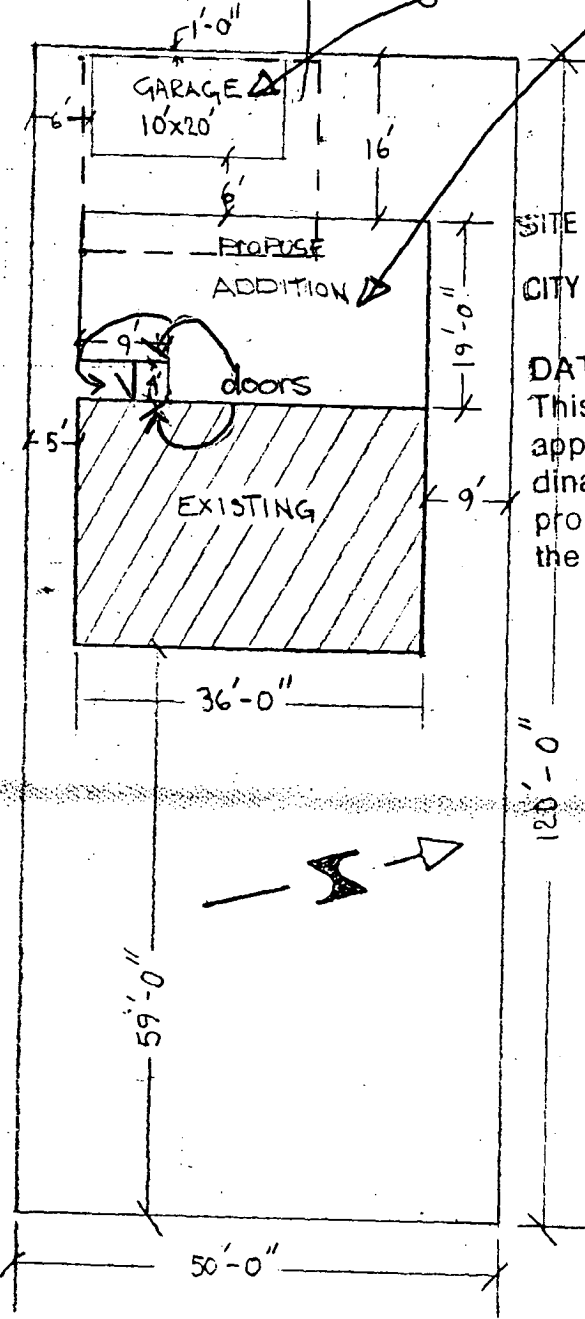


LAND USE & ZONING MAP

EXHIBIT - A

Approved for Room addition and garage slab only. Special Permit is required to complete garage.

--- Approximate location of old garage

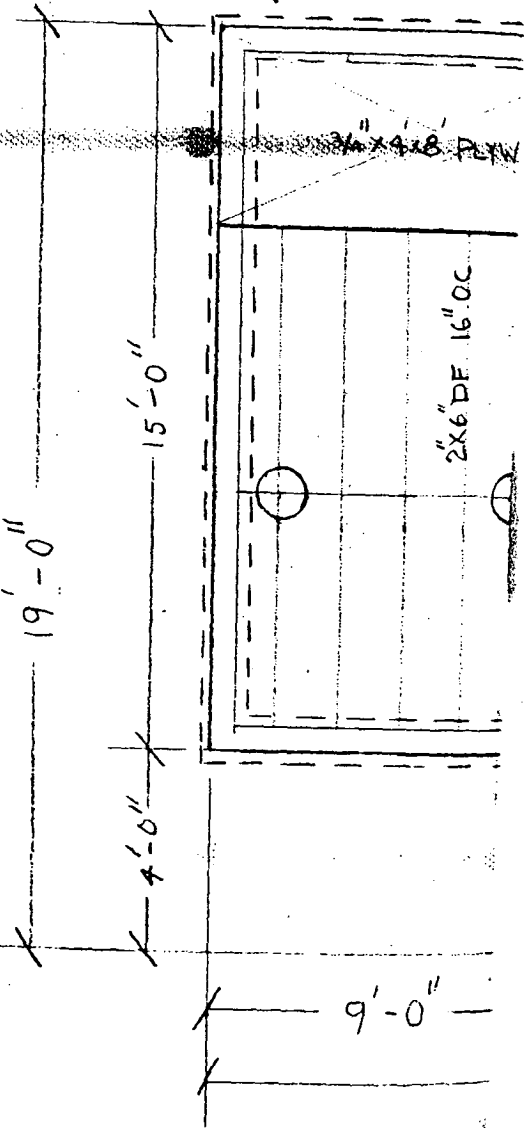


SITE PLAN APPROVED
CITY PLANNING COMMISSION

DATE: 9-12-94 BY L. Sousa

This approval shall not be held to permit or approve the violation of any state law, City Ordinance, or private agreement, and assumes that property lines and other information submitted by the applicant are accurate and complete.

L. Sousa



1908 42ND ST

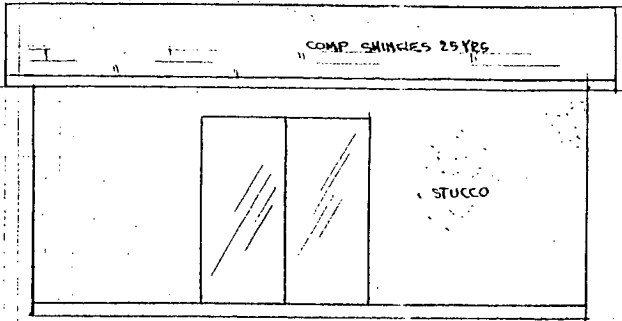
PLOT PLAN

1/20" = 1'-0"

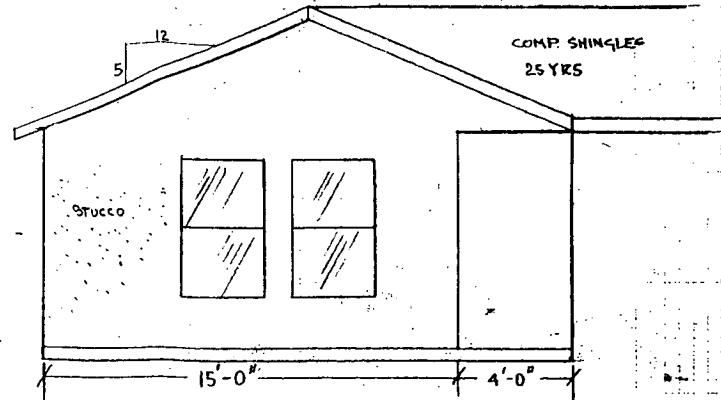
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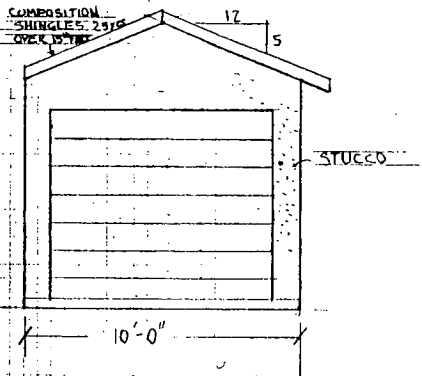
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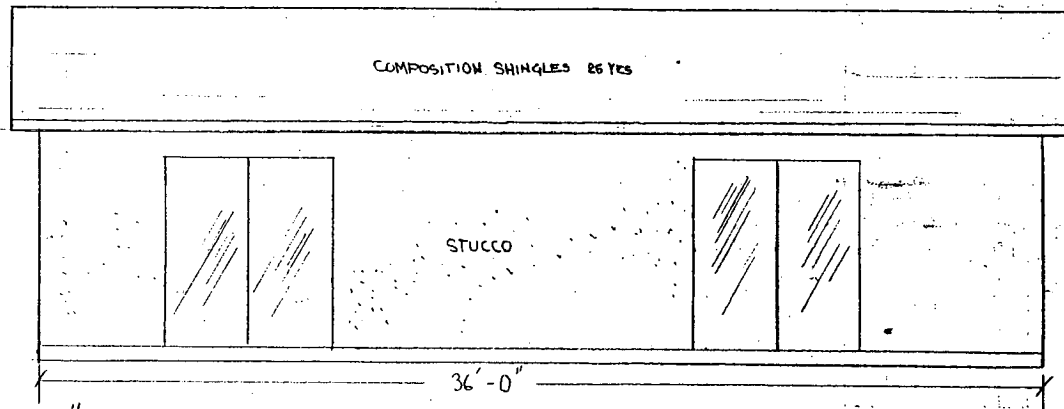
EAST ELEVATION PLAN GARAGE 1/4" = 1'-0"



SOUTH ELEVATION PLAN 1/4" = 1'-0"



SOUTH ELEVATION PLAN GARAGE 1/4" = 1'-0"



WEST ELEVATION PLAN 1/4" = 1'-0"

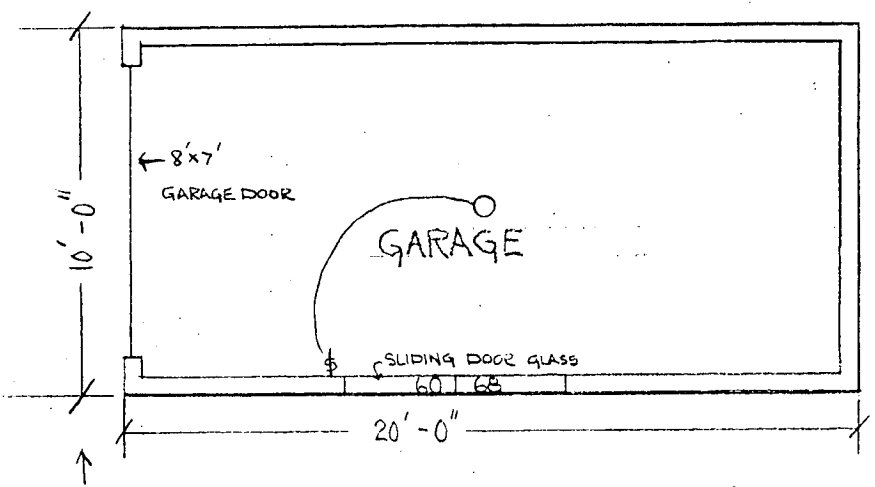
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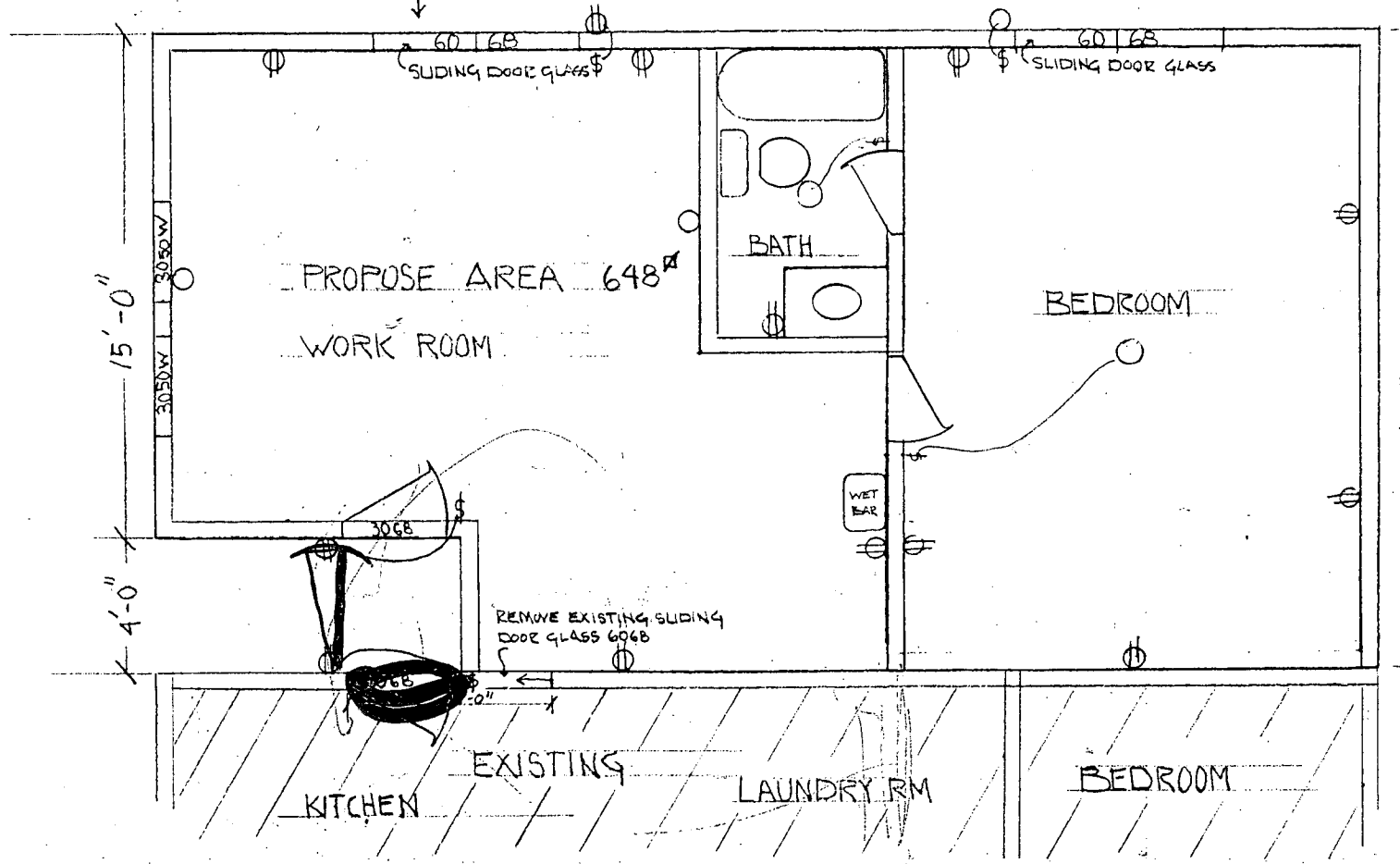
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EXHIBIT - B

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FLOOR & ELECTRICAL PLAN 1/4" = 1'-0"



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EXHIBIT - D

Existing Garage

