

**CITY OF SACRAMENTO  
DEVELOPMENT SERVICES DEPARTMENT  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Wednesday, June 22, 2005, the Zoning Administrator approved with conditions a time extension of previously approved residential project known as file Z05-041. Findings of Fact and conditions of approval are listed on pages 2-3.

**Project Information**

**Request:**        **Zoning Administrator Plan Review Time Extension** of three years for a previously approved residential development of eleven (11) single-family dwellings on 0.41± acres in the multi-family residential (R-3A) zone.

**Location:**        1410 & 1418 C Street (D2, Area 1); new addresses to be assigned to each individual lot

**Assessor's Parcel Number:**    002-0086-029 thru 039 (former 002-0086-007 and 027)

**Applicant:**        Shepard Johnson {contact: Lisa Goudy}  
                         P.O. Box 1307  
                         Roseville, CA 95678

**Owner:**            same as applicant above

**Project Planner:**    Philip Reed

**General Plan Designation:**        Industrial  
**Community Plan Designation:**    Multi-Family Residential (Central City Community Plan)  
**Existing Zoning of Site:**            Multi-Family Residential (R-3A)  
**Existing Land Use of Site:**        vacant

**Surrounding Land Use and Zoning:**

**North:**            M-1; parking  
**South:**           R-3A; residential  
**East:**            M-1; commercial  
**West:**            M-1; residential

**Property Dimensions:**            160 feet by 160 feet, 'L' shaped  
**Property Area:**                    0.4± acres  
**Topography:**                        Flat  
**Street Improvements:**            existing  
**Utilities:**                            existing

**Previous Files:**                    PB02-062; P02-118 (app'd February 25, 2003)

**Project Plans:**                    see Exhibits A-1 thru A-8

Additional Information:

The applicant filed a request to extend the expiration date of the original approval from February 25, 2005 to February 25, 2008 (three years). The applicant has completed the final map process to create the new lots and has submitted plans to the Building Division for plan-check and is proceeding with due diligence toward obtaining a building permit and otherwise complying with all requirements of their existing approval. It is likely that they will have building permits issued and start construction in the relatively near future.

The primary issue from the original approval that has been resolved at the time of the time extension is in regard to the garage and driveway arrangement for Lot 1 and the impact any driveway would have on an existing street tree in front of that lot. City of Sacramento Tree Services has been unwilling to permit removal of the tree, but the driveway arrangement proposed to avoid the tree was unacceptable to the Development Engineering and Finance (Public Works) Division. The City agreed to allow Lot 1 to go without a garage or driveway as a modification which would meet the requirements of both conditions E5 and E6 of the original approval. This can be allowed through application of the Zoning Code provision that single-family dwellings on lots in the Central City which are smaller than 3,200 square feet in area are not required to provide any parking. The Special Permit approval for the alternative ownership housing can therefore be modified in this regard without need for a Variance.

The subject site was posted and public notice was sent to all property owners within 100 feet of the subject property. Staff received no calls or other inquiries in response to the notice.

Zoning Administrator Hearing:

One member of the public was present at the hearing for this item to observe, but did not offer any comments or participate in the approval process in any way.

Agency Comments:

The project will remain subject to all of the original conditions of approval without modification, therefore comments from other departments and agencies were not necessary.

Environmental Determination


This project will not have a significant effect on the environment and is exempt from environmental review pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15332, in-fill.

Conditions of Approval:

1. Applicant shall obtain all necessary permits prior to commencing construction.
2. The Time Extension shall be subject to all conditions of the previous approval (P02-118) unless otherwise conditioned by this approval (Z05-041).
3. A garage and driveway shall not be provided for Parcel 1 and the hackberry tree located in front of Parcel 1 shall be preserved. This condition satisfies the requirements of Condition E5 and E6 of the previous approval (P02-118).

**Findings of Fact**

1. Granting the Special Permit is based upon sound principles of land use in that:
  - a. the project will add to the housing base within the Central City;
  - b. the project will provide much needed home ownership opportunities within the Central City;
  - c. the project is located adjacent to property which was already zoned for multi-family use.
  
2. Granting the Special Permit will not be detrimental to the public health, safety, or welfare, nor result in the creation of a public nuisance, in that:
  - a. adequate landscaping, fencing, and amenities will be provided within the property;
  - b. the houses will be constructed in such a manner that residents will not be adversely affected by the zero-lot-line setbacks;
  - c. the project is located in an area that currently has a mixture of residential, commercial, and industrial development.
  
3. The project is consistent with the General Plan and Central City Community Plan, which designate the site for "Industrial" and "Multi-Family Residential", respectively, in that:
  - a. the project is consistent with policies within the General Plan and Central City Community Plan which encourage the expansion of residential uses in mixed use settings and limiting and confining existing industrial areas within the Central City.

  
\_\_\_\_\_  
Joy D. Patterson  
Zoning Administrator

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File (copy)  
ZA Log Book (original)  
Applicant

# NORTH END LOFTS UNITS 1-3



## SHEET INDEX

### ARCHITECTURAL

- T1 GENERAL NOTES, ABBREVIATIONS, SYMBOLS, SHEET INDEX, AND SITE PLAN
- C-1 CIVIL COVERSHEET
- C-2 NOTES AND DETAILS
- C-3 UNDERGROUND IMPROVEMENTS DRAWINGS
- C-4 ALLEY IMPROVEMENTS
- C-5 SEWER IMPROVEMENTS
- C-6 NOTES AND DETAILS
- W-1 WATER IMPROVEMENTS
- W-2 DETAILS
- G-1 GRADING PLAN
- L-1 LANDSCAPE PLAN

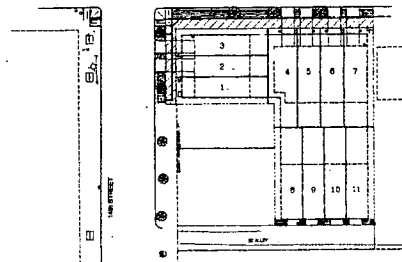
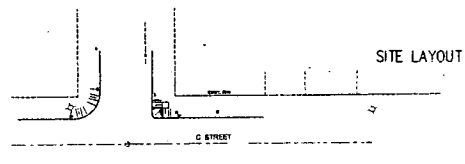
- 2.1 FIRST FLOOR PLAN
- 2.2 SECOND FLOOR PLAN
- 2.3 THRID FLOOR PLAN
- 2.4 OPTIONAL FLOOR PLANS
- 3.1 FRONT ELEVATION, RIGHT ELEVATION
- 3.2 REAR ELEVATION, LEFT ELEVATION
- 3.3 BUILDING SECTIONS
- 4.1 FIRST FLOOR ELECTRICAL PLAN
- 4.2 SECOND FLOOR ELECTRICAL PLAN
- 4.3 THRID FLOOR ELECTRICAL PLAN
- 4.4 OPTIONAL ELECTRICAL PLANS
- 5.1 FOUNDATION PLAN
- 5.2 SECOND FLOOR FRAMING PLAN
- 5.3 THRID FLOOR FRAMING PLAN
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- D1 ARCHITECTURAL WALL SECTIONS AND DETAILS
- D2 ARCHITECTURAL WALL SECTIONS AND DETAILS
- D3 ARCHITECTURAL WALL SECTIONS AND DETAILS
- SD1 STRUCTURAL NOTES
- SD2 STRUCTURAL DETAILS
- SD3 STRUCTURAL DETAILS

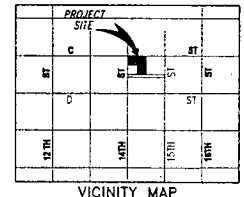


Exhibit A-1

NORTH END LOFTS  
14TH STREET AND "C" STREET  
SACRAMENTO CALIFORNIA

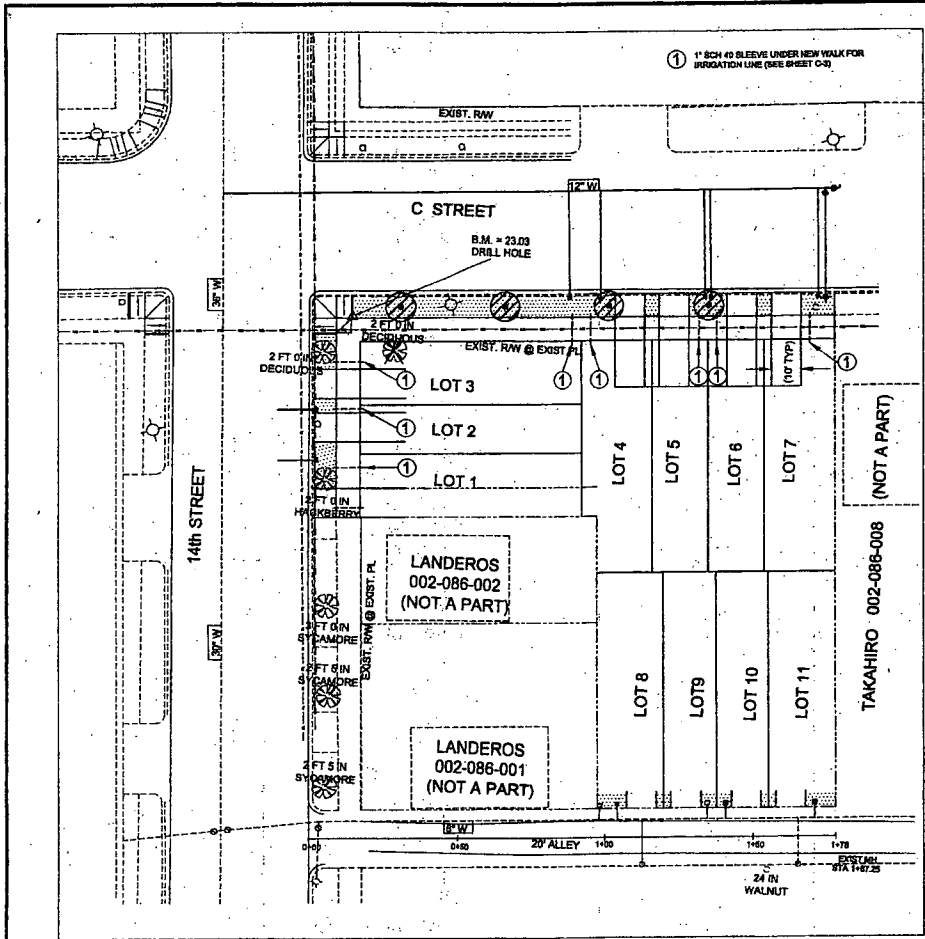


PROJECT DATA	
LOCATION	1415 - 1418 E STREET SACRAMENTO CALIFORNIA
DATE	02-16-05 - 02-16-05
SCALE	AS SHOWN
DATE	1998
CONSTRUCTION TYPE	TYPE A - NON RATED
COUNTY	GROUP B - DIV. 1
BUILDING HEIGHT	30'-0"



**Z05-041**  
REC'D Feb. 17, 2005

DATE	02-16-05	02-16-05
DATE	02-16-05	02-16-05
SHEET TITLE	GENERAL NOTES	SHEET
DATE	02-16-05	02-16-05
SHEET NO.	01	11



**LEGEND**

- EXISTING TREE
- TREE TO BE REMOVED
- PROPOSED TREE
- PROPOSED LAWN
- PROPOSED SHRUBS
- PROPOSED SLEEVE FOR IRRIGATION LINES

**PLANT LEGEND**

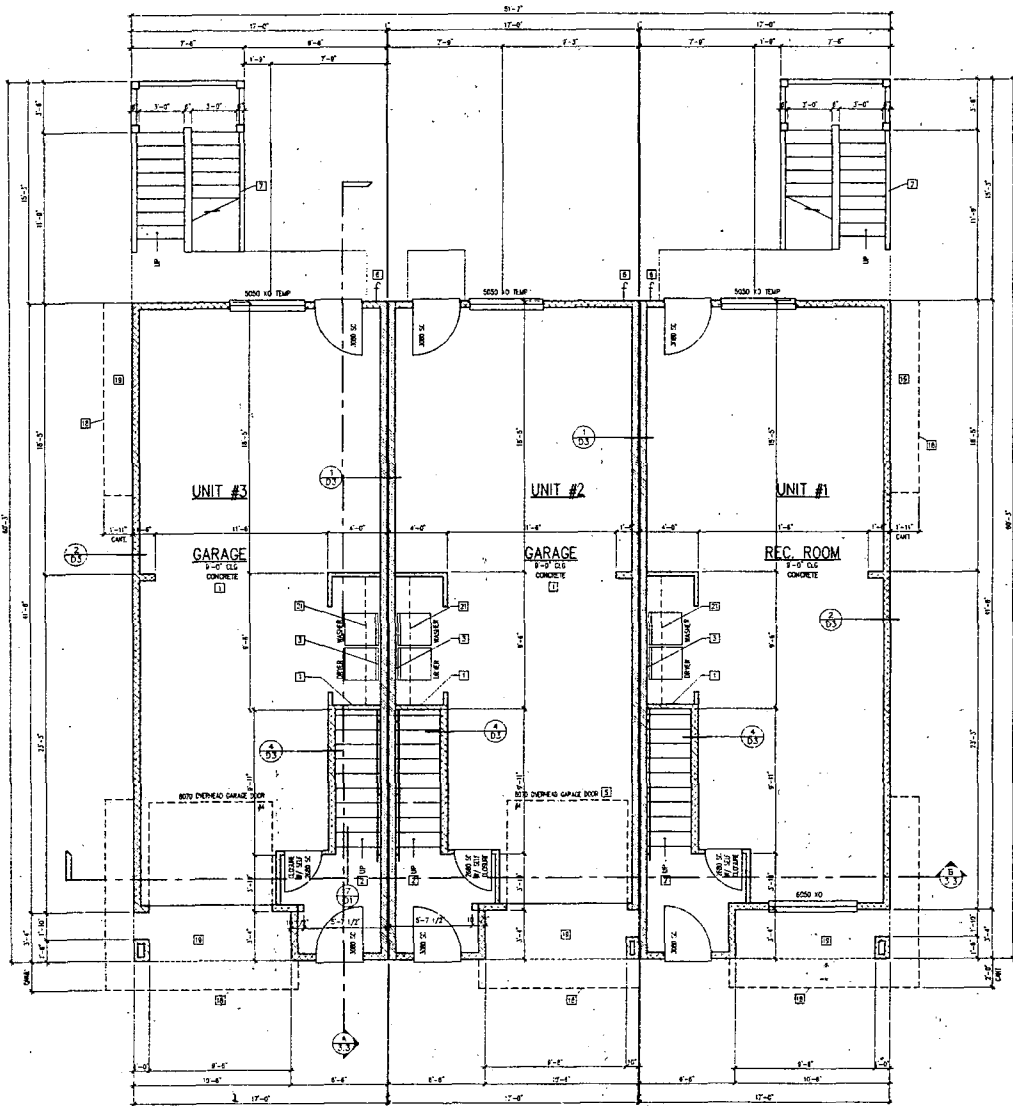
- TREES: CHINESE PISTACHE (*PISTACIA CHINENSIS*)  
HEIGHT: 30' TO 60', WIDTH: 50', WATER USE: LOW
- LAWN: BLUEGRASS (*FESTUCA OVINA*)  
WATER USE: LOW

**OFF SITE  
LANDSCAPE PLAN**

SCALE: 1 INCH = 20 FEET

<b>REVISIONS</b> NO. DESCRIPTION DATE BY		<b>BENCH MARK</b> ELEV. 23.03 DESCRIPTION DRILL HOLE IN E CURB OF HANDICAP RAMP FACING "C" ST. TIED TO CITY BM #297-E20 (HILTI NAIL, LIGHT BASE @ SW COR 18TH & 19TH).	<b>FIELD BOOK</b> SCALE HORIZ. 1"=20' VERT. N/A DATE 2/12/04	<b>CITY OF SACRAMENTO</b> <b>DEPARTMENT OF PUBLIC WORKS</b> DRAWN BY: ED BARENTHIN P.E. DATE 2/12/04 DESIGN BY: CRAIG A. ROWLAND P.E. R.C.E. C 038888 DATE 2/12/04 CHECKED BY: _____ DATE _____		<b>IMPROVEMENT PLANS</b> NORTH END LOFTS WASHINGTON DISTRICT HOUSING 1410 & 1412 "C" STREET	<b>NEW DIMENSIONS</b> 17824 LAKE ARTHUR ROAD APPLGATE, CA 95703 TEL: (530) 878-9980 FAX: (530) 878-4552	SHEET: 1-1 OF: 1 JUN: P996 P02-118
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BUILDING ONE  
FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
-14-

**Z05-041**  
REC'D Feb. 17, 2005

INT-10  
1. TYPICAL CONNECTION ASSEMBLY  
FOR JOIST/SLAB  
A. EXIST'G TYPE 1" CIPSP BOARD TOP OF GARAGE FACE OF HOUSE GARAGE CHIMNEY  
PROVIDE 2" X 4" TYPE 1" CIPSP BOARD OVER IN GARAGE OVERLAP AS REQUIRED BY COVERING.  
B. PROVIDE 2" X 4" TYPE 1" CIPSP BOARD OVER ON WALLS AT USABLE SPACE UNDER STAIRWAYS  
C. PROVIDE 2" X 4" TYPE 1" CIPSP BOARD AT CORNERS OF USABLE SPACE UNDER STAIRWAYS  
D. STAIRS AT WALLS 2" X 4" TYPE 1" CIPSP BOARD  
E. STAIRS NEXT DOOR SHALL BE 3/4" SLOPED METAL DECKING TO EXTERIOR WITH BACKWATER DRAIN FOR USE AND USE  
F. STAIRS AND BALCONY CONSTRUCTION PER L.A. CODE, UNLESS INDICATED OTHERWISE OR NOTED-EXISTING CIPSP BEAR TO A HEAD OF UNLESS NOTED OTHERWISE  
G. LINE OF OVERHEAD GARAGE DOOR IN OPEN POST  
H. EXTERIOR WALLS SHALL BE 12" HIGH-RISE BLOCK BACKUP PROTECTION STUDS  
I. PREMANUFACTURED METAL STAIR TREADS BY OTHER MANUFACTURER MANUFACTURED SPECIFICATIONS  
J. PAINT: EXHAUST FAN SHALL VENT TO EXTERIOR  
K. 3/4" HIGH-RISE BLOCK LOWER CABINETS WITH A WOODSIDE FRONT AND 1/2" HIGH-RISE BLOCK LOWER COUNTER TOP  
L. OPTIONAL WALL MOUNTED CABINET ABOVE  
M. 1/2" RATED MECHANICAL CHASE  
N. ATTIC ACCESS: SEE AS NOTED ON DRAWINGS  
O. 12" HIGH-RISE BLOCK LOWER CABINETS WITH A WOODSIDE FRONT AND 1/2" HIGH-RISE BLOCK LOWER COUNTER TOP AND STAIR IN ONE  
P. OPTIONAL METAL CABINET  
Q. PREMANUFACTURED 3/4" HIGH-RISE BLOCK METAL STAIR TREADS  
R. FRAME STAIRS WALLS UP TO THE BOTTOM OF STAIRS MUST BE METAL, NOT WOOD FLOOR/ROOF TRUSSES  
S. WATER HEATER: PROVIDE BURNER PLUMBING IN AND SEWER AND VENTING PER L.A. AND U.S.C. IN UNITS AND PROVIDE WATER HEATER WALL TO EXTERIOR SUPPLY WATER PRESSURE REDUCING VALVE, SUPPLY NOT TO EXCEED REGULATE HEAD, PROVIDE FOR VENTILATION PER LOCAL CODE. WATER HEATER LOCATED ON PLUMBING ON GROUND ABOVE BATH ROOM  
T. DASHED LINE INDICATES EXTENTS OF FLOOR ABOVE  
U. 5'-0" SLOPE WITH STAIRS FROM EXTERIOR TO HIGH-RISE BLOCK AND STAIRS TO BE STAIRS PER LOCAL CODE. STAIRS TO BE STAIRS PER LOCAL CODE. STAIRS TO BE STAIRS PER LOCAL CODE. STAIRS TO BE STAIRS PER LOCAL CODE.  
V. ALL EXTERIOR AND FINISHING SHALL BE PER LOCAL CODE AND ALL INTERIOR FINISHING SHALL BE PER LOCAL CODE.



- FLOOR PLAN NOTES:**
1. PROVIDE 2" X 4" TYPE 1" CIPSP BOARD TOP OF GARAGE FACE OF HOUSE GARAGE CHIMNEY
  2. PROVIDE 2" X 4" TYPE 1" CIPSP BOARD OVER IN GARAGE OVERLAP AS REQUIRED BY COVERING
  3. PROVIDE 2" X 4" TYPE 1" CIPSP BOARD OVER ON WALLS AT USABLE SPACE UNDER STAIRWAYS
  4. PROVIDE 2" X 4" TYPE 1" CIPSP BOARD AT CORNERS OF USABLE SPACE UNDER STAIRWAYS
  5. STAIRS AT WALLS 2" X 4" TYPE 1" CIPSP BOARD
  6. STAIRS NEXT DOOR SHALL BE 3/4" SLOPED METAL DECKING TO EXTERIOR WITH BACKWATER DRAIN FOR USE AND USE
  7. STAIRS AND BALCONY CONSTRUCTION PER L.A. CODE, UNLESS INDICATED OTHERWISE OR NOTED-EXISTING CIPSP BEAR TO A HEAD OF UNLESS NOTED OTHERWISE
  8. LINE OF OVERHEAD GARAGE DOOR IN OPEN POST
  9. EXTERIOR WALLS SHALL BE 12" HIGH-RISE BLOCK BACKUP PROTECTION STUDS
  10. PREMANUFACTURED METAL STAIR TREADS BY OTHER MANUFACTURER MANUFACTURED SPECIFICATIONS
  11. PAINT: EXHAUST FAN SHALL VENT TO EXTERIOR
  12. 3/4" HIGH-RISE BLOCK LOWER CABINETS WITH A WOODSIDE FRONT AND 1/2" HIGH-RISE BLOCK LOWER COUNTER TOP
  13. OPTIONAL WALL MOUNTED CABINET ABOVE
  14. 1/2" RATED MECHANICAL CHASE
  15. ATTIC ACCESS: SEE AS NOTED ON DRAWINGS
  16. 12" HIGH-RISE BLOCK LOWER CABINETS WITH A WOODSIDE FRONT AND 1/2" HIGH-RISE BLOCK LOWER COUNTER TOP AND STAIR IN ONE
  17. OPTIONAL METAL CABINET
  18. PREMANUFACTURED 3/4" HIGH-RISE BLOCK METAL STAIR TREADS
  19. FRAME STAIRS WALLS UP TO THE BOTTOM OF STAIRS MUST BE METAL, NOT WOOD FLOOR/ROOF TRUSSES
  20. WATER HEATER: PROVIDE BURNER PLUMBING IN AND SEWER AND VENTING PER L.A. AND U.S.C. IN UNITS AND PROVIDE WATER HEATER WALL TO EXTERIOR SUPPLY WATER PRESSURE REDUCING VALVE, SUPPLY NOT TO EXCEED REGULATE HEAD, PROVIDE FOR VENTILATION PER LOCAL CODE. WATER HEATER LOCATED ON PLUMBING ON GROUND ABOVE BATH ROOM
  21. DASHED LINE INDICATES EXTENTS OF FLOOR ABOVE
  22. 5'-0" SLOPE WITH STAIRS FROM EXTERIOR TO HIGH-RISE BLOCK AND STAIRS TO BE STAIRS PER LOCAL CODE. STAIRS TO BE STAIRS PER LOCAL CODE. STAIRS TO BE STAIRS PER LOCAL CODE. STAIRS TO BE STAIRS PER LOCAL CODE.
  23. ALL EXTERIOR AND FINISHING SHALL BE PER LOCAL CODE AND ALL INTERIOR FINISHING SHALL BE PER LOCAL CODE.

**SQUARE FOOTAGES**

UNIT # ONE	
PROVISIONAL FLOOR	710
FIRST FLOOR	490
THIRD FLOOR	800
TOTAL FINISH SPACE	2,000

**SQUARE FOOTAGES**

UNIT # TWO	
SECOND FLOOR	710
THIRD FLOOR	800
TOTAL FINISH SPACE	1,510

**SQUARE FOOTAGES**

UNIT # THREE	
SECOND FLOOR	710
THIRD FLOOR	800
TOTAL FINISH SPACE	1,510

USE INTER RATED THE WALL AT 16" O.C.  
USE WALL METAL FOR 1 HOUR CONSTRUCTION

FULL HEIGHT 2x4 WALL AT 16" O.C.

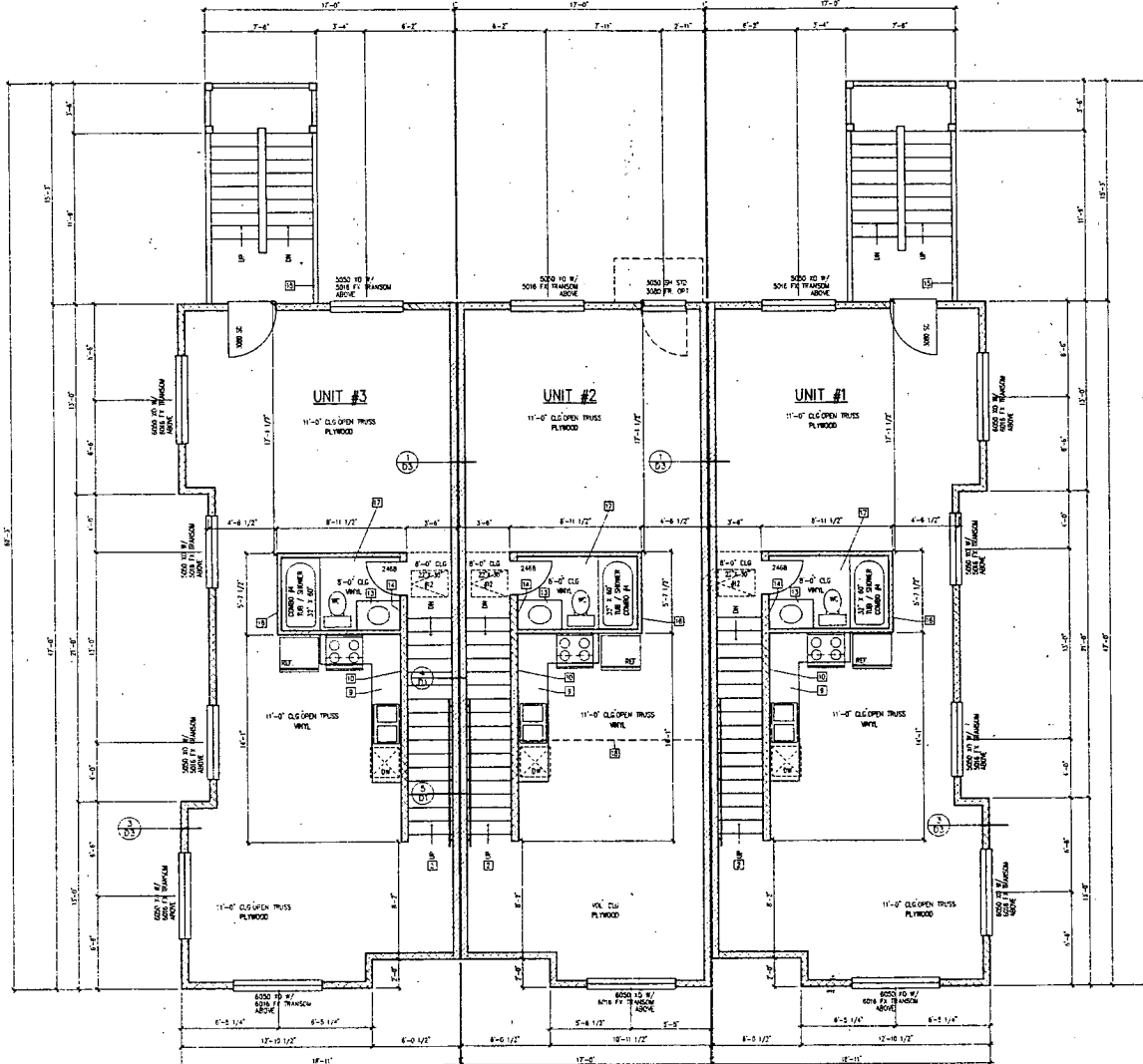
FULL HEIGHT 2x4 WALL AT 16" O.C.

47" HIGH 2x4 WALL AT 16" O.C.

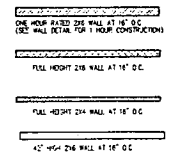
**Exhibit A-3**

**NORTH END LOFTS  
14TH STREET AND "C" STREET  
SACRAMENTO CALIFORNIA**

JOB NO.	220-18	SHEET	2.1
DRAWN BY	MD		
SHEET TITLE		PARTIAL FLOOR PLAN INTERIOR DIVISIONS	



BUILDING ONE  
SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"  
-PJ



SQUARE FOOTAGES

UNIT #	RESIDUAL ROOM	SECOND FLOOR	TOTAL LIVING SPACE	TOTAL LOAN SPACE
UNIT #1	730	730	1,460	730
UNIT #2	730	730	1,460	730
UNIT #3	730	730	1,460	730

SQUARE FOOTAGES

UNIT #	SECOND FLOOR	FIRST FLOOR	TOTAL LIVING SPACE	TOTAL LOAN SPACE
UNIT #1	730	730	1,460	730
UNIT #2	730	730	1,460	730
UNIT #3	730	730	1,460	730

SQUARE FOOTAGES

UNIT #	SECOND FLOOR	FIRST FLOOR	TOTAL LIVING SPACE	TOTAL LOAN SPACE
UNIT #1	730	730	1,460	730
UNIT #2	730	730	1,460	730
UNIT #3	730	730	1,460	730

- 475-79  
1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FINISHES AS NOTED ON DRAWINGS.  
2. ALL WALLS SHALL BE CONSTRUCTED WITH 1/2\"/>

- FLOOR PLAN NOTES:  
1. THE STAIRS SHALL BE CONSTRUCTED WITH 1/2\"/>

- NOTES:  
1. ALL FINISHES AND MATERIALS SHALL BE AS NOTED ON DRAWINGS.  
2. ALL WALLS SHALL BE CONSTRUCTED WITH 1/2\"/>

**INTEGRATED DESIGN INC.**  
P.O. Box 8222 916-781-1840  
Folsom CA 95758 916-939-7814  
E-MAIL: info@idinc.com WEBSITE: www.idinc.com

**Exhibit A-4**  
NORTH END LOFTS  
14TH STREET AND "C" STREET  
SACRAMENTO CALIFORNIA

205-18  
101  
SHEET TITLE: 2ND FLOOR PLAN SHEET: 2.2



Z05-041

June 22, 2005

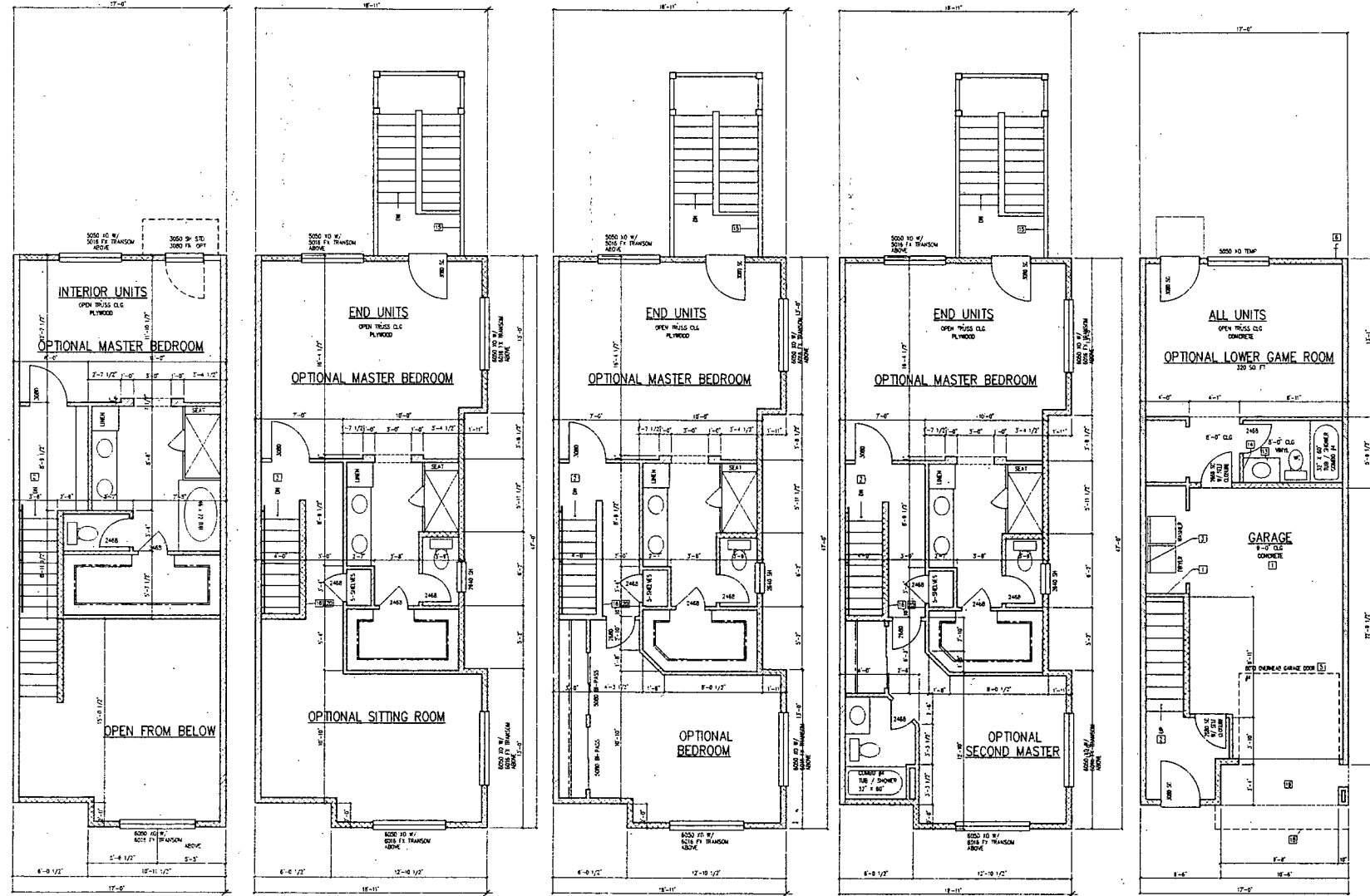
Item 4

# Z05-041

REC'D Feb. 17, 2005

**INTEGRATED DESIGN INC.**  
 P.O. Box 8222 916-761-1846  
 Folsom, CA 95763 916-930-7814  
 E-MAIL: info@integratedid.com  
 WWW: www.integratedid.com

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- 415-TIP**
1. **RYNAL CONSTRUCTION SYSTEMS**  
 1.1. **DOOR CONSTRUCTION**  
 GLASS 1" BALT. UP JOISTS  
 BRACING AND FRAMING MEMBERS AS NOTED ON  
 ROOF FRAMING PLAN  
 INSULATION PER ENERGY DOCUMENTATION  
 (ENR) 1/2" OSB SHEATH & FRAMING MEMBERS  
 2x 4 @ 12" O.C.  
 1.2. **EXTERIOR WALL CONSTRUCTION**  
 2x12 STUDS SYSTEM OVER 14" TO 20" WOOD  
 AND FURF. C&G  
 OVER 2 LAYER GAGE 3 PLY GYP BOARD OVER  
 FRAMING AS NOTED ON STRUCTURAL DRAWINGS  
 FINISH: 1/2" OSB & 1/2" OF JOBS  
 INSULATION PER ENERGY DOCUMENTATION  
 INTERIOR FINE 1/2" OSB BOARD  
 1.3. **FLOOR CONSTRUCTION**  
 2x8 ON-DECK FLOOR CONSTRUCTION AS NO  
 FOUNDATION PLAN  
 INSULATION PER ENERGY DOCUMENTATION  
 1/4" FLOOR SLAB 1/2" OSB BOARD

- FLOOR PLAN NOTES:**
1. **SEE SEPARATE**  
 A. PROVIDE 2x8 TYPE V LIPSAN BEAM @  
 ON GARAGE FACE OF HOSE/RACE CURB  
 PROVIDE 2x8 TYPE V LIPSAN BEAM OVER  
 CHIMNEY IN G.I. ON GARAGE CURB @  
 GARAGE EXTERIOR AS REQUIRED BY CODE  
 B. PROVIDE 2x8 TYPE V LIPSAN BEAM @  
 ON WALLS TO SEPARATE SPACE FROM STAIRS  
 PROVIDE (2) LIPSAN @ 12" TYPE V SYSTEM @  
 AT CHIMNEY OR SEPARATE SPACE FROM STAIRS  
 2. STAIRS IF WALL ARE V. MIN. 1/4" IN 1/2" @ 2"  
 DEEP. HAND RAILS SHALL BE OF SCHEDULE 40  
 EXTENDING TO EXTERIOR WITH ANCHORAGE IN  
 PER LOCAL CODE  
 3. PROVIDE AND INSTALL DOWN COMPOUNDING IN  
 A SLOTTED HOLE NON-ADJUSTABLE GYPSUM  
 INSULATION RECYCLED GYPSUM BOARD TO 1/4"  
 1/2" MINIMUM OVER FINISH SURFACE  
 4. LINE OF OPENING GARAGE DOOR IN OPEN G.  
 EXTERIOR WOOD BR. PROVIDE WITH NON-  
 BURSTING PROTECTION DEVICES  
 5. PREMANUFACTURED METAL CLAMP JOINED BY G.  
 METALS FOR MANUFACTURED SPECIFICATIONS  
 6. RANGE EXHAUST FAN SHALL GO OUT TO EXTER.  
 7. 30" HIGH OVERHEAD BRACE LOWER CABINETS WITH  
 A METAL BRACE HEAT AND SOUNDATION  
 LAUNDRY CLOSET TOP  
 8. OPTIONAL FLOOR FINISH LAUNDRY SPACE  
 9. 1/4" W/ FINISH MECHANICAL CHASE  
 10. 1/2" HIGH OVERHEAD BRACE LOWER CABINETS WITH  
 A METAL BRACE HEAT AND SOUNDATION  
 LAUNDRY CLOSET TOP AND TRIP W/ 3"  
 11. OPTIONAL W/ FINISH LAUNDRY SPACE  
 12. 1/4" W/ FINISH MECHANICAL CHASE  
 13. 1/2" HIGH OVERHEAD BRACE LOWER CABINETS WITH  
 A METAL BRACE HEAT AND SOUNDATION  
 LAUNDRY CLOSET TOP AND TRIP W/ 3"  
 14. OPTIONAL W/ FINISH LAUNDRY SPACE  
 15. 1/4" W/ FINISH MECHANICAL CHASE  
 16. 1/2" HIGH OVERHEAD BRACE LOWER CABINETS WITH  
 A METAL BRACE HEAT AND SOUNDATION  
 LAUNDRY CLOSET TOP AND TRIP W/ 3"  
 17. OPTIONAL W/ FINISH LAUNDRY SPACE  
 18. 1/4" W/ FINISH MECHANICAL CHASE  
 19. 1/2" HIGH OVERHEAD BRACE LOWER CABINETS WITH  
 A METAL BRACE HEAT AND SOUNDATION  
 LAUNDRY CLOSET TOP AND TRIP W/ 3"  
 20. OPTIONAL W/ FINISH LAUNDRY SPACE

**Exhibit A-6**

**NORTH END LOFTS**  
**14TH STREET AND "C" STREET**  
**SACRAMENTO CALIFORNIA**

ONE HOUR RATED 2 1/4" WALL AT 15' O.C.  
 (SEE WALL DETAIL FOR 1 HOUR CONSTRUCTION)

FULL HEIGHT 2 1/4" WALL AT 16' O.C.

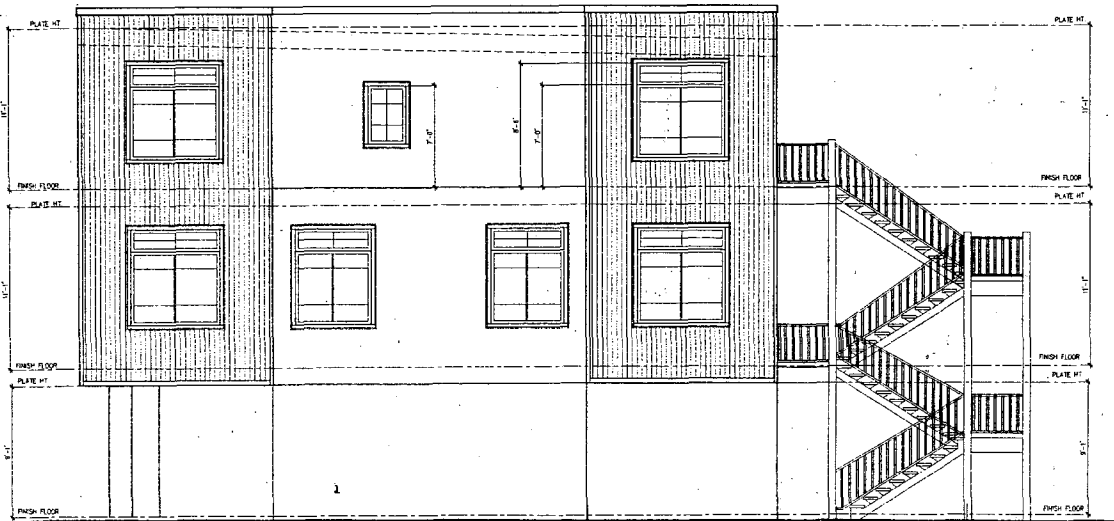
FULL HEIGHT 2 1/4" WALL AT 15' O.C.

42" HIGH 2 1/4" WALL AT 16' O.C.

DATE	2004-11-18
DRAWN BY	MS
CHECKED BY	MS
SHEET TITLE	FLOOR PLAN OPTIONS
SHEET	2.4



FRONT ELEVATION  
SCALE: 1/4"=1'-0"  
-EPA



RIGHT ELEVATION  
SCALE: 1/4"=1'-0"  
-EPA

EXTERIOR ELEVATION NOTES:

- NO. 101  
NO. 102
1. TYPICAL CONSTRUCTION ASSEMBLY:  
A. EXTERIOR CONSTRUCTION:  
CLASS 15' RISE OF ROOFING SHEATHING AND FRAMING MEMBERS AS NOTED ON ROOF FRAMING PLAN.  
INSULATION PER ENERGY DOCUMENTATION.  
CEILING: 1/2" EPSILON BOARD @ FRAMING MEMBERS.  
2. 1/2" EPSILON BOARD @ FRAMING MEMBERS.  
BY D.C.
  2. EXTERIOR WALL CONSTRUCTION:  
3-COAT STUCCO SYSTEM OVER 1/2" NO. 20 GA. WIRE MESH FABRIC OVER 1/2" EPSILON BOARD @ FRAMING MEMBERS.  
INSULATION PER ENERGY DOCUMENTATION.  
INTERIOR FINISH: 1/2" EPSILON BOARD.
  3. FLOOR CONSTRUCTION:  
SLAB-ON-GRADE FLOOR CONSTRUCTION AS NOTED.  
FOUNDATION PLAN.  
INSULATION PER ENERGY DOCUMENTATION.  
MAIN FLOOR CEILING: 1/2" EPSILON BOARD.

2. HANG CARVED LIME STONE DOOR TRIM
3. SHEET METAL PARAPET WALL CAP
4. DRAINAGE DOWNS PER STATE SYSTEMS OF ROOF
5. BURNE PARAPET WALL
6. COOPERATED METAL SIDING
7. METAL SECTIONAL ROOF PAINTED TO MATCH EXIST. COLOR OF BUILDING
8. OPTIONAL: RAILS ON WOODGRIP IRON BALCONY. PROVIDE GOLF BLOTTING IN WALL
9. PRE-FABRICATED STEEL STAIR ENDS. INSTALL PER MANUFACTURER'S SPECIFICATIONS
10. SUPPLIER AND DOWNS PRODUCTS TO BE GALVANNEED AND RED RIB STORM DRAIN SYSTEM
11. 1" CONTROL JOINT IN STUCCO

INTEGRATED DESIGN INC.  
P.O. Box 4722 916-781-1940  
Folsom, CA 95763 916-935-7814  
E-MAIL: info@id-inc.com  
www.id-inc.com

Exhibit A-7

SQUARE FOOTAGES

UNIT # ONE	
RESIDENTIAL ROOM	750
SECOND FLOOR	783
THIRD FLOOR	652
TANDEM GARAGE	2,500
TOTAL	

SQUARE FOOTAGES

UNIT # THREE	
RESIDENTIAL ROOM	750
SECOND FLOOR	783
THIRD FLOOR	652
TANDEM GARAGE	2,500
TOTAL	

SQUARE FOOTAGES

UNIT # THREE	
RESIDENTIAL ROOM	750
SECOND FLOOR	783
THIRD FLOOR	652
TANDEM GARAGE	2,500
TOTAL	

NORTH END LOFTS  
NORTH STREET AND "C" STREET  
14TH STREET  
SACRAMENTO CALIFORNIA

DATE	NOV 11 2004
SCALE	AS SHOWN
SHEET TITLE	FRONT/LEFT ELEVATION
SHEET	3.1

