

**CITY OF SACRAMENTO  
DEPARTMENT OF DEVELOPMENT SERVICES  
ZONING ADMINISTRATOR  
1231 I Street, Sacramento, CA 95814**

**ACTION OF THE ZONING ADMINISTRATOR**

On Thursday, October 21, 2004, the Zoning Administrator approved with conditions a special permit to increase the overall lot coverage for an addition to a detached garage in the Standard Single Family (R-1) zone for the project known as (File Z04-321). Findings of Fact and conditions of approval for the project are listed on pages 2-3.

**Project Information**

Request: **Zoning Administrator Special Permit** to increase the overall lot coverage from 40% to 41.3% for a 330 square foot detached garage on 0.13± acres in the Standard Single Family (R-1) zone.

Location: 537 38<sup>th</sup> Street (D3, Area 1)

Assessor's Parcel Number: 004-0232-016

Applicant: James Plumb Associates {Contact: Kate Lenox}  
1249 32<sup>nd</sup> Street  
Sacramento, CA 95816

Property Owner: Neil Boysen / Tana Castro  
537 38<sup>th</sup> Street  
Sacramento, CA 95816

Project Planner: Lindsey Alagozian

General Plan Designation: Low Density Residential 4-15 du/na  
Existing Land Use of Site: Single Family Residence  
Existing Zoning of Site: Standard Single Family (R-1)

**Surrounding Land Use and Zoning:**

North: R-1; Residential  
South: R-1; Residential  
East: R-1; Residential  
West: R-1; Residential

Property Dimensions: 40 feet x 145 feet  
Property Area: 0.13± acres  
Square Footage of SFR: 2,079 square feet  
Height of Building: One Story  
Topography: Flat  
Street Improvements: Existing  
Utilities: Existing

Project Plans: See Exhibit A thru D

Previous Files: None

Additional Information The applicant is requesting to demolish an existing detached garage located behind a single family residence and reconstruct the structure with additional square footage. The proposed garage will be 330 square feet (11 feet by 30 feet) in size and will conform to the accessory structure height regulations. The garage project will increase the overall lot coverage to 41.3% for the site. According to the Zoning Ordinance, the overall lot coverage in this zone shall not exceed 40%. Therefore, the applicant is requesting a special permit to increase the overall lot coverage by 1.3%. The applicants are also proposing an addition to the main house. This project is being handled under a separate permit and does not require any planning entitlements.

Early project notification was sent to the East Sacramento Improvement Association, McKinley Elvas Neighborhood Alliance, and Friends of H Street. The associations had no objection to the project. The site was posted and property owners within 100 feet of the subject site were notified. Staff received one phone call requesting additional information about the project but had no objection to the project.

Environmental Determination This project will not have a significant effect on the environment and is exempt from environmental review pursuant to California Environmental Quality Act Guidelines, Section 15301 (a), Existing Facilities.

**Conditions of Approval:**

1. Size and location of the detached garage shall conform to the plans submitted.
2. The applicant shall obtain the necessary building permits prior to commencing construction.
3. No mechanical equipment shall be placed on the roof. Any necessary roof vents shall be painted to match the roof color.
4. The siding material shall be stucco and lap wood siding as shown on plans.
5. The roof material shall be minimum 30-year dimensional laminated composition as shown on plans.
6. Should the applicant seek to convert the detached garage into a living unit, additional planning review and approval is required.

**Building**

7. A parapet shall be installed on the fire rated walls per CBC Section 709.4 (Advisory Note)

**Findings of Fact**

1. Granting the Special Permit is based upon sound principles of land use in that:

- a. the proposed project is compatible in design with the existing property and existing surrounding properties in the neighborhood; and
  - b. the project is designed to preserve the original scale and massing.
2. Granting the Special Permit would not be detrimental to the public welfare nor result in the creation of a public nuisance in that:
- a. the use will not generate significant impacts to the nearby residential properties; and
  - b. adequate parking is provided; and
  - c. the increased lot coverage is minimal and will not be noticeable to the surrounding community.
3. The project is consistent with the General Plan which designates the site as Low Density Residential 4-15 du/na.

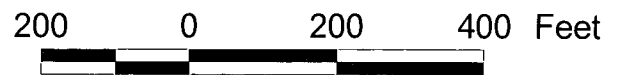
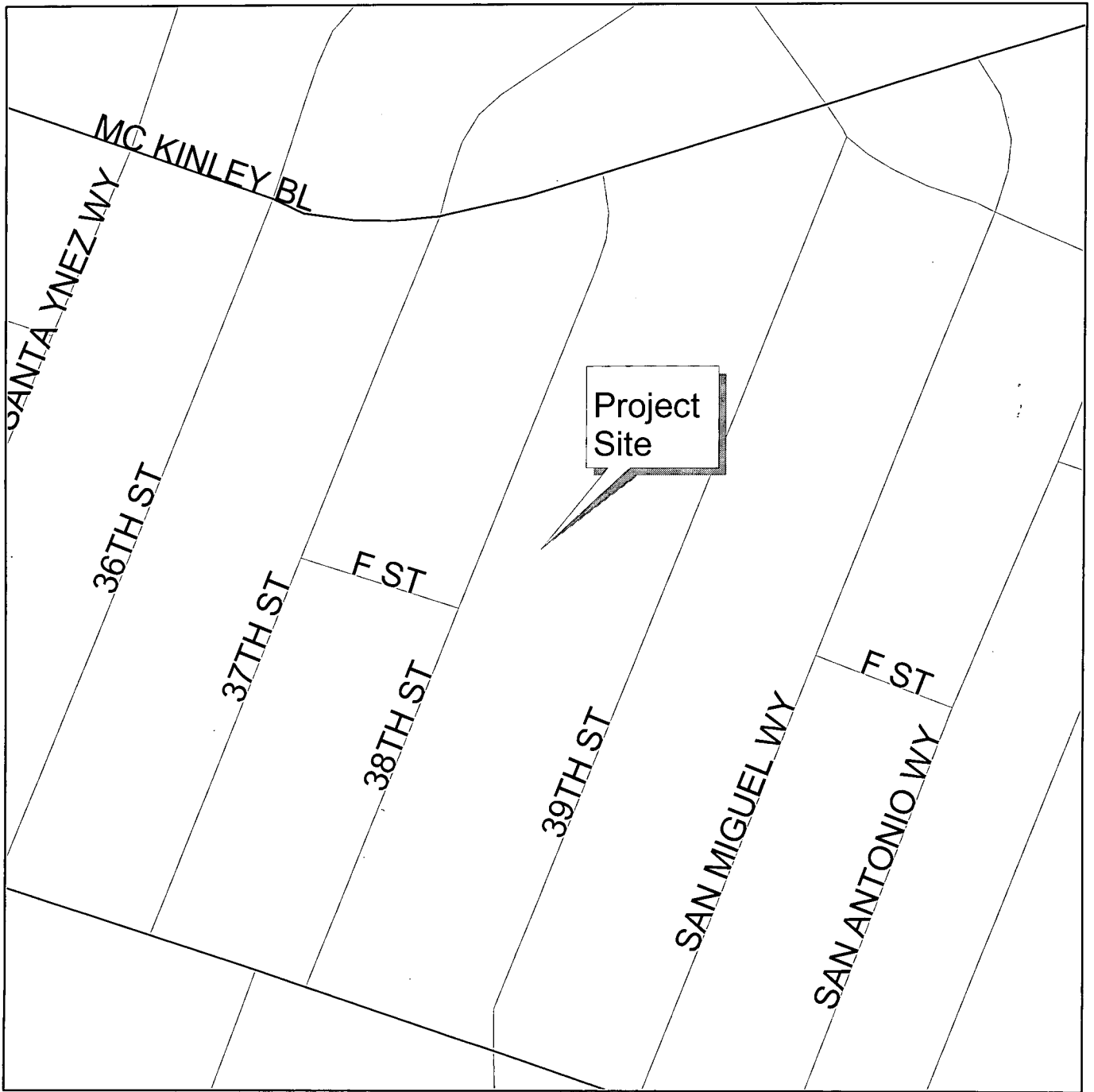



Joy D. Patterson  
Zoning Administrator

A use for which a Special Permit is granted must be established within two years after such permit is approved. If such use is not so established the Special Permit shall be deemed to have expired and shall be null and void. A Special Permit use which requires a Building Permit shall be deemed established when such Building Permit is secured and construction thereunder physically commenced. If no building permit is required the use shall be deemed established when the activity permitted has been commenced.

The decision of the Zoning Administrator may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator is final.

cc: File (original)  
ZA Log Book  
Applicant

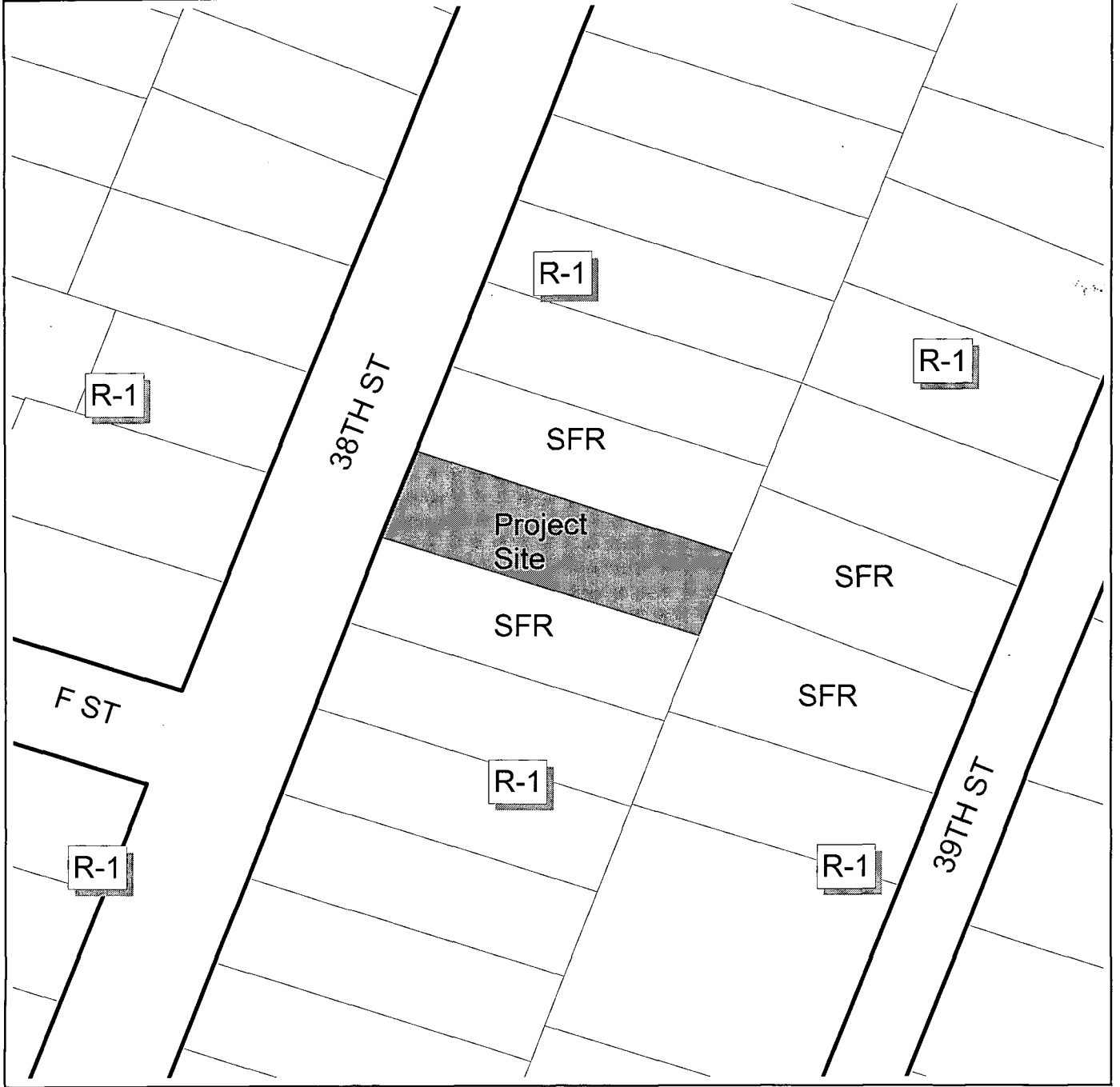




Development Services  
Department

Geographic  
Information  
Systems

# Vicinity Map



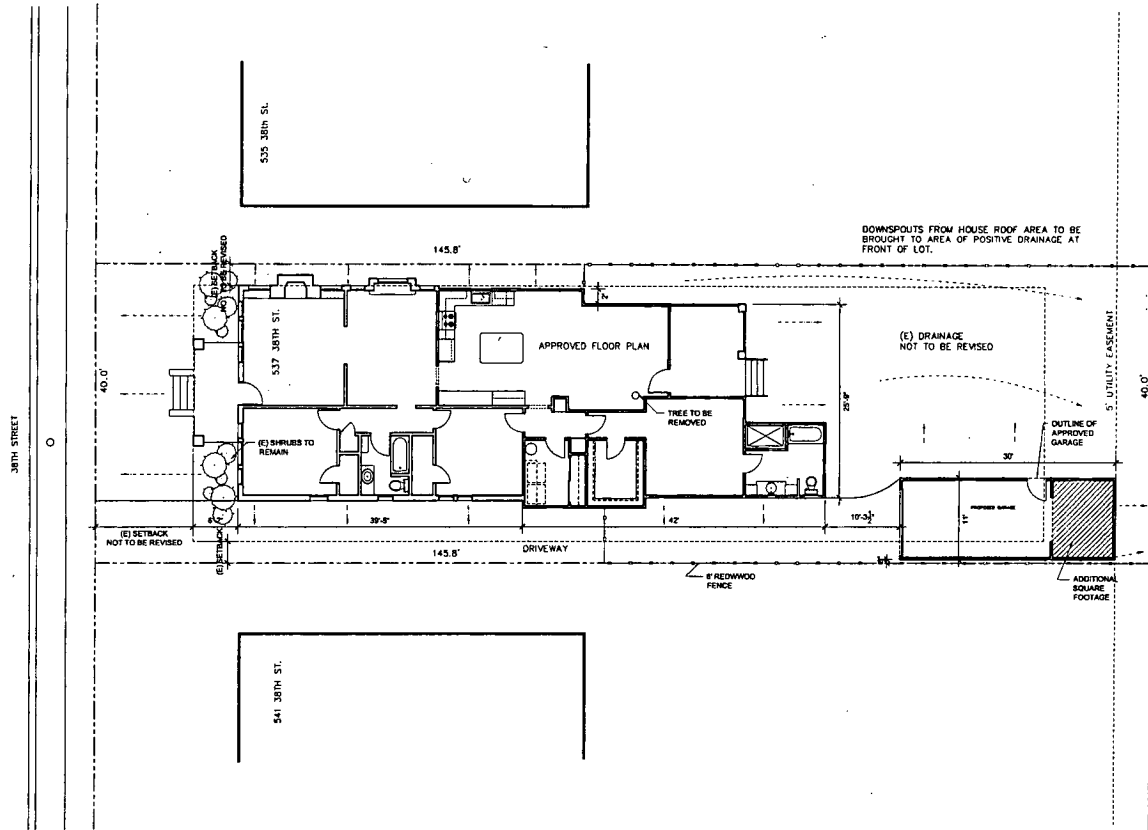



 Development Services  
 Department  
  
 Geographic  
 Information  
 System

# Land Use & Zoning



# EXHIBIT A



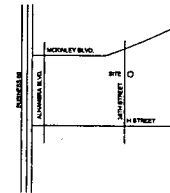
## SITE PLAN

SCALE: 1/8" = 1'-0"

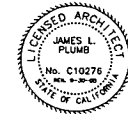
- LEGEND**
- DIRECTION OF DRAINAGE
  - ADJOINING HOUSES
  - PROPERTY LINE
  - SETBACK

**LOT COVERAGE**

HOUSE :	2079 SQ. FT.
GARAGE :	330 SQ. FT.
TOTAL :	2409 SQ. FT. = 41.3%
LOT AREA :	5832 SQ. FT.



VINCINITY MAP—N.T.S.



This drawing and specifications are the property of the architect and shall not be used on any other work except by agreement with architect. Metric dimensions will take precedence over stated dimensions and shall be verified in the field. Any discrepancy shall be brought to the attention of the architect prior to commencement of any part of work.

No.	Date	Revision
1	8-17-03	PLAN CHECK

**JAMES PLUMB ASSOCIATES**  
 1248 32ND STREET  
 SACRAMENTO, CA 95816  
 916/452-5881  
 916/452-5881 FAX

**BOYSEN RESIDENCE**  
**537 38TH STREET**  
**SACRAMENTO, CALIFORNIA**  
**October 21, 2004**

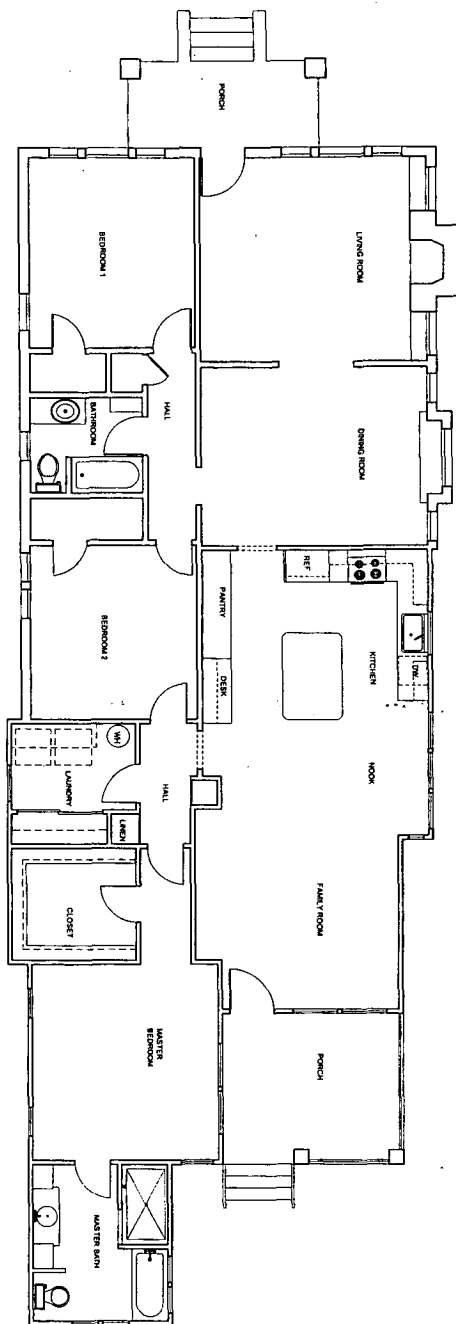
Job No. 03\_35  
 Date 4/26/04  
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 Drawn by \_\_\_\_\_ Date \_\_\_\_\_  
 Checked by \_\_\_\_\_ Date \_\_\_\_\_  
 Scale \_\_\_\_\_  
 Revision No. \_\_\_\_\_

Sheet A1.0 of

**Z04-321**

**Item 10**

**EXHIBIT B**



APPROVED FLOOR PLAN

SCALE: 1/4" = 1'-0"



These drawings and specifications are the property of the architect and shall not be used on any other work except by agreement with architect. Written dimensions will take preference over scaled dimensions and shall be verified in the field. Any discrepancy shall be brought to the attention of the architect prior to commencement of any part of work.

**BOYSEN RESIDENCE**  
 537 38TH STREET  
 SACRAMENTO, CALIFORNIA

October 21, 2004



**JAMES PLUMB ASSOCIATES**  
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No.	Date	Person	Approved
1	5-17-04	PLAN CHECK	

Item 10

Sheet **A2.0** of  
 Revision No.  
 Drawn by \_\_\_\_\_ Date \_\_\_\_\_  
 Checked by \_\_\_\_\_ Date \_\_\_\_\_  
 Scale \_\_\_\_\_  
 Job No. 03.35  
 Date 4/25/04  
**Z04-321**

**EXHIBIT C**



**ELEVATIONS**

SCALE: 1/2" = 1'-0"

These drawings and specifications are the property of the architect and shall not be used on any other work except by agreement with architect. Similar dimensions of like portions and similar dimensions shall be marked in the field. Any discrepancy shall be brought to the attention of the architect prior to commencement of any part of work.

DATE	10-17-03	PLAN CHECK
APPROVED		

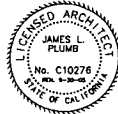
**JAMES PLUMB ASSOCIATES**  
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**BOYSEN RESIDENCE**  
**537 38TH STREET**  
**SACRAMENTO, CALIFORNIA**  
**October 21, 2004**

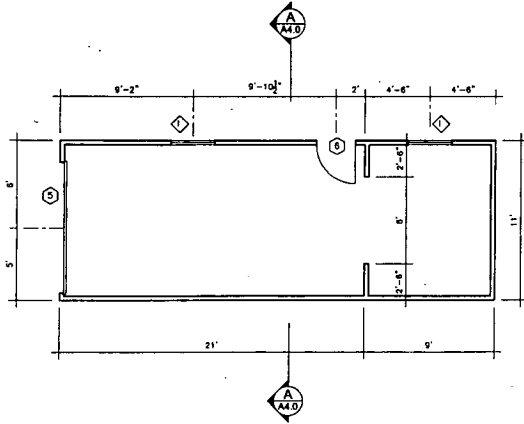
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 Date 4/26/04  
 File  
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 Sheet **A3.0** of

**204-321**

**Item 10**

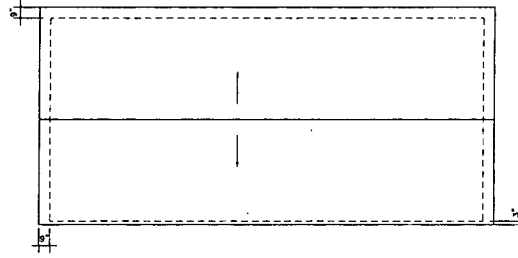


**EXHIBIT D**



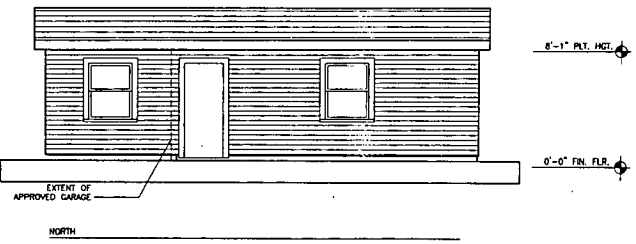
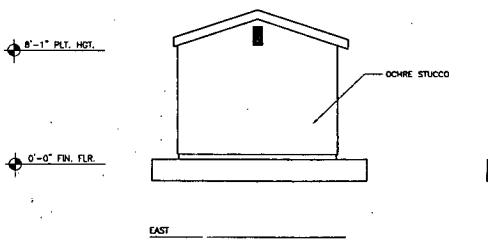
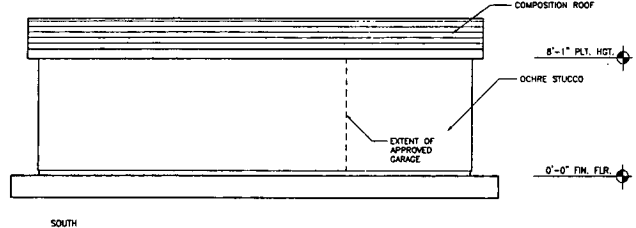
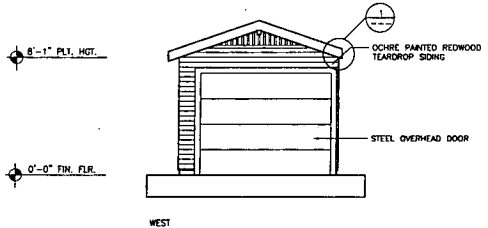
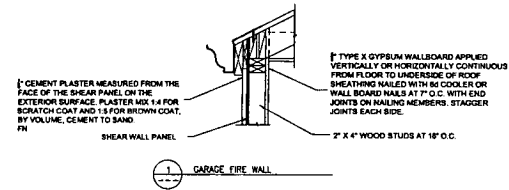
**GARAGE FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**ROOF PLAN**

SCALE: 1/4" = 1'-0"



**GARAGE ELEVATIONS**

SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION
1	8-17-03	PLAN CHECK

**JAMES PLUMB ASSOCIATES**  
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**BOYSEN RESIDENCE**  
 537 38TH STREET  
 SACRAMENTO, CALIFORNIA  
 October 21, 2004

Job No. 03\_35  
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 File  
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